



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

RECEIVED  
FOR OFFICE USE ONLY

Date: MAR 27 2024  
FOR OFFICE USE ONLY

Data Relative to Subject Property:

Location address: 6131 Churchill Way Zoning District: R-10(A)

Lot No.: 1A Block No.: A/7451 Acreage: 2.050 Census Tract: 132.01

Street Frontage (in Feet): 1) 257.85 2) 374.07 3) 170.63 4) \_\_\_\_\_ 5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Congregation Shaare Tefilla

Applicant: Congregation Shaare Tefilla (James Davis, President) Telephone: (972) 661-0127

Mailing Address: 6131 Churchill Way, Dallas, Texas Zip Code: 75230

E-mail Address: jamesdavis00@gmail.com

Represented by: Jonathan Vinson/Victoria Morris/Jackson Walker, L.L.P. Telephone: (214) 953-5941

Mailing Address: 2323 Ross Avenue, Suite 600, Dallas, Texas Zip Code: 75201

E-mail Address: jvinson@jw.com

Affirm that an appeal has been made for a Variance  or Special Exception  of 4' to the fence height regulations of Sec. 51A-4.602 (a)(2) to allow an 8' open fence in the required front yard.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The requested special exception will in no way adversely affect neighboring property, as will be demonstrated with supplemental information.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

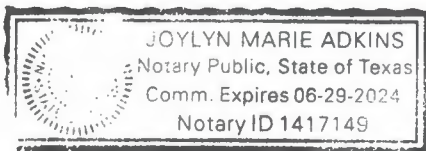
Before me the undersigned on this day personally appeared Jonathan G. Vinson

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Jonathan G. Vinson  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 8th day of February, 2024



Joylyn Marie Adkins  
Notary Public in and for Dallas County, Texas



## Posting of Notification Sign

PER SEC 51A-1.106 Notification signs required to be obtained and posted

Address: 6131 Church Hill Way

Appeal Number: BDA 234-064

All required notification signs must be posted on the property within fourteen (14) days after an application has been made, prior to the Board of Adjustment Hearing, and not be removed until the hearing ends.

The sign must be posted at a prominent location adjacent to the public street, evenly spaced along each frontage, and easily visible from the street. Failure to properly post the sign(s) may result in either a postponement or denial of the appeal.

All required notification signs have been received. One sign is required for each 500 feet or less of frontage, or every tract of five (5) acres or less, with a maximum of five (5) signs required. The cost of each sign is \$10.00.

Footage of each street frontage: 257', 374', & 170'

Number of acres: 2.050

Number of signs received: 3

A handwritten signature in blue ink, appearing to be 'DMO'.

Signature of applicant or person receiving signs

3/27/2024

Date



AFFIDAVIT

Appeal number: BDA 234-064

I, James Davis, President of Congregation Shaare Tefilla, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 6131 Churchill Way, Dallas, Texas 75230  
(Address of property as stated on application)

Authorize: Jackson Walker, L.L.P./Suzan Kedron/Jonathan Vinson  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Special exception to the fence height regulations of Sec. 51A-4.602(a)(2) to allow an 8 foot fence in the required front yard.

Congregation Shaare Tefilla, by: James Davis, President

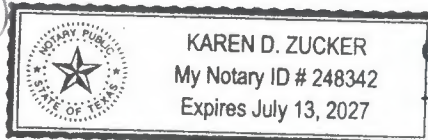
Print name of property owner or registered agent  
agent Date January 15, 2024

Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared James Davis, President of Congregation Shaare Tefilla

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 15 day of  
January, 2024



Commission expires on 01/13/2027  
01/13/2024 (13)

