



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-813

RECEIVED

Data Relative to Subject Property: _____

Date: _____

MAR 27 REC'D

Location address: 8518 Inwood Rd.

Zoning District: _____

BY: _____

Lot No.: 31

Block No.: 5674

Acreage: 0.75

Census Tract: _____

Street Frontage (in Feet): 1) 150.06 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Adrian Macedo and Alisa Tugberk

Applicant: Alisa Tugberk

Telephone: (917) 254-7354

Mailing Address: 8518 Inwood Road

Zip Code: 75209

E-mail Address: ALISA.TUGBERK@gmail.com

Represented by: Matthew Murrey

Telephone: (214) 893-7577

Mailing Address: 4918 Linnet Lane, Dallas, TX

Zip Code: 75209

E-mail Address: matt@matthewmurrey.com

Affirm that an appeal has been made for a Variance or Special Exception of _____

increased fence height in the required front yard, VISIBILITY TRIANGLE

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

continuity with neighboring properties, privacy and security.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared _____

ADRIAN MACEDO

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 27th day of MARCH, 2024

Notary Public in and for Dallas County, Texas





Posting of Notification Sign

Address: 8518 Wnwood Rd.

Appeal Number: BDA 234-063

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 150'

Number of acres: 0.75

Number of signs received: 1

[Handwritten Signature]

Signature of applicant or person receiving signs

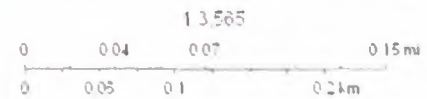
3-27-24

Date

ArcGIS Web Map - 8518 Inwood



3/19/2024, 10:12:24 AM



BDA234-063 *mjm*



REFERRAL FORM FOR BOARD OF ADJUSTMENT

APPLICANT: <u>Josue Diaz</u>		OWNER: <u>Tugberk Macedo</u>	
ADDRESS: <u>8518 Inwood</u>	STATE: <u>Tx</u>	ZIP:	
LOT: <u>31</u>	BLOCK: <u>5674</u>	ZONING: <u>R-16 CA</u>	

<input type="checkbox"/> Variance	<input type="checkbox"/> Special Exception
<input type="checkbox"/> Yard setback	<input checked="" type="checkbox"/> Fence height and standards
<input type="checkbox"/> Lot width	<input type="checkbox"/> Visibility triangle obstructions
<input type="checkbox"/> Lot Depth	<input type="checkbox"/> Parking demand
<input type="checkbox"/> Lot Coverage	<input type="checkbox"/> Landscaping
<input type="checkbox"/> Floor area for accessory structures for single family uses	<input type="checkbox"/> Additional dwelling unit for a single-family
<input type="checkbox"/> Height	<input type="checkbox"/> Carport
<input type="checkbox"/> Minimum width of sidewalk	<input type="checkbox"/> Non-conforming use
<input type="checkbox"/> Off-street parking	<input type="checkbox"/> Other
<input type="checkbox"/> Off-street loading	
<input type="checkbox"/> Landscape regulations	
<input type="checkbox"/> Other	

