



CITY OF DALLAS
LANDMARK COMMISSION
Monday, August 3, 2015
AGENDA

BRIEFING:	Dallas City Hall 1500 Marilla St., Room 5/E/S	10:30 A.M.
PUBLIC HEARING:	Dallas City Hall 1500 Marilla St., Council Chambers, 6 th floor	1:00 P.M.

David Cossum, Director
Mark Doty, Sr. Planner Historic Preservation
Jennifer Anderson, Senior Planner
Marsha Prior, Planner

BRIEFING ITEM

*The Landmark Commission may be briefed on any item on the agenda if it becomes necessary.

1. Work session regarding history of court ordered demolitions under Dallas Development Code § 51A-4.501(i) and the process for getting to Landmark Commission.

CONSENT ITEMS

1. 4403 WORTH ST

Peak's Suburban Historic District
CE145-008(MD)
Mark Doty

Request:

A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

Applicant: Don and Elizabeth Yarbrough

Application Filed: February 3, 2015

Staff Recommendation:

Approval of the Certificate of Eligibility.

2. 202 S EDGEFIELD AVE

Winnetka Heights Historic District
CE145-009(MD)
Mark Doty

Request:

A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

Applicant: SAE Holdings, LLC

Application Filed: February 3, 2015

Staff Recommendation:

Approval of the Certificate of Eligibility.

3. 3535 GRAND AVE

Fair Park Historic District
CA145-531(MD)
Mark Doty

Request:

Replace non-historic railing on west facade of Museum of Nature and Science.

Applicant: Good, Fulton & Farrell, Inc.

Application Filed: July 2, 2015

Replace non-historic railing on west facade of Museum of Nature and Science. Approve - Approve drawings dated 7/15/15 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Replace non-historic railing on west facade of Museum of Nature and Science. Approve.

4. 6116 REIGER AVE

J.L. Long Middle School
CA145-507(MD)
Mark Doty

Request:

Install six temporary classroom portable buildings.

Applicant: Dallas Independent School District - Jermauld Cobbs

Application Filed: July 2, 2015

Staff Recommendation:

Install six temporary classroom portable buildings. Approve - Approve drawings dated 7/15/15 with the finding the proposed work is consistent with the criteria for new construction and additions in the preservation criteria Section 10.10, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Install six temporary classroom portable buildings. Approve as submitted.

5. 703 N GLASGOW DR

Junius Heights Historic District
CA145-532(MP)
Marsha Prior

Request:

1. Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard.
2. Revise window schedule on east elevation on previously approved drawings to construct detached garage.
3. Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold."

Applicant: Shannon Green

Application Filed: July 2, 2015

Staff Recommendation:

1. Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard. Approve - Approve revised window schedule per drawings dated 7/15/2015 with finding the work is consistent with preservation criteria Section 5.3 for fenestration and openings and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Revise window schedule on east elevation on previously approved drawings to construct detached garage. Approve - Approve revised window schedule per drawings dated 7/15/2015 with finding the work is consistent with preservation criteria Section 9 for accessory structures and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

3. Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold. Approve - Approve paint specifications dated 07/15/2015 with the finding the proposed work is consistent with preservation criteria Section 4.8 for paint colors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

1. Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard. No quorum, recommendations only. Approve amendments to the windows as shown.
2. Revise window schedule on east elevation on previously approved drawings to construct detached garage. No quorum, recommendations only. Approve amendments to windows as shown.
3. Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold. No quorum, recommendations only. Approve color of door (yellow). Original door is being used, but paint can't be removed. Since there is no overhang, the door is subject to weathering.

6. 5818 WORTH ST

Junius Heights Historic District
CD145-011(JKA)
Jennifer Anderson

Request:

Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

Applicant: City Attorney's Office

Application Filed: December 5, 2014

Staff Recommendation:

Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). Staff recommends a continuing suspension period as outlined in 51A-4.501(i)(8)(A)(iii).

Task Force Recommendation:

Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). The Task Force does not review the application again once it enters into a suspension period.)

Continuing suspension period

7. 6115 WORTH ST

Junius Heights Historic District
CA145-524(MP)
Marsha Prior

Request:

Construct one-story detached garage.

Applicant: Jeff Van Buskirk

Application Filed: July 2, 2015

Staff Recommendation:

Construct one-story detached garage. Approve - Approve plans dated 07/15/2015 with the finding the work is consistent with preservation criteria Section 9 for accessory structures and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

8. 1607 LYTE ST

Magnolia Station Historic District
CA145-512(MD)
Mark Doty

Task Force Recommendation:

Construct one-story detached garage. No quorum, recommendations only: Approve plans as shown.

Request:

Construct six-story multi-family apartment structure.

Applicant: Masterplan Consultants - Karl Crawley

Application Filed: July 2, 2015

Staff Recommendation:

Construct six-story multi-family apartment structure. Approve - Approve drawings dated 7/15/15 with the finding the proposed work is consistent with the criteria for new construction and additions in the preservation criteria Section 5, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Construct six-story multi-family apartment structure. Approve with conditions - Approve design as submitted with conditions: Submit a building height study. Submit a set of outline specifications with plans.

9. 5528 JUNIUS ST

Junius Heights Historic District
CA145-527(MP)
Marsha Prior

Request:

1. Construct detached garage and paint, Brand: Sherwin Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber"
2. Replace front door of main structure with Craftsman style door.

Applicant: Guadalupe Medelin

Application Filed: July 2, 2015

Staff Recommendation:

1. Construct detached garage and paint, Brand: Sherwin Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber". Approve with conditions – Approve plans and specifications dated 07/15/2015 with condition that roof pitch match the main structure, trim board be 5 inches wide, lap siding to have 3 to 4 inches lap, and overhang to match the house with the finding the proposed work is consistent with preservation criteria Section 9 for accessory structures and meets the criteria for City Code Section 51A-4.501(g)(6)(C)(i).
2. Replace front door of main structure with Craftsman style door. Approve with conditions – Approve plans dated 07/10/2015 with condition that door have three narrow windows and shelf on top portion with the finding that plans are consistent with preservation criteria Section 5.2 for openings and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

1. Construct detached garage and paint, Brand: Sherwin

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Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber". No quorum, recommendations only: Recommend roof pitch the same as house, trim board to be 5" wide, lap siding to have 3 inches to 4 inches lap, overhang to match house.

2. Replace front door of main structure with Craftsman style door. No quorum, recommendations only: Recommend a door with more craftsman features and taller windows.

10. 2608 HIBERNIA ST

State Thomas Historic District
CA145-520(JKA)
Jennifer Anderson

Request:

Amend window configuration for previously approved addition in rear of the main structure.

Applicant: Eric Marye

Application Filed: July 2, 2015

Staff Recommendation:

Amend window configuration for previously approved addition in rear of the main structure. Approve - Approve plans submitted 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-225.109(a)(2) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Amend window configuration for previously approved addition in rear of the main structure. No quorum, comments only. Supportive of windows as submitted since the window number, which has been reduced from the original plans, was required by Building Inspection. The windows must be the same size, materials and details as the previously approved wood windows. The cardinal directions on the plans are not consistent with the application.

11. 6020 BRYAN PKWY

Swiss Avenue Historic District
CA145-521(JKA)
Jennifer Anderson

Request:

Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White."

Applicant: Tiana Boyea

Application Filed: July 2, 2015

Staff Recommendation:

Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White." Approve - Approve paint specifications dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(H) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White." Approve - Approve as submitted with suggestion that the

12. 5112 SWISS AVE

Swiss Avenue Historic District
CA145-530(JKA)
Jennifer Anderson

applicant consider a less pure white.

Request:

1. Install wood window on west elevation of main structure.
2. Approve door and window location for proposed addition in rear of the main structure.
3. Construct porch on proposed rear addition of the main structure.

Applicant: Halee Belz

Application Filed: July 2, 2015

Staff Recommendation:

1. Install wood window on west elevation of main structure. Approve - Approve plans and photo dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(P)(vi) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Approve door and window location for proposed addition in rear of the main structure. Approve - Approve plans dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Construct porch on proposed rear addition of the main structure. Approve - Approve plans dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

1. Install wood window on west elevation of main structure. Approve.
2. Approve door and window location for proposed addition in rear of the main structure. Approve.
3. Construct porch on proposed rear addition of the main structure. Approve.

13. 5500 SWISS AVE

Swiss Avenue Historic District
CA145-515(JKA)
Jennifer Anderson

Request:

1. Install 8' board on board wood fence.
2. Install Nellie R. Stevens hollies in rear of the main structure.
3. Repair cracks and stabilize brick wall.

Applicant: Dallas County Medical Society Alliance

Application Filed: July 2, 2015

Staff Recommendation:

1. Install 8' board on board wood fence. Approve - Approve site plan and photograph dated 7-14-15 with the condition that the design of the new fence matches the design of the existing fence. The proposed work is consistent with preservation criteria Section 51P-

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63.116(2)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

2. Install Nellie R. Stevens hollies in rear of the main structure. Approve - Approve site plan with the finding that the work is consistent with preservation criteria Section 51P-63.116(2)(A) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Repair cracks and stabilize brick wall. Approve with conditions - Approve proposed work with the conditions that the mortar used matches the existing mortar, that the existing brick is reused, and that the wall's height and footprint are not altered. The proposed work is consistent with preservation criteria Section 51P-63.116(2)(B) and meets the standards in City Code Section 51A-4.501(g)(5)(B)(xiv).

Task Force Recommendation:

1. Install 8' board on board wood fence. Approve.
2. Install Nellie R. Stevens hollies in rear of the main structure. Approve.
3. Repair cracks and stabilize brick wall. Approve.

Request:

1. Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'. Porch floor - SW 2832 'Col Gray'.
2. Install composition shingle roof to match in material. Color - 'Charcoal'.
3. Install wood, multi-light-over-multi-light windows.
4. Repair/replace front porch railings.

Applicant: Marquette Stevenson

Application Filed: July 2, 2015

Staff Recommendation:

1. Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'. Porch floor - SW 2832 'Col Gray'. Approve - Approve paint specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for colors, finishes, and cleaning in the preservation criteria Sections 2.7 and 2.8, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
2. Install composition shingle roof to match in material. Color - 'Charcoal'. Approve - Approve roof specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roofs in the preservation criteria Sections 2.18 and 2.19, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
3. Install wood, multi-light-over-multi-light windows. Approve - Approve window specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for colors, finishes, and cleaning in the

14. 1124 E 11TH ST

Tenth Street Historic District
CA145-502(MD)
Mark Doty

preservation criteria Section 2.11, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

4. Repair/replace front porch railings. Approve - Approve proposed work with the finding the proposed work is consistent with the criteria for porches and balconies in the preservation criteria Section 2.22, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

1. Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'. Porch floor - SW 2832 'Col Gray'. Approve.
2. Install composition shingle roof to match in material. Color - 'Charcoal'. Approve - Define roof color.
3. Install wood, multi-light-over-multi-light windows. Approve.
4. Repair/replace front porch railings. Approve - Remove arch at porch railing while working.

15. 1216 E 8TH ST

Tenth Street Historic District
CA145-503(MD)
Mark Doty

Request:

Install two sections of sidewalk at Harlee Elementary.

Applicant: Masterplan Consultants - Karl Crawley

Application Filed: July 2, 2015

Staff Recommendation:

Install two sections of sidewalk at Harlee Elementary. Approve – Approve site plans dated 7/15/15 with the finding the proposed work is consistent with the criteria for site and site elements in the preservation criteria Section 1.3, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install two sections of sidewalk at Harlee Elementary – Approve

16. 1777 N RECORD ST

West End Historic District
CA145-508(MD)
Mark Doty

Request:

Install accent lighting on five-story residential building.

Applicant: Fairfield at Ross LLC - Ted Bradford

Application Filed: July 2, 2015

Staff Recommendation:

Install accent lighting on five-story residential building. Approve – Approve drawings and specifications dated 7/15/15 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Install accent lighting on five-story residential building. Approve with conditions - Approve lighting fixture locations but use warm white color illumination.

17. 201 N MONTCLAIR AVE

Winnetka Heights Historic District
CD145-027(MD)
Mark Doty

Request:

Demolish accessory structure using standard 'imminent threat to public health and safety'.

Applicant: Kevin Maher

Application Filed: July 2, 2015

Staff Recommendation:

Demolish accessory structure using standard 'imminent threat to public health and safety'. Approve – The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(C). The structure constitutes a documented major and imminent threat to public health and safety; the demolition or removal is required to alleviate the threat to public health and safety; and there is no reasonable way, other than demolition or removal, to eliminate the threat in a timely manner.

Task Force Recommendation:

Demolish accessory structure using standard 'imminent threat to public health and safety'.

18. 306 S ROSEMONT AVE

Winnetka Heights Historic District
CA145-509(MD)
Mark Doty

Request:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 ' Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'.

Applicant: Steven Wilson

Application Filed: July 2, 2015

Staff Recommendation:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 ' Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'. Approve – Approve paint specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 ' Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'. No quorum. Comments only. We support the paint colors.

19. 105 S WILLOMET AVE

Winnetka Heights Historic District
CA145-523(MD)
Mark Doty

Request:

1. Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'.
2. Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'.
3. Remove existing ribbon driveway and Install solid driveway.

Applicant: Gary Garmon

Application Filed: July 2, 2015

Staff Recommendation:

1. Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'. Approve – Approve paint specifications dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'. Approve - Approve shingle specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roof colors in the preservation criteria Sections 51P-87.111(a)(8)(E) and 51P-87.111(a)(14)(B), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Remove existing ribbon driveway and Install solid driveway. Approve – Approve site plan dated 7/15/15 with the finding of fact the proposed work is consistent with the criteria for sidewalks, driveways, and curbing in the preservation criteria Section 51P-87.111(b)(9)(A)(iii), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

1. Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'. No quorum. Comments only. We support application as submitted.
2. Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'. No quorum. Comments only. We support application as submitted.
3. Remove existing ribbon driveway and Install solid driveway. No quorum. Comments only. We support application as submitted.

20. 225 S WINDOMERE AVE

Winnetka Heights Historic District
CA145-510(MD)
Mark Doty

Request:

Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'.

Applicant: Russ Aikman

Application Filed: July 2, 2015

Staff Recommendation:

Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'. Approve - Approve shingle specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roof colors in the preservation criteria Sections 51P-87.111(a)(8)(E) and 51P-87.111(a)(14)(B), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

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Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'. No quorum. Comments only. We support as submitted.

21. 411 S WINNETKA AVE

Winnetka Heights Historic District
CA145-511(MD)
Mark Doty

Request:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'.

Applicant: Larry and Jamie Oliver

Application Filed: July 2, 2015

Staff Recommendation:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'. Approve - Approve both paint specification options dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'. No quorum. Comments only. We support application as submitted.

DISCUSSION ITEMS:

1. 611 N GLASGOW DR

Junius Heights Historic District
CA145-525(MP)
Marsha Prior

Request:

1. Remove roof and add second story addition.
2. Remove vinyl window on east elevation and replace with wood, three-over-one window.
3. Remove all Hardie board siding and install pine wood siding to original structure and proposed addition.
4. Demolish and re-build rear addition that was burned in fire.
5. Replace existing front door with Craftsman-style door.
6. Install wood three-over-one windows on all elevations of second-story addition.
7. Remove front fence (both wood and chain link portions), supporting brick column, and gates.
8. Remove door on rear elevation and install two French wood hinged patio doors.
9. Install French wood hinged patio doors on east side elevation.
10. Extend front elevation of house to be flush with current

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front door/entryway projection.

11. Remove window on lower story, front elevation and install three wood, three-over-one windows.

Applicant: Vince Leibowitz

Application Filed: July 2, 2015

Staff Recommendation:

1. Remove roof and add second story addition. Approve with conditions - Approve plans dated 07/15/2015 with condition that a horizontal wood band be installed at the juncture between the original first story and new second story to distinguish between the original and the new second story addition, and that new roof use Owens Corning 3-tab shingles in Estate Gray with the finding the proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), 8.4, and 8.14 for additions, Section 6.2 for roofs, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
2. Remove vinyl window on east elevation and replace with wood, three-over-one window. Approve - Approve specifications dated 07/15/2015 with the finding the proposed work is consistent with preservation criteria Section 5.2 for replacing non-historic windows and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
3. Remove all Hardie board siding and install pine wood siding to original structure and proposed addition. Approve - Approve specifications dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Section 4.1(b) Section for restoring historic integrity of facades and meets the standards of City Code Section 51A-4.501(g)(6)(C)(ii).
4. Demolish and re-build rear addition that was burned in fire. Approve with conditions - Approve plans dated 7/15/2015 with condition that existing footprint remain the same and wood siding replace the existing Hardie board and match new wood siding with the finding the proposed work is consistent with preservation criteria Sections 4.3 and 4.10 for wood siding and restoration, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
5. Replace existing front door with Craftsman-style door. Approve with conditions - Approve specifications dated 07/15/2015 with condition that door has no sidelights with the finding the proposed work meets preservation criteria Section 5.2 to replace non-historic doors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
6. Install wood three-over-one windows on all elevations of second-story addition. Approve – Approve drawings and specifications dated 07/15/2015 with finding that

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proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), and 8.5 for additions, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

7. Remove front fence (both wood and chain link portions), supporting brick column, and gates. Approve – Approve proposed work with the finding the work is consistent with preservation criteria Section 3.6 for fences and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
8. Remove door on rear elevation and install two French wood hinged patio doors. Approve – Approve drawings and specifications dated 07/15/2015 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
9. Install French wood hinged patio doors on east side elevation. Approve - Approve drawings and specifications dated 07/15/2015 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
10. Extend front elevation of house to be flush with current front door/entryway projection. Approve - Approve drawings dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), and 8.5 for additions and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
11. Remove window on lower story, front elevation and install three wood, three-over-one windows. Approve – Approve specifications dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Section 5.2 for replacing non-historic windows and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

1. Remove roof and add second story addition. No quorum, recommendations only: Remove the balcony, correct the proportions, add craftsman details, add measurements; suggested parking on alley side; remove fence from front yard.
2. Remove vinyl window on east elevation and replace with wood, three-over-one window. No quorum, no recommendations.
3. Remove all Hardie board siding and install pine wood siding to original structure and proposed addition. No quorum, no recommendations.
4. Demolish and re-build rear addition that was burned in fire. No quorum, no recommendations.
5. Replace existing front door with Craftsman-style door. No quorum, no recommendations.
6. Install wood three-over-one windows on all elevations of

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second-story addition. No quorum, no recommendations.

7. Remove front fence (both wood and chain link portions), supporting brick column, and gates. No quorum, no recommendations.
8. Remove door on rear elevation and install two French wood hinged patio doors. No quorum, no recommendations.
9. Install French wood hinged patio doors on east side elevation. No quorum, no recommendations.
10. Extend front elevation of house to be flush with current front door/entryway projection. No quorum, no recommendations.
11. Remove window on lower story, front elevation and install three wood, three-over-one windows. No quorum, no recommendations.

2. 5821 TREMONT ST

Junius Heights Historic District
CA145-526(MP)
Marsha Prior

Request:

Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness.

Applicant: Kathleen Eustace

Application Filed: July 2, 2015

Staff Recommendation:

Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness. Deny without prejudice - The partially completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the removal of previous skirting is inconsistent with preservation criteria Section 4.1(b) that states that repair of protected facades must employ materials similar to the historic materials in texture, color, pattern, grain, and module size, and because it is inconsistent with preservation criteria Section 4.5 that states historic materials must be repaired if possible and replaced only when necessary.

Task Force Recommendation:

Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness. No quorum, recommendations only: Bottom two courses to be Hardie board smooth side out, drip board to be installed, remainder to be [wood] lap siding.

3. 5010 JUNIUS ST

Munger Place Historic District
CA145-533(JKA)
Jennifer Anderson

Request:

1. Construct addition in rear of the main structure.
2. Install wood columns on front of main structure.
3. Install railing on front second floor balcony of main structure.
4. Remove exterior door on rear of main structure and

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- replace with interior door.
- 5. Stain front door on main structure.
- 6. Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff."
- 7. Install 6' cedar fence.
- 8. Install landscaping in front of the main structure.

Applicant: Kyle Phillips

Application Filed: July 2, 2015

Staff Recommendation:

- 1. Construct addition in rear of the main structure. Approve – Approve plans dated 7-14-15 with the finding that the proposed work is consistent with preservation criteria Section 51P-97.111(c)(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2. Install wood columns on front of main structure. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(J)(iii) stating that columns must be typical of the style and period of the main building and the district.
- 3. Install railing on front second floor balcony of main structure. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(N) stating that railings on front entrances and porches must be typical of the style and period of the main building.
- 4. Remove exterior door on rear of main structure and replace with interior door. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(C) stating that materials and decorative elements must be typical of the style and period of the main building and inconsistent with City Code Section 51A-4.501(e)(4)(B) stating that the removal of distinctive materials that characterize a property will be avoided.
- 5. Stain front door on main structure. Approve - The proposed work is consistent with preservation criteria Section 51P-97.111(c)(1)(I)(vi) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 6. Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff." Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i)

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because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(I)(dd) stating that complimenting color schemes are encouraged throughout the blockface.

7. Install 6' cedar fence. Approve - Approve specifications and fence location on site plan dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-97.111(c)(2)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
8. Install landscaping in front of the main structure. Approve - Approve landscaping design detailed on site plan dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-97.111(c)(2)(C) and 51P-97.111(c)(2)(E) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

1. Construct addition in rear of the main structure. Deny without prejudice - Provide plans, unclear where addition is proposed. Railing on second floor balcony does not appear appropriate to style of the house.
2. Install wood columns on front of main structure. Deny without prejudice - Wood columns not consistent with style of existing porch roof. Suggest referring to 4928 Junius for similar porch/entry style or alternate roof support to match existing roof style.
3. Install railing on front second floor balcony of main structure. Deny without prejudice - Railing does not appear appropriate.
4. Remove exterior door on rear of main structure and replace with interior door. Deny without prejudice - Insufficient information, provide elevation and details.
5. Stain front door on main structure. Deny without prejudice - May be acceptable but insufficient material provided for review.
6. Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff." Deny without prejudice - May be acceptable but insufficient material provided for review.
7. Install 6' cedar fence. Deny without prejudice - May be acceptable but insufficient material provided for review. Landscaping details not submitted for review.
8. Install landscaping in front of the main structure. Landscape not submitted for review.

4. 4942 REIGER AVE

Munger Place Historic District
CA145-516(JKA)
Jennifer Anderson

Request:

1. Construct 1678 sq. ft. single family home.
2. Construct 510 sq. ft. accessory structure.
3. Install 6' board on board wood fence.

4. Install 6' wrought iron gate.

Applicant: Marena Homes

Application Filed: July 2, 2015

Staff Recommendation:

1. Construct 1678 sq. ft. single family home. Approve with conditions - Approve plans dated 7-14-15 with condition that the brick is modular size only, King size brick not approved. The work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
2. Construct 510 sq. ft. accessory structure. Approve - Approve plans dated 7-14-15 with the finding that the proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
3. Install 6' board on board wood fence. Approve with conditions - Approve plans and specifications with the condition that the fence is located in the rear 50 percent of the side yard. The proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
4. Install 6' wrought iron gate. Approve - Approve plans and specifications dated 7-14-15 with the finding that the proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

1. Construct 1678 sq. ft. single family home. Deny without prejudice - Color as submitted. Submit brick color/style and window specifications per Exhibit K. Windows to be added to side elevations. Applicant to verify egress with Building Inspection. Review spacing between double windows. Column proportions to be revised per Exhibit H, no exception to brick/wood column configuration. Review overhang to comply with Section 16(B), roof slope, and pitch per 16(E). Space above 2nd floor window head appears taller than typical for houses in Munger Place, recommend adding 1x12 fascia below overhang.
2. Construct 510 sq. ft. accessory structure. Deny without prejudice - No comment provided.
3. Install 6' board on board wood fence. Deny without prejudice - Fence to conform to Exhibit M.
4. Install 6' wrought iron gate. Deny without prejudice - No comment provided.

5. 1108 E 9TH ST

Tenth Street Historic District

CA145-501(MD)

Mark Doty

Request:

Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness.

Applicant: Rebuilding Together Greater Dallas

6. 220 N CLIFF ST

Tenth Street Neighborhood Historic District
CA145-504(MD)
Mark Doty

Application Filed: July 2, 2015

Staff Recommendation:

Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness. Deny - The existing playground is not allowed per Dallas Development Code.

Task Force Recommendation:

Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness. Approve - Provide safety warranty to church for records.

Request:

Remove two bathroom windows due to glass safety concerns.

Applicant: 2000 Roses CDC

Application Filed: July 2, 2015

Staff Recommendation:

Remove two bathroom windows due to glass safety concerns. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria that state original door and windows and their openings must remain intact and be preserved. Preservation criteria Section 2.11.

Task Force Recommendation:

Remove two bathroom windows due to glass safety concerns. Deny without prejudice - Find out what code issue may be? Ventilation for bath is desirable. Harris recused.

7. 2850 METROPOLITAN AVE

Wheatley Place Historic District
CD145-026(MD)
Mark Doty

Request:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

Applicant: Naopatra Edwards

Application Filed: July 2, 2015

Staff Recommendation:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). Approve - The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the Applicant has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

Task Force Recommendation:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). Approve - 80% burned. Owner plans to build new similar style.

8. 220 N CLINTON AVE

Winnetka Heights Historic District
CA145-529(MD)
Mark Doty

Request:

Construct new front porch.

Applicant: Residential Design Services Llc - Robert Pross

Application Filed: July 2, 2015

Staff Recommendation:

Construct new front porch. Approve - Approve drawings dated 7/15/15 with the finding of fact the proposed work is consistent with the criteria for front entrances and porches in Section 51P-87.111(a)(11), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Construct new front porch. No quorum. Comments only. We support both options.

9. 127 N WILLOMET AVE

Winnetka Heights Historic District
CA145-522(MD)
Mark Doty

Request:

Reconstruct accessory structure in rear yard. Work completed without a Certificate of Appropriateness.

Applicant: Zamudio Corp

Application Filed: July 2, 2015

Staff Recommendation:

Reconstruct accessory structure in rear yard. Work completed without a Certificate of Appropriateness. Approve - Approve with the finding of fact the completed work is consistent with the criteria for accessory buildings in the preservation criteria Section 51P-87.111(a)(1), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Reconstruct accessory structure in rear yard. Work completed without a Certificate of Appropriateness. No quorum. Comments only. We support the construction with the stipulation that the design matches the original design in materials, details, doors previously approved as that it meets all City of Dallas zoning ordinance requirements and codes.

10. DCA 145-007

Consideration of an amendment to Chapters 51 and 51A, Dallas Development Code, Divisions 51-4.500 and 51A-4.500 to create a historic building demolition delay overlay.

OTHER BUSINESS ITEMS:

1. Minutes from July 6, 2015 Meeting
2. Appointment of Cheryl Scott to the Swiss Avenue/Munger Place Task Force.

ADJOURNMENT

DESIGNATION COMMITTEE:

The Landmark Commission Designation Committee is scheduled to meet on Wednesday, August 19, 2015, 5:45 p.m., at the Wilson House Dining Room (Preservation Dallas), 2922 Swiss Avenue.

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for location and time.

EXECUTIVE SESSION NOTICE

The Commission may hold a closed executive session concerning one or more of the following topics:

- a. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the commission's attorney to his client under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act; [Texas Government Code §551.071]*
- b. deliberating the purchase, exchange, lease, or value of real property if deliberation in open meeting would have a detrimental effect on the position of the city in negotiations with a third person; [Texas Government Code §551.072]*
- c. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person; [Texas Government Code §551.073]*
- d. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, or to the hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation requests a public hearing; or [Texas Government Code §551. 074]*
- e. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Texas Government Code §551.076]*
- f. Discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay, or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Texas Government Code §551. 086]*



LANDMARK COMMISSION

8/3/2015

FILE NUMBER: CE145-008(MD)

PLANNER: Mark Doty

LOCATION: 4403 Worth Street

DATE FILED: 2/3/2015

COUNCIL DISTRICT: 2

DISTRICT: Peak's Suburban

SIZE OF REQUEST: 2548

MAPSCO: 46-E

APPLICANT: Don and Elizabeth Yarbrough

OWNER: YARBROUGH DON & ELIZABETH

REQUEST: A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

SUMMARY: This is a single-family house was built in 1910 and is a contributing structure in the historic district.

In Revitalizing Historic Districts, property owners are eligible to receive an exemption based on rehabilitation on 100 percent of the land and improvement value on the city portion of the property taxes for a period of 10 years. This exemption requires that rehabilitation completed on the property must be at minimum, 25 percent of the pre-rehabilitation improvement value.

Improvements Value (2014):	\$147,840
Land Value:	\$76,780
Required Expenditures:	\$36,960
Estimated Expenditures:	\$127,000
Estimated Total Exemption:	\$17,902

Notes on the estimated exemptions:

* The estimated value after rehabilitation does not account for any increase in value due to appreciation.

** Tax estimates are based on the new city tax rate of 0.797%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% till it reaches the "estimated new value after rehabilitation".

A default completion date will be 8/3/2015. The Certificate of Eligibility shall expire if the rehabilitation work has not been completed by that time.

STAFF RECOMMENDATION: Approval of the Certificate of Eligibility. .

Historic Tax Exemption Application

Step 1 – Application for a Certificate of Eligibility

Property Information

Property Address: 4403 NORTH STREET

Legal description: Lot 20 Block 4/792

Provide a metes and bounds attachment if no lot and block can be determined.

Building name (if applicable): _____

Historic district or pending historic district: PEAK'S SUBURBAN ADDITION

Year the historic structure was built: 1907

Is this a contributing structure? YES

Owner Information

Please list all of the property owner(s): ELIZABETH NELSON & DON YARBROUGH

Mailing address: P.O. BOX 140306

City, state and zip code: DALLAS, TEXAS 75214

Phone number: 214-724-8639 Fax number: 214-594-9139

Email: _____

Applicant Information (if different then the property owner)

Applicant name: _____

Mailing address: _____

City, state and zip code: _____

Phone number: _____ Fax number: _____

Email: _____

Rehabilitation Information

Estimated Rehabilitation Investment: \$120,000+

Current Use: Homestead Proposed Use: Homestead

For any exterior work, has a Certificate of Appropriateness (CA) been approved yet? yes

If not, when will the application for a CA be considered? _____

Projected Construction Time and Estimated Date of Completion: March 2015 - March 2017

Lien Holder Information (if applicable)

Primary mortgage company: CHASE
Contact person: 800 - 848 - 9136
Correspondence address: PO Box 78420 Phoenix AZ
Secondary mortgage company: N/A 85062
Contact person: _____
Correspondence address: _____
Other lienholder: N/A
Contact person: _____
Correspondence address: _____

Financial Information

The following information can be obtained from the Dallas Central Appraisal District website (www.dallascad.org and click search for appraisals). The City of Dallas will use the tax values for the year prior to the application being made.

The date this application is submitted to the city: 2-3-2015
Improvement Value: \$ 147,840
Land Value: \$ 76,780
Has the Property Received Any Previous Tax Relief? If so, Please Explain: NO
Is this in a TIF District? (<http://maps.dallascityhall.com> and click Economic Development)? NO
** Please attach a copy of the dallascad.org account information for the property to this application**

If Applying for an Urban Historic District Conversion Exemption

Total Building Square Footage: ~~2545~~
Retail Square Footage: _____
Office Square Footage: _____
Residential Square Footage: _____
Number of Jobs Created: _____

Type of Exemption that is being applied for:

Category		Type	Required Expenditures	Amount	Duration	Renewable
Urban Historic Districts Includes all properties located within the Urban historic district area shown on the last page of the Information packet	<input type="checkbox"/>	Based on Rehab	75%	100%	10 years	Yes
	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Residential / ground floor conversion	50% must be converted to residential and 65% of ground floor must be converted to retail	100%	5 years	No
** A Residential / Ground Floor Conversion exemption may be applied for in addition to an exemption Based on Rehab						

Category		Type	Required Expenditures	Amount	Duration	Renewable
Revitalizing Historic Districts Includes properties located in: • Junius Heights • Lakecliff • Peak's Suburban • South Blvd. / Park Row • 10 th Street • Wheatley Place • Winnetka Heights	<input checked="" type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes
	<input type="checkbox"/>	Maintenance	3%	Added Value	3 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
"Citywide" Includes properties located in: • Munger Place • State Thomas • Swiss Avenue • All properties not located within the Urban or Revitalizing historic districts	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Endangered Property	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Ownership by a non-profit entity open to the public	<input type="checkbox"/>	Non-profit	Be a designated historic landmark that is open to the public and is owned by a non-profit with	100%	As long as the building is owned by a non-profit entity and is open to the public	Annually

PLEASE NOTE: All tax exemption approvals that accumulatively (new applications and renewals) will receive exemptions totaling in excess of \$50,000 will have to be approved by both the Landmark Commission and the City Council.

Cost Estimates

The following list is a general guide to determine what may be used towards expenditures for the exemptions, which includes but is not limited to:

- Architectural and engineering services if directly related to the eligible costs described above
- Carpentry
- Demolition and cleanup if directly related to the eligible costs described
- Electrical
- Elevators determined to be necessary to utilize the building
- Exterior doors
- Exterior brick veneers or treatments
- Facade items
- Flooring
- Foundation
- Gutter where necessary for structural integrity
- Heating and cooling
- Interior work that becomes a permanent part of the building that will help preserve the structure
- Mechanical
- Painting (exterior and interior)
- Porch
- Plumbing
- Rehabilitation of a contributing structure used for the required parking
- Roofing
- Security and/or fire protection systems
- Sheetrocking
- Siding
- Structural walls
- Structural subfloors
- Structural ceilings
- Termite damage and treatment
- Windows
- Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure

Ineligible costs include, but are not limited to, the following:

- Landscaping
- Legal and accounting fees
- Overhead
- Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible
- Purchasing tools
- Repairs of construction equipment
- Supervisor payroll
- Taxes
- Any other items not directly related to the exterior appearance or the structural integrity or viability of the building

Briefly list the scope of work (attach a separate sheet of paper, if necessary):

	Estimates
	Amount
1. <u>CARPENTRY - Interior - framing</u>	<u>\$1500</u>
2. <u>CARPENTRY - exterior - overhang</u>	<u>\$5000</u>
3. <u>Carpentry - Cabinets, trim</u>	<u>\$10000</u>
4. <u>FLOORING - Hardwood repair & finish</u>	<u>\$10000</u>
5. <u>FLOORING - tile baths</u>	<u>\$5000</u>
6. <u>Electrical - throughout</u>	<u>\$12,500</u>
7. <u>Exterior brick SKIRT Rebuild</u>	<u>\$5,000</u>
8. <u>GUTTERS</u>	<u>\$2,200</u>
9. <u>HVAC</u>	<u>\$12,000</u>
10. <u>Drywall</u>	<u>\$7,000</u>

Total estimated expenditures of applicable costs:

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Continued

PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Cost Estimates

The following list is a general guide to determine what may be used towards expenditures for the exemptions, which includes but is not limited to:

- Architectural and engineering services if directly related to the eligible costs described above
- Carpentry
- Demolition and cleanup if directly related to the eligible costs described
- Electrical
- Elevators determined to be necessary to utilize the building
- Exterior doors
- Exterior brick veneers or treatments
- Facade items
- Flooring
- Foundation
- Gutter where necessary for structural integrity
- Heating and cooling
- Interior work that becomes a permanent part of the building that will help preserve the structure
- Mechanical
- Painting (exterior and interior)
- Porch
- Plumbing
- Rehabilitation of a contributing structure used for the required parking
- Roofing
- Security and/or fire protection systems
- Sheetrocking
- Siding
- Structural walls
- Structural subfloors
- Structural ceilings
- Termite damage and treatment
- Windows
- Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure

Ineligible costs include, but are not limited to, the following:

- Landscaping
- Legal and accounting fees
- Overhead
- Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible
- Purchasing tools
- Repairs of construction equipment
- Supervisor payroll
- Taxes
- Any other items not directly related to the exterior appearance or the structural integrity or viability of the building

Briefly list the scope of work (attach a separate sheet of paper if necessary):

	Amount
1. <u>Hot Water Heaters</u>	<u>\$1,900</u>
2. <u>Painting interior</u>	<u>\$3,500</u>
3. <u>Painting exterior</u>	<u>\$3,500</u>
4. <u>Plumbing</u>	<u>\$2,200</u>
5. <u>Roofing Replace / Repair</u>	<u>\$15,000</u>
6. <u>Siding Repair</u>	<u>\$3,800</u>
7. <u>Window Repair / Replace</u>	<u>\$3,500</u>
8. <u>Demolition of drywall to repair walls</u>	<u>\$4,000</u>
9. <u>Foundation Repair</u>	<u>\$5,000</u>
10. <u>Chimney Brick Repair</u>	<u>\$2,400</u>

Total estimated expenditures of applicable costs:

continued
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PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Cost Estimates

The following list is a general guide to determine what may be used towards expenditures for the exemptions, which includes but is not limited to:

- Architectural and engineering services if directly related to the eligible costs described above
- Carpentry
- Demolition and cleanup if directly related to the eligible costs described
- Electrical
- Elevators determined to be necessary to utilize the building
- Exterior doors
- Exterior brick veneers or treatments
- Facade items
- Flooring
- Foundation
- Gutter where necessary for structural integrity
- Heating and cooling
- Interior work that becomes a permanent part of the building that will help preserve the structure
- Mechanical
- Painting (exterior and interior)
- Porch
- Plumbing
- Rehabilitation of a contributing structure used for the required parking
- Roofing
- Security and/or fire protection systems
- Sheetrocking
- Siding
- Structural walls
- Structural subfloors
- Structural ceilings
- Termite damage and treatment
- Windows
- Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure

Ineligible costs include, but are not limited to, the following:

- Landscaping
- Legal and accounting fees
- Overhead
- Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible
- Purchasing tools
- Repairs of construction equipment
- Supervisor payroll
- Taxes
- Any other items not directly related to the exterior appearance or the structural integrity or viability of the building

Briefly list the scope of work (attach a separate sheet of paper if necessary):

	Amount
1. Stained Glass Window Repair	
2. _____	
3. <u>insulation in walls & under floors</u>	<u>\$ 9,000</u>
4. <u>Repair Fireplace tile/brick</u>	<u>\$ 3,000</u>
5. _____	
6. _____	
7. _____	
8. _____	
9. _____	
10. _____	

Total estimated expenditures of applicable costs:

\$ 127,000

PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Statement of Understanding

THE STATE OF Texas §
COUNTY OF Dallas §

I certify that the information in the application for a tax exemption, including all supporting documentation, is complete and correct.

I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained.

I understand that all rehabilitation work must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

I understand that I must make an annual application to Dallas County Appraisal District each year in order to receive the exemption for that year, and that if I do not make the application in time, I will lose the ability to receive a tax exemption for that year.

Owner's Name: ELIZABETH NELSON & DON YARBROUGH
Owner's Signature: *Elizabeth Nelson* *Don Yarbrough*

This instrument was acknowledged before me on February 2, 2015
by (print name of owner) Elizabeth Nelson & Don Yarbrough

 Christina Gonzalez
Notary Public,
State of Texas
Comm. Exp. 03-03-15
Notary Stamp Here

Christina Gonzalez
Notary Signature

**LANDMARK COMMISSION**

8/3/2015

FILE NUMBER: CE145-009(MD)**PLANNER:** Mark Doty**LOCATION:** 202 S. Edgefield**DATE FILED:** 2/3/2015**COUNCIL DISTRICT:** 1**DISTRICT:** Winnetka Heights**SIZE OF REQUEST:** 2384**MAPSCO:** 54-F**APPLICANT:** SAE Holdings LLC**OWNER:** SAE HOLDINGS LLC

REQUEST: A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

SUMMARY: This is a single-family house was built in 1925 and is a contributing structure in the historic district.

In Revitalizing Historic Districts, property owners are eligible to receive an exemption based on rehabilitation on 100 percent of the land and improvement value on the city portion of the property taxes for a period of 10 years. This exemption requires that rehabilitation completed on the property must be at minimum, 25 percent of the pre-rehabilitation improvement value.

Improvements Value (2014):	\$149,210
Land Value:	\$33,000
Required Expenditures:	\$37,303
Estimated Expenditures:	\$71,528
Estimated Total Exemption:	\$14,522

Notes on the estimated exemptions:

* The estimated value after rehabilitation does not account for any increase in value due to appreciation.