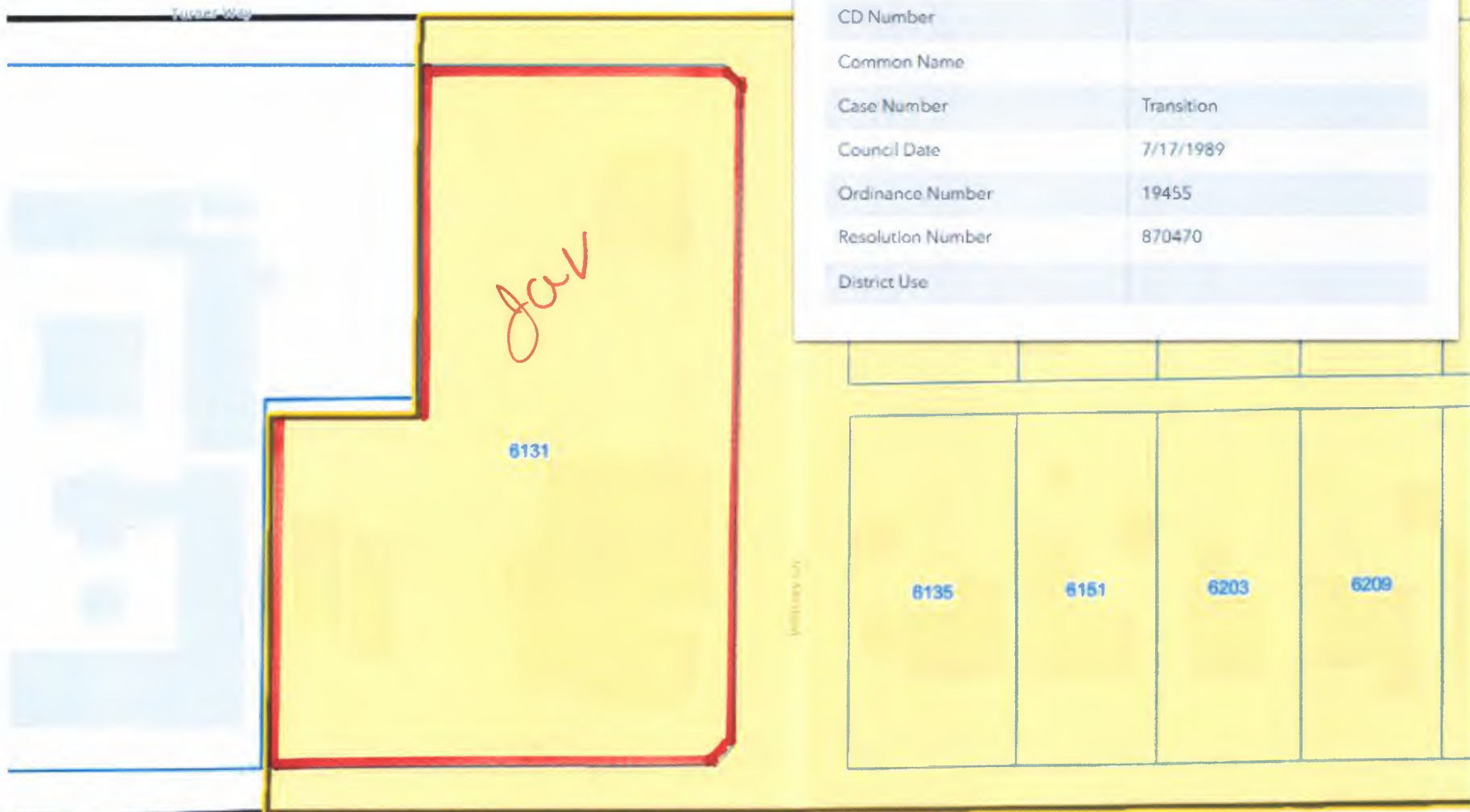




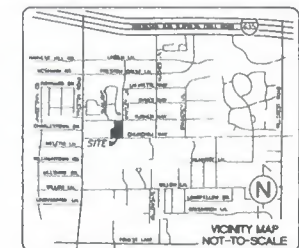
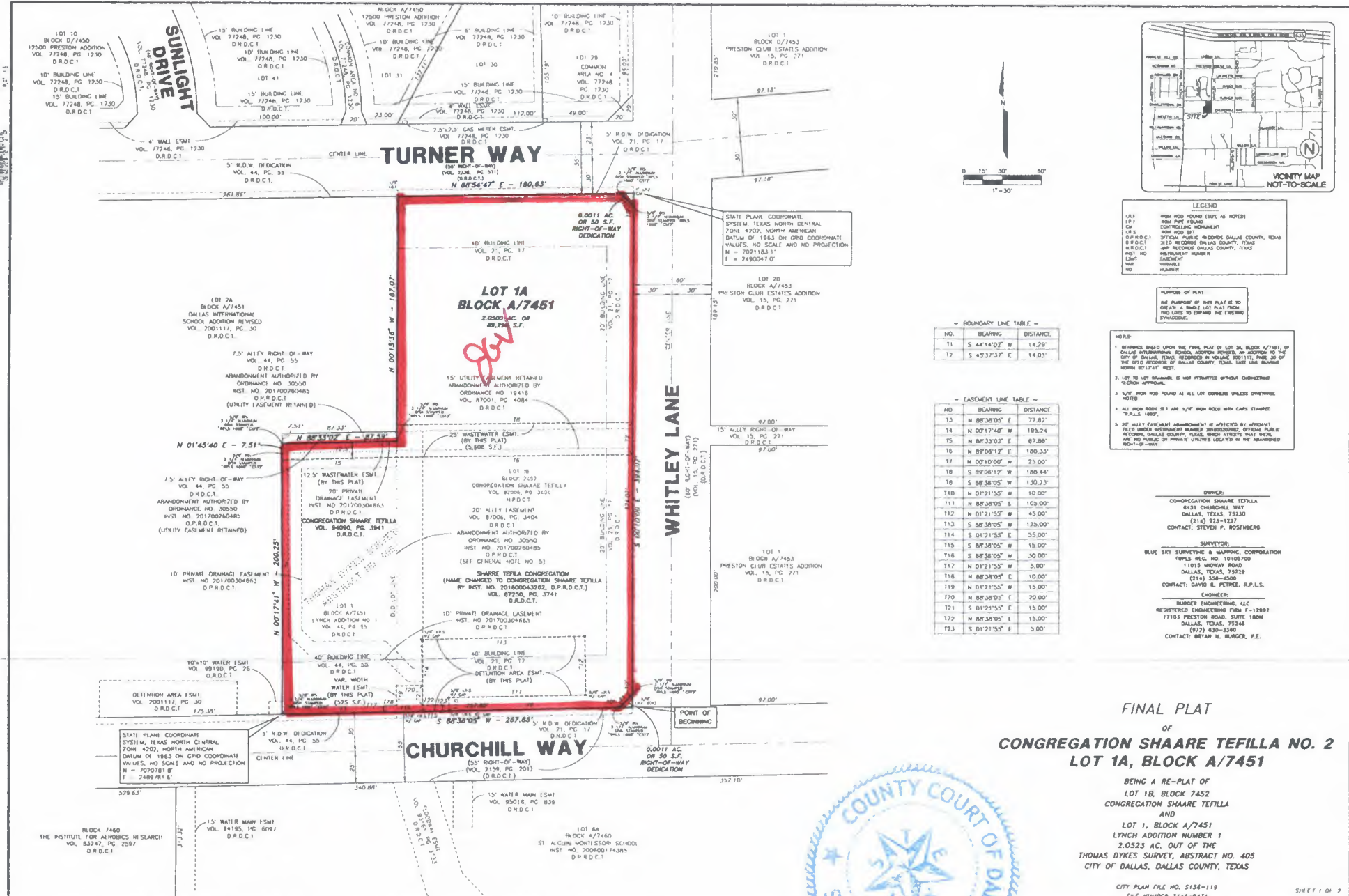
Zoom to < > ☰ 2 of 2

### Base Zoning

Zone District	R.16(A)
PD Number	
CD Number	
Common Name	
Case Number	Transition
Council Date	7/17/1989
Ordinance Number	19455
Resolution Number	870470
District Use	



**BDA23A-06A**  
 Selected features: 1



**LEGEND**

- 1.83 BOUNDARY LINE
- 1.84 BOUNDARY LINE
- 1.85 BOUNDARY LINE
- 1.86 BOUNDARY LINE
- 1.87 BOUNDARY LINE
- 1.88 BOUNDARY LINE
- 1.89 BOUNDARY LINE
- 1.90 BOUNDARY LINE
- 1.91 BOUNDARY LINE
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- 2.15 BOUNDARY LINE
- 2.16 BOUNDARY LINE
- 2.17 BOUNDARY LINE
- 2.18 BOUNDARY LINE
- 2.19 BOUNDARY LINE
- 2.20 BOUNDARY LINE

**PURPOSE OF PLAT**

THE PURPOSE OF THIS PLAT IS TO CREATE A SINGLE LOT PLAT FROM TWO LOTS TO EXPAND THE EXISTING SYNDICATE.