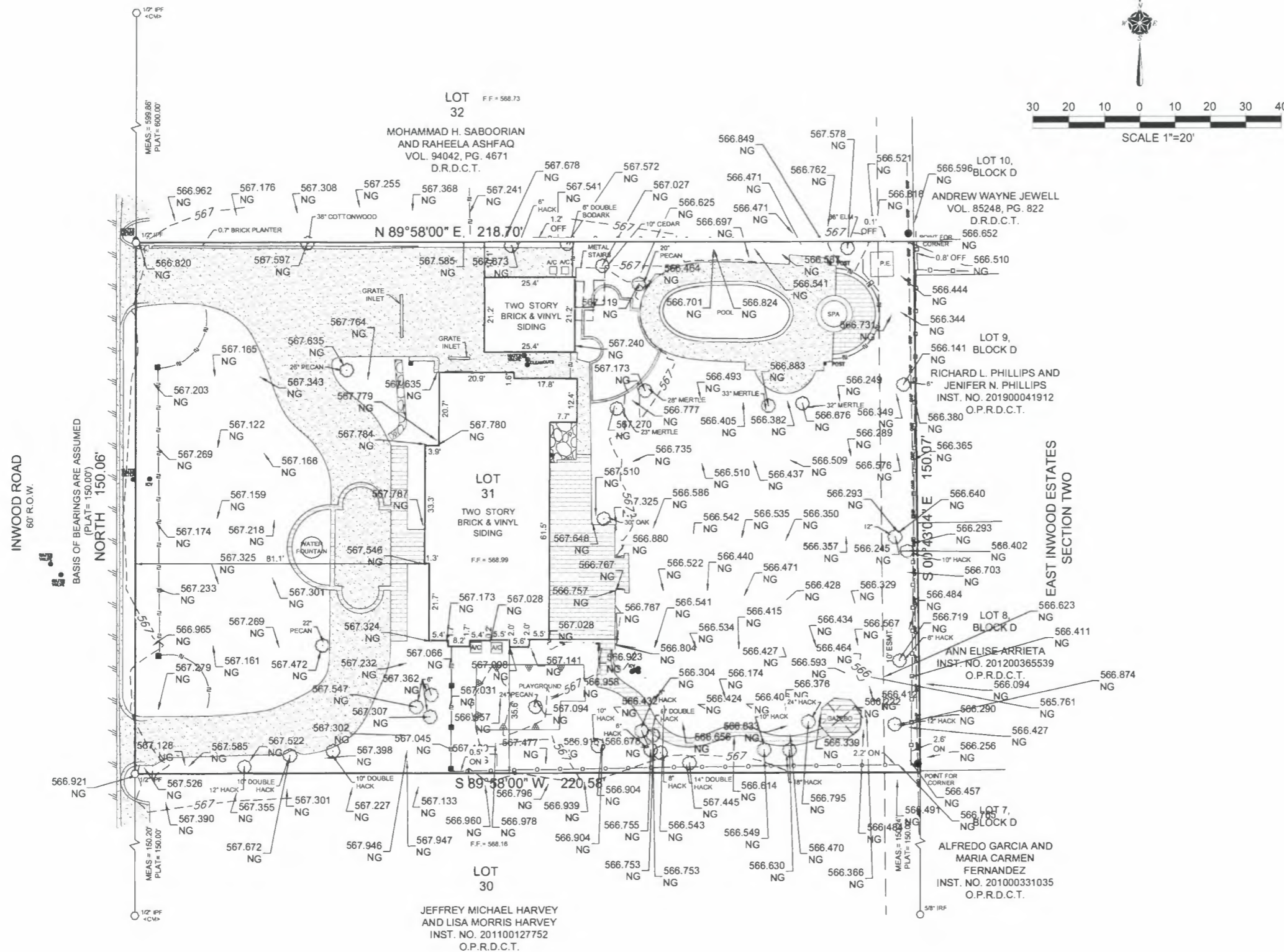
Please list the City of Dallas Development Code(s) this project is non-compliant with:
51A-4.602 Fence Regulations

Description: would like to build a 7.8 fence in front yard setback (35 ft). Masonry & iron materials w/in standards would like to appeal to neighbor standards.