** Tax estimates are based on the new city tax rate of 0.797%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% till it reaches the "estimated new value after rehabilitation".

A default completion date will be 8/3/2015. The Certificate of Eligibility shall expire if the rehabilitation work has not been completed by that time.

STAFF RECOMMENDATION: Approval of the Certificate of Eligibility. .

Historic Tax Exemption Application

Step 1 – Application for a Certificate of Eligibility

Property Information

Property Address: 202 S. Edgefield, Dallas 75208

Legal description: Lot _____ Block BLK 37

Provide a metes and bounds attachment if no lot and block can be determined.

Building name (if applicable): _____

Historic district or pending historic district: Winnetka Heights

Year the historic structure was built: _____

Is this a contributing structure? _____

Owner Information

Please list all of the property owner(s): SAE Holdings, LLC

Mailing address: 17300 Preston Rd, Suite 120

City, state and zip code: Dallas TX 75252

Phone number: 972 342-8106 Fax number: 972-726-9880

Email: _____

Applicant Information (if different then the property owner)

Applicant name: _____

Mailing address: _____

City, state and zip code: _____

Phone number: _____ Fax number: _____

Email: _____

Rehabilitation Information

Estimated Rehabilitation Investment: 75,000⁰⁰

Current Use: Residential Proposed Use: Residential

For any exterior work, has a Certificate of Appropriateness (CA) been approved yet? Pending

If not, when will the application for a CA be considered? 2-5-15

Projected Construction Time and Estimated Date of Completion: 2-months

MARCH 31-15

Type of Exemption that is being applied for:

Category		Type	Required Expenditures	Amount	Duration	Renewable
Urban Historic Districts Includes all properties located within the Urban historic district area shown on the last page of the Information packet	<input type="checkbox"/>	Based on Rehab	75%	100%	10 years	Yes
	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Residential / ground floor conversion	50% must be converted to residential and 65% of ground floor must be converted to retail	100%	5 years	No

**** A Residential / Ground Floor Conversion exemption may be applied for in addition to an exemption Based on Rehab**

Category		Type	Required Expenditures	Amount	Duration	Renewable
Revitalizing Historic Districts Includes properties located in: <ul style="list-style-type: none"> • Junius Heights • Lakecliff • Peak's Suburban • South Blvd. / Park Row • 10th Street • Wheatley Place • Winnetka Heights 	<input checked="" type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes
	<input type="checkbox"/>	Maintenance	3%	Added Value	3 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
"Citywide" Includes properties located in: <ul style="list-style-type: none"> • Munger Place • State Thomas • Swiss Avenue • All properties not located within the Urban or Revitalizing historic districts 	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Endangered Property	25%	100%	10 years	Yes

Category		Type	Required Expenditures	Amount	Duration	Renewable
Ownership by a non-profit entity open to the public	<input type="checkbox"/>	Non-profit	Be a designated historic landmark that is open to the public and is owned by a non-profit with	100%	As long as the building is owned by a non-profit entity and is open to the public	Annually

PLEASE NOTE: All tax exemption approvals that accumulatively (new applications and renewals) will receive exemptions totaling in excess of \$50,000 will have to be approved by both the Landmark Commission and the City Council.

Lien Holder Information (if applicable)

Primary mortgage company: _____

Contact person: _____

Correspondence address: _____

Secondary mortgage company: _____

Contact person: _____

Correspondence address: _____

Other lienholder: _____

Contact person: _____

Correspondence address: _____

Financial Information

The following information can be obtained from the Dallas Central Appraisal District website (www.dallascad.org and click search for appraisals). The City of Dallas will use the tax values for the year prior to the application being made.

The date this application is submitted to the city: 2-3-15

Improvement Value: _____

Land Value: _____

Has the Property Received Any Previous Tax Relief? If so, Please Explain: _____

Is this in a TIF District? (<http://maps.dallascityhall.com> and click Economic Development)? _____

** Please attach a copy of the dallascad.org account information for the property to this application**

If Applying for an Urban Historic District Conversion ExemptionTotal Building Square Footage: 2384

Retail Square Footage: _____

Office Square Footage: _____

Residential Square Footage: 2384Number of Jobs Created: 2

Cost Estimates

The following list is a general guide to determine what may be used towards expenditures for the exemptions, which includes but is not limited to:

- | | | |
|---|--|---|
| <ul style="list-style-type: none"> • Architectural and engineering services if directly related to the eligible costs described above • Carpentry • Demolition and cleanup if directly related to the eligible costs described • Electrical • Elevators determined to be necessary to utilize the building • Exterior doors • Exterior brick veneers or treatments • Facade items | <ul style="list-style-type: none"> • Flooring • Foundation • Gutter where necessary for structural integrity • Heating and cooling • Interior work that becomes a permanent part of the building that will help preserve the structure • Mechanical • Painting (exterior and interior) • Porch • Plumbing • Rehabilitation of a contributing structure used for the required parking | <ul style="list-style-type: none"> • Roofing • Security and/or fire protection systems • Sheetrocking • Siding • Structural walls • Structural subfloors • Structural ceilings • Termite damage and treatment • Windows • Other items deemed necessary by the Landmark Commission that assist in preserving of the historic structure |
|---|--|---|

Ineligible costs include, but are not limited to, the following:

- | | | |
|--|--|---|
| <ul style="list-style-type: none"> • Landscaping • Legal and accounting fees • Overhead | <ul style="list-style-type: none"> • Plumbing and electrical fixtures; provided, however, documented replacement of historic fixtures may be considered eligible • Purchasing tools • Repairs of construction equipment | <ul style="list-style-type: none"> • Supervisor payroll • Taxes • Any other items not directly related to the exterior appearance or the structural integrity or viability of the building |
|--|--|---|

Briefly list the scope of work (attach a separate sheet of paper if necessary):

1.	Foundation Repair	\$ Amount
2.	AC Repair	\$8545.00
3.	Window Refurbish Inside	\$17200.00
4.	Demo & Rehab Paint inside & out	\$5400.00
5.	(See Attached)	\$50,383.72
6.		
7.		
8.		
9.		
10.		
Total estimated expenditures of applicable costs:		71,528.00

PLEASE NOTE: Step 2 of this application process requires applicants to submit copies of receipts or other documentation, such as pay affidavits or schedules of value provided by a licensed architect or engineer proving that the required expenditure on rehabilitation has actually been made. Be sure to document your rehabilitation expenditures so that you can provide this information to the city when you apply for verification.

Statement of Understanding

THE STATE OF Texas §
COUNTY OF Dallas §

I certify that the information in the application for a tax exemption, including all supporting documentation, is complete and correct.

I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained.

I understand that all rehabilitation work must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

I understand that I must make an annual application to Dallas County Appraisal District each year in order to receive the exemption for that year, and that if I do not make the application in time, I will lose the ability to receive a tax exemption for that year.

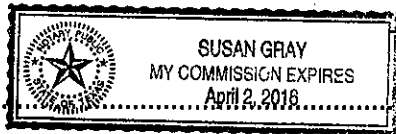
Owner's Name: _____

Owner's Signature: _____

This instrument was acknowledged before me on _____

by (print name of owner) _____

Notary Stamp Here



Notary Signature



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-531(MD)
LOCATION: 3535 Grand Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 7
ZONING: CS

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Fair Park
MAPSCO: 46-Q
CENSUS TRACT: 0203.00

APPLICANT: Good, Fulton & Farrell, Inc.

REPRESENTATIVE: Jon Rollins

OWNER: CITY OF DALLAS

REQUEST:

Replace non-historic railing on west facade of Museum of Nature and Science.

BACKGROUND / HISTORY:

8/4/2014 – Landmark Commission supported conceptually the improvements to the Museum of Nature & Science. (CR134-008(MD)).

12/1/2014 – Landmark Commission approved landscape improvements, accessibility improvements, repair to existing guardrails, and repair of Lobby floor (CA145-058(MD)).

ANALYSIS: This Application addresses one of the items originally approved in December 2014, repair of the existing guardrails. The scope of work on CX-3-5 indicates why the existing guardrails cannot be repaired. Staff is comfortable with the proposal and is recommending approval.

STAFF RECOMMENDATION:

Replace non-historic railing on west facade of Museum of Nature and Science. – Approve - Approve drawings dated 7/15/15 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Replace non-historic railing on west facade of Museum of Nature and Science. – Approve - Replace non-historic railing on west facade of Museum of Nature and Science.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-531(MD)
Office Use Only

Name of Applicant: Jonathan Rollins / Good Fulton & Farrell
Mailing Address: 2808 Fairmount St., Suite 300
City, State and Zip Code: Dallas, TX 75201
Daytime Phone: 214-303-1500 Fax: 214-303-1512
Relationship of Applicant to Owner: Architect

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes ___ No ___

Planner's Initials

PROPERTY ADDRESS: 3535 Grand Avenue, Fair Park
Historic District: Fair Park

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Modify existing CA145-058(MD) to revise scope of repair/replacement of post-Centerpoint ceilings on rear side of building.
See attached project description.

RECEIVED BY

JUL 02 2015

Signature of Applicant: [Signature] Date: 6/29/15
Signature of Owner: [Signature] Date: 6/29/2015
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408

Waterproofing, Structural and Other Repairs
Perot Museum of Nature and Science in Fair Park

PROJECT DESCRIPTION
Revised June 3, 2015

OVERVIEW

The Dallas Museum of Natural History building was designed for the 1936 Texas Centennial Exhibition as part of a grouping of cultural facilities organized around the Fair Park lagoon. Architects for the building were Mark Lemmon and Clyde Griesenbeck. Where many of the buildings created for the Centennial were expected to be temporary, the Museum of Natural History was intended to be a permanent contributor to the civic character of the City of Dallas. The Fair Park Historic Overlay District Ordinance names this area of Fair Park the Civic Center district.

Like the other buildings in the Civic Center district, the Museum of Natural History has its main entrance facing the lagoon and its broad promenade. Exterior walls on all facades are of cut limestone, with few openings. The structural grid is represented on the exterior by bas relief pilasters topped by capitals combining ionic and art deco motifs, and a frieze combining art deco flutes and shallow scallops runs all the way around the top of the structure. Above the main entrance, incised roman letters on the frieze identify the Dallas Museum of Natural History.

A single pair of ornamental doors located in the center of the east elevation provides the main entrance, with a large window and faux balcony above. The central opening is flanked on either side by double-story windows, and all three sets of openings are deeply set in the stone façade, with softly rounded returns and art deco details. These three vertical openings, all of which illuminate the central hall and lobby, are the only fenestration on the east elevation. In the center of the west elevation, a single oversized window spans from the landing of the grand stair to the upper level lobby ceiling. Below, four small windows open to rooms located below the landing. Flanking the central window, pairs of ornamental doors provide egress from the side aisles of the lobby, and a window above each illuminates the lobby side aisles at the upper level. This is the only fenestration indicated on this elevation in the original construction drawings, however, a single door near each end now provides fire escape egress from the upper level galleries. The south and north elevations are without fenestration at the main and upper floor levels.

On the interior, a central lobby links the main and upper floors. A symmetrical grand stair dominates the center hall, flanked on both levels by side aisles defined by lines of square stone columns. An information desk and former gift shop, added in 1988, occupy a small portion of the lobby. On the main floor, four Centennial Era galleries constitute the balance of the plan. Each of the four galleries has a central aisle with built-in dioramas on each side. The diorama galleries are specifically identified as protected historically significant interiors. Galleries on the upper level are more loosely organized, with fewer built-in elements, and finishes in the upper level galleries do not date to the Centennial Era. Not all of the potential gallery space on this level is used for exhibits; a single large room at the south end of

the building is used as an auditorium, served by a projection booth, with two small classrooms nearby. Another large space at the south end is utilized as a meeting room.

The building was originally constructed with only a partial basement housing only a boiler room and mechanical spaces. During the 1960's (only limited drawings are available, and none are dated) the balance of the basement space was excavated, including a new slab and new cast-in-place concrete perimeter walls meeting the underside of the original grade beam. In 1988, portions of the basement were remodeled, and a terraced courtyard was created at the North end of the building below the surrounding grade, exposing the exterior wall at basement level and allowing new windows which serve the former administration area. At the south, a 1960's era ramp down provides access to the basement level Receiving area. The lower level is currently utilized primarily for administrative and support functions, though the public is invited to watch the goings-on in the Paleontology Lab through borrowed lites to the corridor. The administrative and library area was comprehensively remodeled in 1988; other functions on this floor include collections storage, exhibit storage and preparation, loading dock and mechanical space. With the exception of the 1988 windows, there is no natural light anywhere on the lower level, which is entirely below grade.

The base of the Receiving area ramp and retaining wall has been the source of repeated moisture penetration to the interior, and there are several locations where moisture penetration has caused operational problems as well as physical damage. The most significant water issues have occurred in the exhibit shop area, adjacent to the loading dock, and in the exhibit office area against the west exterior wall. There is also evidence of moisture penetration at the wall/ceiling juncture in the collections storage room against the east wall, notably in the vicinity of an original ventilation areaway near the northeast building corner. In some locations at the south end of the building, the 1960's era construction (both slab and perimeter walls) has settled by several inches. This has caused the added perimeter wall to separate from the original grade beam, creating a path for large amounts of water to enter the building.

PROPOSED SCOPE OF WORK - ORIGINAL

The proposed scope of work includes both routine maintenance items and repairs/improvements which will impact the building's historic fabric. The proposed work includes:

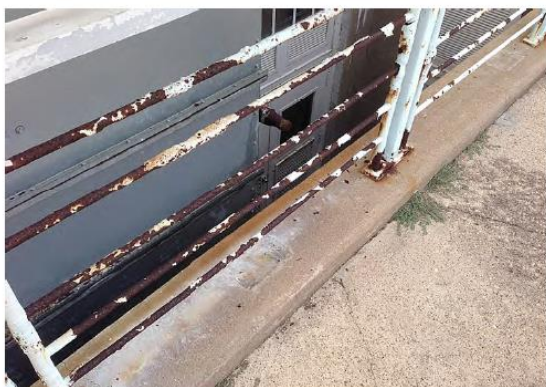
- Roof replacement
- Remediation of the settled slab
- Repair of concrete perimeter walls at basement
- Installation of waterproofing
- Installation of tie-backs at the ramp retaining walls to prevent further deflection
- Improvements to grading and drainage, particularly the southeast and southwest corners of the building
- Modifications to existing (non-historic) landscaping at grading changes
- Accessibility improvements at parking area and sidewalk
- ~~Repair of deteriorated exterior guardrails, and installation of glass safety panels in key locations~~
- Removal of non-historic pin-mounted individual letters from the west side of the building exterior
- Limited replacement of damaged portions of the lobby floor to improve safety

PROPOSED SCOPE OF WORK - REVISION

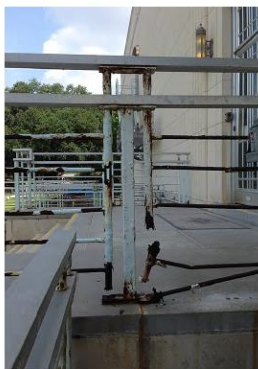
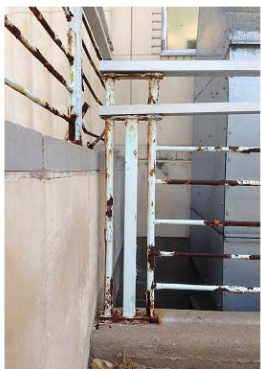
In lieu of the repair and partial replacement of the existing guardrails on the rear of the building and the installation of tempered glass panels, we propose the following:

As the contractor has begun preparing to begin repair/reconstruction of the railings, we discovered that the railings are more deteriorated than originally thought. This is most evident where the bases of the posts are attached or embedded in the concrete and/or stone (both above and below the base plate,) and where the steel post penetrates the rectangular aluminum horizontal tubes. In both cases, the design created a shelf which allowed water to accumulate and work on the metals at nearly every post. This has caused concern that repairs, as originally approved, would not be an effective long term solution either for safety or for preventing further deterioration. In addition, the railing along the areaway at the northwest corner of the building constitutes as much of a fall hazard as the more heavily trafficked areas proposed to receive the glass panels. We therefore propose a more extensive program of replacement, to include all of the railings along the west [rear] side of the building. The existing railing design has five intermediate bars, and the space between them varies from 4" to nearly 7". Replacing all of the railings on the west side could allow us to add a sixth intermediate and adjust the spacing to that all the railings would comply with the 4" sphere building code requirement, meaning that we could eliminate the glass infill panel. While representing a change from the existing approved intervention, we feel that this change would feel no less consistent with the design intent of the existing rails than the addition of the glass panels.

The date of the guardrails is uncertain but definitely after 1952, and therefore post Centennial and so post period of historic significance.



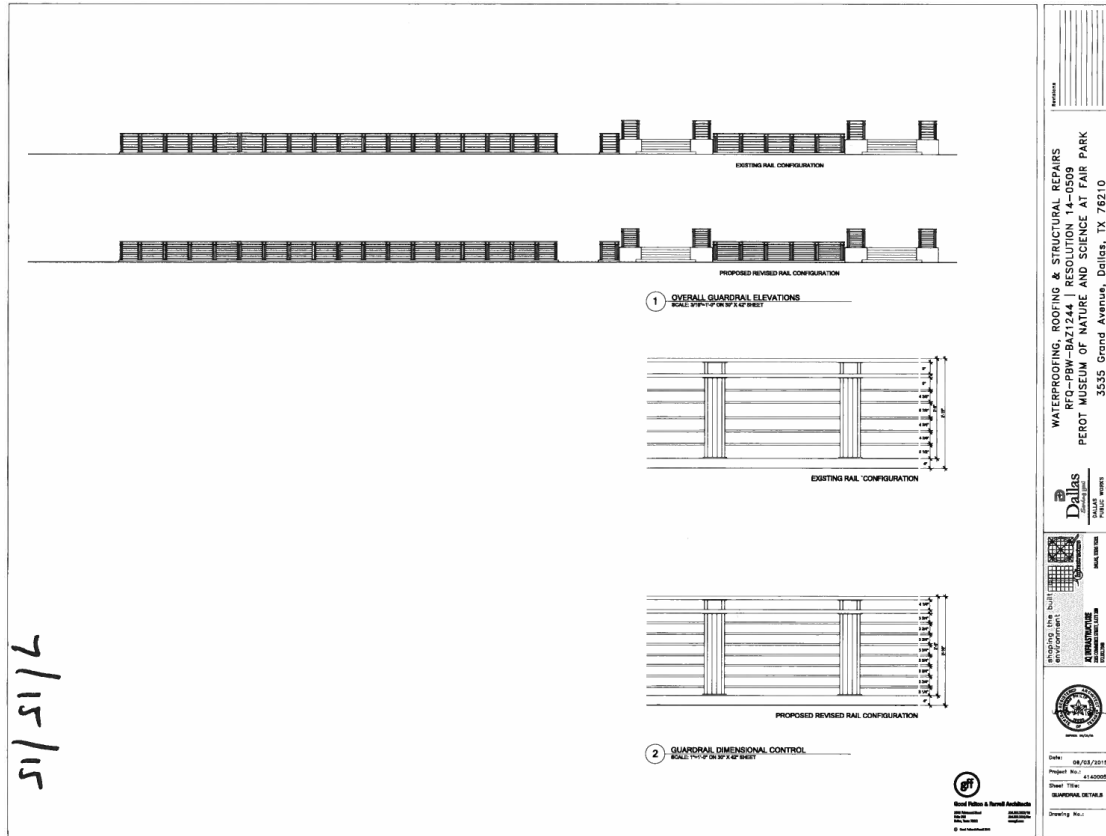
Existing guardrail conditions.





Existing guardrail conditions.





Proposed guardrail improvements

TASK FORCE RECOMMENDATION REPORT
FAIR PARK

DATE: 7/8/2015
TIME: 11:00 am
MEETING PLACE: Fair Park, Tower Building Conference Room

Applicant Name: Good, Fulton & Farrell (Jon Rollins)
Address: 3535 Grand Avenue
Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Task force members present

<input type="checkbox"/> Bob Hilbun	<input checked="" type="checkbox"/> David Chase	<input type="checkbox"/> Clifford Welch
<input checked="" type="checkbox"/> Craig Holcomb	<input checked="" type="checkbox"/> Gary Skotnicki	<input type="checkbox"/> Virginia McAlester (Alternate #1)
<input checked="" type="checkbox"/> E.L. Dunn	<input checked="" type="checkbox"/> Stephen Johns	<input type="checkbox"/> VACANT (Alternate #2)

Ex Officio staff members Present ☒ Mark Doty ☐ Dee Bell ☐ Louise Elam

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *C. HOLCOMB*

2nd: *EL DUNN*

Task Force members in favor: *ALL*

Task Force members opposed: *NONE*

Basis for opposition:

CHAIR, Task Force

DATE

7/8/15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-507(MD)
LOCATION: 6119 Reiger Avenue
STRUCTURE: Accessory & Non-Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 543

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Long Middle School
MAPSCO: 36-Z
CENSUS TRACT: 0013.01

APPLICANT: Dallas Independent School District.

REPRESENTATIVE: Jermauld Cobbs

OWNER: DALLAS ISD

REQUEST:

Install six temporary classroom portable buildings.

BACKGROUND / HISTORY: None.

ANALYSIS: Since portable structures are allowed per the preservation criteria, and the structures are being placed around existing portables outside the no-build zone, Staff is recommending approval.

STAFF RECOMMENDATION:

Install six temporary classroom portable buildings. – Approve - Approve drawings dated 7/15/15 with the finding the proposed work is consistent with the criteria for new construction and additions in the preservation criteria Section 10.10, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Install six temporary classroom portable buildings. – Approve – Approve as submitted.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 507 (MD)
Office Use Only

Name of Applicant: JERMAULD CORBBS C: 214-519-4549
Mailing Address: 3701 S. LAMAR
City, State and Zip Code: DALLAS, TX 75215
Daytime Phone: 972-925-5076 Fax: 972-925-4569
Relationship of Applicant to Owner: EMPLOYEE, FACILITY PLANNER
CAPITAL IMPROVEMENT DEPT.

PROPERTY ADDRESS: 6116 REIGER AVE., 75214
Historic District: JUNING HEIGHTS LOW MIDDLE SCHOOL

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

RELOCATE SIX (6) TEMPORARY CLASSROOM BUILDINGS (24'x32')
ONTO SITE TO PROVIDE ADDITIONAL CLASSROOM INSTRUCTIONAL
SPACE FOR INCREASING STUDENT POPULATION

RECEIVED BY

JUL 02 2015

Signature of Applicant: [Signature] Date: 6/30/15
Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408

7/15/15

VICINITY MAP

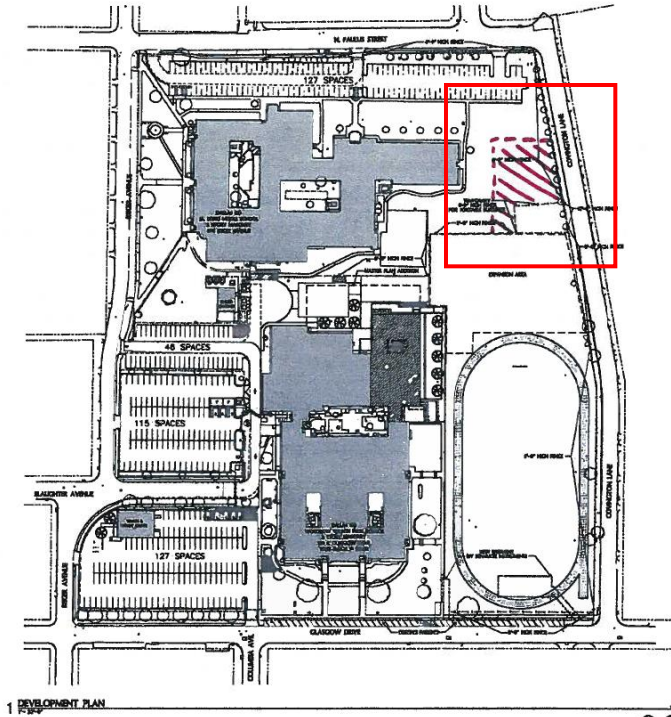
WOODROW WILSON HIGH SCHOOL
100 S. GARDEN DRIVE
DALLAS, TX 75241

SITE INFORMATION:	
TOTAL SITE AREA	18.051 ACRES
TOTAL EXISTING FLOOR AREA	310,000 SF
ADDITION FLOOR AREA	39,400 SF
FUTURE ADDITION FLOOR AREA	44,600 SF
YOUTH & FAMILY CENTER FLOOR AREA	3,860 SF
EXPANSION AREA	44,145 SF
TOTAL LOT COVERAGE	40%
TOTAL PARKING	415 SPACES

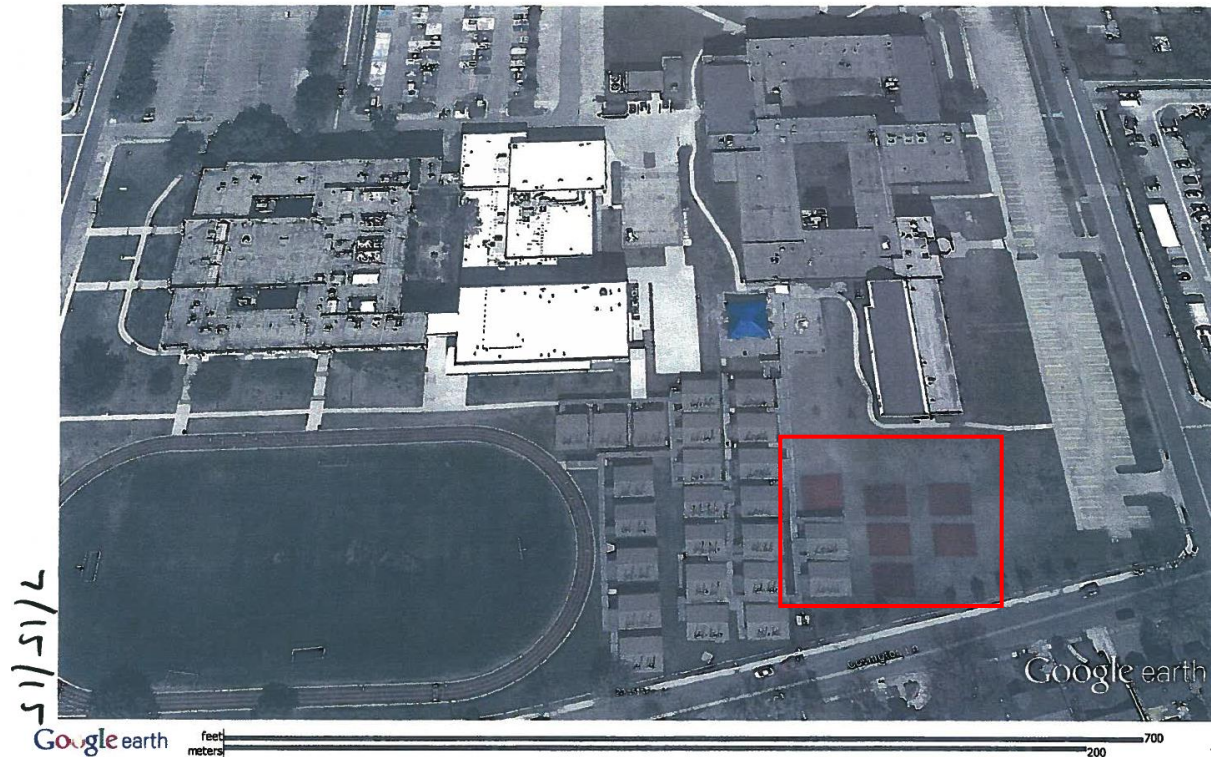
WOODROW WILSON HIGH SCHOOL:	
EXISTING HIGH SCHOOL FLOOR AREA	166,000 SF
BUILDING DEMOLITION	6,700 SF
ADDITION FLOOR AREA	14,361 SF
FUTURE ADDITION FLOOR AREA	44,600 SF
TOTAL HIGH SCHOOL CLASSROOMS	85
OVERALL BUILDING HEIGHT	64 FT

J. L. LONG MIDDLE SCHOOL:	
EXISTING MIDDLE SCHOOL FLOOR AREA	142,000 SF
TOTAL MIDDLE SCHOOL CLASSROOMS	63
OVERALL BUILDING HEIGHT	50 FT

LANDSCAPE LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
•	MULLENBERGIA	LIPOSMER	3 GAL	RE: PLAN
•	QUERCUS	LIVE OAK	3"-5" CAL.	RE: PLAN
○	EXISTING TREE	VARIES	VARIES	PROTECT ALL EXISTING TREES



Proposed **location** of portable structures.





Typical portable structure.

TASK FORCE RECOMMENDATION REPORT
CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL

DATE: 7/8/2015

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Jermauld Cobbs (DISD)

Address: 6116 Reiger Avenue (Long Middle School)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approved as submitted

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Joseph Piwet	<input type="checkbox"/>
<input type="checkbox"/> Jay Firsching (Vice-Chair)	<input type="checkbox"/> Charles Neel	<input checked="" type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	<input checked="" type="checkbox"/> Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Justin Curtsinger*

2nd: *Carolina Pace*

Task Force members in favor: *5*

Task Force members opposed: *0*

Basis for opposition:

CHAIR, Task Force

Gary C. Coffman

DATE

7/8/15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-532(MP)
LOCATION: 703 N. Glasgow
STRUCTURE: Accessory, Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Marsha Prior
DATE FILED: July 3, 2014
DISTRICT: Junius Heights
MAPSCO: 36-Y
CENSUS TRACT: 0014.00

APPLICANT: Shannon Green

OWNER: SHANNON RAE INTERIORS LLC

REQUEST:

- 1) Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard.
- 2) Revise window schedule on east elevation on previously approved drawings to construct detached garage.
- 3) Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold".

BACKGROUND / HISTORY: Landmark Commission approved a previous window schedule for the courtyard (CA134-405(JKA)), July 7, 2014, and detached garage (CA134-466(JKA)), August 4, 2014. Applicant wishes to reduce the number of windows originally planned on these two structures due to cost. Applicant is also proposing a gold color for front door in place of previously approved dark brown (CA134-430(JKA)).

ANALYSIS:

Requests 1 and 2) Staff is recommending approval of the amendment to original plans for windows in the courtyard (Request 1) and detached garage (Request 2). The proposed new window schedule does not alter the Spanish eclectic style of the home and remains consistent with preservation criteria Section 8.1 and 8.3 for additions and Section 9 for accessory structures.

Request 3) The original wood door is being retained, but due to extensive weathering and multiple layers of paint, it is being repainted instead of stripped and stained. Staff is recommending approval of the proposed paint color. Task Force debated the proposed gold color, but concluded that it was acceptable in their recommendation.

STAFF RECOMMENDATION:

- 1) Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard – Approve – Approve revised window schedule per

drawings dated 7/15/2015 with finding the work is consistent with preservation criteria Section 8.1 and 8.3 for additions and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

2) Revise window schedule on east elevation on previously approved drawings to construct detached garage – Approve – Approve revised window schedule per drawings dated 7/15/2015 with finding the work is consistent with preservation criteria Section 9 for accessory structures and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

3) Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold" – Approve – Approve paint specifications dated 07/15/2015 with the finding the proposed work is consistent with preservation criteria Section 4.8 for paint colors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

1) Revise window schedule on east, west, and north elevations on previously approved drawings for interior courtyard – No quorum, comments only: Support amendment to revise window schedule as shown.

2) Revise window schedule on east elevation on previously approved drawings to construct detached garage – No quorum, comments only: Support amendment to revise window schedule as shown.

3) Paint front door yellow instead of previously approved gray, Brand: Sherwin Williams. SW 6690 "Gambol Gold" – No quorum, comments only: Support color of door (yellow). Original door is being used, but paint can't be removed. Since there is no overhang, the door is subject to weathering.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 532 [MP]
Office Use Only

Name of Applicant: SHANNON GREEN
Mailing Address: 1022 VICTOR ST.
City, State and Zip Code: DALLAS, TX 75214
Daytime Phone: 214-422-5583 Fax: N/A
Relationship of Applicant to Owner: SELF

Building
Inspection:
Please see signed
drawings before
issuing permit:

PROPERTY ADDRESS: 703 N GALLOWAY DRIVE DALLAS
Historic District: JANUUS HEIGHTS

Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

AMENDMENT TO PREVIOUS CA APPROVALS:

- 1) REMOVE WINDOWS @ BACK OF GARAGE EAST ELEVATION
 - 2) REMOVE COURTYARD ELEVATION WINDOWS:
 - 1) WEST ELEVATION REAR OF HOUSE
 - 2) NORTH ELEVATION LWR OF EXTERIOR FIREPLACE
 - 3) EAST & WEST ELEVATION SLIDERS ONLY (2) LIGHT
- NOT 4 LIGHT

CONT
ON
BACK
→

Signature of Applicant: SHANNON GREEN Date: 10-20-15

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

RECEIVED BY

APPLICATION DEADLINE:

JUL 02 2015

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 111408

- 4) EAST ELEVATION: REMOVE MIDDLE SMALL WINDOW @ MASTER VANITY KNEE SPACE
- REASON FOR ELIMINATING WINDOWS = NEEDED TO FOR ADDITIONAL COST SAVINGS
 - * SEE PHOTOS ATTACHED OF RESULT.
 - * SEE ATTACHED PLANS: WINDOWS HIGHLIGHTED HAVE BEEN ELIMINATED.

CA continued on back of form.

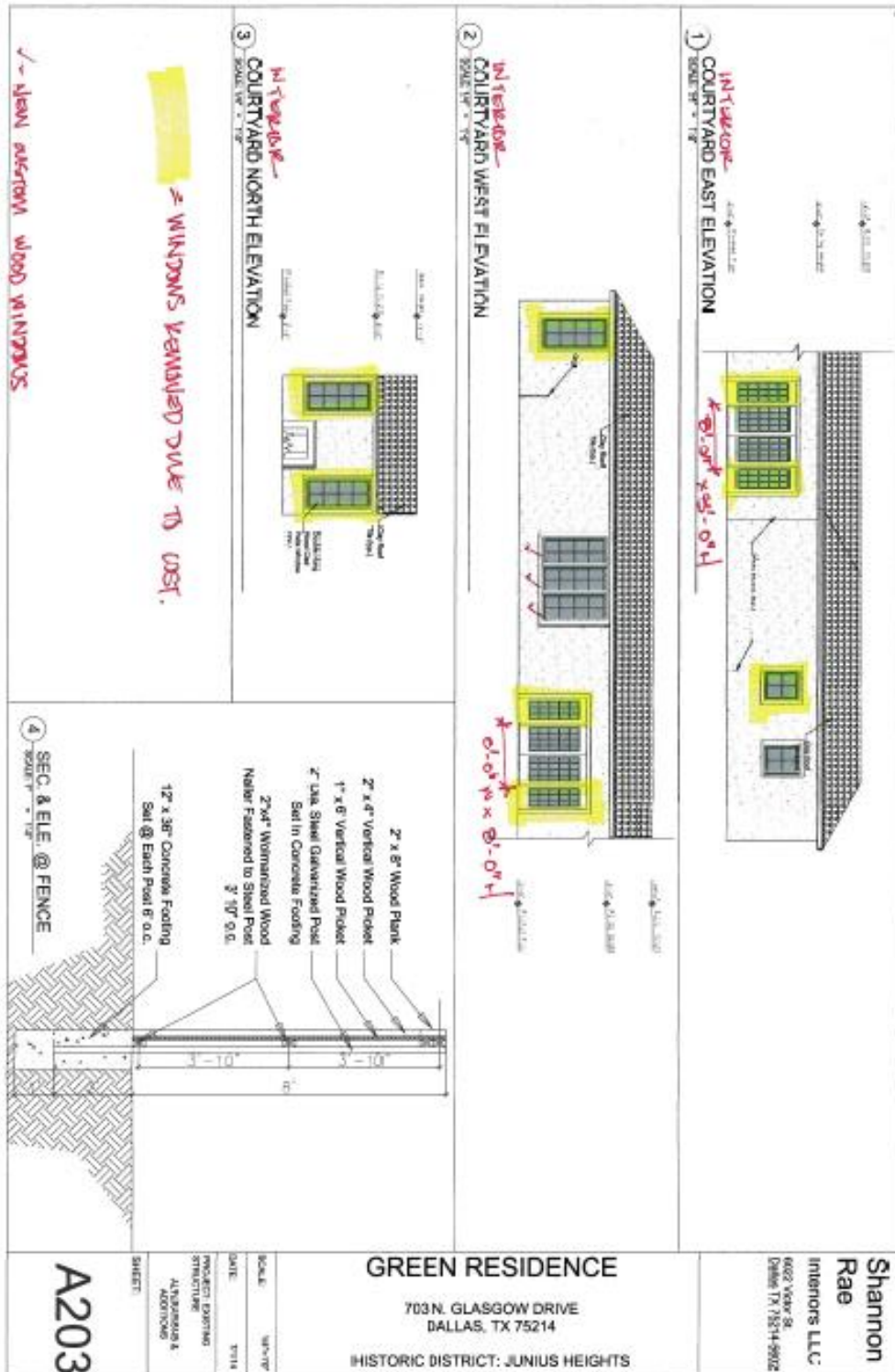


703 N Glasgow May 2015

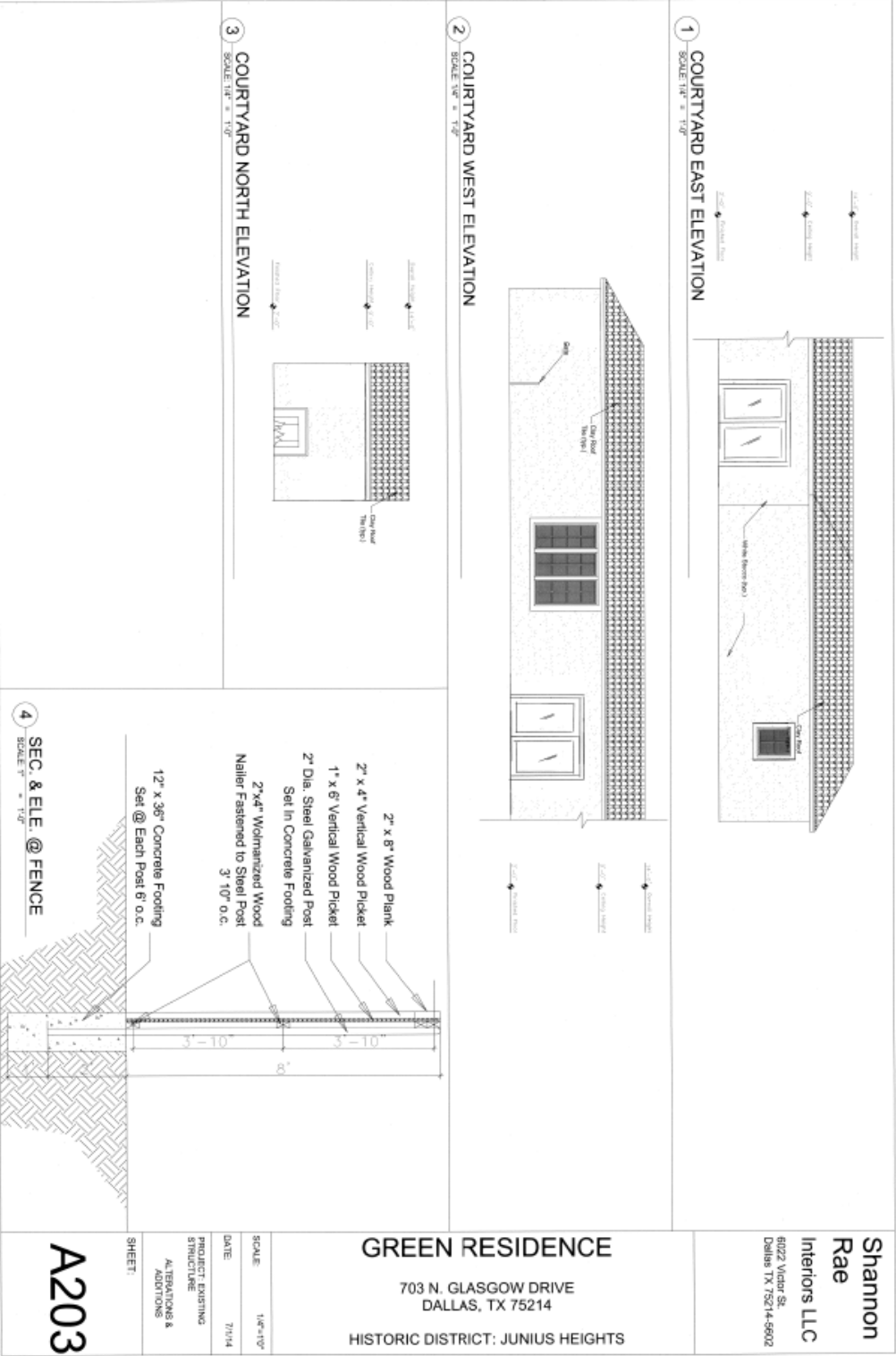


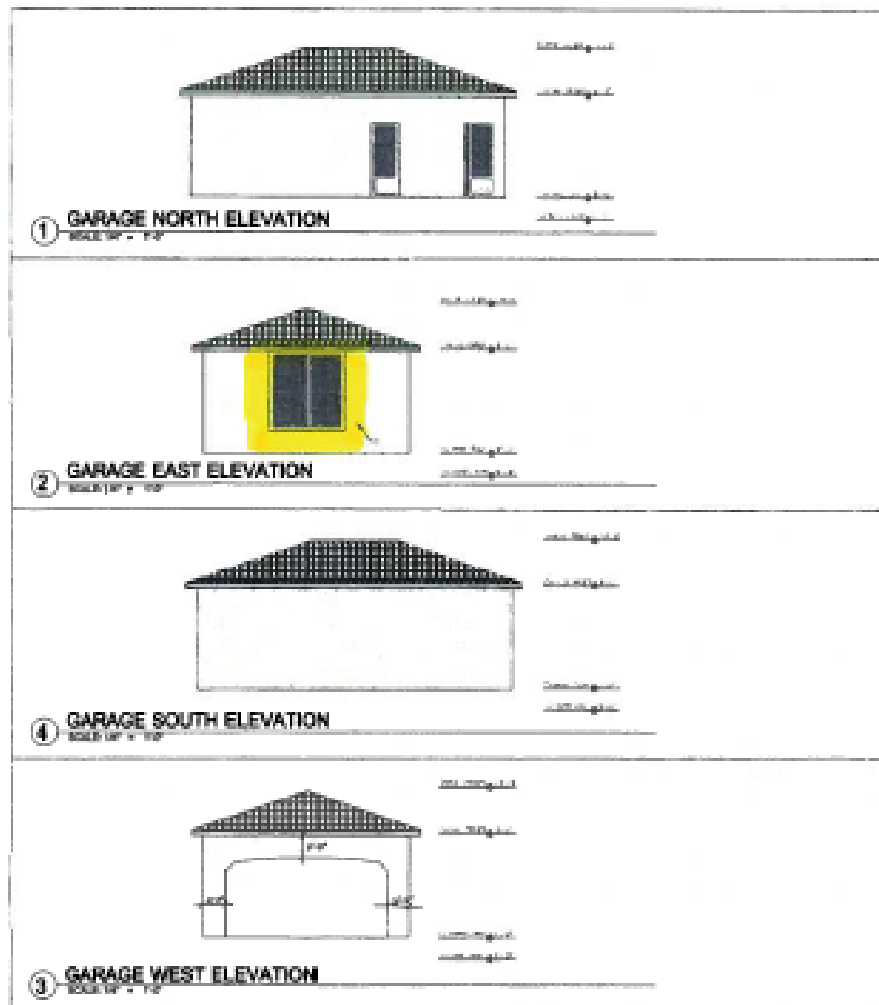
703 N Glasgow ca. 2014

Original window schedule for Courtyard. Yellow highlighted windows are those that applicant wishes NOT to install due to costs.