— BOUNDARY LINE TABLE —

NO.	BEARING	DISTANCE
11	S 44°14'02" W	14.29'
12	S 43°37'37" E	14.03'

— EASEMENT LINE TABLE —

NO.	BEARING	DISTANCE
13	N 88°38'05" E	77.82'
14	N 00°17'40" W	185.24'
15	N 88°33'02" E	87.88'
16	N 89°06'12" E	180.33'
17	N 00°10'00" W	25.00'
18	S 89°58'17" W	185.44'
19	S 88°38'05" W	150.23'
20	N 01°21'55" E	10.00'
21	N 88°38'05" E	105.00'
22	N 01°21'55" W	45.00'
23	S 88°38'05" E	125.00'
24	N 01°21'55" E	55.00'
25	S 88°38'05" W	15.00'
26	S 88°38'05" W	30.00'
27	N 01°21'55" W	3.00'
28	N 88°38'05" E	10.00'
29	N 01°21'55" W	15.00'
30	N 88°38'05" E	70.00'
31	S 01°21'55" E	13.00'
32	N 88°38'05" E	15.00'
33	S 01°21'55" E	3.00'

- NOTES**
- BEFORE READING THE FINAL PLAT OF LOT 1A, BLOCK A/7451, OF THE CONGREGATION SHAARE TEFILLA, ADDITION, TO THE CITY OF DALLAS, TEXAS, RECORD IN VOLUME 20111, PAGE 20 OF THE 976 RECORDS OF DALLAS COUNTY, TEXAS, LAST LINE BEARING NORTH 89°14' WEST.
  - LOT 10 TO LOT 19 BEING HEREIN IS NOT PART OF THE CONGREGATION SHAARE TEFILLA.
  - ALL FROM RODS IS A 1/4" FOR RODS WITH CAPS STAMPED "1/4" IS 1/8".
  - ALL FROM RODS IS A 1/4" FOR RODS WITH CAPS STAMPED "1/4" IS 1/8".
  - IF ANY FUTURE ABANDONMENT IS AFFECTED BY A FUTURE REVISION UNDER INSTRUMENT NUMBER 2010000000, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, UNDER INSTRUMENT NUMBER 2010000000, OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS, LAST LINE BEARING NORTH 89°14' WEST.

**OWNER:**

CONGREGATION SHAARE TEFILLA  
 6131 CHURCHILL WAY  
 DALLAS, TEXAS 75230  
 (314) 833-1227  
 CONTACT: STEVEN P. ROSENBERG

**SURVEYOR:**

BLUE SKY SURVEYING & MAPPING, CORPORATION  
 TUPAC RILEY, NO. 10100370  
 11015 MIDWAY ROAD  
 DALLAS, TEXAS 75229  
 (214) 358-8800  
 CONTACT: DAVID E. PETRICE, R.P.L.S.

**ENGINEER:**

BURGER ENGINEERING, L.L.C.  
 REGISTERED ENGINEERING FIRM F-12892  
 17101 PRESTON ROAD, SUITE 1808  
 DALLAS, TEXAS 75248  
 (972) 830-3360  
 CONTACT: BRYAN W. BURGER, P.E.

**FINAL PLAT**  
 OF  
**CONGREGATION SHAARE TEFILLA NO. 2**  
**LOT 1A, BLOCK A/7451**

BEING A RE-PLAT OF  
 LOT 1B, BLOCK 7452  
 CONGREGATION SHAARE TEFILLA  
 AND  
 LOT 1, BLOCK A/7451  
 LYNCH ADDITION NUMBER 1  
 2.023 AC. OUT OF THE  
 THOMAS DYKES SURVEY, ABSTRACT NO. 405  
 CITY OF DALLAS, DALLAS COUNTY, TEXAS