Alternative resolutions discussed/offered:
4ft fence in front yard; 35ft setback

Referred by Makayla Jackson Contact (214) 498-4072 Date: 3/8/24

BDA 234-063



REVISIONS		
No.	Revision/Issue	Date

LEGEND	
(HC)	HANDICAPPED SPACE
(P)	PARKING SPACE
(IR)	IRON ROD FOUND
(IRTS)	IRON ROD SET 'TXHS'
(IRP)	IRON PIPE FOUND
(FPC)	FENCE POST CORNER
(X)	'X' FOUND / SET
(CM)	CONTROL MONUMENT
(SS)	SANITARY SEWER MANHOLE COVER
(LP)	LIGHT POLE
(PP)	POWER POLE
(BC)	BRICK COLUMN
(AC)	AIR CONDITIONING
(FH)	FIRE HYDRANT
(EM)	ELECTRIC METER
(GM)	GAS METER
(//)	ASPHALT PAVING
(-O-O-)	CHAIN LINK FENCE
(-X-X-)	WOOD FENCE (CENTER POST)
(-X-X-)	WIRE FENCE
(- -)	IRON FENCE
(- -)	PIPE FENCE
(-X-X-)	COVERED PORCH, DECK OR GARPORT
(- -)	CONCRETE PAVING
(-X-X-)	GRAVEL/ROCK ROAD OR DRIVE
(-O-)	OVER-HEAD ELECTRIC SERVICE
(-O-)	OVER-HEAD POWER LINE
(-SS-)	SANITARY SEWER LINE

GENERAL NOTES

- 1) According to the F.I.R.M. No. 48113C0330J, the subject property lies in Zone X and does not lie within a Flood Prime Hazard Area.
- 2) Bearings based on assumed bearing along the east right-of-way of Inwood Road (60 foot right-of-way)
- 3) This survey plat has been prepared without benefit of abstract title. Additional matters may be disclosed in the course of a thorough examination of the recorded title.



TEXAS HERITAGE
SURVEYING, LLC

10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com
Firm No. 10169300

TOPOGRAPHICAL SURVEY	
8518 INWOOD ROAD LOT 31, BLOCK D INWOOD ESTATES (UNRECORDED) DALLAS, DALLAS COUNTY, TEXAS	
Task No. 1901121-1	PRELIMINARY
Drawn By JACOB	
Date 7/29/19	
Scale 1"=20'	

BENCHMARKS:

462. 24-Z-2S Inwood Road - Stonegate Drive
Elevation= 563.250

465. 24-Z-6S Inwood Road - Farquhar Lane
Elevation= 559.850

BDA234-063

FENCE AND GATE TAKEOFF

ID	OBJECT TYPE	DESCRIPTION	FINISH	QUANTITY
B001	FENCE WALL	18IN FENCE WALL	UNDEFINED	224.3
B002	FENCE WALL	18IN WALL W/INSERT	UNDEFINED	112.2
B003	FENCE	7.5FT WOOD FENCE	UNDEFINED	8.0
B101	COLUMN	8FT COLUMN	UNDEFINED	180.8
B102	COLUMN	7.5FT COLUMN	UNDEFINED	0.0
G01	GATE	MOTORIZED GATE	UNDEFINED	2
G02	MOTORIZED GATE	MOTORIZED GATE	UNDEFINED	1

BARRIERS REFERENCE NOTES

ID	OBJECT	DETAIL
B001	18IN FENCE WALL	1801.000
B002	18IN WALL W/INSERT	1801.000
B003	7.5FT WOOD FENCE	1801.000
B101	8FT COLUMN	1801.000
B102	7.5FT COLUMN	1801.000