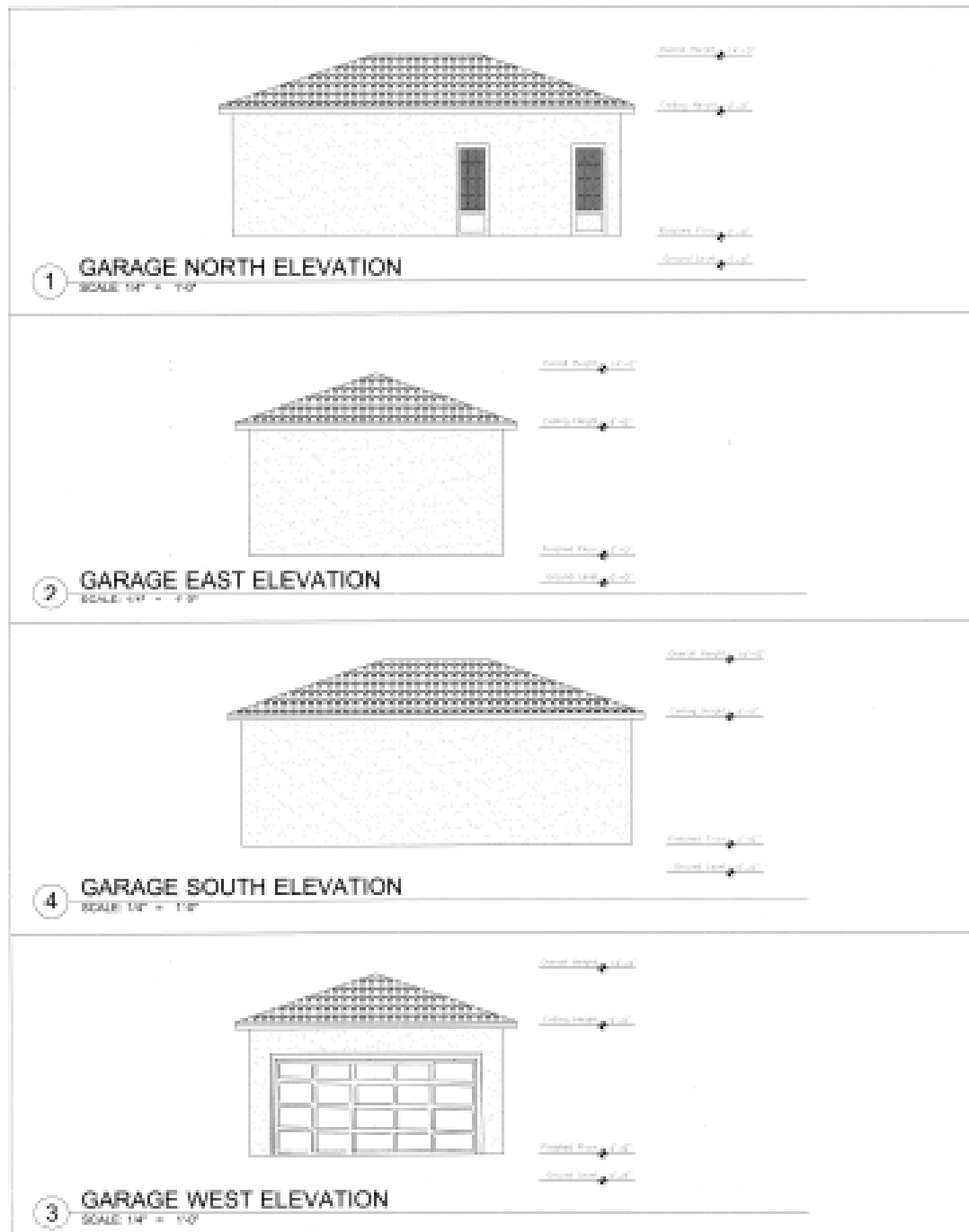
Revised drawing of window schedule with reduced number of windows for Courtyard east, west, and north elevations.





[Yellow Highlight] = WINDOWS REMOVED
DUE TO COST

Original window schedule for Garage. Yellow highlighted windows are those that applicant wishes NOT to install due to cost.



Revised drawing of window schedule with reduced number of windows for Garage east elevation.

- 3) Color Change for Front Door – Change From Charcoal Gray to Yellow
a. Color Selection – Sherwin Williams SW 6690 Gambol Gold



Proposed paint color for front door.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 07/09/2015

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Shannon Green
Address: 703 N Glasgow
Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve amendments to the windows as shown

(1) & (2) Keppang / Schnsc-

Approve color of door (yellow) Keppang / Schmidt

↳ Original door is being used but paint

can't be removed. Since there is

no overhang, the door is subject to

weathering.

Task force members present

☒ Rene Schmidt (Chair)
☐ Mary Mesh
☐ Barbara Cohen

☒ Laura Koppang
☒ Sally Johnson
☐ Morgan Harrison

☐ VACANT
☐ Terri Raith (Alternate)
☐ VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE July 9, 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CD145-011(JKA)
LOCATION: 5818 Worth Street
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Jennifer Anderson
DATE FILED: March 5, 2015
DISTRICT: Junius Heights
MAPSCO: 36-Y
CENSUS TRACT: 0013.01

APPLICANT: Dallas City Attorney's Office

REPRESENTATIVE: Andrew Gilbert

OWNER: WILLIAM SLOCUM

REQUEST: Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

BACKGROUND / HISTORY:

Nov. 2014 Applicant purchased the property at Sheriff Sale.

Dec. 2014 Applicant received two CA's for full renovation of the structure.

Jan. 2015 City Attorney's Office requested to demolish the structure and Landmark Commission moved to enter into an initial suspension period.

ANALYSIS:

Staff is monitoring the renovation in progress and is recommending a continued suspension period. Work completed during July 2015 is as follows:

- Installed foundation skirting.

Work on house is nearly complete; all that is left is touch up painting and final clean-up.

STAFF RECOMMENDATION: Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code) – Staff recommends a continuing suspension period as outlined in 51A-4.501(i)(8)(A)(iii).

TASK FORCE RECOMMENDATION: Demolish residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code) – Recommend suspension of demolition order. (This recommendation is from the Dec. 11, 2014 Task Force meeting. The Task Force does not review the application again once it enters into a suspension period.)

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD 145 - 011 [JKA]
Office Use Only

1. Name of Applicant: Andrew M. Gilbert, Dallas City Attorney's Office

MAILING Address: 1500 Marilla St., 7DN City Dallas State Texas Zip 75201
Daytime Phone: 214-671-8273 Fax: 214-670-0622
Relationship of Applicant to Owner: N/A

ADDRESS OF PROPERTY TO BE DEMOLISHED: 5818 Worth Zip 75214
Historic District: Junius Heights

Proposed Work:

2. Indicate which 'demolition standard(s) you are applying:

- ☐ Replace with more appropriate/compatible structure
☐ No economically viable use
☐ Imminent threat to public health / safety
☐ Demolition noncontributing structure because newer than period of significance
☒ Intend to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;

Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:
(please see attached checklist)

Demolition of a structure pursuant to 51-A-4.501 (i)

Application Deadline:

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation **must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month**, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210, **DO NOT FAX PHOTOGRAPHS.**

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: 

Date: 12/2/14

RECEIVED BY

5. Signature of Owner: _____

Date: _____

DEC 4 REC'D

(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

Date

Sustainable Development and Construction

Certificate for Demolition & Removal

City of Dallas

Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05

**UPDATE ON IMPROVEMENT TO 5818 WORTH
FOR MONTH OF JULY 2015**

Prior, Marsha

From: william slocum
Sent: Monday, July 20, 2015 5:08 PM
To: Prior, Marsha
Subject: Re: 5818 Worth

Follow Up Flag: Follow up
Flag Status: Flagged

Marsha

5818 Worth St. is complete except for paint touch up and final clean-up
all Utilities have meters set and mechanical systems are operating (HVAC to to set 7/28/15)

thanks
Billy Slocum



5818 Worth, July 23, 2015.



5818 Worth, July 23, 2015.



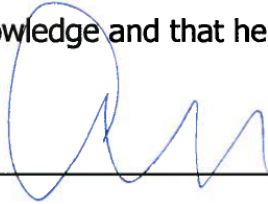
5818 Worth, July 23, 2015.



5818 Worth, July 23, 2015

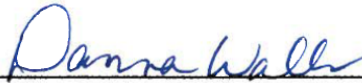
Affidavit

Before me the undersigned on this day personally appeared Andrew Gilbert who on his or her oath certifies that the statements contained in the application for a certificate of demolition and removal are true and correct to the best of his or her knowledge and that he or she is the representative of the City of Dallas.



Affiant's signature

Subscribed and sworn to before me this 2nd day of December, 2014



Notary Public



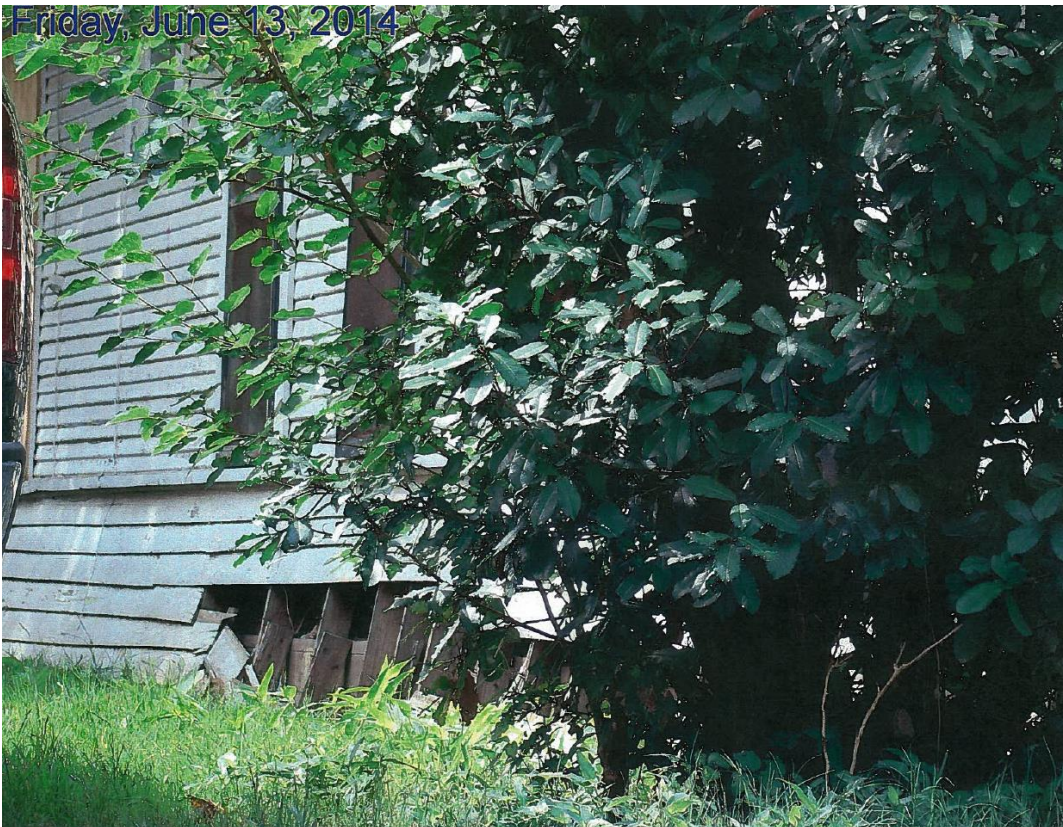




Friday, June 13, 2014



Friday, June 13, 2014



CITY OF DALLAS,
Plaintiff,

VS.

5818 WORTH STREET.
Defendant,

§
§
§
§
§
§
§

IN THE MUNICIPAL COURT OF

THE CITY OF DALLAS

DALLAS COUNTY, TEXAS

ORDER AUTHORIZING CITY OF DALLAS TO DEMOLISH STRUCTURE ON PROPERTY

On July 14, 2014, the Court ORDERED that the structure located at **5818 Worth Street**, Dallas, Texas (the "Property") be demolished by the owner(s), mortgagee(s), lien holder(s) or other persons having an interest in the structure within 30 days. The Court further ORDERED that if said persons fail to abide by the order, within the allotted time, the City of Dallas, through its agents and contractors, is authorized to enter the Property, demolish the structure on the Property, remove all components and personalty, and place a lien on the Property where allowed by law for its incurred expenses.

A copy of the Court's order was mailed to each known owner, mortgagee, lien holder or interested party, via certified mail return receipt requested, within 10 days of the Court's issuance of the order. A copy of the order was also filed with the real property records of Dallas County and with the Dallas City Secretary. Moreover, a copy of the order was posted on the Property and relevant portions of the order, as dictated by law, were published in the July 19, 2014 edition of the Dallas Morning News.

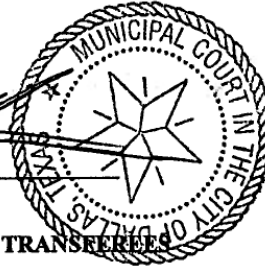
Following the lapse of 30 days from the Court order, the above referenced property was reinspected and the structure was found to be standing, in its same condition, on the property. As a result of the reinspection, a Notice of Noncompliance was mailed to each known owner, mortgagee, lien holder or interested property, via certified mail return receipt requested. A copy of the notice was also posted on the Property and published in the August 21, 2014, edition of the Dallas Morning News.

Upon these findings and pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code it is the intention of the City of Dallas to proceed with and act upon the Court's July 14, 2014, orders..

It is therefore ORDERED that the City of Dallas is authorized, through its authorized agents and contractors, to: 1) remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property; 2) enter the Property to inspect, photograph, and measure for purposes of documentation; 3) demolish the structure and any accessory structure(s) on the Property; 4) remove all components and personalty; and 5) place a lien on the Property where allowed by law for the City's incurred expenses.

Signed this 3 day of September 2014.

Presiding Judge



NOTICE TO SUBSEQUENT GRANTEEES, LIENHOLDERS OR TRANSFEREES

Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, notice is hereby given that the filing of this order is binding on subsequent grantees, lienholders, or other transferees of an interest in the property who acquire such interest after the filing of this order, and constitutes notice of the order on any subsequent recipient of any interest in the property who acquires such an interest after the filing of this order.



DATE: November 5, 2014

TO: Landmark Commission

FROM: Andrew Gilbert, Sr. Assistant City Attorney

CC: David Cossum, Director
Neva Dean, Interim Assistant Director
Casey Burgess, Assistant City Attorney
Mark Doty, Senior Planner
Trena Law, Landmark Commission Coordinator

SUBJECT: Notice of Intent to Apply for Certificates of Demolition

Pursuant to 51A-4.501(i)(5)(D) of the Dallas City Code, please be advised that the following properties are located within a City of Dallas Historic District, and this serves as the 30-day written notice of the City's intent to apply for certificates of demolition:

- (1) 1012 Betterton (Tenth Street): Owner of Record per DCAD, Artis L. Cooper, 1012 Betterton Cir., Dallas, Texas 75203
- (2) 5818 Worth (Tenth Street): Owner of Record per DCAD, William Slocum, 700 Paulus Ave., Dallas, Texas 75214

If you have any questions with regard to these matters, please feel free to contact me at 214-671-8273.

Thank you.

**GUARANTY AGREEMENT BETWEEN
THE CITY OF DALLAS AND WILLIAM SLOCUM**

Whereas, the City of Dallas ("City") is a home-rule municipal corporation situated in Dallas County, Texas, incorporated and operating under the laws of the State of Texas.

Whereas, William Slocum is an individual owning property in the City of Dallas, Dallas County, Texas.

Whereas, William Slocum, owns and controls the structure and the property described as Lot 5, in City Block 7/1651, also known as 5818 Worth, Dallas, Texas (the "Property").

Whereas, William Slocum owns title to the property and is authorized to rehabilitate the structure on the Property.

The structure on the Property is a vacant single family residence. The following violations of the Dallas City Code exist on the Property:

- a. Failure to keep the doors and windows of a vacant structure securely closed to prevent unauthorized entry in violation of Section 27-11(a)(6);
- b. Failure to protect the exterior surfaces of a structure that are subject to decay by application of paint or other coating in violation of Section 27-11(b)(1);
- c. Failure to provide and maintain railings for stairs, steps, balconies, porches and elsewhere as specified in the Dallas Building Code in violation of Section 27-11(b)(3);
- d. Failure to maintain a structure intended for human occupancy in a weather-tight and water-tight condition in violation of Section 27-11(b)(5);
- e. The floors, walls, ceilings and all supporting structural members are not in a sound condition capable of bearing imposed loads in violation of Section 27-11(b)(6);
- f. Failure to repair or replace chimney flue and vent attachments that do not function properly in violation of Section 27-11(b)(8);

GUARANTY AGREEMENT – PAGE 1 OF 8
RE: 5818 WORTH, DALLAS, TEXAS

- g. Failure to repair holes, cracks, breaks, and/or loose surface materials that are health or safety hazards in or on floors, walls, and/or ceilings in violation of Section 27-11(b)(9);
- h. Failure to provide and maintain in operating condition connections to discharge sewage from a structure or land into a public sewer system in violation of Section 27-11(c)(1);
- i. Failure to provide and maintain in operating condition a toilet connected to a water source and to a public sewer in each structure intended for human habitation in violation of Section 27-11(c)(2);
- j. Failure to provide and maintain in operating condition connections and pipes to supply potable water at adequate pressure to a structure intended for human occupancy in violation of Section 27-11(c)(3);
- k. Failure to provide and maintain in operating condition a device to supply hot water of a minimum temperature of 120°F. within each structure intended for human habitation in violation of Section 27-11(c)(4);
- l. Failure to provide and connect a kitchen sink, bathtub or shower, and lavatory to a cold and hot water source in each structure intended for human occupancy in violation of Section 27-11(c)(5);
- m. Failure to connect plumbing fixtures and heating equipment that the owner supplies in accordance with the Dallas Plumbing Code and Dallas Mechanical Code in violation of Section 27-11(c)(6);
- n. Failure to provide and maintain heating equipment in operating condition so that it is capable of maintaining a minimum inside temperature of 68°F from November 16 through March 15 in each room of a structure intended for human occupancy in violation of Section 27-11(c)(7);
- o. Failure to provide and maintain in operating condition, from April 1 through November 1, refrigerated air equipment capable of maintaining a maximum inside temperature that is 20 degrees lower than the outside temperature or 85°F, whichever is warmer, in each room of a structure intended for human occupancy in violation of Section 27-11(c)(8);
- p. Failure to provide and maintain in operating condition a supply line for electrical service to each structure intended for human occupancy if electrical service is available within 300 feet in violation of Section 27-11(c)(9);

- q. Electrical circuits and outlets are not maintained to safely carry a load imposed by normal use of appliances and fixtures in violation of Section 27-11(c)(11);
- r. Failure to install single and multiple-station smoke alarms in a single family residence or duplex in the following locations: (1) in each sleeping room, (2) outside of each separate sleeping area in the vicinity of the bedrooms, (3) on each additional story of the dwelling including basements and cellars but not including crawl spaces and uninhabitable attics in violation of Section R317.1 of the International Residential Code;
- s. Accumulations of litter on the premises that are not in an authorized private receptacle for collection in violation of Section 7A-18;
- t. Failure to obtain a permit from the building official before erecting, constructing, enlarging, adding to, altering, repairing, moving, improving, removing, installing, converting, demolishing, equipping, using, occupying, or maintaining a structure or building, service equipment, or causing same to be done in violation of Section 52-301.1.1(1).

Whereas, these ordinances relate to:

- a. the preservation of public safety, relating to the material or methods used to construct a building or other structure or improvement, including the foundation, structural elements, electrical wiring or apparatus, plumbing fixtures, entrances, or exits;
- b. the preservation of public health or to the fire safety of a building or other structure or improvement;
- c. dangerously damaged or deteriorated structures or improvements;
- d. conditions caused by accumulation of refuse, vegetation, or other matter that creates breeding and living places for insects and rodents; or
- e. zoning that provides for the use of land or classifies a parcel of land according to the city's classification scheme.

Whereas, the City of Dallas filed suit seeking the repair or demolition of the structures on the Property in the case filed under cause number S50-003384-01 in Municipal Court, City of Dallas, Dallas County, Texas.

Whereas, on or about July 14, 2014, the court in the above-referenced cause ordered that the City of Dallas was authorized to remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property, enter the Property, inspect, photograph, and measure the Property for purposes of documentation, demolish the structure and any accessory structure(s) on the property, remove all components and personalty, and place a lien on the property where allowed by law for its incurred expenses (the "Order").

Whereas, the City of Dallas filed an application for Certificate of Demolition pursuant to Dallas City Code 51A-4.501(i) for demolition of a residential structure with no more than 3,000 square feet of floor space pursuant to court order.

Whereas, William Slocum has been identified as a party interested in rehabilitating the Property pursuant to Dallas City Code 51A-4.501(i)(8).

It is therefore agreed that William Slocum shall fully repair the property so that it is in compliance with the Dallas City Code on or before **November 17, 2015**.

1. In particular, William Slocum shall make the following repairs on the Property in accordance with applicable law:

- a. Eliminate a hole, excavation, sharp protrusion, and any other object or condition that exists on the land and is reasonably capable of causing injury to a person on or before **January 13, 2015**;
- b. Protect the exterior surfaces of the structure on the Property from decay by application of paint and replace rotted wood with painted wood on or before **October 13, 2015**;

GUARANTY AGREEMENT – PAGE 4 OF 8
RE: 5818 WORTH, DALLAS, TEXAS

- c. Make the structure water-tight and weather-tight on or before **May 12, 2015**, and maintain the Property in a water-tight and weather-tight condition;
- d. Repair holes, cracks and loose surface materials that are health or safety hazards in or on floors, walls, and ceilings on or before **May 12, 2015**, and continue to maintain walls, floors and ceilings;
- e. Repair and maintain the fence so that it is not out of vertical alignment more than one foot from the vertical, measured at the top of the fence, for a fence over four feet high, or more than six inches from the vertical, measured from the top of the fence, for a fence not more than four feet high on or before **July 14, 2015**;
- f. Repair or replace broken or bent metal fence posts and torn, cut, bent or ripped metal fencing materials on or before **July 14, 2015**, and continue to repair or replace the metal fence posts and metal fencing as needed;
- g. Repair and maintain exposed electrical wiring in an approved condition in accordance with the electrical code on or before **August 18, 2015**;
- h. Install and maintain single and multiple-station smoke alarms on the ceiling and wall outside of each sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, and in each story within a dwelling unit on or before **November 17, 2015**;
- i. Remove all accumulations of litter on the premises that are not in authorized private receptacles for collection on or before **January 13, 2015**, and continue to remove litter as it accumulates;
- j. Mow weeds and grass so that they are at a height less than 12 inches on or before **January 13, 2015**, and continue to maintain the weeds and grass cut so that they are at a height less than 12 inches;
- k. Remove all accumulations of lumber, boxes, barrels, bricks or stones that may be used as a harborage by rats, which are not elevated at least 18 inches in height, on or before **January 13, 2015**;
- l. Remove all items on the Property not customarily stored outside or resistant to the outside environment on or before **January 13, 2015**, and continue to remove improper outside storage as it accumulates; and
- m. Obtain a permit from the building official for repair of the structure on or before **January 13, 2015**.

2. The City will agree not to pursue its application for certificate of demolition and/or will not file a civil suit pursuant to Chapter 54 of the Local Government Code against William Slocum regarding a condition of the Property (specifically mentioned in this agreement) unless William Slocum fails to comply with this agreement. William Slocum further agrees that if he fails to comply with any provision of this agreement, the City of Dallas may pursue demolition with the Landmark Commission, file suit and obtain, in addition to the other remedies provided by law, an order commanding William Slocum to comply with all provisions of this agreement, including the repair and remedy of all items listed in this agreement and/or any other remedy available to the City.

3. William Slocum will make the interior and exterior of the Property available for inspection by the City of Dallas at **1:00 p.m. on January 14, February 18, March 18, April 15, May 13, June 17, July 15, August 19, September 16, October 14, and November 18, 2015** to determine compliance with this agreement, unless otherwise agreed to in writing by the parties hereto.

4. The City, through its agents, is authorized to enter the Property and inspect the exterior of the Property at anytime, with or without notice to William Slocum.

5. William Slocum warrants that he possesses and has allocated sufficient resources to complete or cause to be completed, within the deadlines, all items listed in Paragraph 1 of this agreement.

6. William Slocum warrants and acknowledges that nothing said or contained within this agreement is meant to be legal advice; that he understands that Assistant City Attorneys Andrew M. Gilbert, Justin H. Roy and/or Casey Burgess are not his attorneys,

and that he has had the opportunity to consult and hire an attorney prior to signing such document.

7. William Slocum warrants and acknowledges that he has authority to sign the agreement.

8. William Slocum warrants and acknowledges he will inform any subsequent owners or purchasers of the Property of the terms of the agreement.

9. The City and William Slocum further agree to and acknowledge the premises of this agreement as mentioned above. There are no other agreements or conditions between the parties, besides the agreements mentioned in this document.

10. William Slocum agrees to perform or cause to perform all work required by this agreement in a good and workmanlike manner utilizing quality materials and properly trained personnel and with all building permits required by law.

11. William Slocum further agrees that he will maintain the Property in compliance with all applicable codes and statutes.

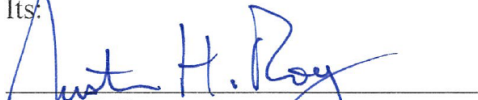
Signed this the 12TH day of December, 2014.



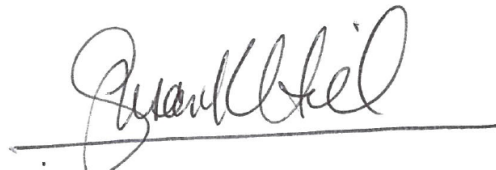
William Slocum

By:

Its:



Justin H. Roy
Dallas City Attorney's Office
1500 Marilla, 7CN
Dallas, Texas 75201





APPROVED AS TO FORM:

WARREN M.S. ERNST, City Attorney

By  _____
Assistant City Attorney

GUARANTY AGREEMENT – PAGE 8 OF 8
RE: 5818 WORTH, DALLAS, TEXAS

WILLIAM C. SLOCUM III

700 Paulus Street
Dallas Texas 75214

Andrew Gilbert
City Attorney
City of Dallas

11.5.14

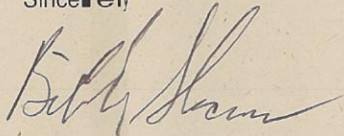
RE: 5818 Worth St.

Please find attached Information discussed today, CA submission material and under stated Financial data. Should you require any further information, please do not hesitate to contact me, 972-762-0590 or billy2slocum@gmail.com

We will submit our foundation permit the morning of 11.6.14 as agreed.

Thank you for your time and assistance in this matter.

Sincerely



Billy Slocum

attachments

5818 Worth ST.

Table of Contents

Scope of Work

Certificate of Appropriateness

5818 Photos Existing Structure

Architectural Plans

Financial Data

5818 Worth St.

Scope of Restoration

1. Level Foundation
2. Install new electrical per code
3. Install new plumbing per code
 - a. add 1 bath
 - b. add bathroom to new garage
4. Install new gas lines per code
5. Re-store existing windows
6. Re-store existing exterior facade details (pictures attached)
7. Install new roof (samples attached)
8. Paint (samples and scheme attached)
9. Construct new garage
10. install new driveway

Certificate of Appropriateness

October 3, 2014

Routine

PLANNER: Jennifer Anderson**FILE NUMBER:** CA145-018(JKA)**DATE FILED:** October 3, 2014**LOCATION:** 5818 WORTH ST**DISTRICT:** Junius Heights Historic District**COUNCIL DISTRICT:** 14**MAPSCO:** 36-Y**ZONING:** PD-397**CENSUS TRACT:** 0013.01**APPLICANT:** WILLIAM SLOCUM**REPRESENTATIVE:****OWNER:** WILLIAM SLOCUM

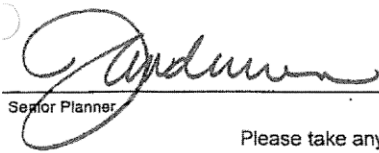
The staff decision is: Approved with Conditions

Information regarding requests:

1) Repair foundation on main structure.

Approve with Conditions

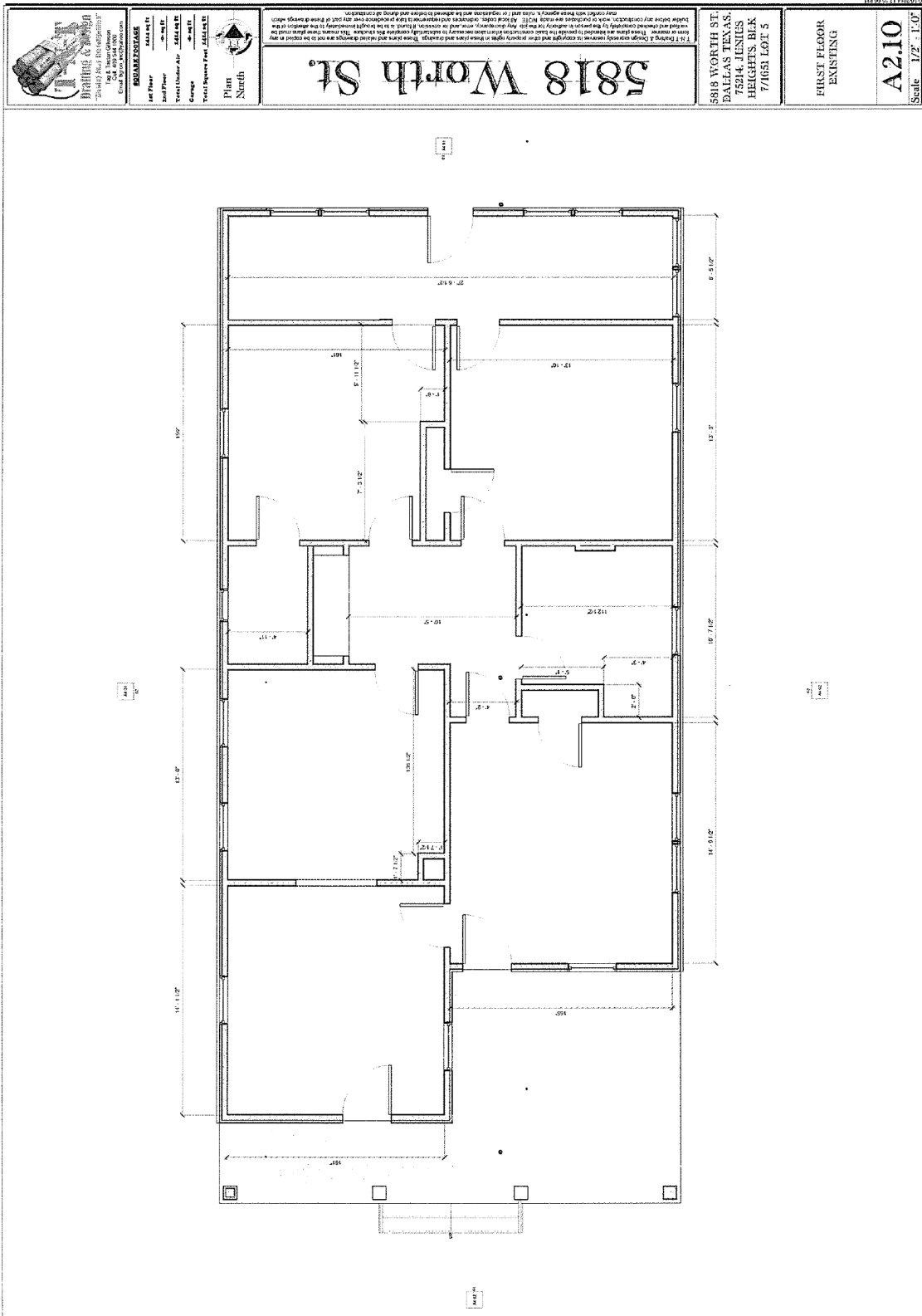
Conditions: Approve proposed work with the conditions that the existing skirting around the perimeter of the main structure is not removed or damaged and the overall vertical elevation of the main structure is not visibly changed. The skirting around the perimeter of the main structure will be repaired to its existing condition if it is removed or damaged during the course of the foundation repairs. Replacement of the skirting is NOT APPROVED via this CA. Approve with Conditions with the finding that the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).



Senior Planner

October 3, 2014

Date

Please take any signed drawings to Building Inspection for permits.