CITY PLAN FILE NO. 5154-119  
 FILE NUMBER 3111-9431

SHEET 1 OF 2  
 APR. 2004



*BDA23A-064*



SHIPPED DATE: 4-20-76 RECEIVED DATE: 9-15-76

### CITY OF DALLAS PLAT BOOKS

ANNEXED APRIL 26, 1954 ORD. NO. 6183

ADDITION

BLOCKS 7451 A 7451 B 7452

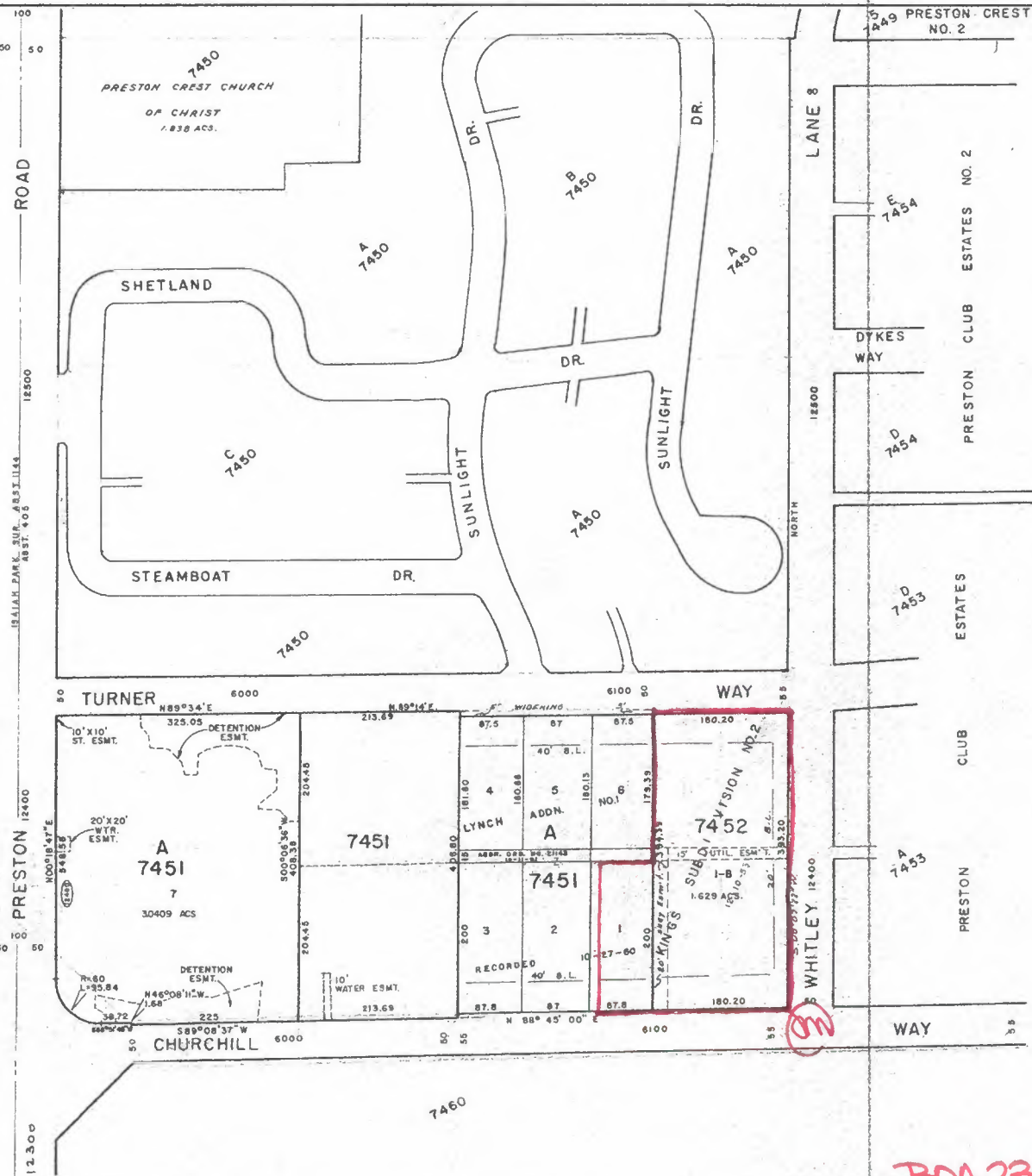
SURVEY THOMAS DYKES ABST. 405

SCALE 100 FT. EQUALS 1 INCH

SCHOOL DISTRICT DALLAS (ADDISON)

REPLAT CONGRESSION SHARRS ISHLLS 6  
LOT 3-A, 1-D BLK. 7452 FILED: 9-20-85  
REPLAT CONGRESSION SHARRS TEFALLA  
LOT 1-B BLK. 7452 FILED: 11-12-87  
FILED: 10-21-94 BLK. A/7451 LT. 7 PRESTON-TURNER WAY

6994



PRESTON DELL EST.

CHARLESTOWN DRIVE

6993

6993

6992

BDA-234-064

March 8, 2024

Rabbi Ariel Rackovsky  
*Rabbi*

Rabbi Howard Wolk  
*Rabbi Emeritus*

Rabbi Yaakov Tannenbaum  
*Rosh Beit Midrash*

Joyce Kelly  
*Executive Director*

Jimmy Davis  
*President*

Mr. Andrew Espinoza  
Director of Development Services  
Development Services Department – Board of Adjustment  
City of Dallas  
320 E. Jefferson Blvd., Rm. 210  
Dallas, Texas 75203

**RE: Congregation Shaare Tefilla – Board of Adjustment Application**

**Board of Directors**

Ben Fine  
*VP Buildings & Grounds*

Dena Englander  
*VP Membership*

Shelley Weiss  
*VP Finance*

Malka Grebenau  
*Secretary*

Jeff Fine  
*Legal Counsel*

Martin Appell  
*Immediate Past President*

**Directors**

Mickey Barr

Mordechai Langer

Sharon Lipinsky

Zoe Pulitzer

Dalia Rosenberg


Ariella Rush

Yuki Tsaroya

Dear Mr. Espinoza:

On behalf of Congregation Shaare Tefilla, a Texas nonprofit corporation (the "**Corporation**"), this letter is submitted to affirm that the undersigned, Jimmy <sup>JAMES</sup> Davis, is the duly elected President of the Corporation, and to affirm that James Davis (the "**Authorized Signatory**") is authorized by the Bylaws and by the Board of Directors of the Corporation to prepare, execute and file, or cause to be prepared, executed, and filed, in the name and on behalf of the Corporation, an Application to the City of Dallas Board of Adjustment and any documents relating thereto or as such documents the Authorized Signatory may deem necessary or appropriate in connection therewith.

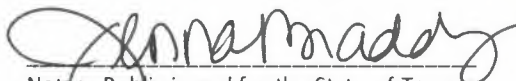
**CONGREGATION SHAARE TEFILLA**

By:   
Name: James Davis  
Title: President

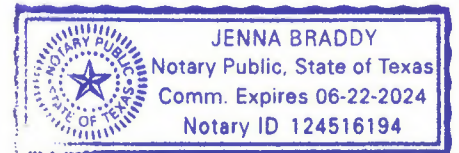
**NOTARY STATEMENT**

Before me, the undersigned authority, on this day personally appeared Jimmy Davis, President of Congregation Shaare Tefilla, a Texas nonprofit corporation, known to me to be the person and officer whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal office  
on this 11 day of March, 2024.