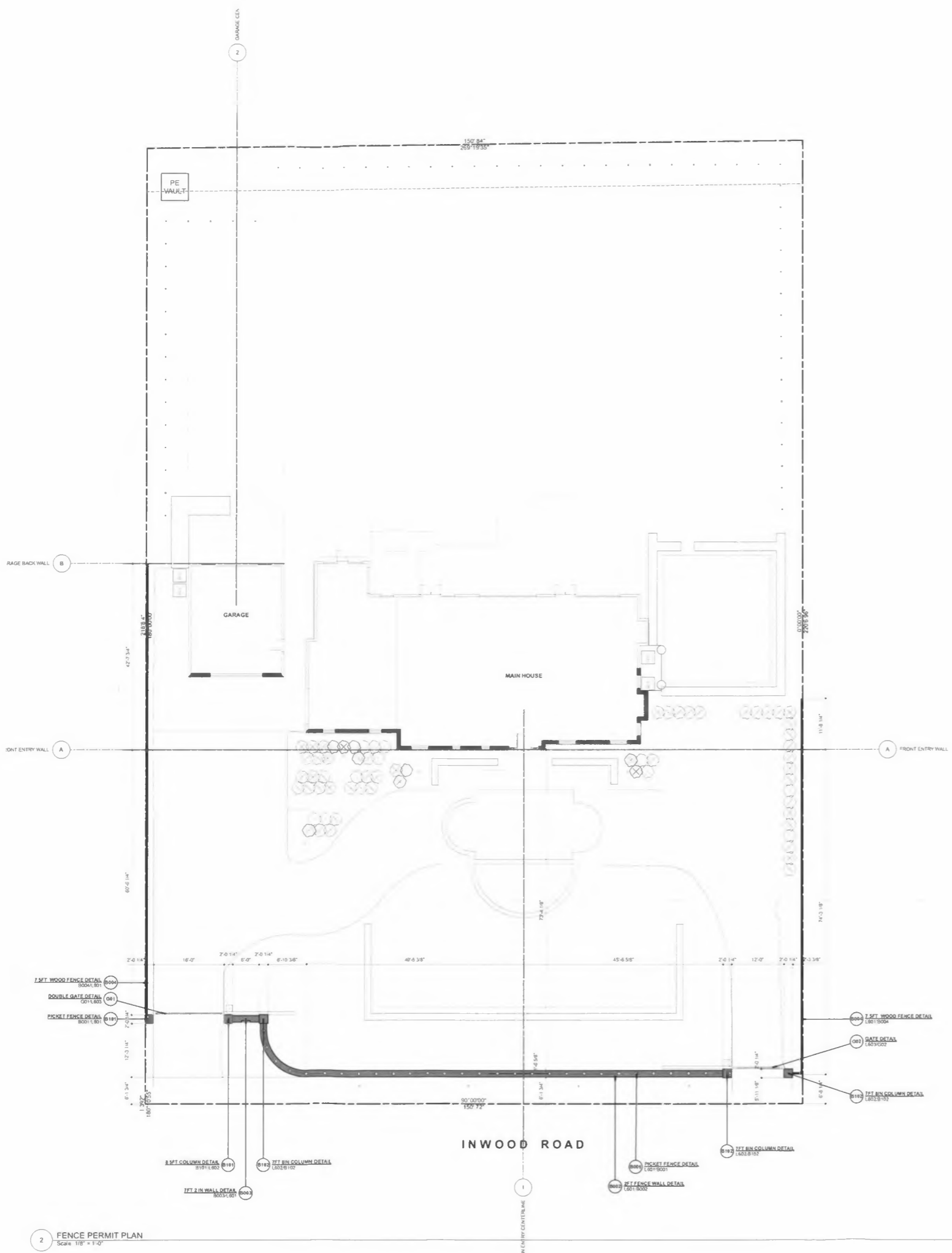
GATES REFERENCE NOTES

ID	OBJECT	DETAIL
G01	MOTORIZED GATE	1801.000
G02	MOTORIZED GATE	1801.000

LAYOUT NOTES

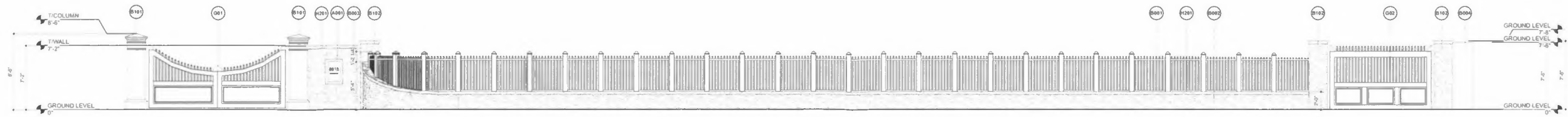
- IF PLAN DIMENSIONS EXIST PLAN TAKES PRECEDENCE OVER SCHEDULE. DETAILS TAKE PRECEDENCE OVER NOTES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- PAVING AND STRUCTURE DIMENSIONS ARE TO FINISHED FACE AND DO NOT INCLUDE TYPICAL OVERLAPS OR SUB-SURFACE FOOTINGS.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE, OWNER AND DESIGNER. RESERVE AUTHORITY FOR FIELD ADJUSTMENTS.
- LAYOUT, SCOPES, JOINTS AND PAVING PATTERNS SHOULD ADHERE AS CLOSELY AS POSSIBLE TO PLANS, DETAILS AND SPECIFICATIONS. DO NOT DEVIATE FROM PLANS UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.
- IF SITE CONDITIONS ARE DIFFERENT THAN WHAT IS INDICATED ON THE DRAWINGS, CONTACT DESIGNER IMMEDIATELY FOR CLARIFICATION.