The Plumbing & Design
222451 E. 14th St. Dallas, TX 75243
714-222-4511

5818 Worth St.

Plan North

5818 WORTH ST.
DALLAS TEXAS
75214 JUNIUS
HEIGHTS, BLK
7/1651 LOT 5


REGULAR PROPOSAL

Lot # _____

Tract Number _____

Owner _____

Tract Square Feet _____

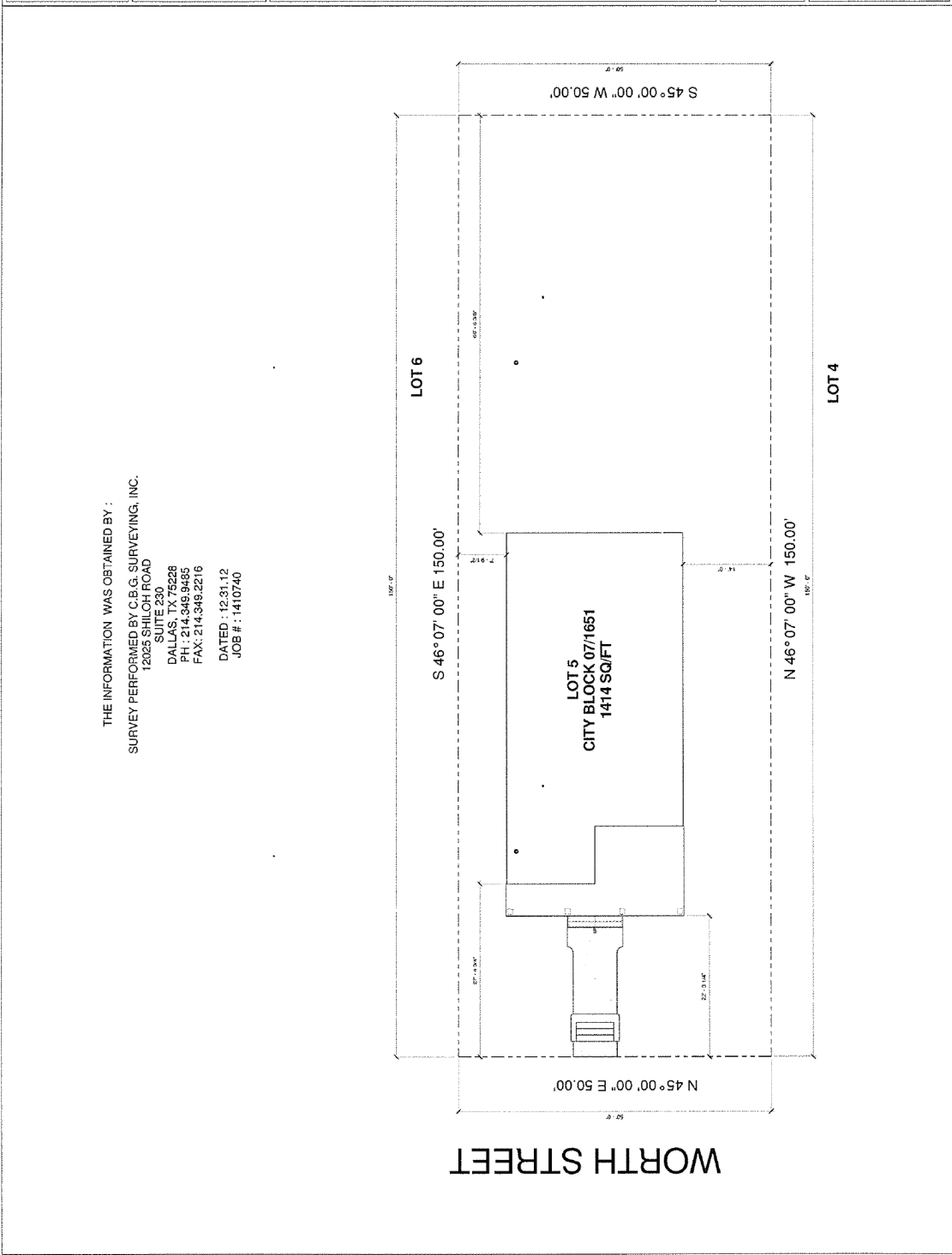


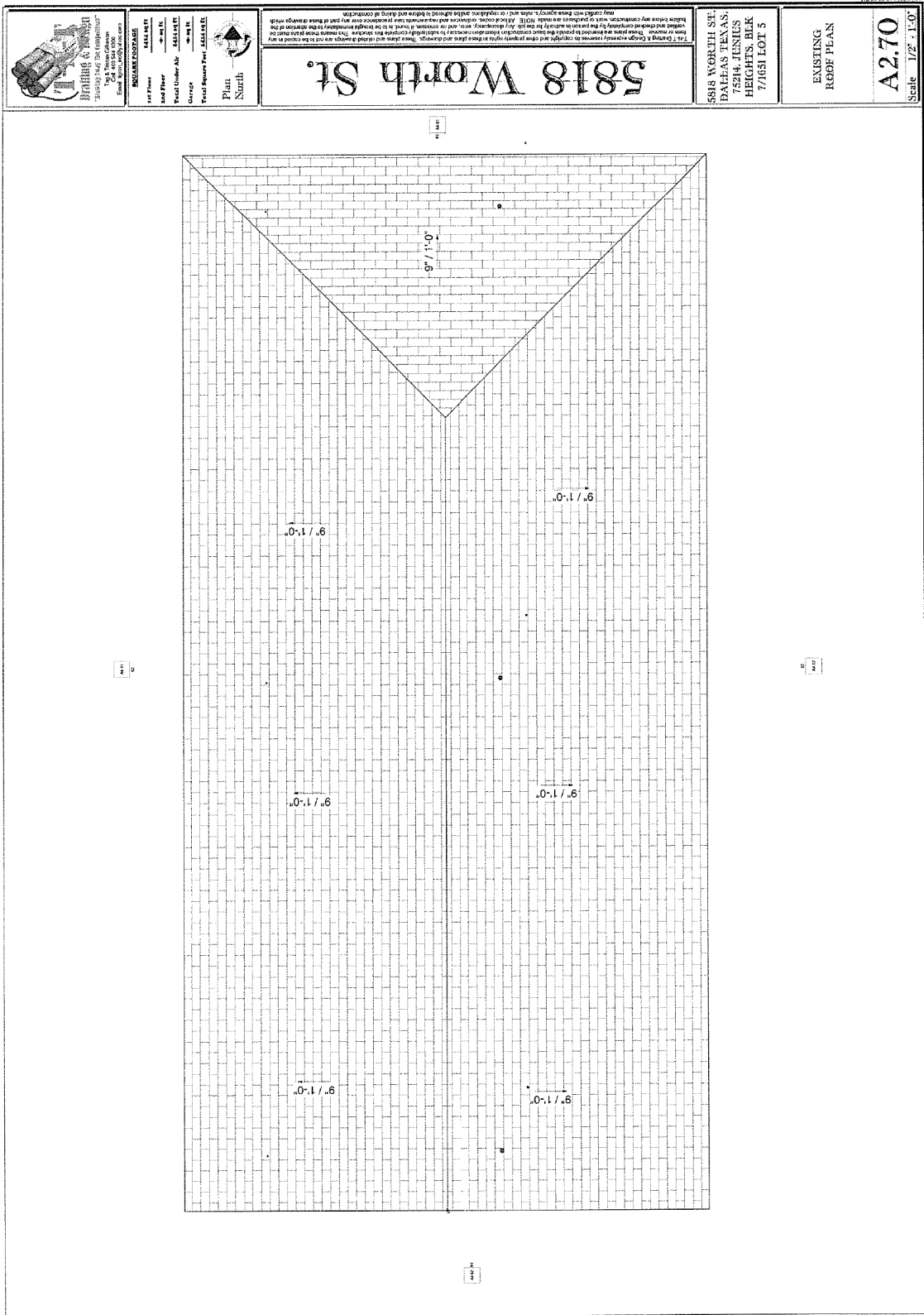
EXISTING SITE
PLAN

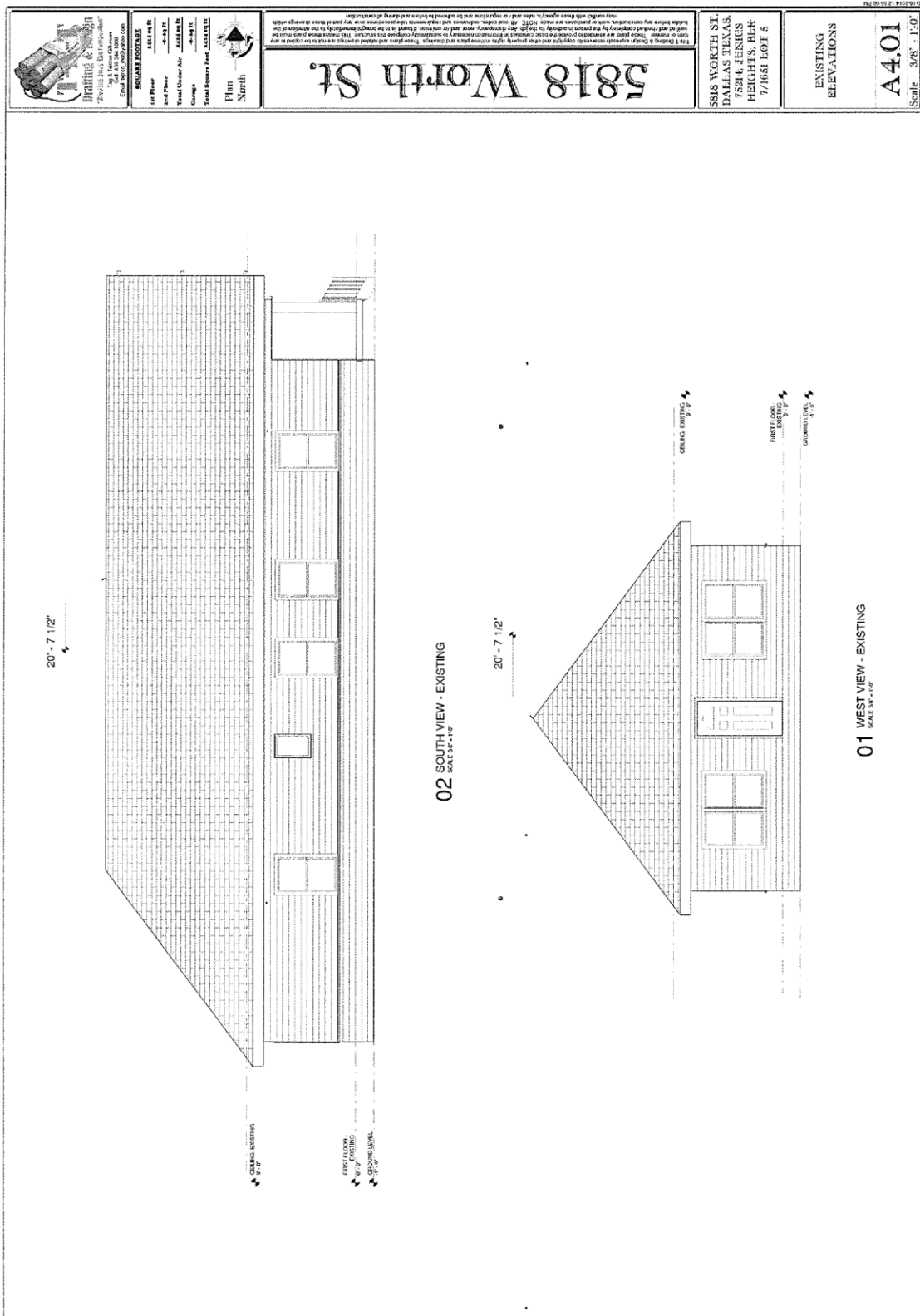
A1.01

Scale: 3/16" = 1'-0"

THE CITY OF DALLAS, TEXAS, HAS REVIEWED THIS PLAN AND FINDS IT CONFORMS TO THE CITY'S ZONING ORDINANCES AND THE CITY'S SUBDIVISION MAP ACT. THE CITY'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CITY'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.







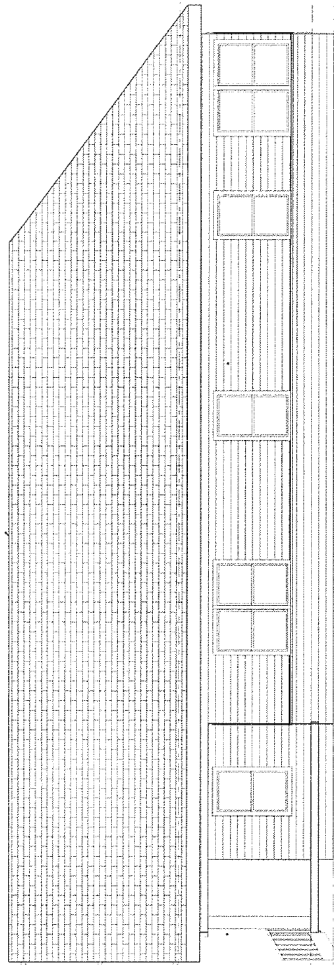


5818 Worth St.

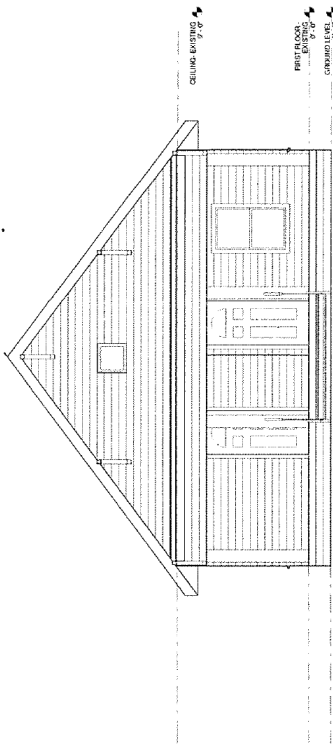
1818 WORTH ST.
DALLAS TEXAS
75214, JUNIUS
HEIGHTS, BLK
7/1651 LOT 5

EXISTING
ELEVATIONS

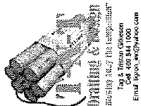
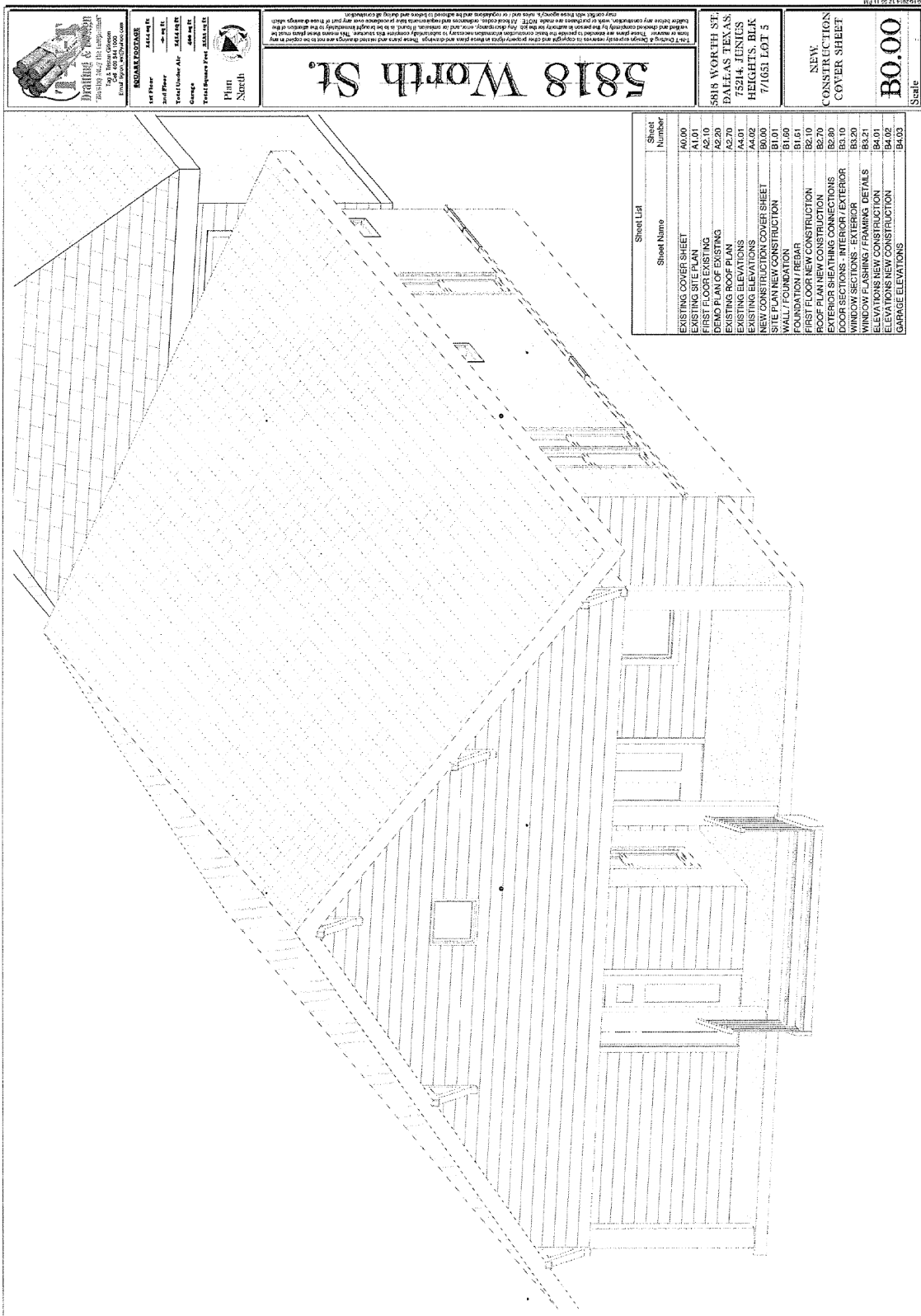
A4.02

Scale $3/8" = 1'-0"$ 

02 NORTH VIEW - EXISTING
SCALE 1/8" = 1'-0"



01 EAST VIEW - EXISTING



DRAFTING & DESIGN, INC.
 1200 West 10th Street
 Suite 100
 Fort Worth, Texas 76102
 Phone: 817.335.1100
 Fax: 817.335.1101
 Email: info@ddi-drafting.com

SCALE/NOTES

1st Floor 1/8" = 1'-0"
 2nd Floor 1/8" = 1'-0"
 3rd Floor 1/8" = 1'-0"
 4th Floor 1/8" = 1'-0"
 5th Floor 1/8" = 1'-0"
 6th Floor 1/8" = 1'-0"
 7th Floor 1/8" = 1'-0"
 8th Floor 1/8" = 1'-0"
 9th Floor 1/8" = 1'-0"
 10th Floor 1/8" = 1'-0"

PLAN

North

5818 Worth St.

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

77031 LOT 5

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

77031 LOT 5

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

77031 LOT 5

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

77031 LOT 5

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

77031 LOT 5

NEW CONSTRUCTION

COVER SHEET

B0.00

Scale

5818 WORTH ST.

DALLAS TEXAS

7524 JUNIUS

HEIGHTS, BLK

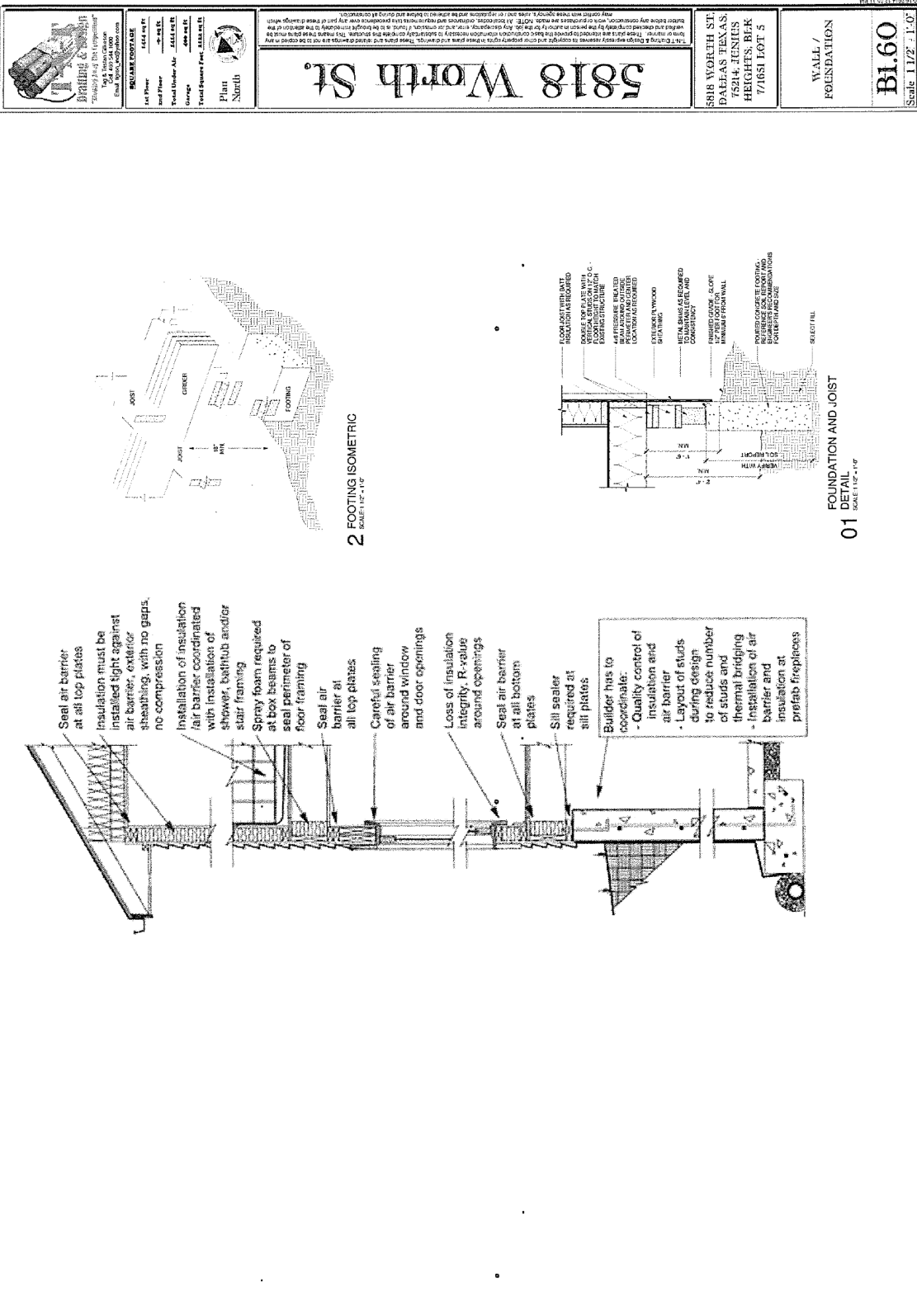
77031 LOT 5

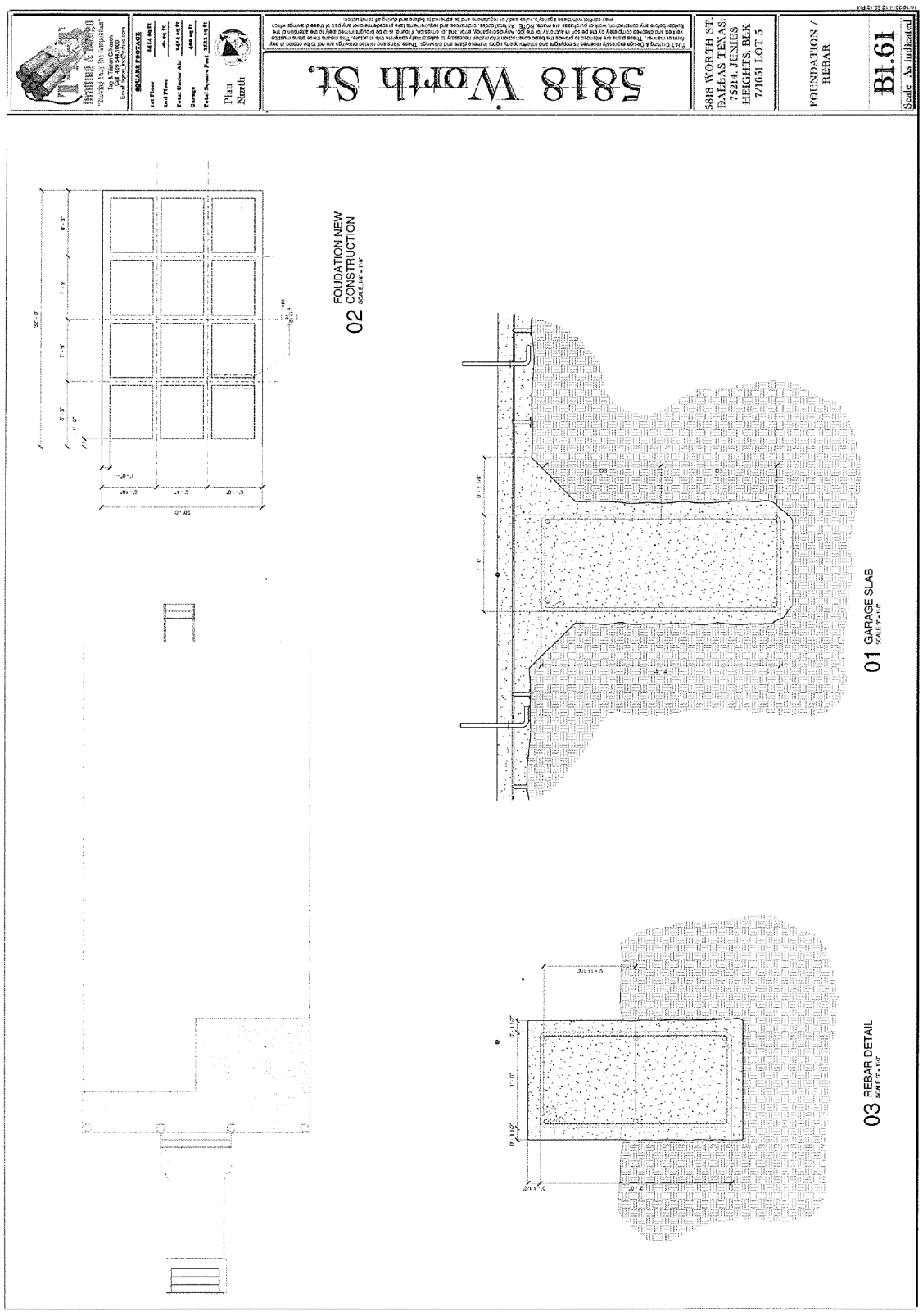
NEW CONSTRUCTION

COVER SHEET

B0.00







Engineering & Construction
 1515 North Loop West
 Suite 1000
 Dallas, Texas 75244-1000
 Phone: 214-760-1000
 Fax: 214-760-1001
 Email: info@ec-engineering.com

FOUNDATION

Let Floor: 1st Floor
 Total Floor: 1st Floor
 Total Ceiling: 1st Floor
 Total Garage: 1st Floor
 Total Square Foot: 1,100 sq. ft.

Plan North

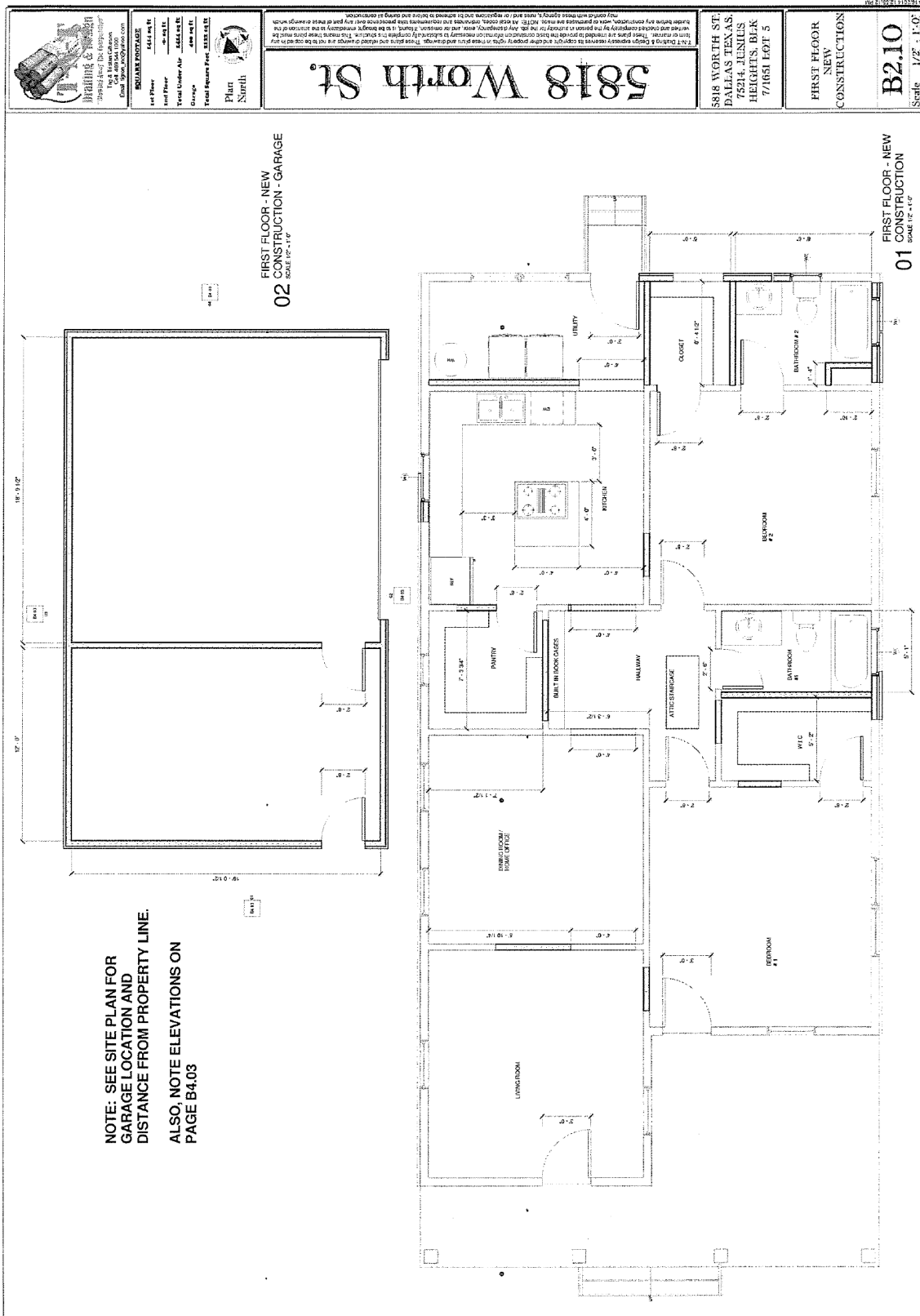
5818 Worth St.

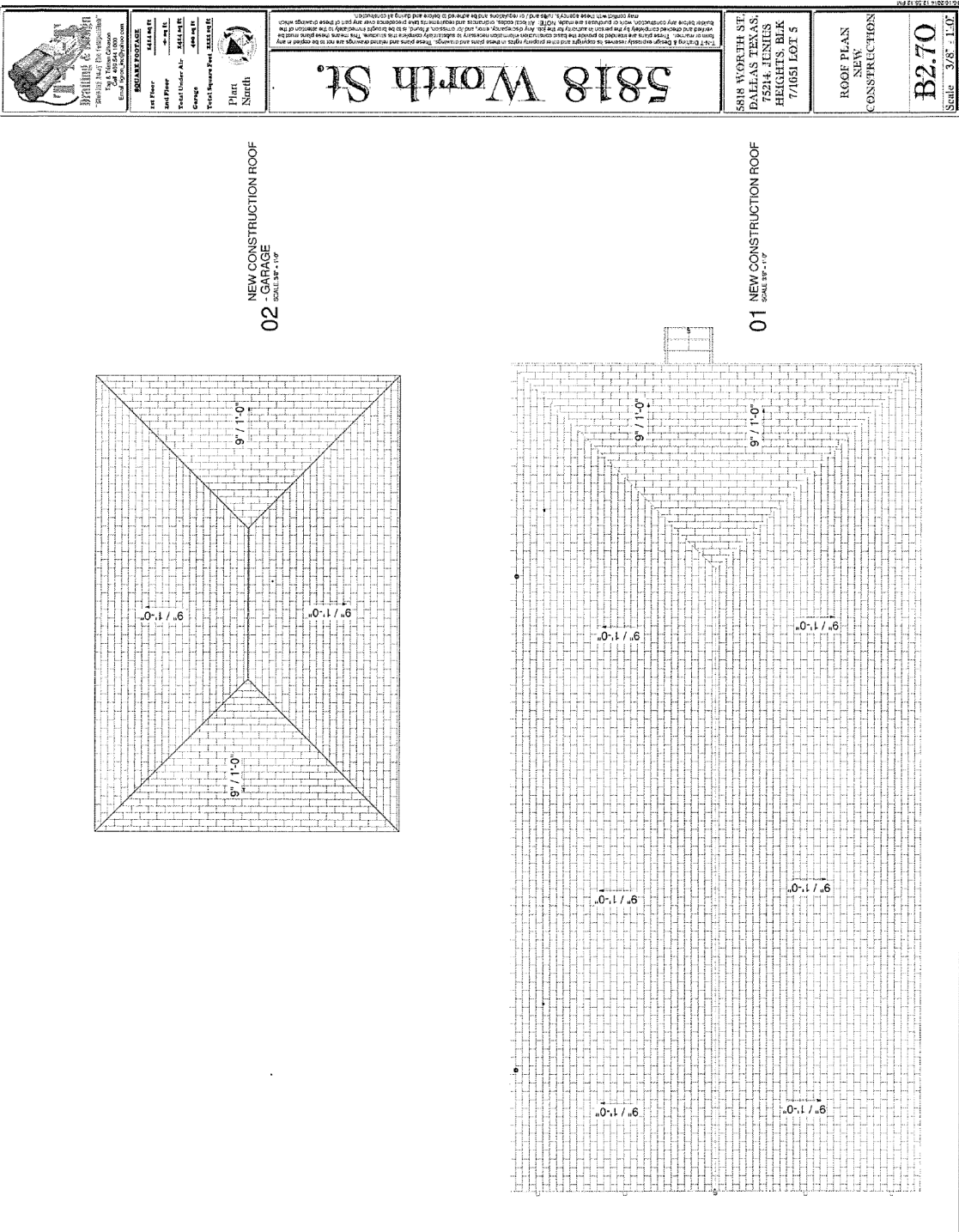
5818 WORTH ST.
 DALLAS, TEXAS
 75214, JUNIUS
 HEIGHTS, BLK
 77051 LOT 5

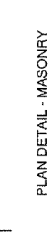
FOUNDATION / REBAR

BL.61

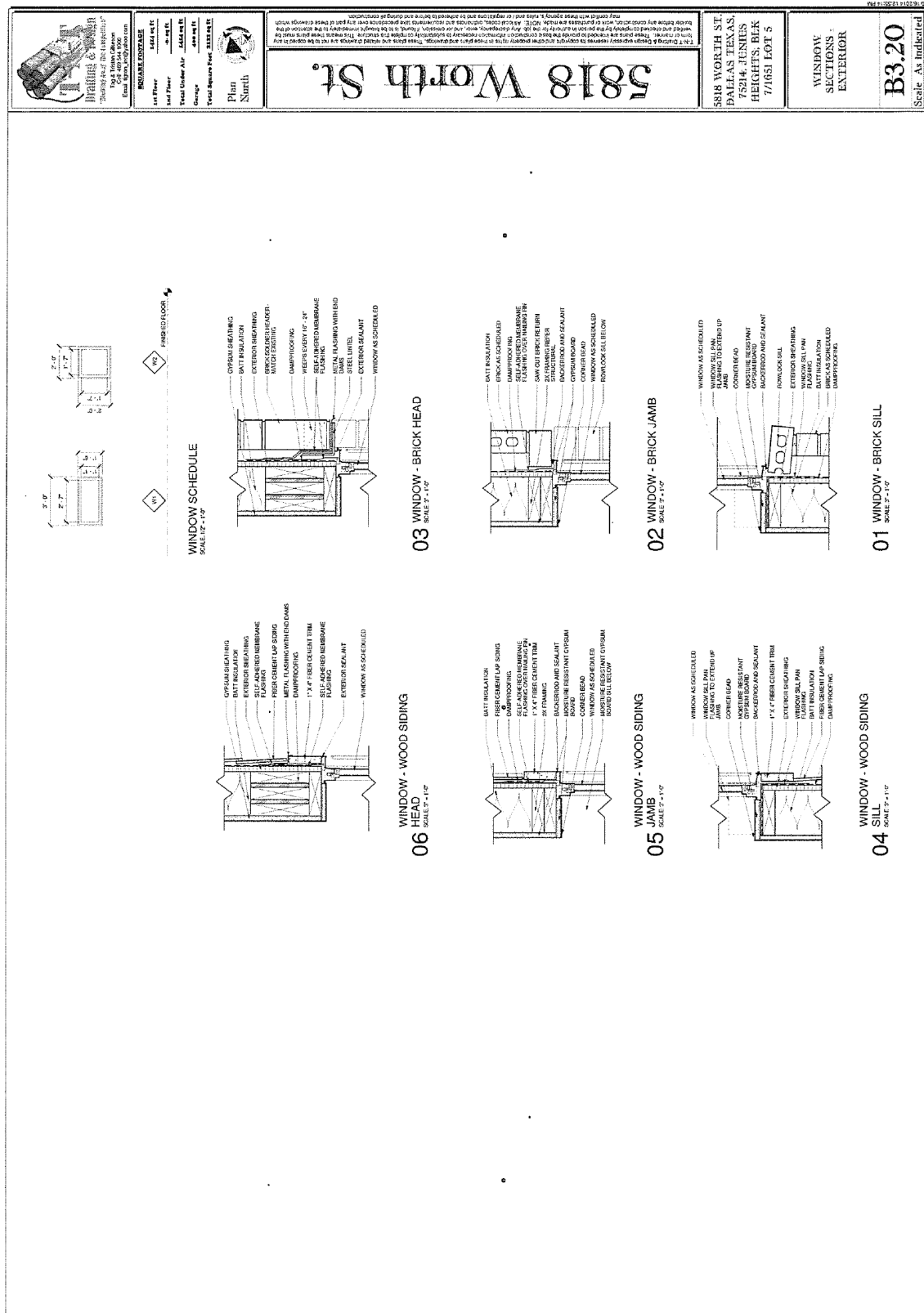
Scale: As Indicated



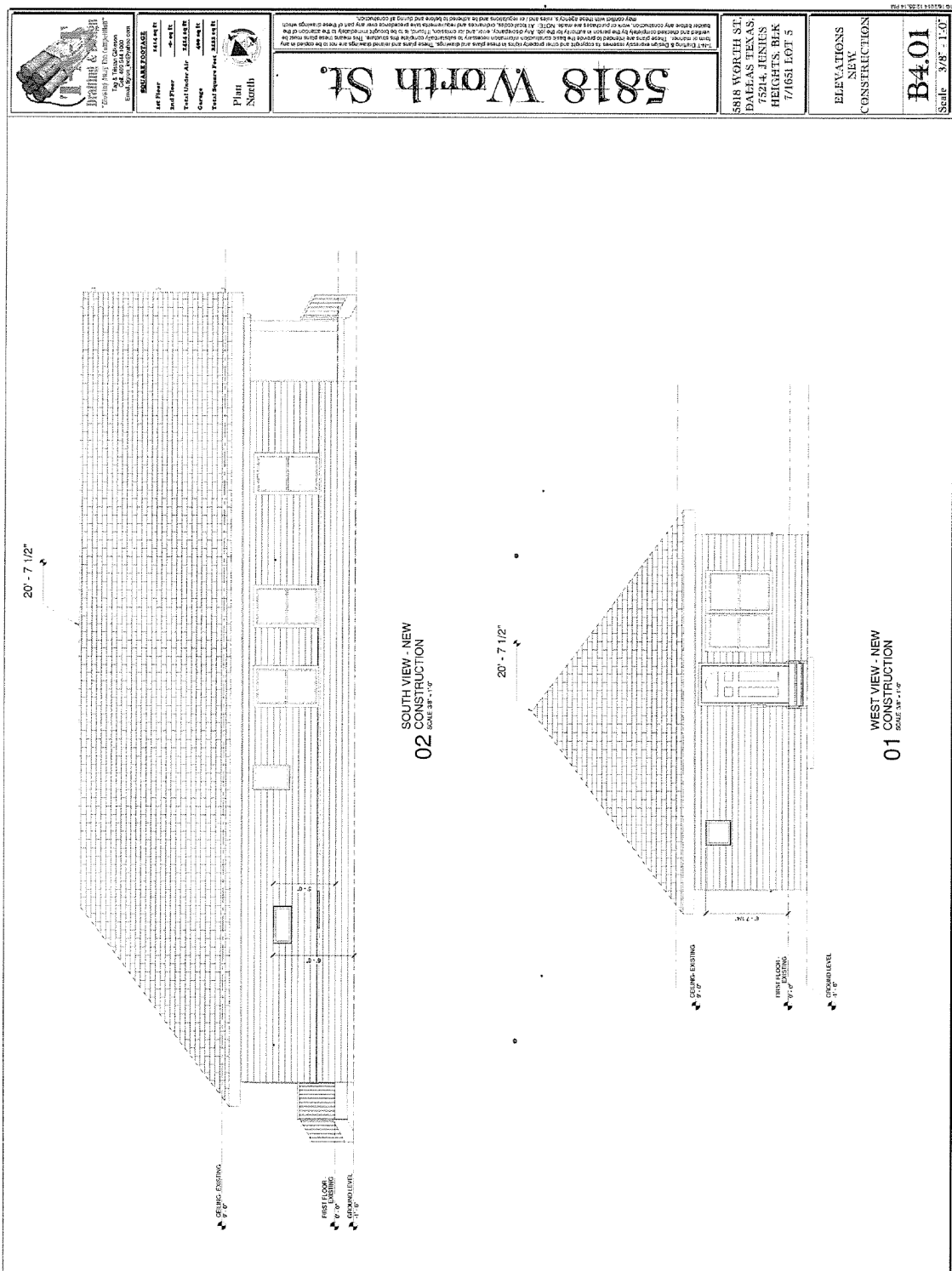


Scale $3^{\circ} = 1^{\circ}07'$ 

C6-38



C6-40





WILLIAM SLOCUM

Statement Period
August 30, 2014 to
September 30, 2014

Account Number
[REDACTED]

Customer Service Information

Call Toll Free: (877) 824-5625

Send Written Inquiries to:

Charles Schwab Bank
P.O. Box 52083
Phoenix, AZ 85072-2083

Send Deposits to:

Charles Schwab Bank
P.O. Box 52114
Phoenix, AZ 85072-9714

Schwab Bank News

Now you can nickname your Schwab Bank accounts

You've always been able to nickname your Schwab brokerage accounts, and now you can personalize your Schwab Bank checking and savings account names too. It's just one more way Charles Schwab makes managing your finances easier. Log in to schwab.com/nickname to name your accounts. (0313-1990)

Schwab Bank Bill Pay™: No more worrying about making late payments or searching for stamps.

Make it easier to pay your bills on time every month with our free bill pay service. Get bills electronically and set up recurring or one-time payments for things like house payments, utilities, or even paying a person. Get even more banking freedom and pay bills wherever you are when you download the Schwab Mobile™ app on your mobile device.

Let us help you pay your bills automatically by logging in today at schwab.com/billpay or downloading the Schwab Mobile™ app¹. For assistance, call us at 1-800-780-7735.