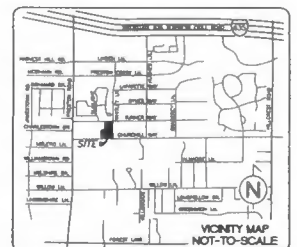
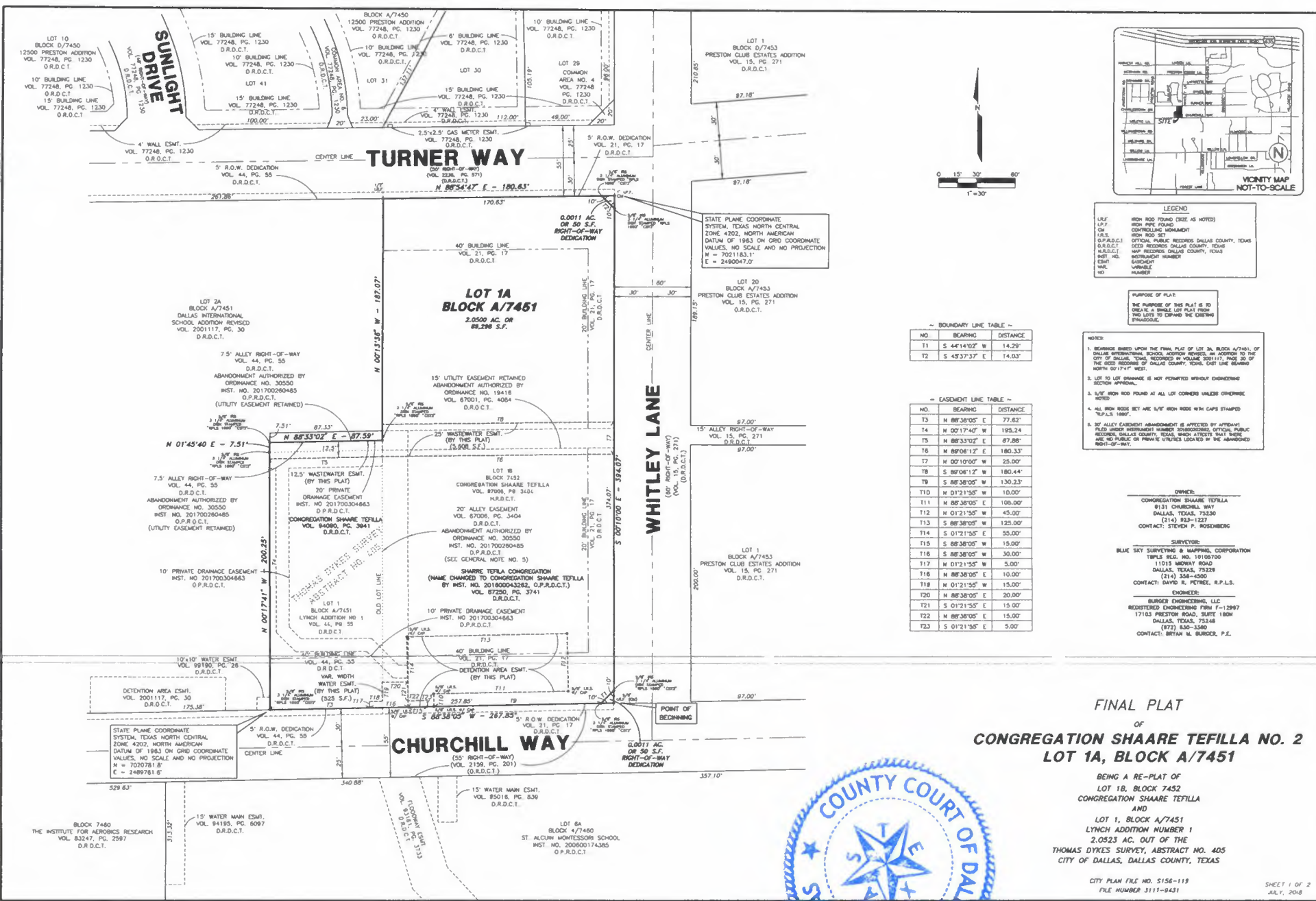
  
Notary Public in and for the State of Texas  
My Commission Expires: 6.22.2024

**SEAL**



**BDA 23A-004**

20140720 15



**LEGEND**

- 1/2" IRON ROD FOUND (SEE AS NOTED)
- 1/4" IRON PIPE FOUND
- 1/4" CONTROLLED EASEMENT
- 1/4" IRON ROD SET
- 1/4" OPTICAL PUBLIC RECORDS DALLAS COUNTY TEXAS
- D.R.D.C.T. DEED RECORDS DALLAS COUNTY, TEXAS
- M.B.D.C.T. MAP RECORDS DALLAS COUNTY, TEXAS
- 1/4" IRON ROD FOUND
- 1/4" IRON PIPE FOUND
- 1/4" IRON ROD SET
- 1/4" OPTICAL PUBLIC RECORDS DALLAS COUNTY TEXAS
- D.R.D.C.T. DEED RECORDS DALLAS COUNTY, TEXAS
- M.B.D.C.T. MAP RECORDS DALLAS COUNTY, TEXAS
- 1/4" IRON ROD FOUND
- 1/4" IRON PIPE FOUND
- 1/4" IRON ROD SET
- 1/4" OPTICAL PUBLIC RECORDS DALLAS COUNTY TEXAS
- D.R.D.C.T. DEED RECORDS DALLAS COUNTY, TEXAS
- M.B.D.C.T. MAP RECORDS DALLAS COUNTY, TEXAS

**PURPOSE OF PLAT:**  
THE PURPOSE OF THIS PLAT IS TO CREATE A SINGLE LOT PLAT FROM TWO LOTS AS DRAWN IN THE EXISTING FINAL PLAT.