- THE CONTRACTOR SHALL INSTALL REQUIRED SLEEVING PRIOR TO INSTALLING FLATWORK AND PAVING. REFER TO REQUIREMENTS, VENT/IN CONTRACTOR.
- CURVED WALKS AND CURB EDGES ARE INTENDED TO BE CONSTRUCTED WITH SMOOTH FLOWING CURVES. ANYTHING OTHER THAN SMOOTH FLOWING CURVES WILL BE REJECTED.

UTILITIES (WATER, ELECTRIC, STORM, SEWER, ETC.) ARE SHOWN FOR REFERENCE ONLY. REFER TO SURVEY AND APPROPRIATE DISCIPLINE DRAWINGS FOR APPROXIMATE LOCATIONS. CONTRACTOR TO VERIFY EXACT UTILITY LOCATION AND PRESENCE OF UTILITIES PRIOR TO DIGGING OPERATIONS.



FENCE PERMIT PLAN
Scale: 1/8" = 1'-0"

PDA234-003



1 FENCE ELEVATION
Scale: 1/4" = 1'-0"

TUGBERK/MACEDO RESIDENCE
 8518 INWOOD RD
 DALLAS, TX 75209

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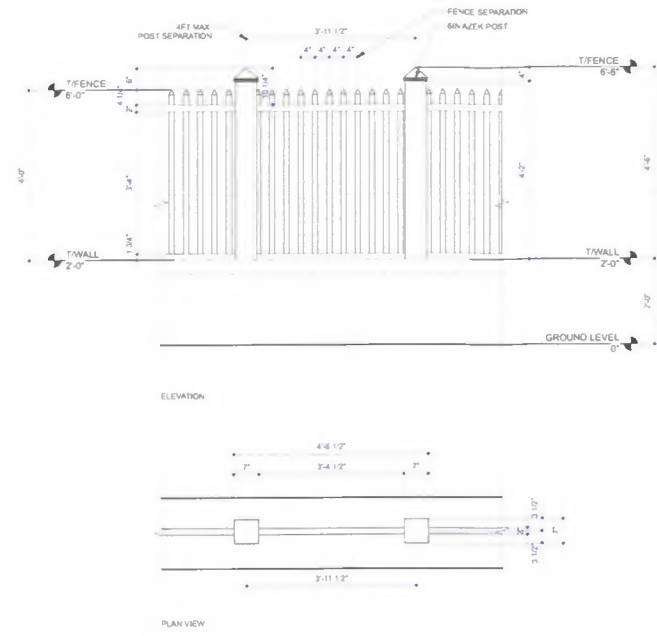
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No.	Date	Revision Notes

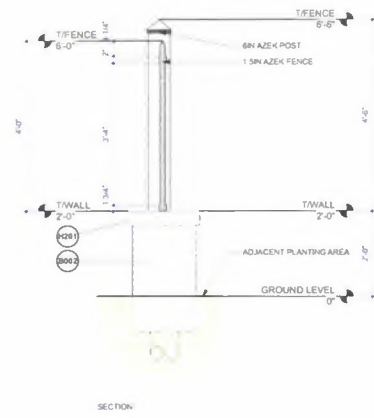
PERMIT SET
 03/12/24
L301
 SITE ELEVATIONS