Please see important disclosures on page 2.
(1013-6634)



2/1 065621

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Positions for [REDACTED]

10/24/14, 6:13 PM

[Print](#)

10/24/14

Accounts
>Positions [REDACTED]

Group By: Security Type

Symbol	Name Full Short	Quantity	Price	Price Change \$ %	Market Value	Day Change ² \$ %	Rating ³	Reinvest? ⁴	% of Account ⁵
Equities									
AAPL	APPLE INC	200.481	\$105.22	+\$0.39 +0.37%	\$21,094.61	+\$78.19 +0.37%	C	Yes	2.64%
FB	FACEBOOK INC CLASS A	400	\$80.67	+\$0.63 +0.79%	\$32,268.00	+\$252.00 +0.79%	D	No	4.04%
GRFS	GRIFOLS SA NEW ADR F...	400	\$34.32	+\$0.78 +2.33%	\$13,728.00	+\$312.00 +2.33%	--	No	1.72%
KMP	KINDER MORGAN ENERGY LP...	253.5606	\$95.36	+\$0.38 +0.4%	\$24,179.54	+\$96.35 +0.4%	--	Yes	3.03%
MOBL	MOBILEIRON INC	500	\$9.08	-\$0.12 -1.3%	\$4,540.00	-\$60.00 -1.3%	D	Yes	0.57%
NNN	NATIONAL RETAIL PPTYS REIT	300	\$37.34	-\$0.12 -0.32%	\$11,202.00	-\$36.00 -0.32%	D	Yes	1.4%
NVS	NOVARTIS A G SPON ADR F...	100	\$90.15	+\$0.91 +1.02%	\$9,015.00	+\$91.00 +1.02%	--	No	1.13%
PFE	PFIZER INCORPORATED	1,922.9337	\$29.11	+\$0.51 +1.78%	\$55,976.60	+\$980.70 +1.78%	A	Yes	7.01%
LUV	SOUTHWEST AIRLINES CO	200	\$33.87	+\$0.62 +1.86%	\$6,774.00	+\$124.00 +1.86%	A	Yes	0.85%
ZOES	ZOES KITCHEN INC	300	\$35.44	+\$1.33 +3.9%	\$10,632.00	+\$399.00 +3.9%	D	No	1.33%
ZTS	ZOETIS INC	144.5754	\$36.58	+\$0.47 +1.3%	\$5,288.57	+\$67.05 +1.3%	C	Yes	0.66%
Equities Total					\$194,698.32	+\$2,305.19 +1.2%			24.37%
ETFs & Closed End Funds									
FNX	FIRST TR EXCH TRADED FD...	364	\$50.30	+\$0.15 +0.3%	\$18,309.20	+\$54.60 +0.3%	--	Yes	2.29%
QQEW	FIRST TR NASDAQ 100 FUND...	582	\$39.96	+\$0.39 +0.99%	\$23,266.72	+\$226.98 +0.99%	--	Yes	2.91%
DIV	GLOBAL X ETF...	1,076.5022	\$29.37	+\$0.155 +0.53%	\$31,616.87	+\$166.86 +0.53%	--	Yes	3.96%
IAU	ISHARES GOLD TRUST	583	\$11.92	-\$0.02 -0.17%	\$6,949.36	-\$11.66 -0.17%	--	Yes	0.87%
PID	POWERSHS EXCH TRAD FD TR...	670	\$18.13	+\$0.11 +0.61%	\$12,147.10	+\$73.70 +0.61%	--	Yes	1.52%
XLE	SECTOR SPDR ENGY SELECT...	100.5299	\$85.60	-\$0.30 -0.35%	\$8,605.36	-\$30.16 -0.35%	--	Yes	1.08%
XLV	SECTOR SPDR HEALTH FUND...	100.7318	\$65.21	+\$0.90 +1.4%	\$6,568.72	+\$90.66 +1.4%	--	Yes	0.82%
SDY	SPDR S&P DIVIDEND ETF	318	\$76.52	+\$0.53 +0.7%	\$24,333.36	+\$168.54 +0.7%	--	Yes	3.05%

<https://client.schwab.com/Areas/Accounts/Positions/PositionsPrint.aspx?domain=client.schwab.com&ls=N>

Page 1 of 3

Positions for [REDACTED]

10/24/14, 6:13 PM

GMMI	SPDR S&P EMERGING MARKET	86	\$55.67	+0.55%	\$5,647.62	+0.55%	--	Yes	0.71%
ETFs & Closed End Funds Total					\$137,434.31	+\$770.48 +0.56%			17.2%

Mutual Funds

Click stars for further rating information.

HDPMX	HODGES FUND	153.163	\$38.80	+\$0.21 +0.54%	\$5,942.72	+\$32.16 +0.54%	★★★★	Yes Yes	0.74%
JVMIX	JHANCOCK3 DISCIPLINED...	510.6	\$19.12	+\$0.16 +0.84%	\$9,762.67	+\$81.70 +0.84%	★★★★★	Yes Yes	1.22%
LGLFX	LORD ABBETT GWTH LEADERS F	928.364	\$22.61	+\$0.20 +0.89%	\$20,990.31	+\$185.67 +0.89%	★★★★	Yes Yes	2.63%
OAKMX	OAKMARK FUND	261.789	\$67.52	+\$0.33 +0.49%	\$17,675.99	+\$86.39 +0.49%	★★★★★	Yes Yes	2.21%

Past performance is no guarantee of future results. The Overall Morningstar Rating is derived from the weighted average of the risk-adjusted performance figures associated with a fund's 3-year, 5-year and 10-year (if applicable) Morningstar-rated metrics. Click on stars for further rating and standardized performance information.

Mutual Funds Total					\$54,371.69	+\$385.92 +0.71%			6.81%
---------------------------	--	--	--	--	--------------------	----------------------------	--	--	--------------

Fixed Income

04010LAN3	ARES CAP CORP 4.875%18 DUE 11/30/18	30,000	\$105.991	N/A	\$31,797.30	N/A	BBB / NR	--	3.98%
052414MY2	AUSTIN TX ELEC U 3.25%40 UTIL ELEC DUE 11/15/40 OID	20,000	\$90.729	N/A	\$18,145.80	N/A	AA- / A1	--	2.27%
2201123F1	CORPUS CHRISTI T 3.75%33 DB LTX DUE 03/01/33 OID AMT	25,000	\$101.178	N/A	\$25,294.50	N/A	AA- / Aa2	--	3.17%
235036YF1	DALLAS FT WORTH TX 4%32 TRAN AIR DUE 11/01/32 OID AMT	25,000	\$101.131	N/A	\$25,282.75	N/A	A+ / A2	--	3.16%
235036H52	DALLAS FT WORTH TX 4%45 TRAN AIR DUE 11/01/45 OID	20,000	\$101.44	N/A	\$20,288.00	N/A	A+ / A2	--	2.54%
235036E55	DALLAS FT WORTH TX 4%45 TRAN AIR DUE 11/01/45 OID AMT	20,000	\$95.986	N/A	\$19,197.20	N/A	A+ / A2	--	2.4%
235036E71	DALLAS FT WORTH TX 5%45 TRAN AIR DUE 11/01/45 AMT	20,000	\$106.647	N/A	\$21,329.40	N/A	A+ / A2	--	2.67%
247916AC3	DENBURY RES 6.375%21 DUE 08/15/21	25,000	\$104.50	N/A	\$26,125.00	N/A	BB / B1	--	3.27%
451102BA4	ICAHN ENTERPRISE 3.5%17 DUE 03/15/17	30,000	\$100.50	N/A	\$30,150.00	N/A	BBB- / Baa3	--	3.77%
451102AX5	ICAHN ENTERPRISE LP 6%20 DUE 08/01/20	25,000	\$105.00	N/A	\$26,250.00	N/A	BBB- / Baa3	--	3.29%
529772AE5	LEXMARK INTL 6.65%18 DUE 06/01/18	25,000	\$112.5691	N/A	\$28,142.28	N/A	BBB- / Baa3	--	3.52%
54811BNG2	LOWER CO RIV AUTH T 4%39 UTIL ELEC DUE 05/15/39	20,000	\$102.027	N/A	\$20,405.40	N/A	A / A2	--	2.55%
66285WKK3	N TX TWY AUTH 3.75%28 TRAN TOLL DUE 01/01/28 OID	15,000	\$104.052	N/A	\$15,607.80	N/A	A- / A2	--	1.95%
651639AL0	NEWMONT MINING 5.125%19 DUE 10/01/19	10,000	\$110.16	N/A	\$11,016.00	N/A	BBB / Baa2	--	1.38%
71645WAT8	PETROBRAS INTL 3.875%16F DUE 01/27/16 PETROBRAS INTL FIN	25,000	\$102.2058	N/A	\$25,551.45	N/A	BBB- / Baa2	--	3.2%
71645WAL5	PETROBRAS INTL 6.125%16F DUE 10/06/16 PETROBRAS INTL FIN	25,000	\$107.3169	N/A	\$26,829.23	N/A	BBB- / Baa2	--	3.36%
902261HJ8	TYLER TX HLTH F 5.375%37 HLTH HOSP DUE 11/01/37 OID	30,000	\$104.922	N/A	\$31,476.60	N/A	N/R / Baa2	--	3.94%

Fixed Income Total					\$402,888.71	N/A			50.43%
---------------------------	--	--	--	--	---------------------	------------	--	--	---------------

Cash & Money Market

Cash & Money Market ⁶					\$9,449.79	+\$0.00 0%	--	--	1.18%
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<https://client.schwab.com/Areas/Accounts/Positions/PositionsPrint.aspx?domain=client.schwab.com&ls=N>

Page 2 of 3

Cash & Money Market Total	\$9,449.79	+\$0.00 0%	1.18%
Account Total	\$798,842.82	+\$3,461.58 +0.44%	

Prices and Market Values are real-time and based on NASDAQ Last Sale or a consolidated market quote unless otherwise indicated.

Quotes from the Toronto Stock Exchange and TSX Venture Exchange are delayed for professional users. Non-professional users may see a mix of real time and delayed quotes.

For Mutual funds, the NAV is a daily calculation occurring after market close. This process may take 2-to-4 hours before a final NAV is made available to the public.

As your agreement for the receipt and use of market data provides, the securities markets (1) reserve all rights to the market data that they make available, (2) do not guarantee that data; and (3) shall not be liable for any loss due either to their negligence or to any cause beyond their reasonable control.

1. The Account Day Change (\$) and (%) are based on the difference between the sum of the current market value of all positions plus the current cash balances less the previous closing values for positions and cash balances. The Account Day Change will be available until one hour prior to the next market open.
 2. The Position Day Change value is calculated as: Price Change x the shares/bonds/units/contracts held in the account currently. It assumes no change in quantity from the prior day and will be available until one hour prior to the next market open.
 3. Ratings are specific to each type of security. Equities display Schwab Equity Ratings®, ETFs & Closed End Funds display a link to Morningstar ratings, Mutual Funds display Morningstar ratings, and Fixed Income display S&P followed by Moody's ratings.
 4. Mutual funds display Dividend Reinvestment instructions followed by Capital Gain Reinvestment instructions.
 5. The % of Account Assets for each position is calculated using all the long positions with values and all cash or cash investment amounts.
 6. The Cash or Total Cash value reflects the aggregate amount of your bank account(s), money market funds, un-swept or intra-day cash, credit or debit balances for the account(s) displayed. Insured Bank Network accounts are held at the [FDIC-insured] depository institution(s) referenced on the Balance detail page, your account statements, and disclosed in your account documents. Securities products (including un-swept or intra-day cash, net credit or debit balances and money market funds) offered by Charles Schwab & Co., Inc. (member SIPC) are not deposits or obligations of the [FDIC-insured] depository institution(s), are subject to investment risk, are not FDIC-insured, may lose value, and are not bank guaranteed. SIPC does not cover balances held at Sweep Banks in the Insured Bank Network feature.
- Fixed income investments are subject to various risks including changes in interest rates, credit quality, market valuations, liquidity, prepayments, early redemption, corporate events, tax ramifications and other factors. For further details, please contact a Schwab Fixed Income Specialist or see the Fixed income product page.

For each fund with at least a three-year history, Morningstar calculates a Morningstar Rating™ based on a Morningstar Risk-Adjusted Return measure that accounts for variation in a fund's monthly performance (including the effects of sales charges, loads and redemption fees), placing more emphasis on downward variations and rewarding consistent performance. (Each share class is counted as a fraction of one fund within this scale and rated separately, which may cause slight variations in the distribution percentages.) The top 10% of the funds in an investment category receive 5 stars, 22.5% receive 4 stars, 35% receive 3 stars, the next 22.5% receive 2 stars, and the bottom 10% receive 1 star. The Overall Morningstar Rating is a weighted average of the funds' three-, five-, and 10-year (if applicable) Morningstar rating metrics.

Brokerage Products: Not FDIC Insured • No Bank Guarantee • May Lose Value

Today's Date: 07:12 PM ET, 10/24/2014

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Bank sweep accounts are generally held at Charles Schwab Bank. Funds deposited at Schwab Bank are insured by the Federal Deposit Insurance Corporation (FDIC) up to \$250,000 when aggregated with all other deposits held by you in the same capacity at Schwab Bank. Funds on deposit at Schwab Bank are not deposits or obligations of Charles Schwab & Co., Inc. and may not be covered by the Securities Investor Protection Corporation (SIPC [S]). NOTE: Funds deposited at an FDIC insured institution are insured, in aggregate, up to \$250,000 per depositor, per insured institution based upon account type by the Federal Deposit Insurance Corporation (FDIC).

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**Independent
Bank**

3090 Craig Drive
PO Box 3035
McKinney, TX 75070
972-562-3426
Main Office

____ WILLIAM C SLOCUM III
____ 700 N PAULUS ST
____ DALLAS TX 75214

876

Date 10/08/14
Account Number [REDACTED]
Enclosures

Page 1
1

---- CHECKING ACCOUNTS ----

PERSONAL CHECKING		Number of Enclosures	1
Account Number	[REDACTED]	Statement Dates	9/09/14 thru 10/08/14
Previous Stmt Balance	18,455.69	Days in the statement period	30
1 Deposits/Credits	1,873.80	Average Ledger	19,223.34
2 Checks/Debits	525.80	Average Collected	19,223.34
Service Charge	.00		
Interest Paid	.00		
Current Stmt Balance	19,803.69		

Deposits and Other Credits

Date	Description	Amount
9/24	XXSOC SEC SSA TREAS 310	1,873.80
	[REDACTED] 14/09/24	

Other Debits

Date	Description	Amount
10/06	MedInsPvmt UnitedHCMedicare	25.80-
	[REDACTED] 14/10/06	

--- CHECKS IN NUMBER ORDER ---

Date	Check No	Amount
9/29	4443	500.00

*Indicates Skip in Check Number

Daily Balance Summary

Date	Balance	Date	Balance
9/09	18,455.69	9/29	19,829.49
9/24	20,329.49	10/06	19,803.69



**Independent
Bank**

3090 Craig Drive
PO Box 3035
McKinney, TX 75070
972-562-3426
Main Office

126

WILLIAM C SLOCUM III
700 N PAULUS ST
DALLAS TX 75214

Date 9/30/14
Account Number [REDACTED]
Enclosures

Page 1
9

---- CHECKING ACCOUNTS ----

INDEX FUND		Number of Enclosures	9
Account Number	[REDACTED]	Statement Dates	9/02/14 thru 9/30/14
Previous Stmt Balance	161,392.50	Days in the statement period	29
1 Deposits/Credits	3,175.88	Average Ledger	161,578.43
11 Checks/Debits	3,940.40	Average Collected	161,578.43
Service Charge	.00	Interest Earned	51.35
Interest Paid	53.12	Annual Percentage Yield Earned	0.40%
Current Stmt Balance	160,681.10	2014 Interest Paid	330.35

Deposits and other Credits

Date	Description	Amount
9/02	REGULAR DEPOSIT	3,175.88
9/30	Interest Deposit	53.12

Other Debits

Date	Description	Amount
9/05	BILLING NATIONAL LLOYDS	1,694.00-
	14/09/05	
9/10	CHECKPAYMT WELLSFARGO CARD	147.35-
	REGULUSDAL 14/09/10	
	CHECK #- 2036	
	TRACE #- 091000015556414	
9/17	Atmos Ener Atmos Energy	45.59-
	/09/17	
	CHECK #- 2041	
	TRACE #- 042000011295376	

--- CHECKS IN NUMBER ORDER ---

Date	Check No	Amount	Date	Check No	Amount
9/12	2003	29.77	9/10	2036	-see above-
9/08	2033*	32.46	9/16	2037	141.83
9/09	2035*	1,000.00	9/15	2038	187.19

*Indicates skip in Check Number



**Independent
Bank**

3090 Craig Drive
PO Box 3035
McKinney, TX 75070
972-562-3426
Main Office

760

ECHO LAND & CATTLE INC
700 N PAULUS ST
DALLAS TX 75214

Date 9/30/14
Account Number [REDACTED]
Enclosures 3

Page 1

3

----- CHECKING ACCOUNTS -----

FREE SMALL BUSINESS		Number of Enclosures	3
Account Number	[REDACTED]	Statement Dates	9/02/14 thru 9/30/14
Previous Stmt Balance	2,486.34	Days in the statement period	29
1 Deposits/Credits	702.85	Average Ledger	2,306.81
3 Checks/Debits	326.00	Average Collected	2,306.81
Service Charge	.00		
Interest Paid	.00		
Current Stmt Balance	2,863.19		

Deposits and Other Credits

Date	Description	Amount
9/29	REGULAR DEPOSIT	702.85

Other Debits

Date	Description	Amount
9/17	USATAXPYMT IRS	160.00-
	[REDACTED] 4/09/17	
	ID # [REDACTED]	
	ECHO LAND & CATTLE	

--- CHECKS IN NUMBER ORDER ---

Date	Check No	Amount	Date	Check No	Amount
9/09	5009	46.00	9/03	5091*	120.00

*Indicates Skip in Check Number

Daily Balance Summary

Date	Balance	Date	Balance
9/02	2,486.34	9/09	2,320.34
9/03	2,366.34	9/17	2,160.34
		9/29	2,863.19



CLIENT STATEMENT | For the Period September 1-30, 2014

Morgan Stanley

Page 2 of 8

Account Summary

Active Assets Account

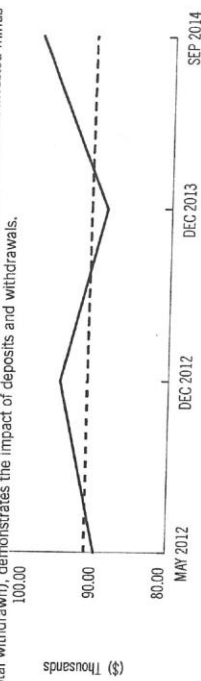
WILLIAM C SLOCUM III

CHANGE IN VALUE OF YOUR ACCOUNTS (includes accrued interest)

	This Period (9/1/14-9/30/14)	This Year (1/1/14-9/30/14)
TOTAL BEGINNING VALUE	\$97,299.43	\$88,414.39
Credits	—	—
Debits	—	(150.00)
Security Transfers	—	—
Net Credits/Debits/Transfers	—	\$(150.00)
Change in Value	(87.18)	8,947.86
TOTAL ENDING VALUE	\$97,212.25	\$97,212.25

CHANGE IN VALUE OVER TIME

The display of market value (total account value) and net invested capital (total amount invested minus total withdrawn), demonstrates the impact of deposits and withdrawals.

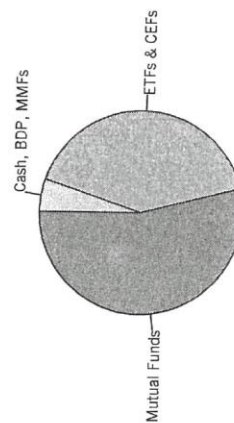


— Total Market Value - - - Net Invested Capital Since 05/31/12

This graph does not reflect corrections to Net Invested Capital or Market Value made subsequent to the dates depicted. It may exclude transactions in Annuities or positions where we are not the custodian, which could delay the reporting of Market Value or affect the Net Invested Capital.

ALLOCATION OF HOLDINGS

	Market Value	Percentage %
Cash, BDP, MMFs*	\$5,023.62	5.2
ETFs & CEFs	39,657.41	40.8
Mutual Funds	52,531.22	54.0
TOTAL VALUE	\$97,212.25	100.0%



This allocation represents holdings on a trade date basis, and projected settled Cash/BDP and MMF balances. These classifications are not intended to serve as a suitability analysis. * FDIC rules apply and Bank Deposits are eligible for FDIC insurance but are not covered by SIPC. Cash and securities (including MMFs) are eligible for SIPC coverage. See Expanded Disclosures.

Security Mark
at Right



The Lincoln National Life Insurance Company
PO Box 2348
Fort Wayne, IN 46801-2348
888-868-2583

Lincoln ChoicePlusSM

Annuity Quarterly Statement 3rd Quarter 2014

Your Account Information

Contract Owner: EDWARD JONES
Annuitant: WILLIAM C SLOCUM

Product: Assurance (A Class)
Plan Type: Custodial IRA
Contract Effective Date: 3/21/2011

Your Annuity Contact Information

Representative: CHRISTOPHER M GOINS
Broker-dealer: EDWARD D JONES
If you have any questions regarding this statement,
please contact us at the phone number above or visit
our website at www.LincolnFinancial.com.

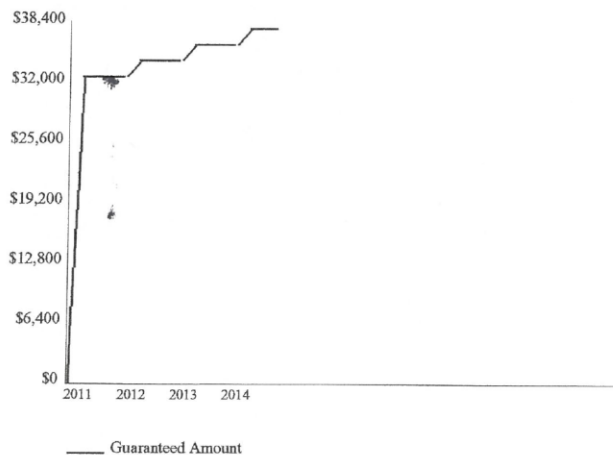
Your Quarterly Account Value

Value 6/30/14	Net Activity	Gain / Loss	Value 9/30/14
\$38,875.65	-\$84.99	-\$403.33	\$38,387.33

Refer to your contract for surrender charge information.

Surrender Value: \$38,358.92

Your Lincoln Lifetime IncomeSM Advantage (Single) Benefit



On 3/21/2011 you elected **Lincoln Lifetime IncomeSM Advantage (Single)**.

As of the statement date, your **Lincoln Lifetime IncomeSM Advantage (Single)** values are as follows:

Guaranteed Amount: \$37,773.22
Maximum Annual Withdrawal: \$1,888.66
Remaining Maximum Annual Withdrawal: \$1,888.66
The amount that your Maximum Annual Withdrawal is based on is \$37,773.22

(Maximum Annual Withdrawal is not applicable until age 59 1/2)

For detailed information regarding your living benefit rider, please refer to your contract or prospectus.

As of the statement date, your anticipated living benefit rider values would be as follows:

	Guaranteed Amount
on 3/21/2017	\$43,727.22
on 3/21/2019	\$48,209.26
on 3/21/2024	\$53,150.71

If you began **i4LIFE[®]** Advantage on the statement date your annual initial income would be \$2,357.86 with a Guaranteed Income Benefit (GIB) of \$1,768.40 (Assumes a single life payout with a 17 year Access Period).

- The illustrated dates are 3, 5, and 10 years from the most recent rider anniversary.
- Values represented on the graph began at rider election and show up to 10 years of history.
- Performance data quoted represents past performance. The investment return and principal value may fluctuate so that an investor's units, when redeemed, may be worth more or less than their original cost. Past performance does not guarantee future results.
- Withdrawals will reduce the guaranteed amounts and benefits.

Lincoln Financial Group is the marketing name for Lincoln National Corporation and its affiliates.
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92-2093621

0000000 S01B19 986170 GOINS, CHRISTOPHER M
164565 2/4

WILLIAM C SLOCUM



**Certified
Center of Excellence**



The FMSbonds Building
4775 Technology Way, Boca Raton, FL 33431

Account Number

Tax ID Number

For the Period

Page 1 of 3

ON FILE

09/01/14 Through 09/30/14

027136

Last Statement Date

07/31/14

Your Account Executive

LUIS GONZALEZ
RR # 567

WILLIAM SLOCUM
700 N PAULUS AVE
DALLAS TX 75214

10409

Monthly Statement Summary

Income Summary	This Month	Year To Date	Account Summary	Opening Balance	Closing Balance
TAX FREE INCOME	\$0.00	\$1,150.00cr	MONEY BALANCES		
			CASH ACCOUNT	\$0.00	\$0.00
Accrued Interest Paid	This Month	Year To Date			
NONE	\$0.00	\$0.00			

DAILY ACCOUNT ACTIVITY

DATE	TRANS	DESCRIPTION	QUANTITY	PRICE	DEBIT	CREDIT
		NONE				

ACCOUNT POSITIONS

QUANTITY	SECURITY DESCRIPTION	RATINGS MOODYS/S&P	MONTHEND UNIT PRICE	MARKET VALUE	CUSIP
20,000	NORTH TEX TWY AUTH REV FIRST TIER REF REV BDS OID PAR CALL 01/01/2018 2ND BERKSHIRE HATHAWAY ASSUR DUE 01/01/2048 5.750% JJ 01	AA1 /AA+	112.905	\$22,581.00	66285WCR5
20,000	TOTAL PAR VALUE				
	TOTAL VALUE OF PRICED SECURITIES			\$22,581.00	

⦿ Denotes a material event has occurred. Log into your FMSbonds account and click on the ⦿ on your positions screen to view the details.

For a historical list of material events on any municipal bond, visit emma.msrb.org.

Prospectuses and official statements are available online at www.fmsbonds.com, as well as www.emma.msrb.org, or by request.

Accounts insured up to \$25,000,000.

Boca Raton • N. Miami Beach • Greenwich • Denver • Bozeman

Member FINRA/SIPC ■ Established 1978 ■ www.FMSbonds.com ■ 1-800-741-1103

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 12/11/2014

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Andrew Gilbert (COA)
Address: 5818 WORTH
Date of CA/CD Request: 12/04/14

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Motion made to recommend suspension & demolish
order, Laura Koppang / Sally Johnson.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input checked="" type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Sally Johnson	<input checked="" type="checkbox"/> Terri Raith (Alternate)
<input checked="" type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> Kiki Granstrom (Alternate)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Koppang
2nd: Johnson

Task Force members in favor: All

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE Dec. 11, 2014

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room SES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-524(MP)
LOCATION: 6115 Worth
STRUCTURE: Accessory & Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Marsha Prior
DATE FILED: July 2, 2015
DISTRICT: Junius Heights
MAPSCO: 36-Y
CENSUS TRACT: 0013.01

APPLICANT: Jeff Van Buskirk

OWNER: Erika Larson

REQUEST: Construct one-story detached garage.

BACKGROUND / HISTORY: None

ANALYSIS: Proposed garage will be constructed with Hardie board and have vinyl windows. The Junius Heights ordinance allows Hardie board on accessory structures. Staff is recommending approval of vinyl windows since it is in the rear and is an accessory structure. Other features of the proposed garage follow a Crafts-man style look. There was no quorum at the Task Force meeting, but those present recommended accepting plans as submitted.

STAFF RECOMMENDATION: Construct one-story detached garage – Approve – Approve plans dated 07/15/2015 with the finding the work is consistent with preservation criteria Section 9 for accessory structures and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION: No quorum, comments only: Recommend plans as shown.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 -524 (MP)
Office Use Only

Name of Applicant: JEFF VANBUSKIRK
Mailing Address: 3700 DILLON RD
City, State and Zip Code: DALLAS TX 75228
Daytime Phone: 214 850 4274 Fax: _____
Relationship of Applicant to Owner: CONTRACTOR

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ____ No ____
Planner's Initials

PROPERTY ADDRESS: 6115 WORTH ST DALLAS TX 75214
Historic District: JUNIOR HEIGHTS

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

New Detached garage

RECEIVED BY

JUL 02 2015

Current Planning

Signature of Applicant: _____

Date: 6/26/15

Signature of Owner: _____
(IF NOT APPLICANT)

Date: 6/26/15

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

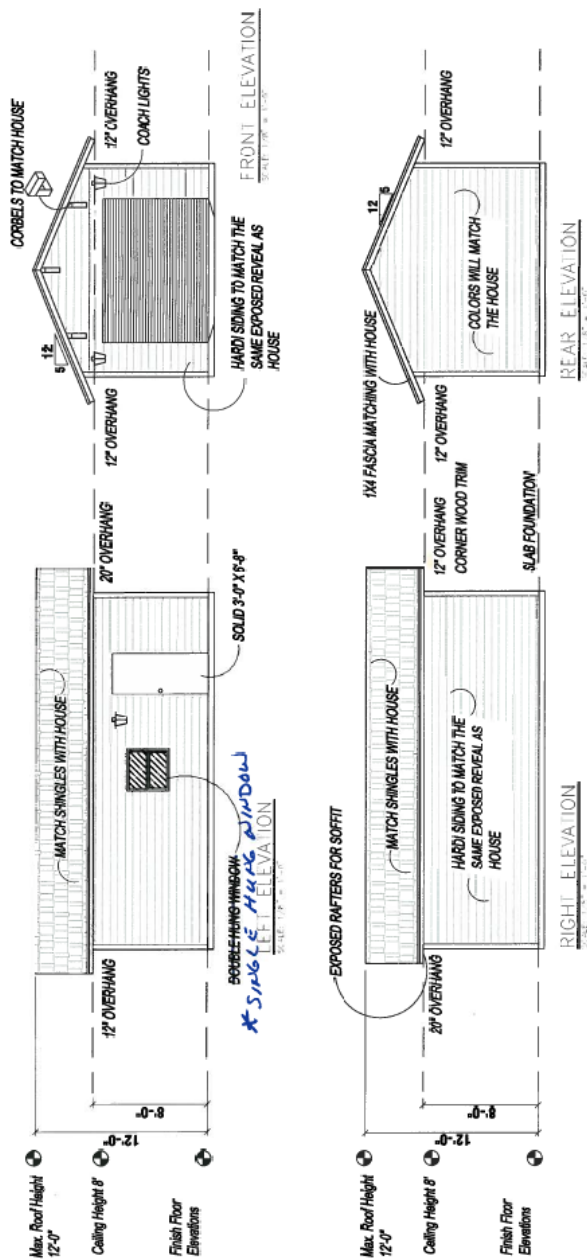
Historic Preservation
Rev. 111408





Proposed location of detached garage.





CONSTRUCTION CONCEPTS INC.

317 E. JEFFERSON BLVD.
DALLAS, TX. 75203
TEL. (214) 946-4300
FAX. (214) 948-9544

THESE PLANS ARE INTENDED TO PROVIDE A BASIC CONSTRUCTION INFORMATION FOR THE DESIGN OF THE PROJECT. THE PLANS AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF THE BUREAU OF HIGHWAYS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE BUREAU OF HIGHWAYS ASSUMES NO LIABILITY FOR ANY DAMAGES OR LOSSES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, PERSONAL INJURY, PROPERTY DAMAGE, OR ECONOMIC LOSS, ARISING OUT OF THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE BUREAU OF HIGHWAYS DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THESE PLANS, AND THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION CONTAINED HEREIN. THE BUREAU OF HIGHWAYS SHALL NOT BE LIABLE FOR ANY DAMAGES OR LOSSES OF ANY KIND, INCLUDING BUT NOT LIMITED TO, PERSONAL INJURY, PROPERTY DAMAGE, OR ECONOMIC LOSS, ARISING OUT OF THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS. THE BUREAU OF HIGHWAYS DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THESE PLANS, AND THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION CONTAINED HEREIN.

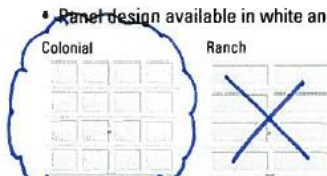
Project Name & Address
6115 WORTH STREET
DALLAS, TX
75214

Project ELEVATION	Sheet
Date 06/29/15	3
Scale 1/8" = 1'-0"	
Drawn By LP	

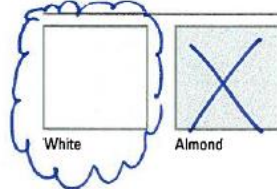
Model 8124 & 8224 PO Specifications

Design

- Steel panels are embossed with a wood-grained texture giving the look of genuine wood.
- Panel design available in white and almond.



Colors



Safety & Security

- Lifting handles reduce risk to fingers from closing door panels

Warranty

- The Models 8124 & 8224 offer a 10-Year limited warranty against cracking or splitting due to rust-through.

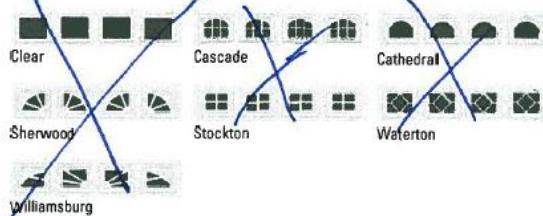
See dealer for complete warranty details.



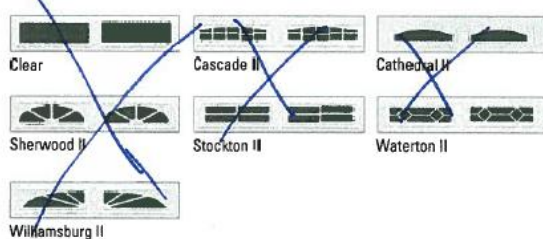
Windows

Many decorative window inserts are available to enhance the look of your garage door, which in turn enhances the look of your home.

Colonial Panel Windows



Ranch Panel Windows



SEE ALL THE LOOKS AVAILABLE ON OUR GARAGE DOOR DESIGN CENTER AT www.Wayne-Dalton.com

Energy Efficiency & Noise Control

- Model 8224 contains polystyrene insulation with an R-7.8* value.
- Model 8124 contains polystyrene insulation with an R-3.7* value.
- Tongue-and-groove panel joints fit together snugly to help seal out wind and weather.
- Bulb-shaped bottom seal remains flexible to keep out bad weather.

* Insulation values have been calculated in compliance with DASMA TSD-163 industry standards.



Specifications for proposed garage door – colonial panels, white, no windows.



Replacement Window 220 Series

Features

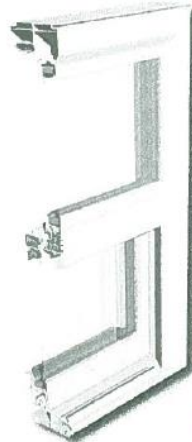
- 3" main frame beveled exterior profile gives an outstanding, bold appearance
- Tilt-in sash for easy cleaning
- Block & tackle balance system for long-lasting smooth, quiet operation
- 3/4" LoE E66 Environsealed Windows™, environmentally friendly with warm edge spacer reduces thermal loss
- Ventilation control for opening windows only 4"
- Metal reinforced center bar for better structural performance and weather tightness
- Multi-chambered design for structural integrity, superior thermal performance, maintenance-free, vinyl frame and sash extrusions

Note: All picture windows, shapes and one-frame glass larger than 30 square feet will come with Tempered Glass as standard for safety reasons. All additional charges for Tempered Glass will automatically be applied.

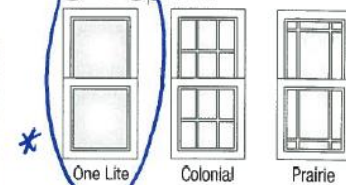
Other Options

- Argon enhanced glass improves energy efficiency
- The Replacement 220 is available with an integral nail fin
- Tempered glass, rain glass, obscure glass
- Grille patterns: 3/4" colonial, prairie lite, 1" contoured, and 1 1/8" simulated divided lites
- Factory mulls (combined units) with continuous head and sill
- Field mull accessory for job site joining of units
- Accessories: sill angle and head expander

* Units are made in 1/4" increments, plus or minus 1/8". Order 1/4" less than smallest measurement.



Grille Options



Simulated Divided Lite

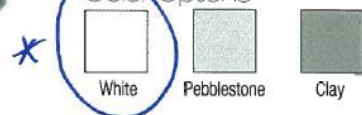


Grille Between Glass



Contoured Grille

Color Options



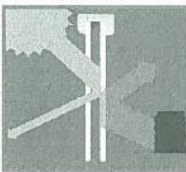
Performance Data

Vinyl Replacement Window - 220 Series

3/4" OA Insul		Single Hung			Picture Window		
		U-Factor	SHGC	VT	U-Factor	SHGC	VT
E66 LoE air	no grilles	.32	.22	.51	.31	.23	.54
E66 LoE air	w/grilles	.32	.20	.46	.31	.21	.49
E66 LoE argon	no grilles	.29	.22	.51	.28	.23	.54
E66 LoE argon	w/grilles	.29	.20	.46	.28	.21	.49

Check local jurisdictions for current energy codes.

LoE Glass



The Vinyl Replacement Window 220 is offered with a LoE glass option. LoE high performance glass with argon gas allows light to filter in while keeping the sun's harmful rays out. In addition, this special glazing saves energy and reduces utility costs by keeping the cool air inside in the summer and the warm air inside in the winter.

Product lines and their components, building codes, installation techniques and third party certifications are constantly evolving. For the most current information, check our website frequently at www.krestmark.com.

Energy Star® Qualifications



- Northern Mostly Heating
- South-Central Heating & Cooling
- North-Central Heating & Cooling
- Southern Mostly Cooling

Climate Zones - U.S.	U-Factor	SHGC
Northern**	≤0.30	Any
Northern**	≤0.31	≥0.25
Northern**	≤0.32	≥0.40
North-Central	≤0.30	≤0.40
South-Central	≤0.30	≤0.25
Southern	≤0.40	≤0.75



ENERGY STAR Residential Windows Version 6.0 specification, effective 1/1/15; **Northern Zone prescriptive, effective 1/1/16.



You may qualify for a Tax Credit when you replace your existing windows. For more information, go to www.energystar.gov.

For information about measuring and installing new Krestmark windows, visit our web site at www.krestmark.com

3950 Bastille Road, Suite 100 ■ Dallas, Texas 75212 ■ 214-237-5055 ■ www.krestmark.com

Krestmark Industries, L.P. ©2014 VIN 220 B.14

Specifications for windows, vinyl, one over one, white.



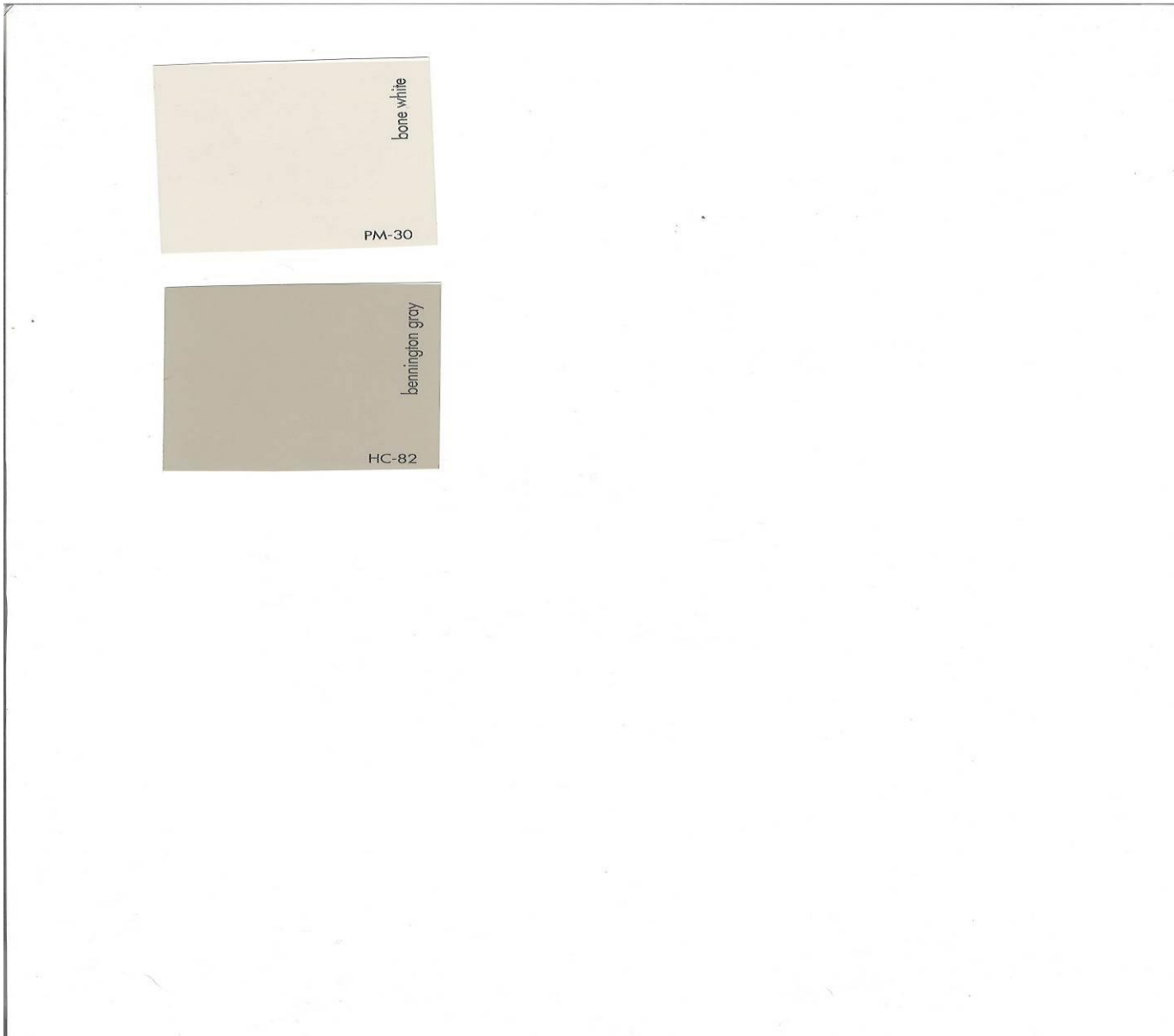
Garage entry door for 6115 worth street flush panel metal door painted to match house colors from lowes

Proposed personal entry door, flush metal panel to be bone white, Brand: Benjamin Moore PM-30 "Bone White."