**- BOUNDARY LINE TABLE -**

NO.	BEARING	DISTANCE
T1	S 44°14'02" E	14.29'
T2	S 43°37'37" E	14.03'

**- EASEMENT LINE TABLE -**

NO.	BEARING	DISTANCE
T3	N 88°38'05" E	77.62'
T4	N 00°17'40" W	195.24'
T5	N 88°33'02" E	87.88'
T6	N 89°08'12" E	180.33'
T7	N 00°10'00" W	25.00'
T8	S 89°08'12" W	180.44'
T9	S 88°38'05" W	130.23'
T10	N 01°21'50" E	10.00'
T11	N 88°38'05" E	105.00'
T12	N 01°21'50" W	45.00'
T13	S 88°38'05" W	125.50'
T14	S 01°21'50" E	55.00'
T15	S 88°38'05" W	15.00'
T16	S 88°38'05" W	30.00'
T17	N 01°21'50" W	5.00'
T18	N 88°38'05" E	10.00'
T19	N 01°21'50" W	15.00'
T20	N 88°38'05" E	20.00'
T21	S 01°21'50" E	15.00'
T22	N 88°38'05" E	15.00'
T23	S 01°21'50" E	5.00'

- NOTES**
- BEARINGS SHOWN UPON THE FINAL PLAT OF LOT 1A, BLOCK A/7451, OF DALLAS INTERNATIONAL SCHOOL ADDITION REVISOR, AN ADDITION TO THE CITY OF DALLAS, TEXAS, RECORDED IN VOLUME 2001117, PAGE 30 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, EAST EAST LINE BEARING NORTH 89°17'17" WEST.
  - LOT 10 LOT 10 EASEMENT IS NOT PERMITTED WITHOUT ENGINEERING SECTION APPROVAL.
  - 1/4" IRON ROD FOUND AT ALL LOT CORNERS UNLESS OTHERWISE NOTED.
  - ALL IRON RODS SET ARE 1/4" IRON RODS WITH CAPS STAMPED "PLS 1887".
  - 1/4" ALLEY EASEMENT ABANDONMENT IS EFFECTED BY AFFIDAVIT FILED UNDER INSTRUMENT NUMBER 2001000303, OPTICAL PUBLIC RECORDS DALLAS COUNTY, TEXAS, SHOW INSTRUMENT THAT THERE ARE NO PUBLIC OR PRIVATE UTILITIES LOCATED BY THE ABANDONED RIGHT-OF-WAY.
- OWNER:**  
CONGREGATION SHAARE TEFFILLA  
6131 CHURCHILL WAY  
DALLAS, TEXAS, 75230  
(214) 828-1227  
CONTACT: STEVEN P. ROSENBERG
- SURVEYOR:**  
BLUE SKY SURVEYING & MAPPING CORPORATION  
1915 REG. NO. 19105700  
1015 HAWKEYE ROAD  
DALLAS, TEXAS, 75228  
(214) 358-4500  
CONTACT: DAVID R. PETREK, R.P.L.S.
- ENGINEER:**  
BURGER ENGINEERING, LLC  
REGISTERED ENGINEERING FIRM F-12897  
17103 PRESTON ROAD, SUITE 180M  
DALLAS, TEXAS, 75248  
(972) 830-3360  
CONTACT: BRYAN M. BURGER, P.E.

**FINAL PLAT**  
OF  
**CONGREGATION SHAARE TEFFILLA NO. 2**  
**LOT 1A, BLOCK A/7451**

BEING A RE-PLAT OF  
LOT 1B, BLOCK 7452  
CONGREGATION SHAARE TEFFILLA  
AND  
LOT 1, BLOCK A/7451  
LYNCH ADDITION NUMBER 1  
2.0523 AC. OUT OF THE  
THOMAS DYKES SURVEY, ABSTRACT NO. 405  
CITY OF DALLAS, DALLAS COUNTY, TEXAS



CITY PLAN FILE NO. 5156-119  
FILE NUMBER 3117-9431

SHEET 1 OF 2  
JULY, 2018

**BOA23A-004**



STATE OF TEXAS  
COUNTY OF DALLAS

OWNER'S CERTIFICATE

WHEREAS, CONGREGATION SHAARE TEFILLA, A TEXAS NON-PROFIT CORPORATION, IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE THOMAS DYKES SURVEY, ABSTRACT NO. 405, SITUATED IN THE CITY OF DALLAS, DALLAS COUNTY, TEXAS AND BEING ALL OF LOT 1 OF BLOCK A/7451 OF LYNCH ADDITION NO. 1, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 44, PAGE 55 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS, BEING ALL OF LOT 1B OF BLOCK 7452 OF CONGREGATION SHAARE TEFILLA, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8700B, PAGE 3404 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, BEING A PORTION OF A 15 FOOT ALLEY RIGHT-OF-WAY RECORDED IN VOLUME 44, PAGE 55 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS AND ABANDONED BY CITY OF DALLAS ORDINANCE NO. 20550 RECORDED IN INSTRUMENT NUMBER 20170202845 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS, BEING THE SAME TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO CONGREGATION SHAARE TEFILLA, A TEXAS NON-PROFIT CORPORATION AND RECORDED IN VOLUME 84000, PAGE 3041 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, BEING THE SAME TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO SHAARE TEFILLA CONGREGATION, A TEXAS NON-PROFIT CORPORATION (NAME CHANGED TO CONGREGATION SHAARE TEFILLA, A TEXAS NON-PROFIT CORPORATION BY INSTRUMENT NUMBER 20160043262 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS) AND RECORDED IN VOLUME 87250, PAGE 3741 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD FOUND FOR CORNER AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CHURCHILL WAY (55' WIDTH RIGHT-OF-WAY AT THIS POINT) AND THE WEST RIGHT-OF-WAY LINE OF WHITLEY LANE (60' RIGHT-OF-WAY), SAID POINT BEING THE SOUTHEAST CORNER OF SAID LOT 1B;