SCALE: 1/4" = 1'-0"
 DATE: 03/12/24

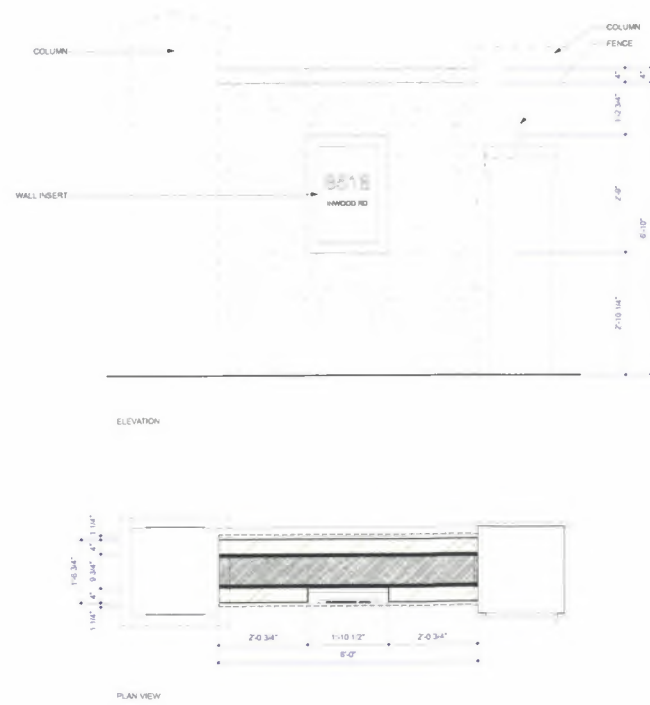
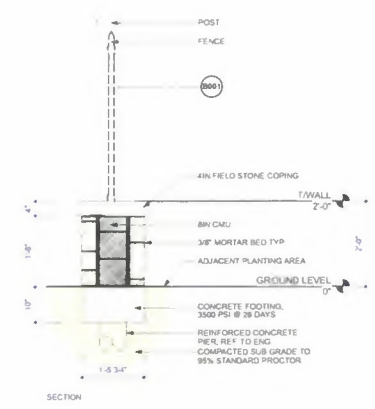
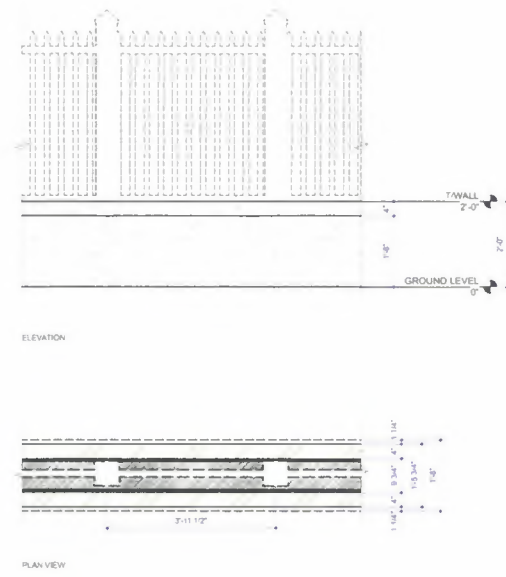
BDA 234-003



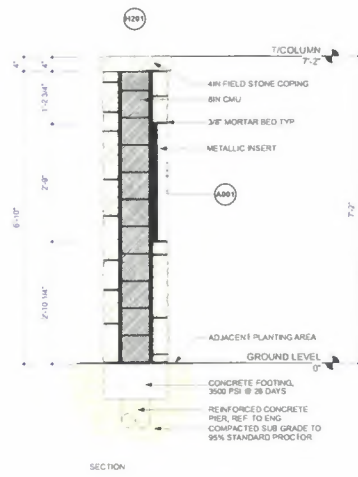
B001 PICKET FENCE DETAIL
Scale: 3/4" = 1'-0"