Portfolio Amberset 10.5-in H Specialty Bronze Outdoor Wall Light



Outside coach lights for 6115 worth street from lowes



Paint colors to match main structure:

Brand: Benjamin Moore
Main Body: H-82 "Bennington Gray."
Trim: PM-30 "Bone White."

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 07/09/2015

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Jeff Van Buskirk
Address: 6115 Worth
Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve plans as shown Schmidt/Koppang

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Sally Johnson	<input type="checkbox"/> Terri Raith (Alternate)
<input type="checkbox"/> Barbara Cohen	<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

July 9, 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-512(MD)
LOCATION: 1607 Lyte Street
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 2
ZONING: PD No.193

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Magnolia Station
MAPSCO: 45-E
CENSUS TRACT: 0019.00

APPLICANT: Masterplan Consultants

REPRESENTATIVE: Karl Crawley

OWNER: LYTE DEVELOPMENT CO LLC

REQUEST:

Construct six-story multifamily apartment structure.

BACKGROUND / HISTORY:

9/3/2013 – Landmark Commission approved conceptually the construction of a new residential structure (CR123-004(MD)).

ANALYSIS: The existing preservation criteria was amended in April 2015 to allow for the proposed construction.

The proposed construction meets the criteria in the preservation criteria, therefore Staff is recommending approval.

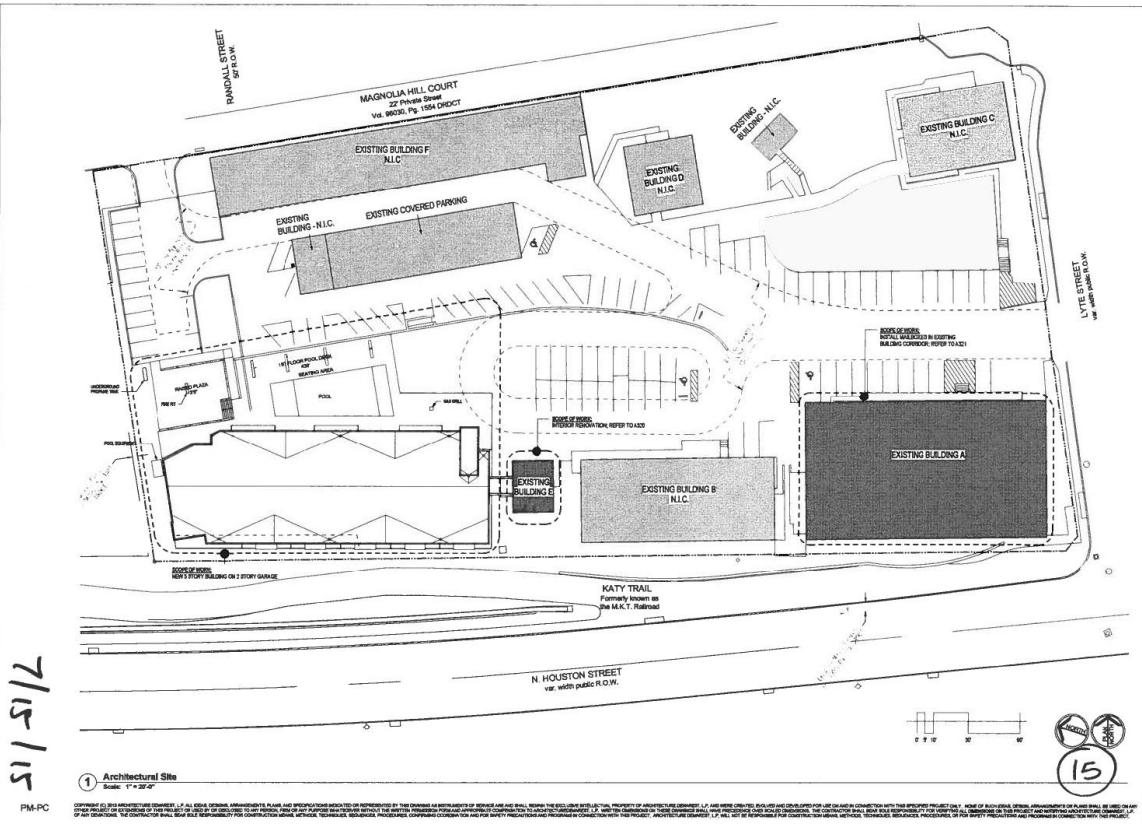
STAFF RECOMMENDATION:

Construct six-story multifamily apartment structure. – Approve - Approve drawings dated 7/15/15 with the finding the proposed work is consistent with the criteria for new construction and additions in the preservation criteria Section 5, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Construct six-story multifamily apartment structure. – Approve with condition - Approve design as submitted with conditions: Submit a building height study. Submit a set of outline specifications with plans.

5/15/15



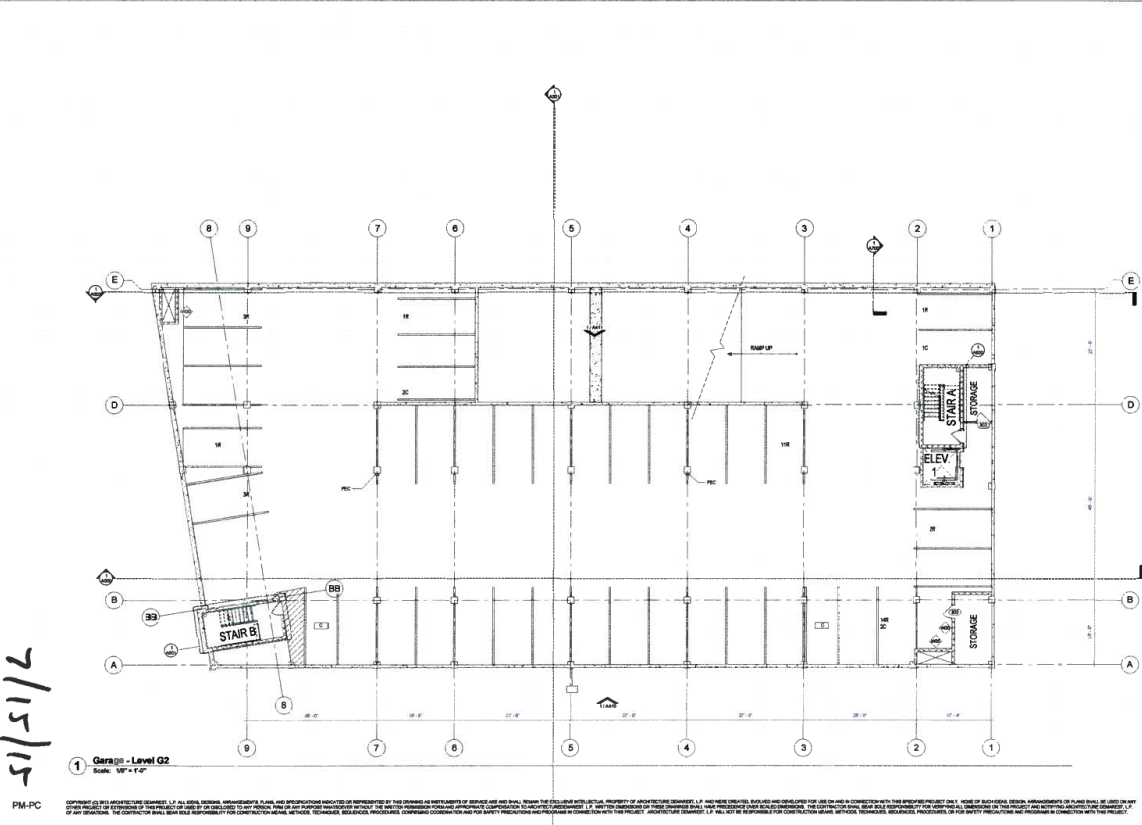
Magnolia Station
Leon Capital Group
1607 Lyte St., Dallas, TX

Site Plan



ARCHITECTURE
DAVID S. SCHAEFER
08.08.15
14006
GI-104

5/15/15

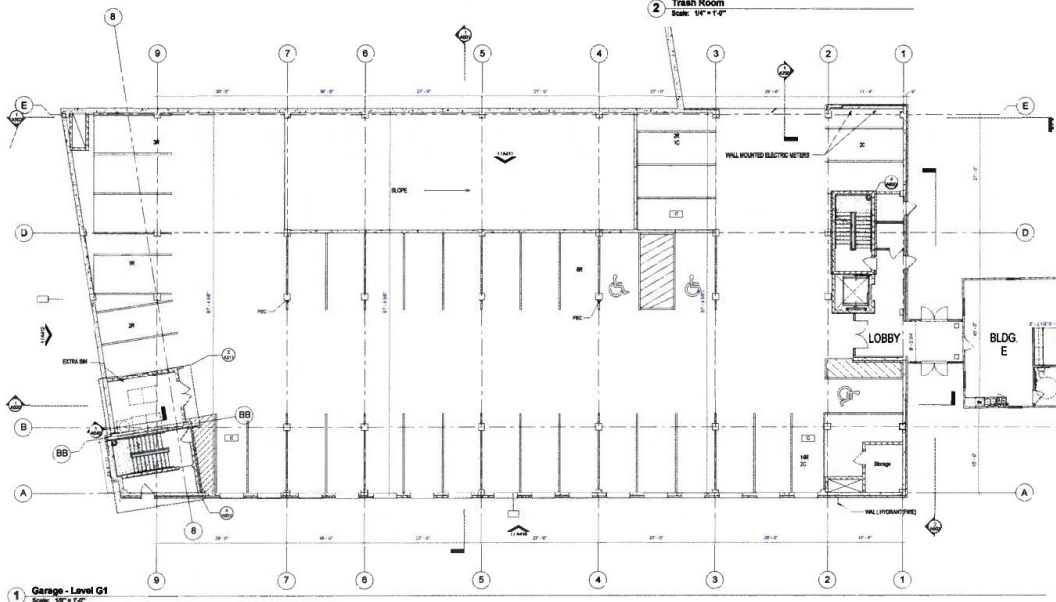


Magnolia Station
Leon Capital Group
1607 Lyte St., Dallas, TX

Garage - Level G2



ARCHITECTURE
DAVID S. SCHAEFER
08.08.15
14006
A310



7/15/15

PM-PC

Garage - Level G1

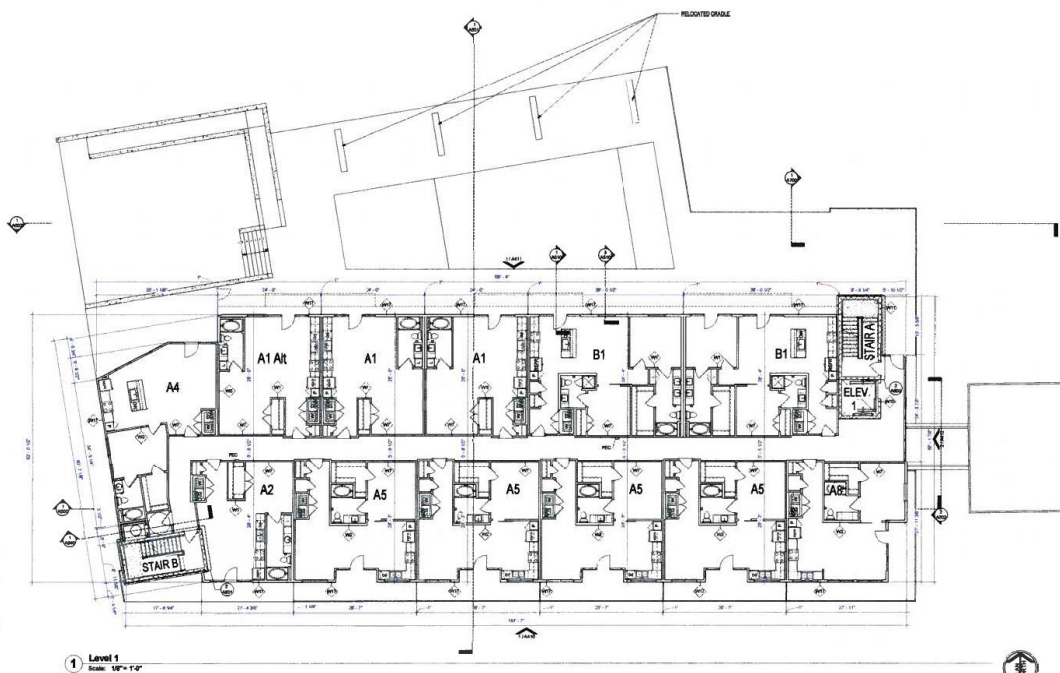


ARCHITECTURAL DIGEST

PERMIT ISSUE DATE
2015.08.08
CONSTRUCTION ISSUE DATE:

Revision Schedule		
No.	Date	Description

JOB NO.
14006
SHEET NO.
A311



7/15/15

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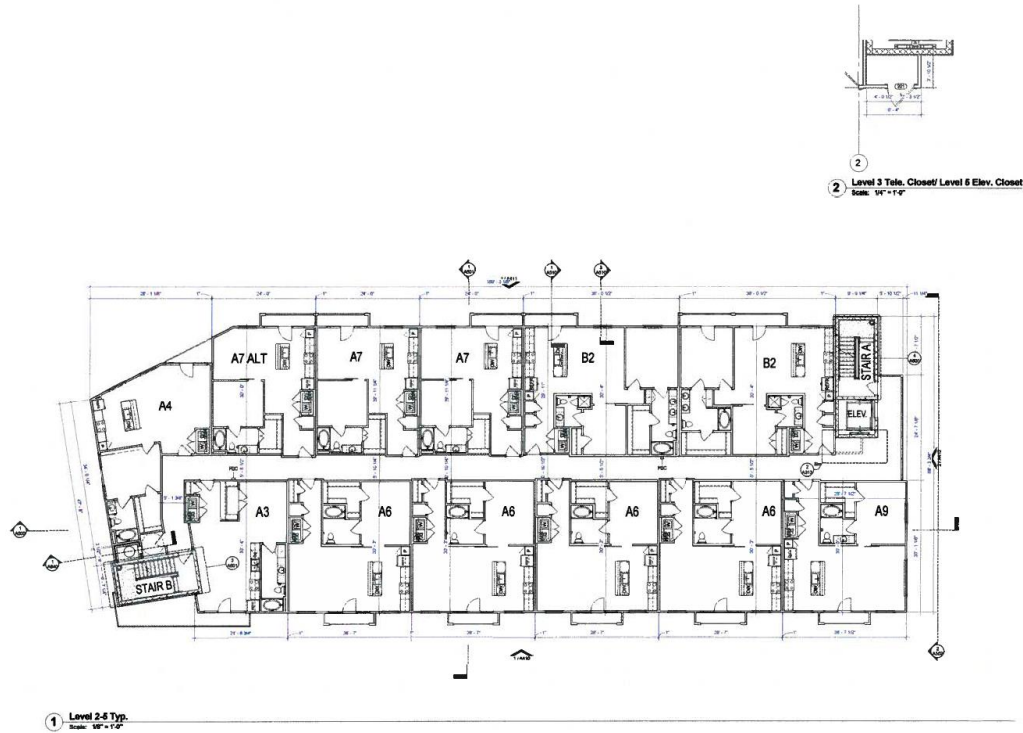
Building Level 1



PERMIT ISSUE DATE
2015.08.08
CONSTRUCTION ISSUE DATE...

Revision Schedule		
No.	Date	Description

JOB NO.
14006
SHEET NO.
A312



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CONTRACTOR AGREES TO ARCHITECTURE OWNER'S: 1. ALL IDEAS, DESIGN, ARRANGEMENTS, PLANS, AND SPECIFICATIONS MADE OR REPRESENTED BY THE DRAWINGS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE EXCLUSIVE INTELLECTUAL PROPERTY OF ARCHITECTURE OWNER. L.P. AND HAVE NOT BEEN EVALUATED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THIS SPECIFIC PROJECT BUT, NONE OF SUCH DESIGN, IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED OR ANY OTHER PARTS OR EXTENSIONS OF THIS PROJECT OR USED OR DISCLOSED TO ANY PERSON, FIRM OR PURPOSE WITHOUT WRITTEN ORAL WRITTEN PERMISSION FROM AND APPROPRIATE COMPENSATION TO ARCHITECTURE OWNER. L.P. WRITTEN PERMISSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED CONSTRUCTIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR VERIFYING ALL DIMENSIONS ON THE PROJECT AND VERIFYING ARCHITECTURE OWNER'S, L.P. OF ANY DIMENSIONS. THE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR CONSTRUCTION MEANS, METHOD, TECHNIQUES, SEQUENCES, PROCEDURES, CONFORMING TO COORDINATION AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT. ARCHITECTURE OWNER'S, L.P. SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.

Magnolia Station
Leon Capital Group
1607 Lyte St., Dallas,

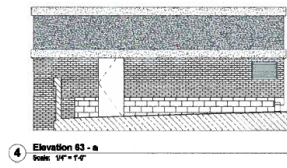
Building - Level 2 - 5



PERMIT ISSUE DATE:
2015 08 08
CONSTRUCTION ISSUE DATE:

Revision Schedule		
No.	Date	Description

JOB NO.
14006
SHEET NO.
A313



3 Elevation 64 - a
Scale: 1/4" = 1'-0"



3 Elevation 64 - a
Scale: 1/4" = 1'-0"

VENTING CALC.							
ROOF AREA	ROOF AREA (SQ. FT.)	REQUIRED VENTING EACH AREA (EA)	PROPOSED VENTING				
			HIGH		LOW		TOTAL PROPOSED (EA)
			LV (200 SQ. FT.)	TH (172 SQ. FT.)	PLV (100 SQ. FT.)	TALL VENT (EA)	
A	11,387	5,646	6	3	3,857	2,086	6,537
ABBREVIATIONS:			HIGH VENTILATORS:				
PV	POP VENT		LOUVER VENT (LV) @ 200 S. EACH				
PLV	PLUMB VENT		PARAPET VENTS (PARAV) @ 172 S. EACH				
PARAV. SI	PARAPET VENT SQUARE INCH		LOW VENTILATORS:				
			POP WEIR @ 100 S. EACH				

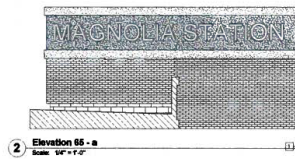
ABBREVIATION S:

PV	POP VENT
EV	EXHAUST VENT
PARA-V	PARAPET VENT
SJ	SQUARE INCH

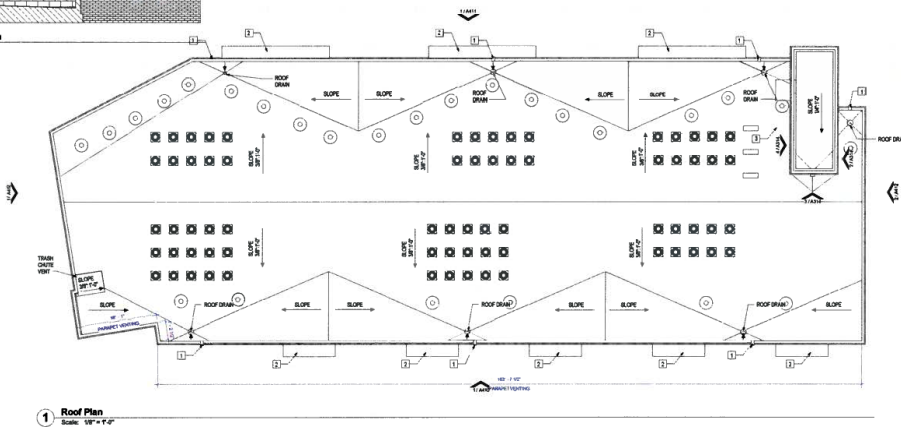
HIGH VENTILATORS:
LOUVER VENT (L.V) @ 200 S.I/EACH
PARAPET VENTS (PARA-V) @ 127 S.I/EACH
LOW VENTILATORS:
POP VENT @ 110 S.I. EACH

ROOF PLAN GENERAL NOTES:

1. ALL ROOFS TO BE TPO, U/LD.
2. ALL ROOFS ARE AT 3/8 IN. 12 PITCH, U/LD.
3. ARROWS INDICATE DOWNWARD SLOPE.
4. BOTTOM OF SLIPPER TO BE LOCATED 2" ABOVE INTAKE HEIGHT OF INTERNAL ROOF DRAIN.
5. BALCONY ROOFS TO SLOPE OUTWARD AT 1/4" PER FT. & SHEET DRAIN OFF EDGE. (TYP.)



2 Elevation 65 - a
Scale: 1/4" = 1'-0"



1 Roof Plan
Scale: 1/8" = 1'-0"

PM-PC

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Magnolia Station
Leon Capital Group
1607 Lyte St., Dallas, TX

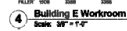
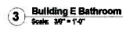
Roof Plan



PERMIT ISSUE DATE:
2015.05.08
CONSTRUCTION ISSUE DATE:

Revision Schedule		
No.	Date	Description

JOB NO.
14006
SHEET NO.
A314



JOB NO.
14006
SHEET NO.
A322

7/15/15

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Architectural drawing of the North Elevation of a building. The drawing shows a three-story structure with a flat roof and a small section on the right. The roof is labeled "EXPOSED ROOFING". The building has multiple windows and doors. The right side of the building is labeled "ROOF", "WALL", and "DOOR". The drawing includes a north arrow pointing upwards. The drawing is labeled "1 North Elevation" and "Scale: 1/8" = 1'-0"."

Magnolia Station Leon Capital Group 1607 Lyte St., Dallas, TX	
Building Elevators	
 02.08.15	
 ARCHITECTURE FIRM 4010 RICHMOND AVE. SUITE 200 HOUSTON, TX 77002	
PERMIT ISSUE DATE 01/11/2015	
CONSTRUCTION ISSUE DATE:	
Revision Schedule No. Date Description	
14006 000000 A412	



ARCHITECTURE DEMAREST **MAGNOLIA STATION**
14006

CONCEPTUAL RENDERING

DALLAS, TX
06/04/15

4



ARCHITECTURE DEMAREST **MAGNOLIA STATION**
14006

CONCEPTUAL RENDERING

DALLAS, TX
06/04/15

5



6



ARCHITECTURE DEMAREST **MAGNOLIA STATION**
14006

CONCEPTUAL RENDERING

DALLAS, TX
06/04/15



7



ARCHITECTURE DEMAREST **MAGNOLIA STATION**
14006

CONCEPTUAL RENDERING

DALLAS, TX
06/04/15



ARCHITECTURE DEMAREST **MAGNOLIA STATION**
2309 W. HAVEN, DALLAS, TX 75201 P. 214.766.8888 F. 214.766.8889 **14006**

CONCEPTUAL RENDERING

DALLAS, TX
06/04/15

⑧

TASK FORCE RECOMMENDATION REPORT
CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL

DATE: 7/8/2015

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Karl Crawley (Masterplan)

Address: 1607 Lyte Street (Magnolia Station)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve design as submitted with conditions:
① Submit a building height study
② Submit a set of outline specifications with plans

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input checked="" type="checkbox"/> Joseph Piwetz	<input type="checkbox"/> Cathy Dawson (Alternate)
<input type="checkbox"/> Jay Firsching (Vice-Chair)	<input type="checkbox"/> Charles Neel	<input checked="" type="checkbox"/> Anne Stimmel (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Joseph Piwetz

2nd: Carolina Pace

Task Force members in favor: 6

Task Force members opposed: 0

Basis for opposition:

CHAIR, Task Force

Joseph Piwetz

DATE

7/8/15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CA145-527(MP)
LOCATION: 5528 Junius
STRUCTURE: Main, Accessory & Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Marsha Prior
DATE FILED: July 2, 2015
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.02

APPLICANT: Guadalupe Medellin

OWNER: Guadalupe Medellin

REQUEST:

- 1) Construct detached garage and paint, Brand: Sherwin Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber"
- 2) Replace front door of main structure with Craftsman style door.

BACKGROUND / HISTORY: Applicant proposed a craftsman-style door in a previous CA (June 2015, CA145-371(MP)), but withdrew that request due to the cost of the door. The Applicant then proposed a different style of front door in this current CA. After the The Task Force meeting, the applicant is now proposing a more craftsman-like door.

ANALYSIS: The proposed detached garage and the front door are in keeping with the craftsman-style that compliments the applicant's home and is one of the predominant styles in the Junius Heights neighborhood. The proposed garage is of Hardie board, which is allowed for accessory structures in Junius Heights' ordinance. There was no quorum at the Task Force Meeting, but several recommendations were made pertaining to roof pitch, trim board, lap siding, and overhang. Staff is in agreement and incorporated Task Force recommendations.

STAFF RECOMMENDATION:

- 1) Construct detached garage and paint, Brand: Sherwin Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber" – Approve with conditions – Approve plans and specifications dated 07/15/2015 with condition that roof pitch match the main structure, trim board be 5 inches wide, lap siding to have 3 to 4 inches lap, and overhang to match the house with the finding the proposed work is consistent with preservation criteria Section 9 for accessory structures and meets the criteria for City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Replace front door of main structure with Craftsman style door – Approve with conditions – Approve plans dated 07/15/2015 with condition that door have three narrow windows and shelf on top portion with the finding that specifications are consistent with

preservation criteria Section 5.2 for openings and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

- 1) Construct detached garage and paint, Brand: Sherwin Williams. Main Body: SW 2822 "Downing Sand." Brand: Valspar. Trim: 2007-9C "Lyndhurst Timber" – No quorum, comments only: Recommend roof pitch the same as house, trim board to be 5" wide, lap siding to have 3 inches to 4 inches lap, overhang to match house.
- 2) Replace front door of main structure with Craftsman style door – No quorum, comments only: Recommend a door with more craftsman features and taller windows.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 527 [MP]
Office Use Only

Name of Applicant: Guadalupe Medellan
Mailing Address: 5528 Junius St.
City, State and Zip Code: Dallas TX 75214
Daytime Phone: 214-718-2300 Fax: _____
Relationship of Applicant to Owner: self

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ____ No ____
Planner's Initials

PROPERTY ADDRESS: 5528 Junius
Historic District: Junius Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

- new construction - garage - siding Sherwin Williams #2822 Downing Sam
roof match existing main house - Owens Corning Oakridge driftwood
- replace door with craftsman style door on front porch

Signature of Applicant: [Signature] Date: 7/2/15
Signature of Owner: [Signature] Date: 7/2/15
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

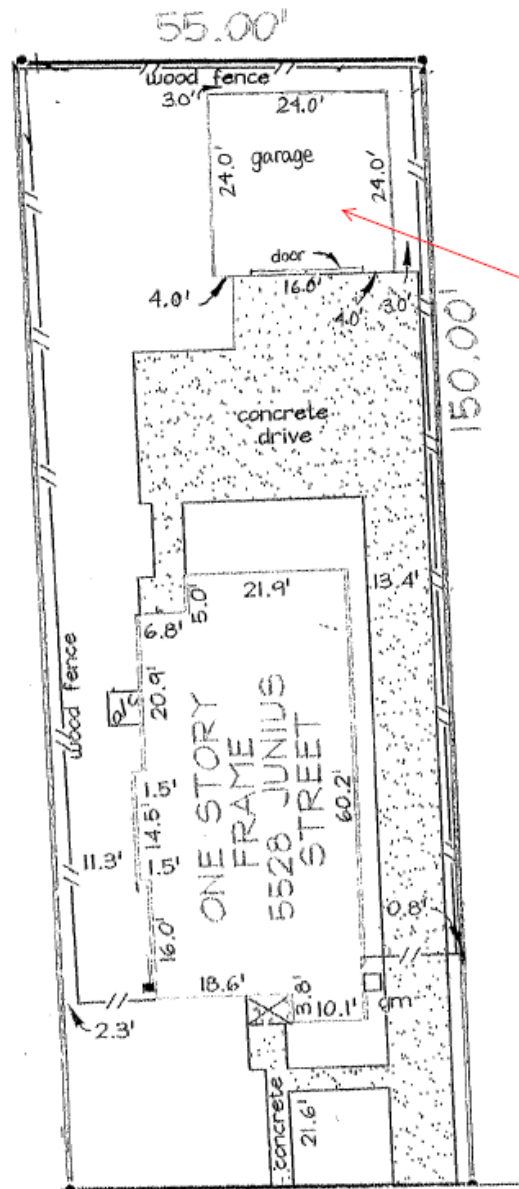
Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



15' ALLEY



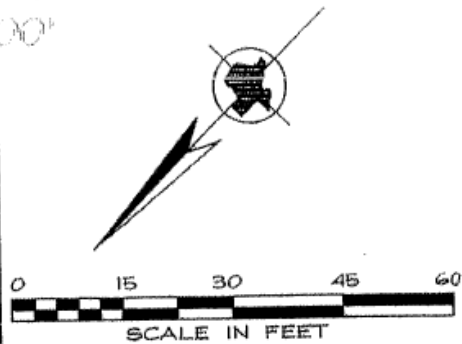
Location of proposed garage.

JUNIUS STREET

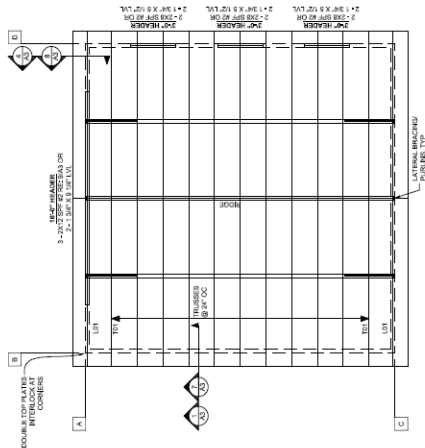
55.00'



EXISTING FRONT



WHEN PERFORATED SHEAR WALL DESIGN IS DESIGNATED, AREAS ABOVE AND BELOW OPENINGS ARE USED IN SHEAR CALCULATIONS.
REFERENCE 2009 IRC TABLE 2305.3.8.2



Drawn By: PG
Date: 5-29-15
Checked By:
Date:
Revised:
Revised:
Title:
PLANS
SHEAR WALL SCHEDULE
NAILING SCHEDULE
Scale: 1/4" = 1'-0"

A2

STRUCTURAL DRAWINGS BY:
TUFF SHED
IN HOUSE DRAFTING
DEPARTMENT
1777 S. HARRISON STREET
DENVER, COLORADO 80210
(303) 751-1133

PO No.	Inv No. 904564
Customer: JOSHUA WILLINGHAM	
Description:	
ACCESSORY BUILDING	
24' X 24' = 576 SQ FT	
Site Address:	
123 JUNIUS ST.	
DALLAS, TX 75214	

THESE DRAWINGS AND THE
DESIGN ARE THE PROPERTY OF
TUFF SHED, INC. THESE
DRAWINGS ARE FOR A
BUILDING TO BE SUPPLIED AND
BUILT BY TUFF SHED, ANY
OTHER USE IS FORBIDDEN BY
TUFF SHED INC.

Specification for Garage Structure at 5528 Junius St. Dallas, TX 75214

Garage windows: 2 single hung windows 3X3 5" trim

Garage car door: 16' wide 7' tall

Garage car door: will have insert panels

Garage door: will not be solid

Garage door: will not have windows

Side door: aluminum door

Your Store:
Central Dallas, TX

Your Store: Dallas, TX



Owens Corning Oakridge 32.8-sq ft Driftwood Laminated Architectural Roof Shingles

Item # 10073 | Model #: HL30

★★★★★

\$25.50

Item sold per bundle; Buy 39, Get 20% off

FREE Store Pickup
Your order can be available for pickup in Lowe's Of Central Dallas, TX today.

Lowe's Truck Delivery
Your order will be ready for delivery to you from your selected store.

Parcel Shipping
Unavailable for This Order
Sent by carriers like UPS, FedEx, USPS, etc.

Owens Corning Oakridge 32.8-sq ft Driftwood Laminated Architectural Roof Shingles **\$25.50**

Demo

Roof shingles for detached garage.



SHERWIN WILLIAMS
 DOWNING SAND SW 2822
 MAIN BODY

Proposed color for main body of detached garage.

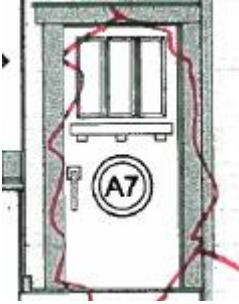
Lyndhurst Timb



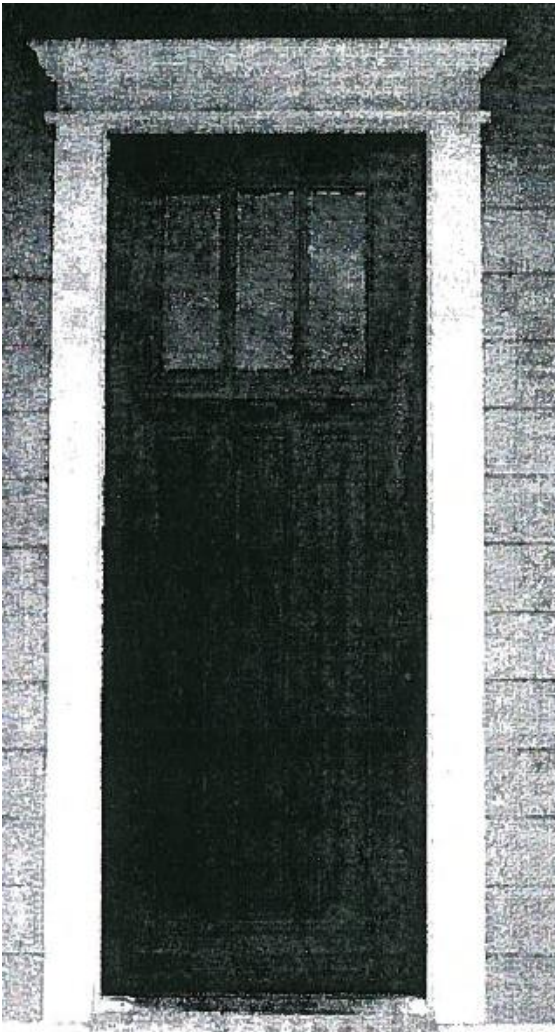
Lyndhurst Timber

2007-9C | Valspar
 Available at Lowe's

Proposed color for trim of detached garage.



Proposed Craftsman-style door.



TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 07/09/2015

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Guadalupe Medellin
Address: 5528 Junius
Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

☒ Recommendation / comments/ basis:

1. Recommend a door with more craftsman features
and taller windows. Schmidt / Johnson

2. Recommend roof pitch the same as house, trim
board to be 5" wide, lap siding to have 3"-4" lap,
overhang to match house. Johnson / Koppang

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Sally Johnson	<input type="checkbox"/> Terri Raith (Alternate)
<input type="checkbox"/> Barbara Cohen	<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

July 7, 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CA145-520(JKA)
LOCATION: 2608 Hibernia
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 225

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: State Thomas
MAPSCO: 45-F
CENSUS TRACT: 0017.04

APPLICANT: Eric Marye

OWNER: ERIC MARYE

REQUEST: Amend window configuration for previously approved addition in rear of the main structure.

BACKGROUND / HISTORY: The addition was originally approved by Landmark Commission in March 2015 – CA145-187(JKA).

ANALYSIS: Building Inspection would not release a permit for the new addition because the addition comes within 10 feet of the property line on the side facades, which limits the number of openings that can exist on that side to 10% of the wall if the openings are not fire rated. The applicant attempted to install a sprinkler system which would have resolved the issue and allow him to keep the original window configuration, but the water supply line underneath the property does not comply with current City Code. Because the upgrades to the water line was more expensive and time consuming than reducing the number of windows, the applicant has chosen to modify the window configuration. The windows will be custom made wood windows as approved by Landmark Commission in March 2015.

The side facades on the new addition will not be readily visible from the street. The proposed window configuration is well-balanced and complies with the historic preservation criteria for State Thomas stating that detailing for additions must be compatible with the main building. Staff has determined that the proposed work complies with City Code. Therefore, Staff is recommending approval of the windows.

STAFF RECOMMENDATION: Amend window configuration for previously approved addition in rear of the main structure – Approve – Approve plans submitted 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-225.109(a)(2) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION: Amend window configuration for previously approved addition in rear of the main structure – None – No quorum, comments only. Supportive of windows as submitted since the window number, which has been reduced from the original plans, was required by Building Inspection. The windows must be the same size, materials and details as the previously approved wood windows. The cardinal directions on the plans are not consistent with the application.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-520 (JKA)
Office Use Only

Name of Applicant: ERIC H. MARVE
Mailing Address: 2619 Hibernia St.
City, State and Zip Code: Dallas, TX 75204
Daytime Phone: 214-987-8240 Fax: 214-987-8241
Relationship of Applicant to Owner: self

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ☐ No ☐
Planner's Initials

PROPERTY ADDRESS: 2608 Hibernia St.
Historic District: State Thomas

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Addition to rear as proposed previously except reduced
windows on east north + south side to comply
with building code. (see attached)
east + west

Signature of Applicant: [Signature]
Signature of Owner: _____
(IF NOT APPLICANT)

Date: 6/25/15
JUL 02 2015

RECEIVED BY

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla BBN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

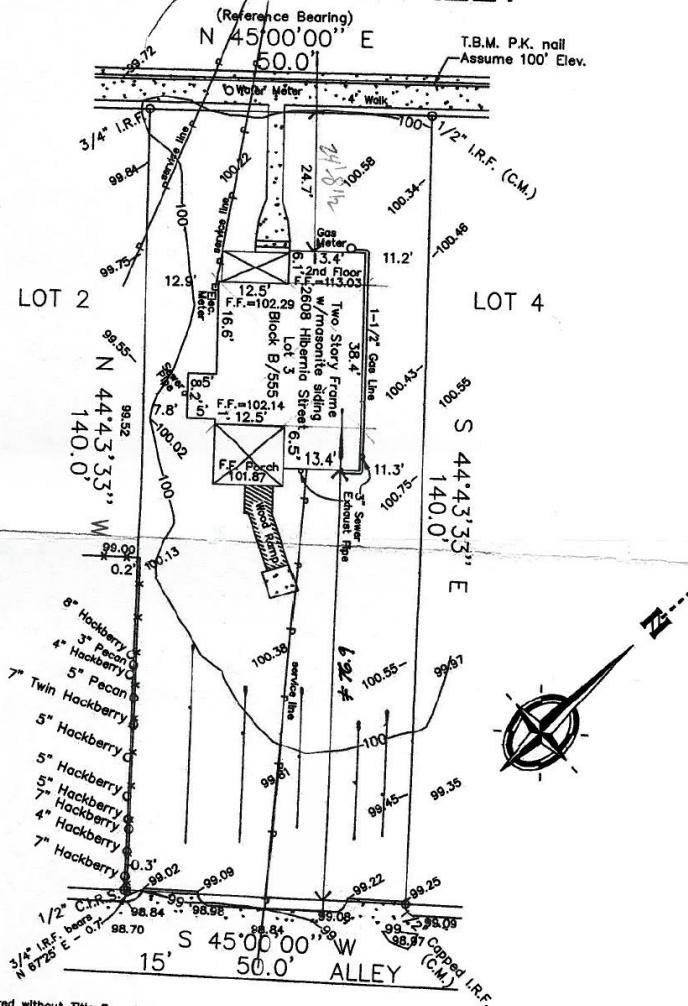
Historic Preservation
Rev. 111408



SURVEY PLAT

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at 2608 Hibernia Street in the City of Dallas, Texas, being Lot 3, Block B/555 of OVERLAND'S ADDITION, an addition to the City of Dallas, Dallas County, Texas, according to the Map thereof recorded in Volume 77, Page 57, of the Map Records of Dallas County, Texas.