THENCE SOUTH 88° 38' 00" WEST AND FOLLOWING ALONG THE NORTH RIGHT-OF-WAY LINE OF CHURCHILL WAY AND THE SOUTH LINE OF SAID LOT 1B AND PASSING AT A DISTANCE OF 180.24 FEET THE COMMON CORNER OF SAID LOT 1B AND LOT 1 AND CONTINUING ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID CHURCHILL WAY AND THE SOUTH LINE OF SAID LOT 1 FOR A TOTAL DISTANCE OF 287.85 FEET TO A 5/8" IRON ROD SET WITH 3-1/4" ALUMINUM DISK STAMPED "79PLS 18907" "CS12" FOR THE SOUTHWEST CORNER OF SAID LOT 1, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 2A OF BLOCK A/7451 OF DALLAS INTERIOR REVEAL, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2001117 PAGE 30 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS.

THENCE NORTH 60° 17' 41" WEST AND DEPARTING THE NORTH RIGHT-OF-WAY LINE OF SAID CHURCHILL WAY AND ALONG THE COMMON LINE OF SAID LOT 1 AND LOT 2A, FOR A DISTANCE OF 200.25 FEET TO A 5/8" IRON ROD SET WITH 3-1/4" ALUMINUM DISK STAMPED "79PLS 18907" "CS12" FOR CORNER, SAID POINT BEING IN THE SOUTH LINE OF THE SAID 15 FOOT ALLEY (ABANDONED);

THENCE NORTH 01° 45' 40" EAST AND ALONG THE COMMON LINE OF SAID LOT 2A AND SAID 15 FOOT ALLEY (ABANDONED), FOR A DISTANCE OF 7.51 FEET TO A 5/8" IRON ROD SET WITH 3-1/4" ALUMINUM DISK STAMPED "79PLS 18907" "CS12" FOR CORNER;

THENCE NORTH 86° 53' 02" EAST AND ALONG THE CENTERLINE OF SAID 15 FOOT ALLEY (ABANDONED), FOR A DISTANCE OF 87.50 FEET TO A 5/8" IRON ROD SET WITH 3-1/4" ALUMINUM DISK STAMPED "79PLS 18907" "CS12" FOR CORNER AND BEING IN THE WEST LINE OF AFORESAID LOT 1B;

THENCE NORTH 60° 13' 36" WEST AND PASSING AT A DISTANCE OF 7.50 FEET THE EASTERLY CORNER OF SAID LOT 2A AND ALONG THE COMMON LINE OF SAID LOT 1B AND LOT 2A FOR A TOTAL DISTANCE OF 187.07 FEET TO A 1/2" IRON ROD FOUND FOR THE COMMON CORNER OF SAID LOT 1B AND LOT 2A, SAID POINT BEING IN THE SOUTH RIGHT-OF-WAY LINE OF TURNER WAY (55' WIDTH RIGHT-OF-WAY AT THIS POINT);

THENCE NORTH 86° 54' 47" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID TURNER WAY AND THE NORTH LINE OF SAID LOT 1B FOR A DISTANCE OF 190.83 FEET TO A 1/2" IRON PIPE FOUND FOR CORNER AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF TURNER WAY AND THE WEST RIGHT-OF-WAY LINE OF AFORESAID WHITLEY LANE, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1B;

THENCE SOUTH 07° 10' 00" EAST AND FOLLOWING ALONG THE WEST RIGHT-OF-WAY LINE OF AFORESAID WHITLEY LANE AND THE EAST LINE OF SAID LOT 1B FOR A DISTANCE OF 384.07 FEET TO THE POINT OF BEGINNING AND CONTAINING 89,366 SQUARE FEET OR 2.0523 ACRES OF LAND, MORE OR LESS.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, CONGREGATION SHAARE TEFILLA, A TEXAS NON-PROFIT CORPORATION, ACTING BY AND THROUGH ITS DULY AUTHORIZED AGENT, DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE HEREIN DESCRIBED PROPERTY AS CONGREGATION SHAARE TEFILLA NO. 2, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, AND DO HEREBY DEDICATE, IN FEEL SIMPLE, TO THE PUBLIC USE FOREVER ANY STREETS, ALLEYS, AND FLOODWAY MANAGEMENT AREAS SHOWN THEREON, THE EASEMENTS SHOWN THEREON ARE HEREBY RESERVED FOR THE PURPOSES INDICATED. THE UTILITY AND FINE LINE EASEMENTS SHALL BE OPEN TO THE PUBLIC, FIRE AND POLICE UNITS, GARBAGE AND RUBBISH COLLECTION AGENCIES, AND ALL PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE CURB-AND-FIRE-LINE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. HOUSING, FENCES, TREES, SHRUBS, OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN. SAID EASEMENTS BEING HEREBY RESERVED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE SAME. ALL AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND REEP REMOVED ALL OR PARTS OF ANY BUILDING, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH IN ANY WAY MAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EXTENSION OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS, AND ALL PUBLIC UTILITIES SHALL, AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PRODUCING THE PERMISSION OF ANYONE. (ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE OR SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY).

NOTWITHSTANDING THE GENERAL EASEMENT LANGUAGE RECITED ABOVE, THE DETENTION AREA EASEMENT SHOWN ON THIS PLAT IS HEREBY DEDICATED TO THE PUBLIC, AND MAY NOT BE USED IN A MANNER INCONSISTENT WITH THE DETENTION AREA EASEMENT STATEMENT RECITED ON THIS PLAT, WHICH STATEMENT IS HEREBY ADOPTED AND ACCEPTED.

WATER MAIN AND WASTEWATER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE OR CONTINUANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICES AND WASTEWATER SERVICES FROM THE MAIN TO THE CURB OR PAVEMENT LINE, AND DESCRIPTION OF SUCH ADDITIONAL EASEMENTS HEREBY GRANTED, SHALL BE DETERMINED BY THEIR LOCATION AS INSTALLED.