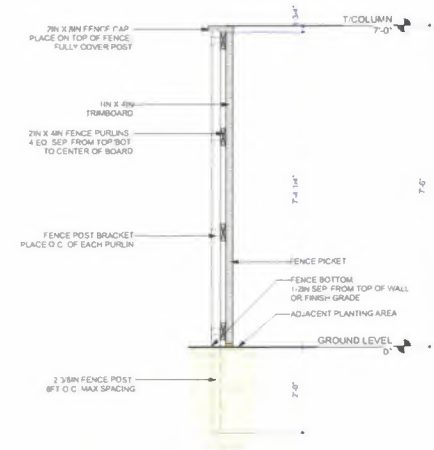
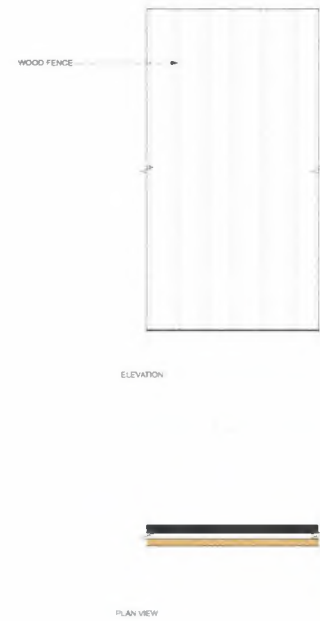
B002 2FT FENCE WALL DETAIL
Scale: 3/4" = 1'-0"



B003 7FT 2 IN WALL DETAIL
Scale: 3/4" = 1'-0"



B004 7.5FT WOOD FENCE DETAIL
Scale: 3/4" = 1'-0"