HIBERNIA (50' R.O.W.) STREET



Note: Survey Prepared without Title Report
Note: C.M.=Control Monument

This survey was performed in connection with the transaction described in OF No. _____ of _____

ERIC MARYE

UNDERIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM. USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR BY OTHER PARTIES SHALL BE AT THEIR RISK AND determined by survey, subject to any and all easements, reservations and restrictions that may be of record, the lines and dimensions of said property being as indicated by the plat, the site, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated. EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS OR PROTRUSIONS APPARENT ON THE GROUND.

Scale: 1" = 20'

Date: 7/22/2014

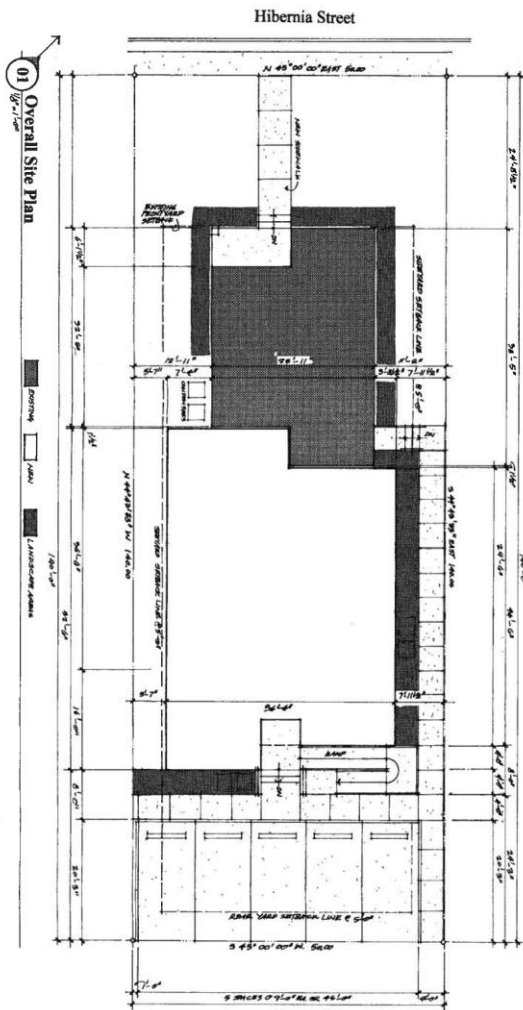
Job: 14-507

Drawn by: Lynn L.

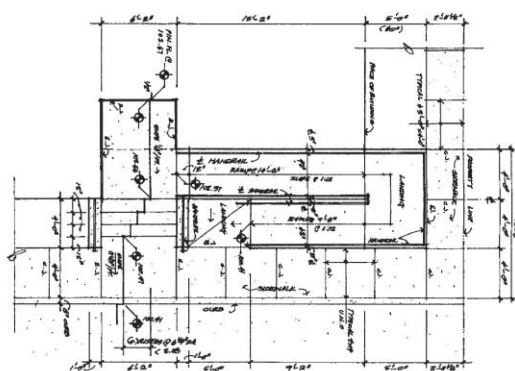


Ben D. Lyblik
Registered Professional Land Surveyor 1630
SURVEYING ASSOCIATES
1018 S. Beckley, Dallas, TX 75203
Phone (214) 944-3334
Fax (214) 944-7540
FIRM Registration / License No. 10040200

SURVEY LICENSE AGREEMENT: This survey plat is protected by U.S. copyright law and international treaties. The information shown or indicated in this document is solely the property of the author, the surveyor, and does not give permission for anyone to use this survey for any subsequent sale, transfer, loan, or reference or any other purpose. This survey is not valid without the surveyor's original endorsement, name and seal and original signature.



02 Detailed Plan @ Rear Entry Door
 Scale: 1/8" = 1'-0"



A-1
 SHEET NUMBER
 OF SHEETS

201010
 PROJECT NUMBER

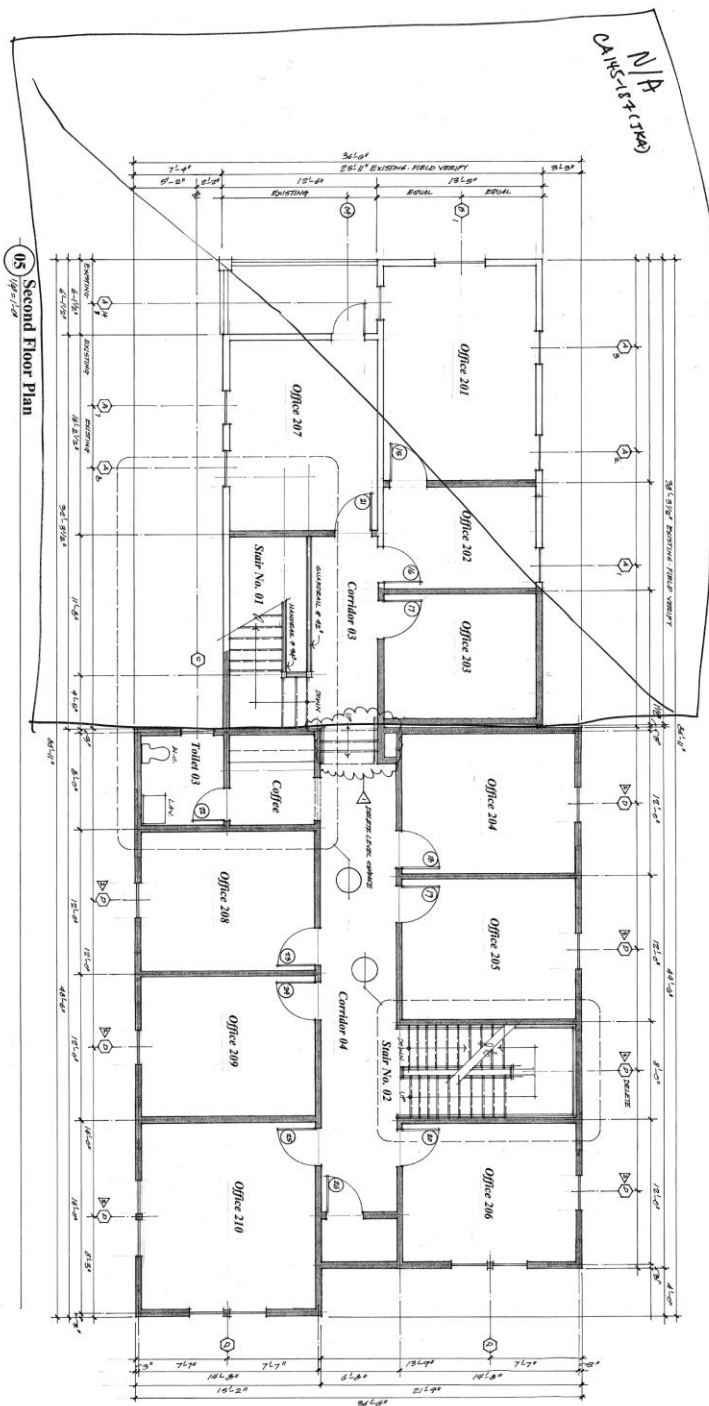
**Addition, Alteration and Restoration to
 2608 Hibernia Street**
 State-Thomas Historic District
 Dallas, Texas

02
 DETAILED PLAN @ REAR ENTRY DOOR



JCIA
 JACK C. IRWIN ARCHITECTS/INCORPORATED
 3900 DARTMOUTH AVENUE • SUITE 101 • DALLAS, TEXAS 75219 • 214-888-0171





A-5
SHEET NUMBER
OF
SHEETS

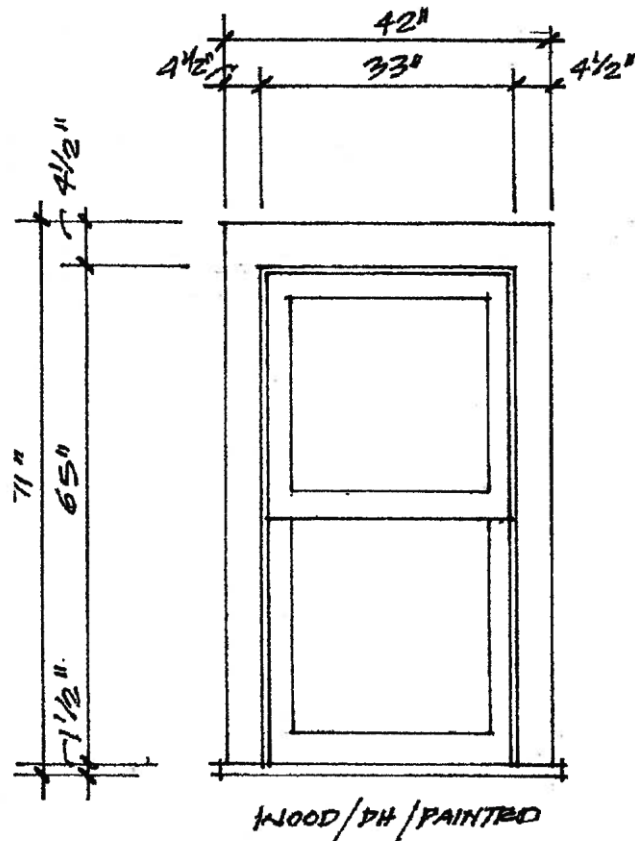
201010
PROJECT NUMBER

**Addition, Alteration and Restoration to
2608 Hibernia Street**
State-Thomas Historic District
Dallas, Texas

REVISIONS
DATE: 05/08/15
BY: J. IRWIN
REVISION: 01
DATE: 06/01/15
BY: J. IRWIN
REVISION: 02
DATE: 06/01/15
BY: J. IRWIN



JCIA
JACK C. IRWIN ARCHITECTS/INCORPORATED
3000 GULF FERRY ROAD, SUITE 100, DALLAS, TEXAS 75218-1000



The windows will be custom made wood window as approved via CA145-187(JKA) in March 2015.



West elevation of main structure



East elevation of main structure

Anderson, Jennifer

From: Webb, Ben
Sent: Monday, June 22, 2015 3:31 PM
To: Anderson, Jennifer
Cc: Gupta, Ved; Cabler, Barbara
Subject: RE: Help with 2608 Hibernia

Follow Up Flag: Follow up
Flag Status: Completed

Hello Jennifer, because the customer decided to build the new addition less than 10 foot from private property line he limited to the number of opening he can have on those sides. Per table 705.8 of the Dallas Building Code, non-sprinkled building openings (windows in this case) are limited to 10% of the wall if the opening are not fire rated. Hope this helps.

From: Cabler, Barbara
Sent: Monday, June 22, 2015 3:20 PM
To: Anderson, Jennifer
Cc: Webb, Ben
Subject: RE: Help with 2608 Hibernia

Jennifer, Ben Webb is with the Building Code group (commercial) he would have to explain the why part on the windows, and we have no control over how the water department wants the lines done.

*Barbara Cabler
Sustainable Development & Construction
Building Inspection
Sr. Zoning Inspector for
Historic/Conservation Districts
320 E. Jefferson #105
Dallas, TX. 75203
214-948-4696
barbara.cabler@dallascityhall.com*

From: Anderson, Jennifer
Sent: Monday, June 22, 2015 3:01 PM
To: Cabler, Barbara; Gay, James
Subject: Help with 2608 Hibernia

Jim and Barbara,

Can you read through the explanation below for why this customer is being told he needs to reduce the number of windows on his property? It doesn't make sense to me and I'm hoping one of you can shed some light (in layman's terms, hopefully). If he is being required to change his windows, he would have to go back through Landmark Commission so I just want to be sure there are no other alternatives.

Thank you!

Jennifer Anderson, Senior Planner - Historic Preservation
Sustainable Development & Construction Department
City of Dallas, City Hall

1500 Marilla Street, Room 58N

Direct: (214) 670-5825 ****Please schedule appointments in advance****

jennifer.anderson@dallascityhall.com

From: Eric Marye [

Sent: Monday, June 22, 2015 2:37 PM

To: Anderson, Jennifer

Subject: Fwd: 2608 Hibernia Partial Reduction of Window Openings

Jennifer,

Attached are the amended plans for the window openings on the addition only. I was told by Ben Webb with the City of Dallas that because the addition came within 10 feet of the property line, windows would be limited to 10% unprotected (wooden), 25% protected (rated 3/4 hour) or 35% total. I initially planned to put in a sprinkler system which would dispense with the protected window requirement and for safety reasons despite the additional cost. When I went to get the permit from water, I was told that the water supply line outside the house is so old that it is only 4" and that all other new lines have to be 8" so I would have to pay to jackhammer up the street and replace the 4" line with an 8" line. A commercial building would require a 4" line to tie in and they wouldn't let me tie in a 4" line to a 4" line. So, Jack Irwin revised the window plan to reduce the number of windows to under 10% (which is certainly not my preference) but the added cost of replacing the city line seemed ridiculous.

Just tell me what I need to do.

Thanks,

Eric

----- Forwarded message -----

From: Eric Marye

Date: Mon, Jun 22, 2015 at 2:30 PM

Subject: Fwd: 2608 Hibernia Partial Reduction of Window Openings

To: Eric Marye

----- Forwarded Message -----

Subject: 2608 Hibernia Partial Reduction of Window Openings

Date: Wed, 17 Jun 2015 15:11:45 -0500

From: Jack C. Irwin

To: 'Eric Marye'

Eric:

Attached are simple graphic elevations that illustrate reducing the number of windows on the new addition east and west walls to comply with the 10% opening code limitation, thus eliminating the need for sprinkler system with its cost and hassle. You would need to run this by Jennifer but expect you have the right to reduce how many windows provided in the new construction. If acceptable I would sign/seal/date the 11 x 17 drawings - minimum size the City will accept - and deliver to Webb. I do not think the reduction in windows would adversely affect your ability to market the spaces but as before it is your call. Let me know what you decide/Thanks/Jack

PS - I will pick up the check in the morning/thanks

Jack C. Irwin, Architect

2708 Fairmount Street, Suite 301
Dallas, Texas 75201

TASK FORCE RECOMMENDATION REPORT
STATE THOMAS/WILSON BLOCK

DATE: 07/08/2015

TIME: 3:30 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla, 5DN

Applicant Name: Eric Marye

Address: 2608 Hibernia

Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

NOTE: Fix the application + elevations to HAVE the same Cardina directions.

Request is to limit the # of windows in the addition ^{new} Building:

MOTION — OVER, ON BACK.

Task force members present

<input type="checkbox"/> VACANT	<input checked="" type="checkbox"/> Nancy Starr	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Vice-Chair)	<input type="checkbox"/> VACANT (Alternate)
<input checked="" type="checkbox"/> Judy Hearst (Chair)	<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT (Alternate)

Ex Officio staff members Present ☐ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum) *3 members*

Maker: *Jim Anderson*

2nd: *Judy Hearst*

Task Force members in favor:

Task Force members opposed: *All*

Basis for opposition:

CHAIR, Task Force *Judy Smith Hearst* DATE *July 8, 2015*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

APPROVAL OF THE WINDOWS AS SUBMITTED WITH THE FINDING THAT THE WINDOW NUMBER, WHICH HAS BEEN REDUCED FROM THE ORIGINAL APPLICATION, WAS REQUIRED BY BUILDING INSPECTION. THE WINDOWS MUST BE THE SAME SIZE, MATERIALS AND DETAILS AS THOSE PREVIOUSLY APPROVED. (WOOD WINDOWS). THE CARDINAL DIRECTIONS ON THE PLANS ARE NOT CONSISTANT WITH THE APPLICATION.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CA145-521(JKA)
LOCATION: 6020 Bryan Parkway
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 63

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: Swiss Avenue
MAPSCO: 36-X
CENSUS TRACT: 0014.00

APPLICANT: Stephanie Peel and Tiana Boyea

OWNER: STEPHANIE PEEL & TIANA C BOYEA

REQUEST: Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White."

ANALYSIS: Paint color is normally handled as Routine Maintenance in Munger Place Historic District. However, the proposed paint color is darker than most paint colors in Munger Place and represents a significant departure from the existing white color on the house. Staff and Task Force are supportive of the proposed navy color and believe it is complimentary to the district. The color does not appear as dark on the structure as it does in the paint chip, as shown in the test paint photograph. The proposed work meets the historic district requirements and City Code.

STAFF RECOMMENDATION: Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White" – Approve – Approve paint specifications dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(H) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION: Paint main structure. Brand: Behr. Body: N470-7 "Submarine Gray;" trim: PR-W15 "Ultra Pure White" – Approve – Approve as submitted with suggestion that the applicant consider a less pure white.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 521 [JKA]
Office Use Only

Name of Applicant: Stephanie Peel & Tiana Boyea
Mailing Address: 6020 Bryan Pkwy
City, State and Zip Code: Dallas, TX 75206
Daytime Phone: 214-455-1749 Fax: _____
Relationship of Applicant to Owner: Owners

PROPERTY ADDRESS: 6020 Bryan Pkwy Dallas, TX
Historic District: Swiss Avenue

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ____ No ____
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Patching cracks and painting the exterior of the house
to conceal patch work and increase curb appeal to align
with the neighborhood. Proposed paint colors are
submarine gray for the house with white trim (ultra
pure white)

Signature of Applicant: Stephanie Peel

Date: 6/30/15

Signature of Owner: _____

(IF NOT APPLICANT)

Date: _____

RECEIVED BY

JUL 02 2015

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

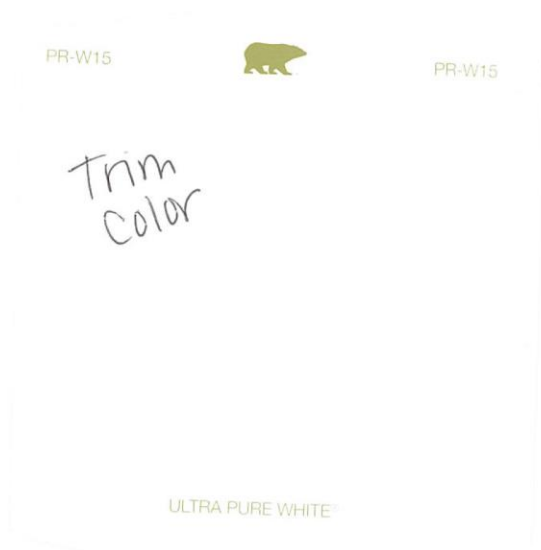
City of Dallas

Historic Preservation
Rev. 111408



CA145-521(JKA)

C11-3













House colors to right and left of 6020 Bryan Pkwy

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 07/07/15
TIME: 5:30 pm
MEETING PLACE: Lakewood Library (6121 Worth Street)

Applicant Name: Stephanie Peel
Address: **6020 Bryan Parkway** (Swiss Avenue Historic District)
Date of CA/CD Request: 07/02/15

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis: *approved as submitted*
with suggestion that they consider a
less pure white

Task force members present

<input checked="" type="checkbox"/> Joanna Hampton (Chair)	<input checked="" type="checkbox"/> John Mark Guest	<input type="checkbox"/> Elizabeth Mast
<input checked="" type="checkbox"/> Wesley Powell (Vice-Chair)	<input checked="" type="checkbox"/> John Gormley	<input checked="" type="checkbox"/> Greg Johnston
<input checked="" type="checkbox"/> Cheryl Scott	<input type="checkbox"/> Vacant (Professional)	<input checked="" type="checkbox"/> Beth Bradley (Munger Alt.)
<input type="checkbox"/> Vacant (Swiss Alternate)		

Ex Officio staff members Present : Jennifer Anderson ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Joanna Hampton*
2nd: *Greg Johnston*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *Wesley Powell*

DATE *7 July 2015*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CA145-530(JKA)
LOCATION: 5112 Swiss Ave
STRUCTURE: Main, Accessory, Non/Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 63

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: Swiss Avenue
MAPSCO: 46-B
CENSUS TRACT: 0014.00

APPLICANT: Halee Belz (Ed Jarrett Company)

OWNER: WILLIAMS P & JODY L BOWERS

REQUEST:

- 1) Install wood window on west elevation of main structure.
- 2) Approve door and window location for proposed addition in rear of the main structure.
- 3) Construct porch on proposed rear addition of the main structure.

BACKGROUND / HISTORY: This application is an amendment to a previous application from June 3, 2015 – CA145-379(MP).

ANALYSIS: The applicant's original application to construct a two-story addition to the rear of the main structure was approved with conditions in June 2015. The applicant revised the plans to relocate the rear door a few inches to the right, and to reduce the proposed porch size by 4 sq. ft. The applicant would also like to install a wood window on the west elevation where approval had been granted to remove a door. The preservation criteria in Swiss Avenue states that windows not in the rear façade should have at least two panes. The wood window is a salvaged 6-pane divided light window. Staff is supportive of this proposal since it would preserve the opening on that elevation. Staff is recommending approval for all items and has determined that they meet the preservation criteria for Swiss Avenue and City Code.

STAFF RECOMMENDATION:

- 1) Install wood window on west elevation of main structure – Approve – Approve plans and photo dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(P)(vi) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Approve door and window location for proposed addition in rear of the main structure – Approve – Approve plans dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

3) Construct porch on proposed rear addition of the main structure – Approve – Approve plans dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-63.116(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

- 1) Install wood window on west elevation of main structure – Approve.
- 2) Approve door and window location for proposed addition in rear of the main structure – Approve.
- 3) Construct porch on proposed rear addition of the main structure – Approve.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 530 [JKA]
Office Use Only

Name of Applicant: Halee Belz-The Ed Jarrett Company
Mailing Address: 5646 Milton Suite 604
City, State and Zip Code: Dallas, TX 75206
Daytime Phone: 214-691-0622 Fax: 214-739-5437
Relationship of Applicant to Owner: Contractor
haleebelz@theedjarrettcompany.com
PROPERTY ADDRESS: 5112 Swiss Ave.
Historic District: Swiss Avenue Historic District

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Addendum of minor revisions to previously approved CA 145-379(MP):
① Add window where door has been removed. We will reuse
an existing window.
② Shift position of back door and window above.
③ Reduce size of porch at back door.
See attached drawings and photo.

RECEIVED BY

Signature of Applicant: Halee Belz Date: 07/01/2015 JUL 02 2015
Signature of Owner: Jeff Bowers Kiel Bowers Date: 7-1-15
(IF NOT APPLICANT)

Current Planning

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



[illegible]

2. ADD TO SECOND FLOOR BEDROOM
3. REMODEL EXISTING MASTER BEDROOM
4. RELOCATE ELECTRICAL PANELS
5. RELOCATE HVAC CONDENSERS
6. DEMO AND RECREATE EXTERIOR STOOP AND STEPS

NO.	SHEET NAME	DATE	REVISION
A-1	SITE PLAN	4.4.15	7.2.15
A-2	DEMOLITION PLAN	4.4.15	7.2.15
A-3	FLOOR PLANS	4.4.15	7.2.15
A-4	ELECTRICAL PLAN	4.4.15	7.2.15
A-5	ROOF PLAN	4.4.15	7.2.15
A-6	EXTERIOR ELEVATION	4.4.15	7.2.15
A-7	INTERIOR ELEVATION	4.4.15	7.2.15
A-8	INTERIOR ELEVATION	4.4.15	7.2.15
A-9	DOOR & WINDOW SCHEDULE	4.4.15	7.2.15
A-10	WALL SECTIONS	4.4.15	7.2.15

\$1	FOUNDATION LAY OUT	44.15	73.15
AREA SUMMARY			

2nd Floor Square Footage:	2,309 sq.ft.
2nd floor Addition Square Footage:	135 sq.ft.
Attic Square Footage:	209 sq.ft.
Total Square Footage A/C:	5,982 sq.ft.

Existing Quarters Square Footage:	420 sq.ft.
Existing Porte Cochere Square Footage:	240 sq.ft.
Existing Detached Garage Square Footage:	558 sq.ft.
Existing Garage Room Square Footage:	342 sq.ft.

5112 SWISS

[illegible]

2004, 1999

[illegible]

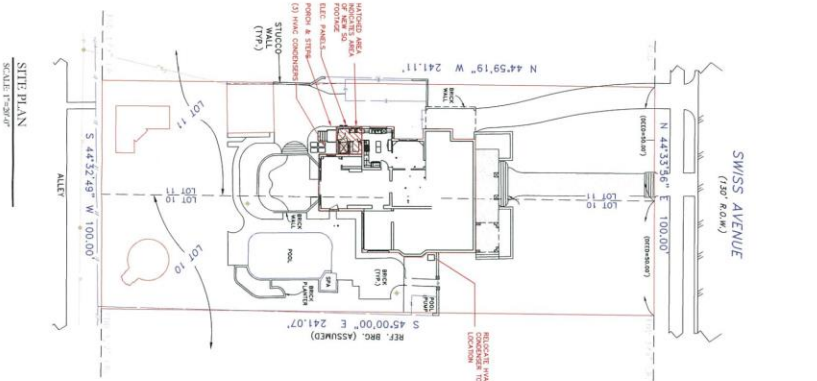
Front	Windows
-------	---------

[illegible]

Trends

[illegible]

- 5. PROVIDE PROPER PROTECTION FOR ALL TREES TO REMAIN TO FOR THE REMOVAL OF ANY OBSTACLES TO THE PROPOSED CONSTRUCTION.
- 6. PROVIDE PROPER PROTECTION FOR ALL EXISTING UTILITIES AND CONDUITS, AND PROVIDE PROPER PROTECTION FOR ALL EXISTING CONCERNED WORK.
- 7. BEYOND SOIL REMOVAL, IT IS AVAILABLE PRIOR TO COMMENCING CONSTRUCTION.
- 8. PROVIDE WITH HANDLING FOR MATERIALS UNDER CONSTRUCTION.
- 9. BEYOND THE CONDUITS, AS REQUIRED.
- 10. BEYOND THE ELECTRICAL PANELS.
- 11. BEYOND EXISTING STAIR AND RAILING, REPAIR WALL TO MATCH EXISTING.



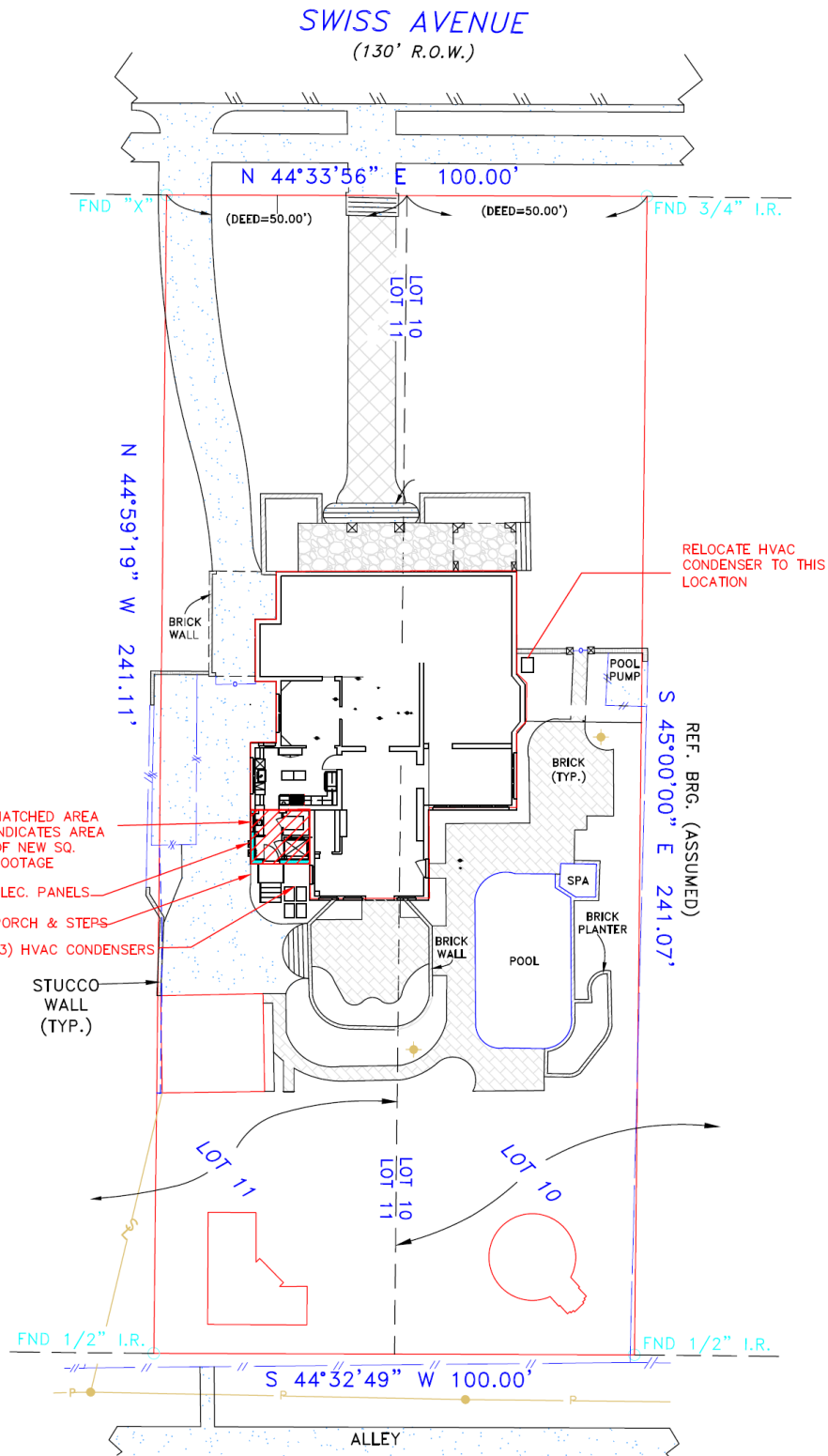
ARCHITECTURALS.ACOM

PROVISIONS

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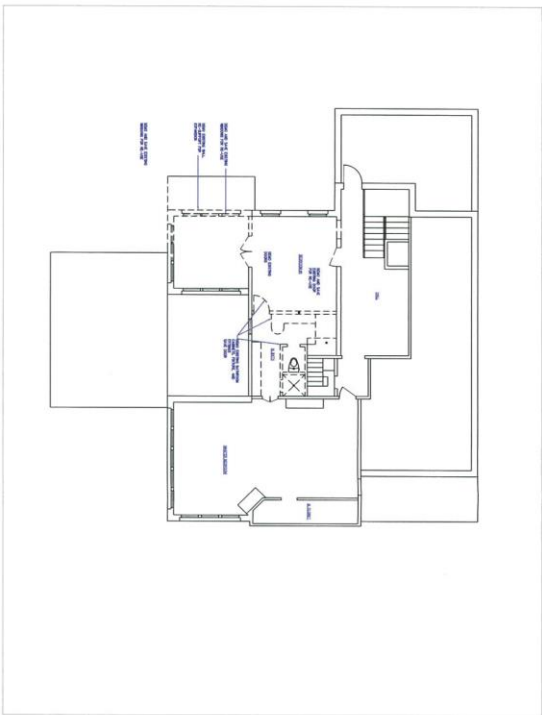
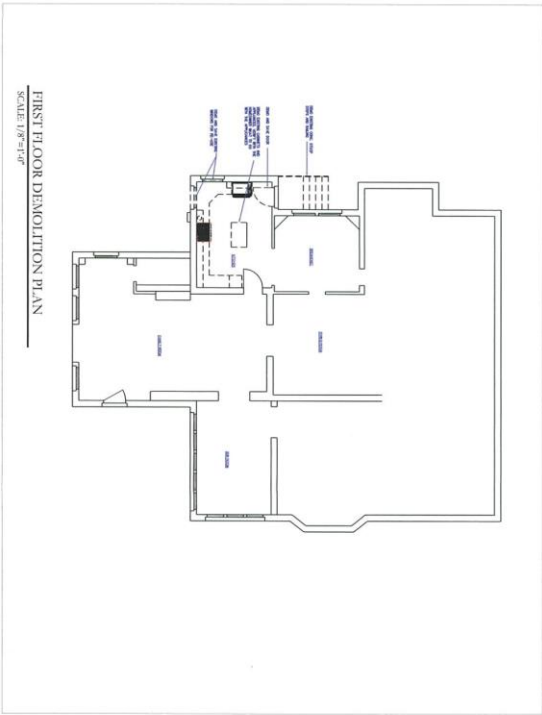
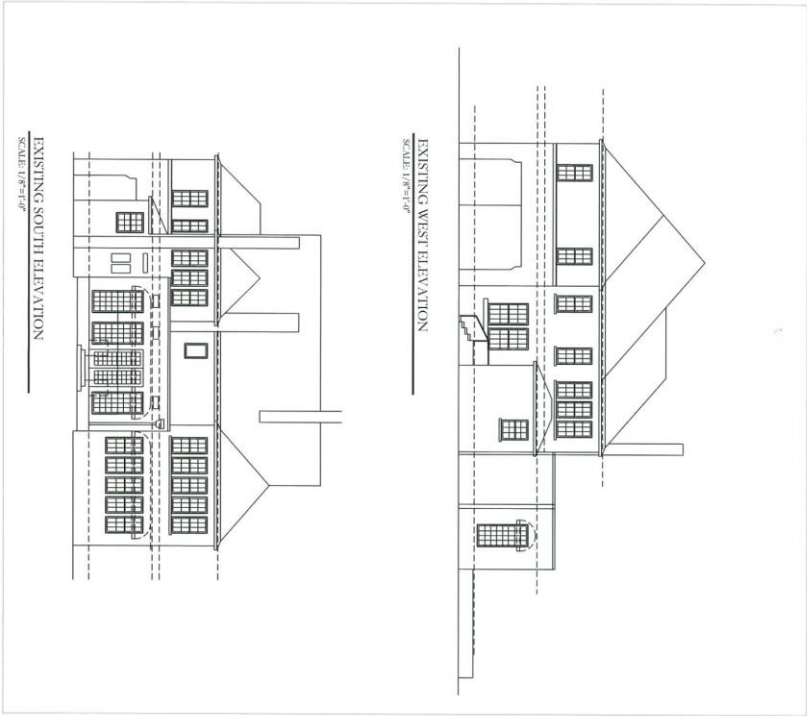


1401



SITE PLAN

SCALE: 1"=20'-0"



ARCHITECTURA
7009 GASTON
DALLAS, TEXAS
(214) 851-2044
ARCHITECTURA.COM

ARCHITECTURA

REVISIONS:
7/8/2015
7/8/2015
7/8/2015
7/8/2015
7/8/2015

ARCHITECTURA
7009 GASTON
DALLAS, TEXAS
(214) 851-2044
ARCHITECTURA.COM

ARCHITECTURA

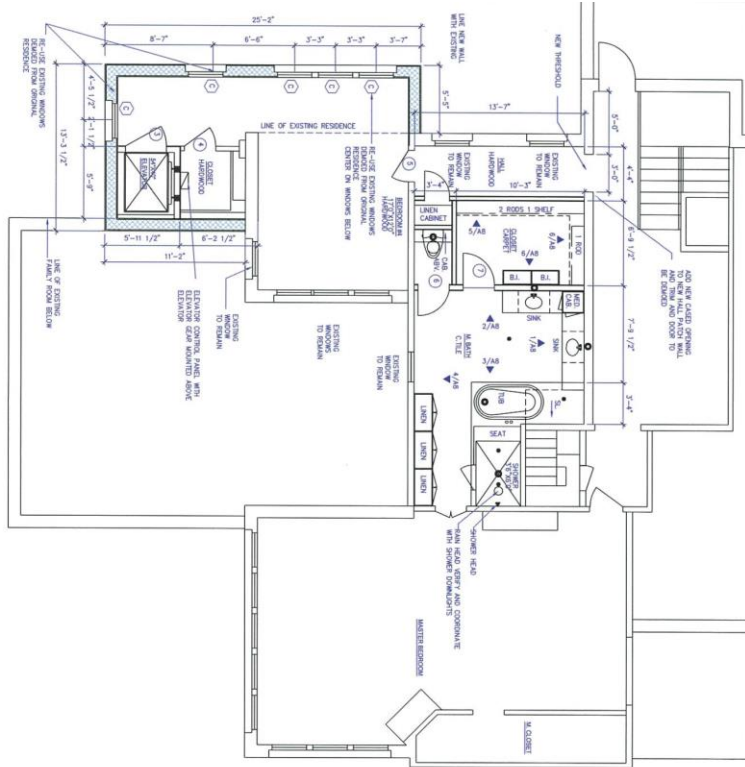
REVISIONS:
7/8/2015
7/8/2015
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ARCHITECTURA
7009 GASTON
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ARCHITECTURA.COM

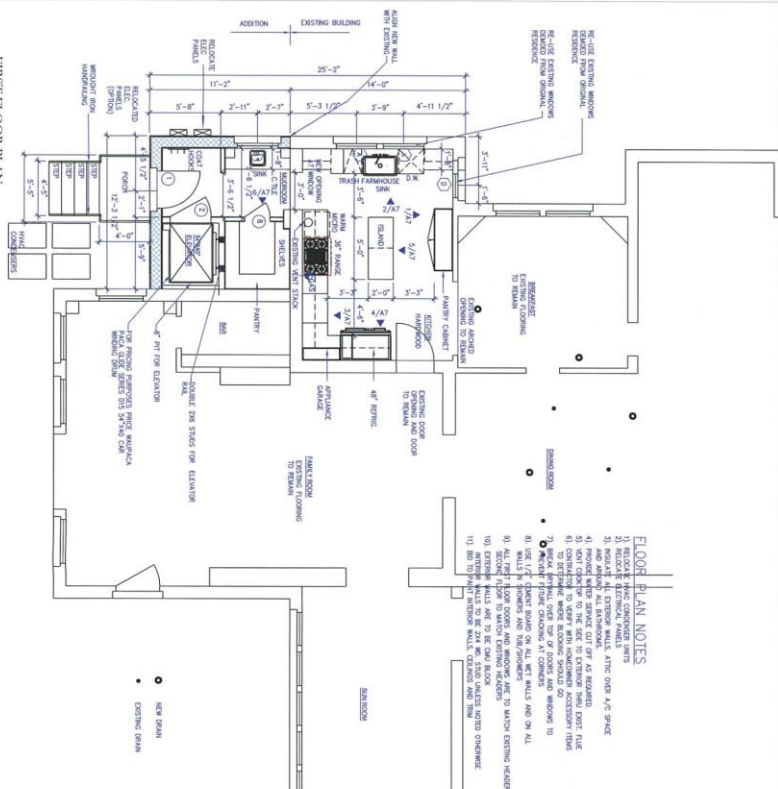
ARCHITECTURA

REVISIONS:
7/8/2015
7/8/2015
7/8/2015
7/8/2015
7/8/2015

- 1). 2 HVAC UNITS WILL BE IN ATTIC AND 2 WILL BE IN BASEMENT
- 2). THERE WILL NOT BE ANY NEW HVAC UNITS



SECOND FLOOR PLAN

[illegible]

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

- 2) REPAIR ELECTRICAL PANELS
- 3) INSULATE ALL EXTERIOR WALLS WITH OVER A/C SPACE AND AIRFLOWS
- 4) REPAIR ALL BATHROOMS
- 5) DON'T CHANGE TO THE SET TO EXTERIOR SIDE DOOR FLUTE
- 6) CONVICTION TO VERIFY WITH HOMEOWNER ACCESSORY ITEMS TO DETERMINE WHERE BLOCKING SHOULD GO
- 7) MAKE SURE FLOOR OVER TOP OF DOORS AND WINDOWS TO BE CLEAN PERFORM CHECKING AT CORNERS
- 8) MAKE SURE THERE ARE NO CRACKS AND GAPS IN ALL WALLS
- 9) ALL FIRST FLOOR DOORS AND WINDOWS ARE TO MATCH EXISTING HEIGHT
10. SECOND FLOOR TO MATCH EXISTING HEIGHTS
11. EXTERIOR WALLS ARE TO BE CALC BLOCK
12. INTERIOR WALLS TO BE CMU OR STD UNLESS NOTED OTHERWISE
13. ALL FOUNDATION WALLS TO BE CMU AND FINISH

BOWER RESIDENCE
5112 SWISS
DALLAS, TEXAS

REVISIONS



THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURA AND MAY NOT BE USED IN WHOLE OR PART WITHOUT THE PERMISSION OF GREG LOHME & ARCHITECTURA

DATE 4/6/2015

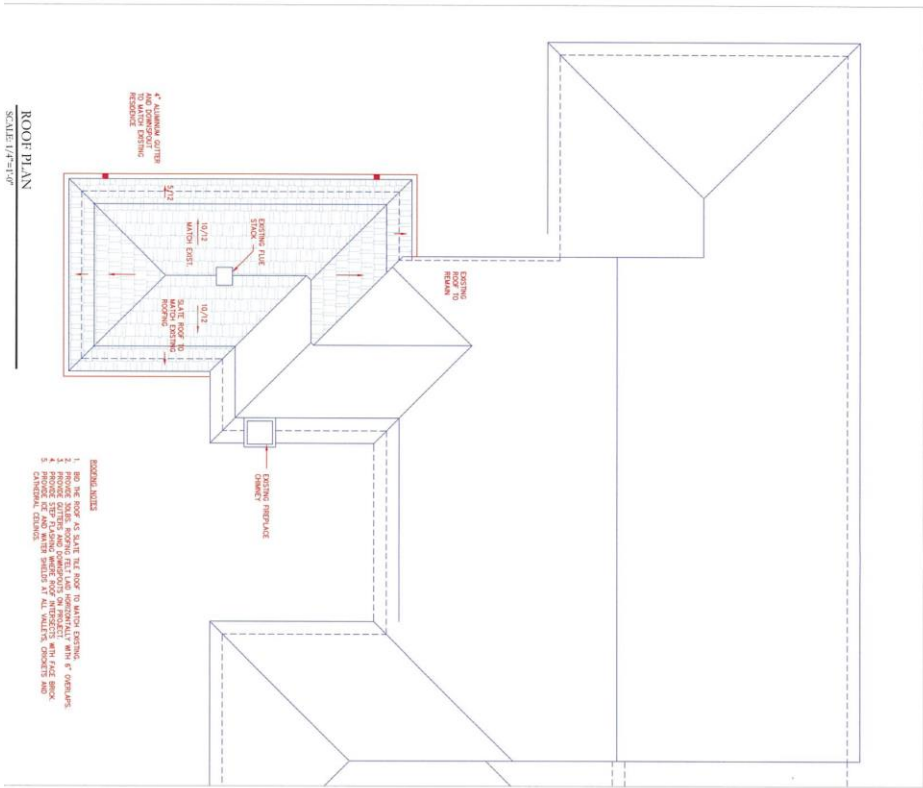
SHEET NO.
A-3
OF 1

FLOOR PLANS

ARCHITECTURALS.COM

ARCHITECTURA

7049 GASTON
DALLAS, TEXAS
75214
(214) 821-2044



REVISIONS:

NO.	DATE	DESCRIPTION
1	7/8/2015	
2		
3		
4		
5		

BOWER RESIDENCE

5112 SWISS
DALLAS, TEXAS

ARCHITECTURA

7001 GASTON
DALLAS, TEXAS
75214
(214) 831-2414

DATE: 4/15/2015

SCALE: 1/4" = 1'-0"

SHEET NO. **A-5**

1 of 1

THE STATE OF TEXAS

OFFICE OF THE ARCHITECT

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN ACCORDANCE WITH THE ARCHITECTURAL CODES AND STANDARDS OF THE STATE OF TEXAS.