THIS PLAT APPROVED SUBJECT TO ALL PLATING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF DALLAS.

WITNESS, my hand at Dallas, Texas, this the 1<sup>st</sup> day of August, 2018.

CONGREGATION SHAARE TEFILLA  
A TEXAS NON-PROFIT CORPORATION

BY: [Signature]  
NAME: BEFREY R. FINE  
TITLE: VP. Legal

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED [Signature], KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 1<sup>st</sup> DAY OF August, 2018.

[Signature] My Commission Expires June 24, 2019  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



SURVEYOR'S CERTIFICATION

I, DAVID R. PETREE, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLES WITH THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; THE CITY OF DALLAS DEVELOPMENT CODE (ORDINANCE NO. 19455, AS AMENDED), AND TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212; I FURTHER AFFIRM THAT MONUMENTATION SHOWN HEREON WAS EITHER FOUND OR PLACED IN COMPLIANCE WITH THE CITY OF DALLAS DEVELOPMENT CODE, SEC. 21A-8.017 (A)(B)(C)(D) & (E), AND THAT THE DIGITAL DRAWING FILE ACCOMPANYING THIS PLAT IS A PRECISE REPRESENTATION OF THIS SIGNED FINAL PLAT.

DATED THIS THE 1<sup>st</sup> DAY OF August, 2018.



[Signature]  
DAVID R. PETREE, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1880

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID R. PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS 1<sup>st</sup> DAY OF August, 2018.

[Signature] My Commission Expires July 13, 2022  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



OWNER:  
CONGREGATION SHAARE TEFILLA  
8131 CHURCHILL WAY  
DALLAS, TEXAS, 75230  
(214) 833-1323  
CONTACT: STEVEN P. ROSENBERGO

SURVEYOR:  
BLUE SKY SURVEYING & MAPPING, CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS, 75228  
(214) 358-4500  
CONTACT: DAVID R. PETREE, R.P.L.S.

ENGINEER:  
BURGER ENGINEERING, LLC  
17103 PRESTON ROAD, SUITE 180H  
DALLAS, TEXAS, 75248  
(972) 630-3360  
CONTACT: BITAN H. BURGER, P.E.

DETENTION AREA EASEMENT STATEMENT

THE PROPOSED DETENTION AREA (S) ALONG BLOCK A/7451 WITHIN THE LIMITS OF THIS ADDITION, WILL REMAIN AS DETENTION AREAS TO THE LINE AND GRADE SHOWN ON THE PLANS AT ALL TIMES AND WILL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DETENTION AREAS IN BLOCK A/7451. THE CITY OF DALLAS WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID DETENTION AREAS OR FOR ANY DAMAGE BY HEAVY TRAFFIC TO PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG, INTO OR OUT OF SAID DETENTION AREAS, OR FOR THE CONTROL OF EROSION.

NO OBSTRUCTION TO THE NATURAL FLOW OF STORM WATER RUN-OFF SHALL BE PERMITTED BY FILING OR BY CONSTRUCTION OF ANY TYPE OF DAM, BUILDING, FENCE, FENCE, WALL OR ANY OTHER STRUCTURE WITHIN THE DESIGNATED DETENTION AREAS, AS HEREAFTER DEFINED IN BLOCK A/7451, UNLESS APPROVED BY THE CITY ENGINEER OF SUSTAINABLE DEVELOPMENT AND CONSTRUCTION. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY OF DALLAS TO ERECT ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE THAT MAY BE OCCUPIED BY THE STREETS AND ALLEYS IN OR ADJACENT TO THE SUBDIVISIONS, THEN IN SUCH AN EVENT, THE CITY OF DALLAS SHALL HAVE THE RIGHT TO ENTER UPON THE DETENTION AREAS AT ANY POINT, OR POINTS TO ERECT, CONSTRUCT AND MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP CLEAR AND FREE OF DEBRIS, BUT ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS AND THE CITY OF DALLAS SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION OF MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS, WHICH MAY OCCUR.

THE DETENTION AREA IN BLOCK A/7451, AS IS THE CASE OF ALL DETENTION AREAS, IS SUBJECT TO STORM WATER OVERFLOW TO AN EXTENT, WHICH CANNOT BE CLEARLY DEFINED. THE CITY OF DALLAS SHALL NOT BE HELD LIABLE FOR ANY DAMAGE OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES WITHIN THE DETENTION AREAS OR THE SUBDIVISION STORM DRAINAGE SYSTEM.

THE DETENTION AREAS SERVING THE PLAT ARE SHOWN BY THE DETENTION AREA EASEMENT LINE AS SHOWN ON THE PLAT.

FINAL PLAT  
OF  
CONGREGATION SHAARE TEFILLA, NO. 2  
LOT 1A, BLOCK A/7451

BEING A RE-PLAT-OF  
LOT 1B, BLOCK 7452  
CONGREGATION SHAARE TEFILLA

AND  
LOT 1, BLOCK A/7451  
LYNCH ADDITION NUMBER 1  
2.0523 AC. OUT OF THE  
THOMAS DYKES SURVEY, ABSTRACT NO. 405  
CITY OF DALLAS, DALLAS COUNTY, TEXAS

CITY PLAN FILE NO. 5158-119  
FILE NUMBER 3117-8431

SHEET 2 OF 2  
JULY, 2018



Public Information  
Dallas County Courthouse  
Dallas, Texas 75202  
512-751-1000  
www.co.da.tx.us



20-00000000

**CERTIFICATE OF APPROVAL**

I, Gladys Terrell, Chairperson of the City Plan Commission of the City of Dallas, State of Texas, hereby certify that the attached plat was duly filed for approval with the City Plan Commission of the City of Dallas on the 11 day of October, A.D. 2014, and that same was duly approved on the 11 day of October, A.D. 2014.

by said Commission: [Signature]  
Chairperson  
City Plan Commission  
Dallas, Texas

Attest:  
[Signature]  
Secretary

5166-419  
ORIGINAL