TUGBERK/MACEDO RESIDENCE
8518 INWOOD RD
DALLAS, TX 75209

MATTHEW MURPHY DESIGN

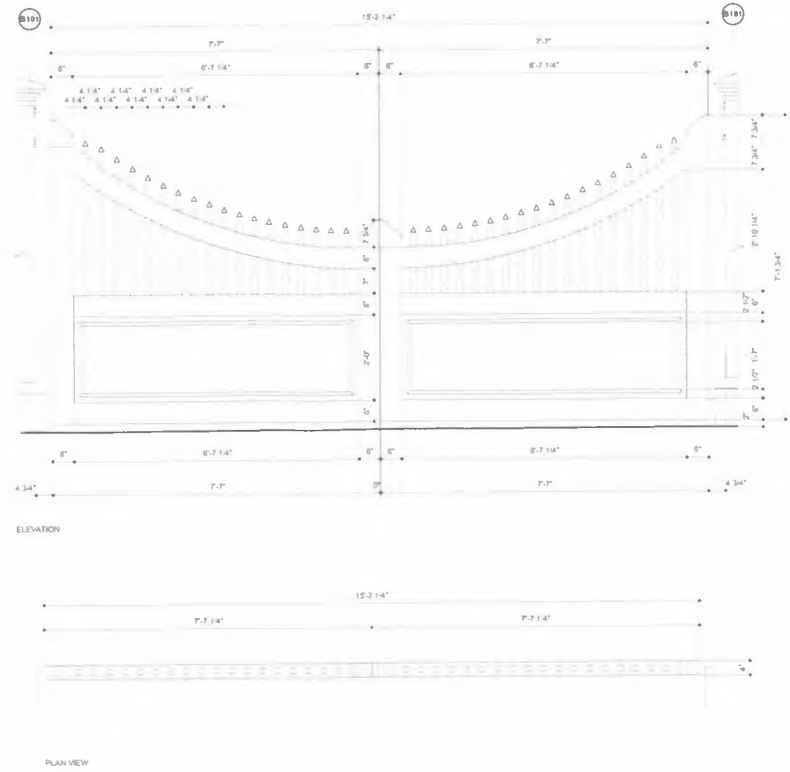
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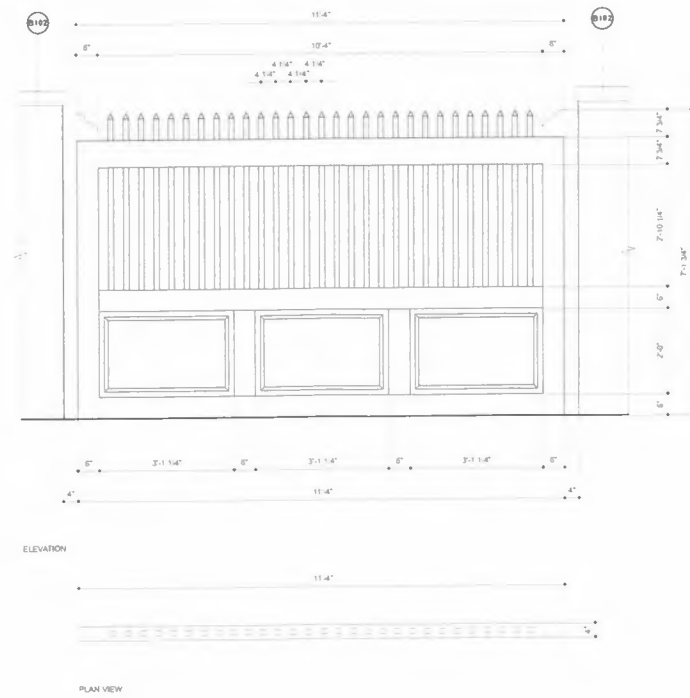
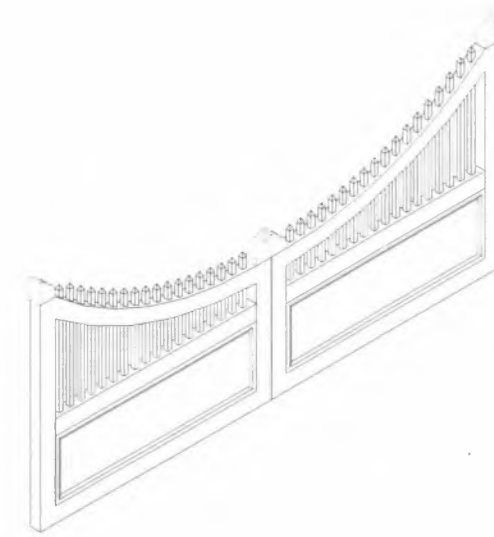
No.	Date	Revision Notes

PERMIT SET
03/02/24
L601
BARRIERS AND WALLS DETAILS

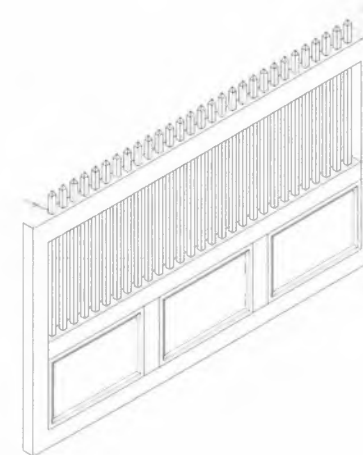
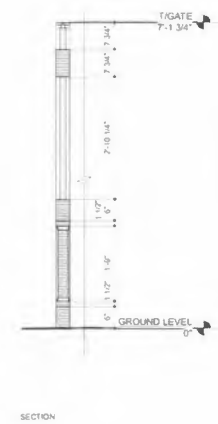
BLA 234-063



G01 DOUBLE GATE DETAIL
Scale: 3/4" = 1'-0"



G02 GATE DETAIL
Scale: 3/4" = 1'-0"



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No.	Date	Revision/Notes

PERMIT SET
03/01/24
L603
GATE DETAILS