DATE: 4/15/2015

SCALE: 1/4" = 1'-0"

SHEET NO. **A-5**

1 of 1

ARCHITECTURA

7001 GASTON
DALLAS, TEXAS
75214
(214) 831-2414

Opening Number	Location	Door Opening Size
----------------	----------	-------------------

NOTES: ALLOW \$150 PER INTERIOR DOOR FOR HARDWARE
ALLOW \$350 PER EXTERIOR DOOR FOR HARDWARE
SAVE ALL DOORS HARDWARE AND UNITS TO BE RE-USED

all bonds, permanent and mobile to be π - π U.S.S.



Opening Number	Type
----------------	------

NOTE: CONSIGNEUR SHALL PROVIDE A SAMPLE OF THE WINDOW UNIT TO THE HOMEOWNER AND ARCHITECT PRIOR TO PLACING WINDOW ORDER.

LOCATIONS. MATCH EXISTING BRICK FAC
MULTIN BARS. MATCH EXISTING WINDOW MULTIN BARS
STANDARD LOOK ON OPERATING WINDOWS
BRICK MOLDING AT LOCATIONS WHERE WINDOWS ARE IN BRICK FACE



NOTE: NEW FIRST FLOOR

NOTE: SECOND FLOOR WINDOW HEADER HEIGHTS TO BE THE SAME AS EXISTING WINDOW HEIGHT UNLESS NOTED OTHERWISE

0-1 = 7/11 = 63.6%

Type	Material	Thickness
------	----------	-----------

	PANIC DISORD	
--	--------------	--

1

10

7/2/2015

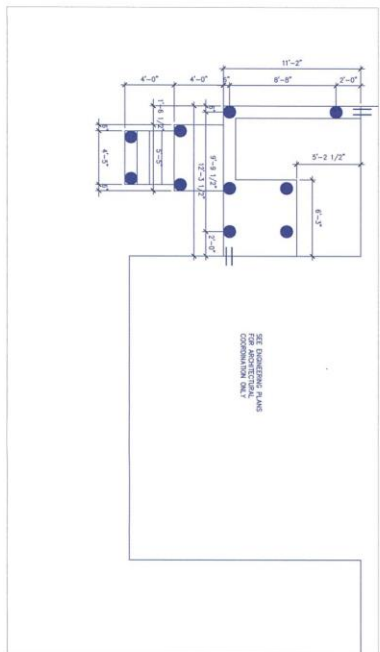
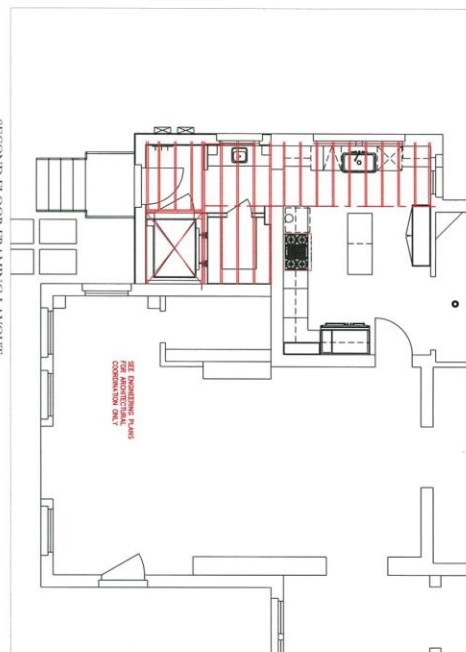
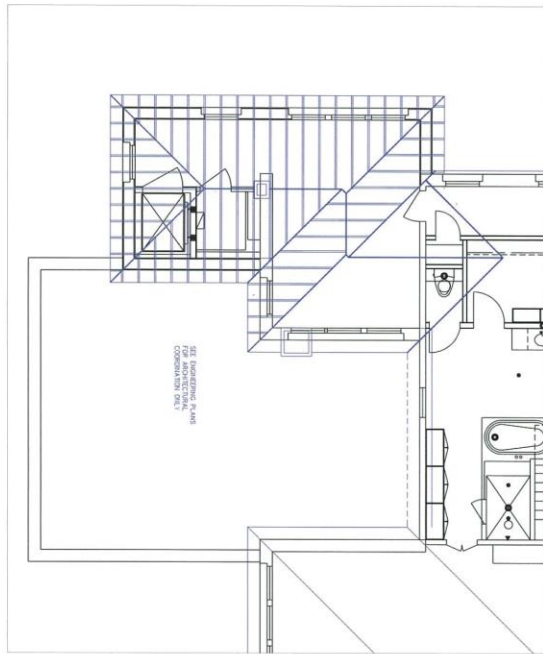
1

DATE _____
JOB # _____
SCALE _____

A

DOOR AND WINDOW SIGHT

C12-11



PROJECT NO. 44-67015
 SHEET NO. S-1
 DATE 4/6/2015



STATE OF TEXAS
 DEPARTMENT OF TRANSPORTATION
 DIVISION OF METROPLANS

ARCHITECTURAL
 7700 GASTON
 DALLAS, TEXAS
 75247-8334

REVISIONS:
 7/2/2015
 7/2/2015
 7/2/2015
 7/2/2015
 7/2/2015

BOWER RESIDENCE

5112 SWISS
 DALLAS, TEXAS

ARCHITECTURAL
 7700 GASTON
 DALLAS, TEXAS
 75247-8334





TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 07/07/15
TIME: 5:30 pm
MEETING PLACE: Lakewood Library (6121 Worth Street)

Applicant Name: Halee Belz
Address: **5112 Swiss** (Swiss Avenue Historic District)
Date of CA/CD Request: 07/02/15

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

APPROVE AS SUBMITTED

Task force members present

<input checked="" type="checkbox"/> Joanna Hampton (Chair)	<input checked="" type="checkbox"/> John Mark Guest	<input type="checkbox"/> Elizabeth Mast
<input checked="" type="checkbox"/> Wesley Powell (Vice-Chair)	<input checked="" type="checkbox"/> John Gormley	<input checked="" type="checkbox"/> Greg Johnston
<input checked="" type="checkbox"/> Cheryl Scott	<input type="checkbox"/> Vacant (Professional)	<input checked="" type="checkbox"/> Beth Bradley (Munger Alt.)
<input type="checkbox"/> Vacant (Swiss Alternate)		

Ex Officio staff members Present : Jennifer Anderson ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *GREG JOHNSTON*

2nd: *JOHN GORMLEY*

Task Force members in favor: *all*

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE *07 July 2015*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-515(JKA)
LOCATION: 5500 Swiss Avenue
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 63

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: Swiss Avenue
MAPSCO: 46-B
CENSUS TRACT: 0014.00

APPLICANT: Dallas County Medical Society Alliance

REPRESENTATIVE: Wendy Hansen

OWNER: DALLAS CO MEDICAL SOC

REQUEST:

- 1) Install 8' board on board wood fence.
- 2) Install Nellie R. Stevens hollies in rear of the main structure.
- 3) Repair cracks and stabilize brick wall.

ANALYSIS: The owner stated that they are having issues with security and people entering the property by jumping over the 3' tall brick wall in the rear of the main structure. To solve this issue, they wish to install an 8' fence against the brick wall as a barrier. The brick wall is to be repaired and remain in place. The owner would also like to install Nellie Stevens hollies, which can grow to a height of 5-7'. The hollies will not be visible from the street. Staff has determined that the work complies with the historic preservation criteria and City Code.

STAFF RECOMMENDATION:

- 1) Install 8' board on board wood fence – Approve – Approve site plan and photograph dated 7-14-15 with the condition that the design of the new fence matches the design of the existing fence. The proposed work is consistent with preservation criteria Section 51P-63.116(2)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Install Nellie R. Stevens hollies in rear of the main structure – Approve – Approve site plan with the finding that the work is consistent with preservation criteria Section 51P-63.116(2)(A) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Repair cracks and stabilize brick wall – Approve with Conditions – Approve proposed work with the conditions that the mortar used matches the existing mortar, that the existing brick is reused, and that the wall's height and footprint are not altered. The

proposed work is consistent with preservation criteria Section 51P-63.116(2)(B) and meets the standards in City Code Section 51A-4.501(g)(5)(B)(xiv).

TASK FORCE RECOMMENDATION:

- 1) Install 8' board on board wood fence – Approve.
- 2) Install Nellie R. Stevens hollies in rear of the main structure – Approve.
- 3) Repair cracks and stabilize brick wall – Approve.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 515 [JKA]
Office Use Only

Name of Applicant: Dallas County Medical Society Alliance
Mailing Address: 5500 Swiss Avenue
City, State and Zip Code: Dallas TX 75205-15214
Daytime Phone: 972-955-4325 Fax: 972-368-0227
Relationship of Applicant to Owner: 3rd Vice President

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 5500 Swiss Avenue
Historic District: Swiss Avenue Historic District

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Install wood fence along east side of
backyard and rear along alley. The fence
would match the existing wood fence behind
fountain. The original brick fence will be left
intact. It is in bad shape, cracked and leaning.

RECEIVED BY

Signature of Applicant: Wendy Johnson Date: 7/1/15
Signature of Owner: _____ Date: JUL 02 2015
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Current Planning

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

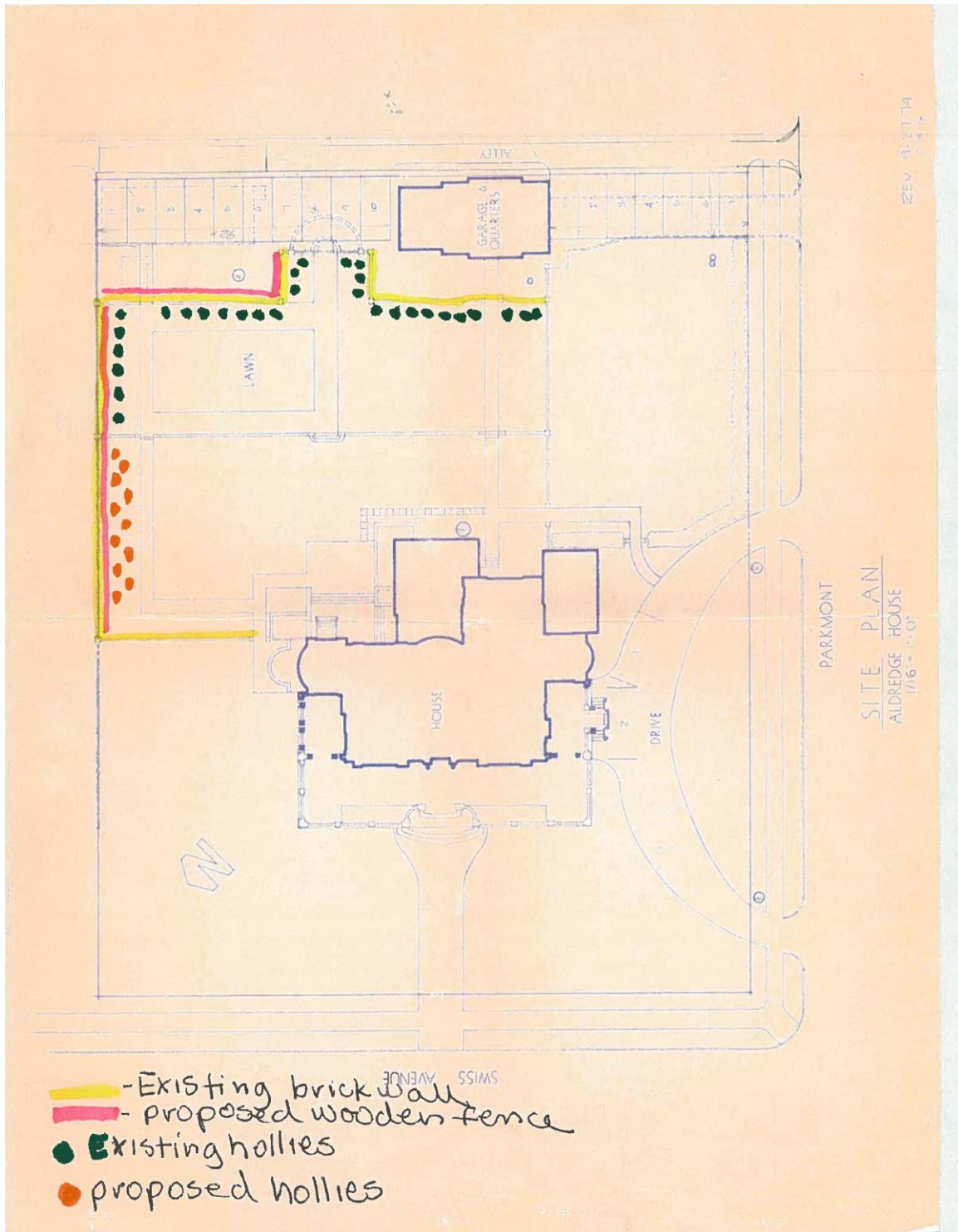
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408







APPLICATION FOR 5500 SWISS AVENUE FENCE REQUEST

SHOWN ARE PICTURES OF THE EXISTING BRICK FENCE ON THE EAST AND SOUTH SIDE OF THE BACK YARD. THE BRICK WALL IS LEANING BADLY AND IS DETERIORATING. WE WANT TO PUT AN 8 FOOT BOARD ON BOARD WOOD FENCE BETWEEN THE CYPRESS TREES AND THE BRICK WALL ON THE EAST SIDE. THIS WILL ALLOW US TO HELP STABILIZE THE BRICK WALL WITHOUT IMPACTING THE NEIGHBOR'S LANDSCAPING. WE WILL ALSO PLANT NELLIE R. STEVENS HOLLIES IN FRONT OF THE NEW FENCE ON THE EAST SIDE OF THE PROPERTY. ON THE ALLEY SIDE OF THE YARD THE WOODEN FENCE WOULD BE ON THE OUTSIDE OF THE BRICK ALONG THE REAR. WE HAVE HAD SEVERAL ATTACKS AND ATTEMPTED BREAK INS. WE NEED MORE SECURITY ALONG THE ALLEY IN ADDITION TO THE CAMERAS AND LIGHTING WE HAVE ALREADY INSTALLED.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 07/07/15
TIME: 5:30 pm
MEETING PLACE: Lakewood Library (6121 Worth Street)

Applicant Name: Dallas County Medical Society Alliance
Address: **5500 Swiss** (Swiss Avenue Historic District)
Date of CA/CD Request: 07/02/15

RECOMMENDATION:

☒ Approve _____ Approve with conditions _____ Deny _____ Deny without prejudice

Recommendation / comments/ basis:

Task force members present

<input checked="" type="checkbox"/> Joanna Hampton (Chair)	<input checked="" type="checkbox"/> John Mark Guest	_____ Elizabeth Mast
<input checked="" type="checkbox"/> Wesley Powell (Vice-Chair)	<input checked="" type="checkbox"/> John Gormley	<input checked="" type="checkbox"/> Greg Johnston
<input checked="" type="checkbox"/> Cheryl Scott	_____ Vacant (Professional)	<input checked="" type="checkbox"/> Beth Bradley (Munger Alt.)
_____ Vacant (Swiss Alternate)		

Ex Officio staff members Present : Jennifer Anderson ☒

Simply Majority Quorum: ☒ yes _____ no (four makes a quorum)

Maker: *W Powell*

2nd: *C Scott*

Task Force members in favor: *AM*

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE *07.07.2015*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-502(MD)
LOCATION: 1124 E. 11th Street
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 4
ZONING: PD No. 388, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Tenth Street Historic
MAPSCO: 55-F
CENSUS TRACT: 0041.00

APPLICANT: Montrel Living

REPRESENTATIVE: Marquette Stevenson

OWNER: SILVA MARICELA

REQUEST:

- 1) Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'.
Porch floor - SW 2832 'Col Gray'.
- 2) Install composition shingle roof to match in material. Color - 'Charcoal'.
- 3) Install wood, multi-light-over-multi-light windows.
- 4) Repair/replace front porch railings.

BACKGROUND / HISTORY: The structure is considered 'non-contributing' per the Tenth Street National Register District.

ANALYSIS:

All work meets the requirements in the Tenth Street preservation criteria, therefore Staff is recommending approval of all requests.

STAFF RECOMMENDATION:

- 1) Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'.
Porch floor - SW 2832 'Col Gray'. – Approve - Approve paint specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for colors, finishes, and cleaning in the preservation criteria Sections 2.7 and 2.8, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Install composition shingle roof to match in material. Color - 'Charcoal'. – Approve - Approve roof specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roofs in the preservation criteria Sections 2.18 and 2.19, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 3) Install wood, multi-light-over-multi-light windows. – Approve - Approve window specification dated 7/15/15 with the finding the proposed work is consistent with

the criteria for colors, finishes, and cleaning in the preservation criteria Section 2.11, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

- 4) Repair/replace front porch railings. – Approve - Approve proposed work with the finding the proposed work is consistent with the criteria for porches and balconies in the preservation criteria Section 2.22, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

- 1) Paint main structure. Brand - Sherwin Williams. Trim - SW 7005 'Pure White'.
Porch floor - SW 2832 'Col Gray'. – Approve.
- 2) Install composition shingle roof to match in material. Color - 'Charcoal'. – Approve.
- 3) Install wood, multi-light-over-multi-light windows. – Approve.
- 4) Repair/replace front porch railings. – Approve.

NC

Certificate of Appropriateness (CA)

City of Dallas Landmark Commission

CA 145 - 502 (MD)
Office Use Only

Name of Applicant: MONTREL LIVING
Mailing Address: 2633 MCKINNEY AVE
City, State and Zip Code: DALLAS, TEXAS 75204
Daytime Phone: 214 679-8179 Fax: _____
Relationship of Applicant to Owner: HOME MANAGED BY NON-PROFIT

PROPERTY ADDRESS: 1124 ELITH STREET, DALLAS TX
Historic District: 11TH

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

PAINT EXTERIOR OF HOME
ROOF REPLACEMENT
WINDOW REPLACEMENT - REPLACE CURRENT WINDOWS WITH HARD WINDOWS
LANDSCAPE FRONT YARD - ECO FRIENDLY LANDSCAPE
REPAIR FRONT PORCH RAILINGS
INTERIOR REMODEL OR HOME - SEE PLANS

Signature of Applicant: [Signature] Date: 6-17-15
Signature of Owner: [Signature] Date: 6-17-15
(IF NOT APPLICANT) JUL 02 2015

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

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☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



North elevation.



Partial north and west elevations.

SCOPE OF WORK

Montrel Living VETERANS HOUSING

Name:	Marquette Stevenson
Street Address:	1124 East 11 th Street
City, State, Zip	Dallas, TX
Zip Code	75203
Project Date:	Summer/Fall 2015

Exterior Projects

Task	Description	Materials	Misc Materials
Paint Exterior Home	Paint Exterior trim and siding SW 7005 Pure White	See Attachment	Paint
Paint Porch	Paint porch with high traffic paint SW 2832 Col Gray	See Attachment	Paint
Repair Porch Rails	Replace porch rails with like materials (Wood)	See Photos	Treated Lumber
Install New Windows	New Wood windows (Anderson Colonial wood grills)	See Attachment	
Repair Walkway	Repair concrete walkway to front porch and steps	See Photos	Concrete
Landscape Front Yard	Tier front yard to avoid washout and flooding create level space that can be utilized.	See Drawing	Landscape timbers, sod, annuals
Replace Roof	Remove old roof (3 layers) replace with new roof	See Attachment	

Interior Projects

Task	Description		
Full Internal Remodel of Home			
• Electrical			
• Plumbing			
• HVAC			
• Drywall			
• Flooring			
• Kitchen Appliances			
• Bathroom Fixtures			

Estimated Material Cost:	\$30,000
Estimated Pro Service Cost:	\$35,000

PAINT SAMPLES

SW 7005 –

SW 2832-

7/15/15



ROYAL SOVEREIGN
CHARCOAL

7/15/15

Proposed shingle specification.

ENERGY EFFICIENCY



We take saving energy seriously.

Saving energy is important to us. That goes for the energy efficiency of the windows we make and also for our manufacturing processes that produce them.

Energy-saving exteriors.

We design performance into every Andersen® window. For example our Perma-Shield® cladding blocks the transfer of heat and cold 100 times better than aluminum cladding.

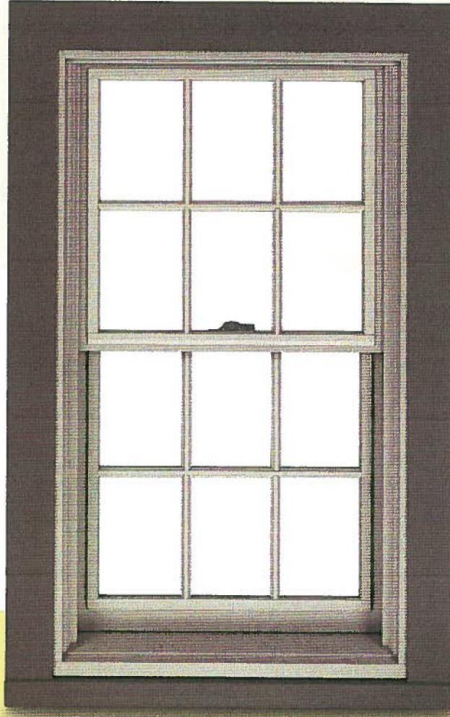
Energy-saving glass for any climate.

Andersen has the glass you need to get the performance you want, including a variety of Low-E glass options to help you control heating and cooling costs in any climate, plus SmartSun™ glass that meets ENERGY STAR® qualifications in all climate zones.

Materials and construction that seal out the weather.

Our weather-resistant construction seals out drafts, wind and water so well, you can relax in comfort whatever the weather. We carefully select weatherstripping to match each style of window to make sure you enjoy superior comfort and reliability.

What's more, we use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. All of which results in a weathertight, energy-efficient window that offers superior strength, stability and long-term beauty.



LOW MAINTENANCE

Never needs painting.

The Perma-Shield® exteriors on Andersen® windows won't peel, blister, flake or corrode*, so they are virtually maintenance free. They come in the six popular colors.

DURABILITY

owner2owner™
LIMITED WARRANTY

Quality so solid, the warranty is transferable*.

Most other window warranties end when a home is sold, but our coverage — **20 years on glass, 10 years on non-glass parts** — transfers from each owner to the next. And, because it is not prorated, the coverage offers full benefits, year after year, owner after owner. So it can add real value when you decide to sell your home.

Tough, time-tested Perma-Shield® exteriors.

The exclusive Andersen® Perma-Shield® system gives our windows a tough protective shell that safeguards the wood inside. It **repels water, resists dents* and stays beautiful for years.**



We offer options for the harshest weather environments.

400 Series windows with Stormwatch® protection are designed to meet building code requirements in coastal areas.** Products with Stormwatch® protection are energy efficient, resist the effects of salt water* and stand up to hurricane-force winds and wind-borne debris.† For details visit: andersenhomedepot.com/coastal.

*Visit andersenwindows.com/warranty for details. **See your local code official for specific building code requirements in your area. †Andersen 400 Series casement window tested to AAMA/WDMA/CSA-1011.5.2/A440-98 PG 70.

5

7/15/15

Proposed window specification.

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / 10TH STREET

DATE: **7/7/15**

TIME: **4:00 pm**

MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Marquette Stevenson

Address: 1124 E. 11th (Tenth Street)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

APPROVE ALL
DEFINE ROOF COLOR
REMOVE ARCH AT PORCH RAILING WHILE WORKING

Task force members present

☐ Nancy McCoy ☒ Alonzo Harris
☐ Chris Butler ☒ Alicia Quintans (Alternate)

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (two makes a quorum)

Maker: ALICIA

2nd: ALONZO

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force



DATE 7-7-15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-503(MD)
LOCATION: 1216 E. 8th Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 4
ZONING: PD No. 388, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Tenth Street Historic
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: Masterplan

REPRESENTATIVE: Karl Crawley

OWNER: DALLAS ISD

REQUEST:

Install two sections of sidewalk at Harlee Elementary.

BACKGROUND / HISTORY: The structure is considered 'contributing' per the Tenth Street National Register District.

ANALYSIS:

Since the work meets the requirements in the Tenth Street preservation criteria, Staff is recommending approval.

STAFF RECOMMENDATION: Install two sections of sidewalk at Harlee Elementary. - Approve - Approve site plans dated 7/15/15 with the finding the proposed work is consistent with the criteria for site and site elements in the preservation criteria Section 1.3, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION: Install two sections of sidewalk at Harlee Elementary. – Approve.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-503 (MD)
Office Use Only

Name of Applicant: KARL A CRAWLEY, MASTERPLAN
Mailing Address: 900 JACKSON ST., STE 600
City, State and Zip Code: DALLAS TX 75202
Daytime Phone: 214 761-9191 Fax: 214 748-7114
Relationship of Applicant to Owner: REP

PROPERTY ADDRESS: 1216 E. 8th STREET
Historic District: TENTH STREET NEIGHBORHOOD

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ☐ No ☐
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

CONSTRUCT TWO SECTIONS OF SIDEWALK

① PARALLEL TO ANTHONY ST. ADJACENT TO EXISTING SIDEWALK

② NEW SIDEWALK FROM EXISTING WESTERN BUILDING EXIT
TO PARKING LOT.

RECEIVED BY

Signature of Applicant: Karl A. Crawley

Date: 06/22/15

Signature of Owner: SEE ATTACHED

(IF NOT APPLICANT)

Date: 06/19/15

Current Planning

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/870-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



West elevation of school. Sidewalk infill sections will be placed in this area.



Location of sidewalk on rear of school building.

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / 10TH STREET

DATE: **7/7/15**

TIME: **4:00 pm**

MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Karl Crawley (Masterplan)

Address: 1216 E. 8th (Tenth Street)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Task force members present

☐ Nancy McCoy

☐ Chris Butler

☐

☒ Alonzo Harris

☒ Alicia Quintans (Alternate)

☐

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (two makes a quorum)

Maker: **ALICIA QUINTANS**

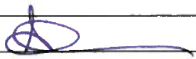
2nd: **ALONZO HARRIS**

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force



DATE

7.7.15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-508(MD)
LOCATION: 1777 Record St.
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 14
ZONING: CA-1(A)

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: West End
MAPSCO: 45-J
CENSUS TRACT: 0021.00

APPLICANT: Corgan Associates, Inc.

REPRESENTATIVE: Larry Lee

OWNER: DORBET INC

REQUEST:

Install accent lighting on five-story residential building.

BACKGROUND / HISTORY:

11/5/2012 – Landmark Commission approved the original design for the proposed apartment complex and parking garage (CA123-030(MD)).

7/1/2013 – Landmark Commission approved revisions to the exterior including introduction of Hardi-plank as an exterior material. (CA123-534(MD)).

10/7/2013 – Landmark Commission approved revisions to the exterior of the building including introduction of stucco as an exterior material (CA123-670(MD)).

12/1/2014 – Landmark Commission approved signage package (CA145-060(MD)).

ANALYSIS: Due to the fact the construction is new, Staff is comfortable with all the lighting requests, therefore is recommending approval.

STAFF RECOMMENDATION:

Install accent lighting on five-story residential building. – Approve – Approve drawings and specifications dated 7/15/15 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Install accent lighting on five-story residential building. – Approve with conditions - Approve lighting fixture locations but use warm white color illumination.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 508 (MD)
Office Use Only

Name of Applicant: Fairfield at Ross LLC
Mailing Address: 7301 N. SH-161, Suite 260
City, State and Zip Code: Irving, TX 75039
Daytime Phone: 214-574-1755 Fax: _____
Relationship of Applicant to Owner: Owner

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ____ No ____
Planner's Initials

PROPERTY ADDRESS: 1777 Record Street, Dallas, TX 75202
Historic District: West End

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Install building accent lighting for a previously approved new construction project of a 5-story residential building with parking garage.

RECEIVED BY

JUL 02 2015

Signature of Applicant: [Signature] Date: 6/25/15 **Current Planning**

Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

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Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408

FAIRFIELD

R E S I D E N T I A L

June 30, 2015

Mark Doty
City of Dallas
1500 Marilla Street
Dallas, TX 75201

Re: Fairfield West End Residences—555 Ross Avenue Project (aka 1777 N. Record Street)
Landmark Commission Submittal Accent Lighting for Building

Dear Mr. Doty;

We are hereby submitting this request for approval to install Building Uplights on the exterior of the building. The attached exhibit shows the locations of the uplights which are to be either Narrow Wash or Medium Narrow Wash fixtures from the Masque Lighting Series.

Additionally, we also propose an LED Light Strip on the Building Façade along Record Street facing back into the West End Historic District. We are also proposing an LED recessed Lighting under the canopies on the Rooftop Pool Level shown as Axis Wetbeam 4 Light fixtures.

We are proposing the uplights to be white uplights. The LED light strip would be white at a minimum but with the option to vary colors as well. On the rooftop level, we are proposing white lights, however with the option to include different colors as well. Our intent is to be able to complement some of the existing lights in the current Historic District which do have multiple colors.

Please find attached the following items:

- 1) Signed Certificate of Appropriateness Form (CA)
- 2) Exhibit showing locations of Proposed Accent Lighting on Building Elevations (3 Sheets)
- 3) Masque Spec Sheet
- 4) LED Light Strip Spec Sheet
- 5) LED Light Strip Channel Description
- 6) Axis Wetbeam 4 LED Recessed Lighting Data

Sincerely,



Larry Lee
214-574-1755
Larrylee@ffres.com

7301 North Highway 161, Suite 260 • Irving, TX 75039 • (214) 574-1500 • (214) 574-1300 fax
www.fairfieldresidential.com







INSIGHT

EXTERIOR ARCHITECTURAL FACADE LIGHTING

MASQUE CERAMIC METAL HALIDE AND AND PULSE START METAL HALIDE



SPECIFICATIONS	
OPTICS	Narrow Wash (10°) Medium Narrow Wash (20°) Deep Wallwash (65°-74°) Asymmetric Horizontal Offset Symmetric Offset Narrow Spot (10°) Wide Spot (20°)
LIGHT SOURCES	
	MASQUE 1 MASQUE 2 MASQUE 4 Ceramic Metal Halide Ceramic Metal Halide Ceramic Metal Halide 20W, 39W & 70W 70W & 150W 150W, 210W & 315W Pulse Start Metal Halide 250W & 400W
ELECTRICAL	Input Voltage 120V to 277V. All ballasts are integral to the fixture. All fixtures are tested prior to shipment. Ceramic Metal Halide ballasts are electronic, high power factor, "A" sound rated and have a THD of less than 10%, available in 120V or 277V. See ordering information for details. Pulse Start Metal Halide ballasts are HPF core/coil assemblies available in 120V - 347V. See ordering information for details.
PHYSICAL	Dimensions (Height X Width X Depth) MASQUE 1 - SM Mounting: 9-5/8" x 5-1/8" X 6-3/4" MASQUE 2 - SM Mounting: 12-3/4" x 5-3/4" X 7-1/8" MASQUE 4 - SM Mounting: 21" x 9-1/2" X 13-1/8"
	Weight MASQUE 1 - SM Mounting: 7 lbs (3.17 kg) MASQUE 2 - SM Mounting: 12 lbs (5.44 kg) MASQUE 4 - SM Mounting: 47 lbs (21.32 kg)
	Housing Heavy duty die-cast aluminum, powder-coated finish
	EPA MASQUE 1 - SM Mounting: 0.551 FT ² MASQUE 2 - SM Mounting: 0.891 FT ² MASQUE 4 - SM Mounting: 2.269 FT ²
	Lens Tempered glass
CERTIFICATION	Certification UL/CUL for Use in Wet Locations

EXTERNAL SHIELD OPTIONS



ECB
Cross Baffle
Shielding in vertical and horizontal planes.



EAH
Adjustable Horizontal Baffle
Glare cutoff in the vertical plane. Field adjustable.



EHB
Horizontal Baffle
Glare cutoff in the vertical plane.



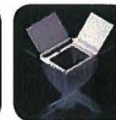
EAV
Adjustable Vertical Baffle
Glare cutoff in the horizontal plane.



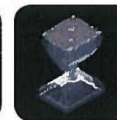
EVB
Vertical Baffle
45° shielding for low brightness lateral cutoff.



VS
Cutoff Visor
Shielding for cutoff in front of the luminaire.



BD
Barn Doors
Flexible framing of the beam pattern.



FS
Adjustable Framing Snoot
Glare control for precise beam framing.



INSIGHT
Rio Rancho, NM 87144
Tel: 505-345-0888
www.insightlighting.com

08/29/14

Page 1 of 4

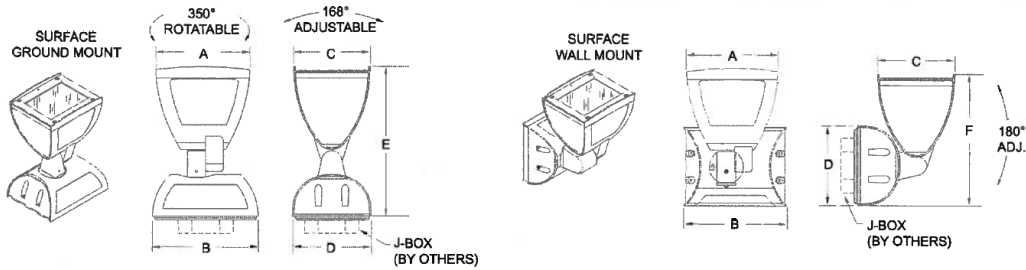
7/15/15

Lighting type #1 – Wall washer specification.

EXTERIOR ARCHITECTURAL FACADE LIGHTING

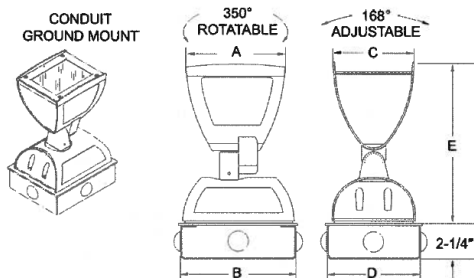
MASQUE CERAMIC METAL HALIDE AND AND PULSE START METAL HALIDE

SM - SURFACE (WALL OR GROUND)



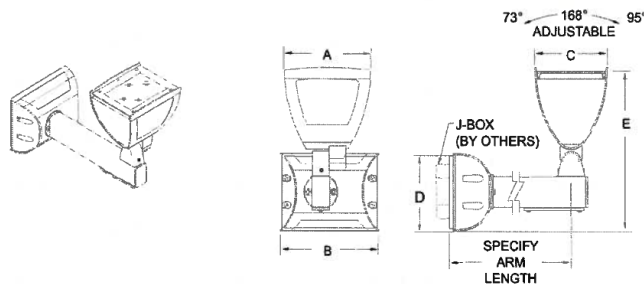
PRODUCT	CONFIGURATION	DIM A	DIM B	DIM C	DIM D	DIM E	DIM F
MASQUE 1	All	6"	6-3/4"	5"	5-1/8"	9-5/8"	8-5/8"
MASQUE 2	70W CMH	7-1/4"	7-1/8"	6-7/8"	5-3/4"	12-3/4"	11-1/2"
MASQUE 2	150W CMH	7-1/4"	9"	6-7/8"	7-1/4"	13-3/4"	12-1/8"
MASQUE 4	All	14-7/8"	13-1/8"	12-3/4"	9-1/2"	21"	18-1/8"

CM - CONDUIT MOUNT



PRODUCT	CONFIGURATION	DIM A	DIM B	DIM C	DIM D	DIM E
MASQUE 1	All	6"	7-1/4"	5"	6"	9-5/8"
MASQUE 2	70W CMH	7-1/4"	7-1/4"	6-7/8"	6"	12-3/4"
MASQUE 2	150W CMH	7-1/4"	9"	6-7/8"	5-3/4"	13-3/4"
MASQUE 4	All	14-7/8"	13-3/8"	12-3/4"	9-13/16"	21"

EX-X - EXTENDED ARM



Specify Arm Length:

Masque I: Specify 6", 12", 18" or 24"
Masque II: Specify 8", 12", 18" or 24"
Masque IV: Specify 12", 18" or 24"

PRODUCT	CONFIGURATION	DIM A	DIM B	DIM C	DIM D	DIM E
MASQUE I	All	6"	6-3/4"	5"	5-1/8"	11"
MASQUE II	70W CMH	7-1/4"	7-1/8"	6-7/8"	5-3/4"	13-7/8"
MASQUE II	150W CMH	7-1/4"	9"	6-7/8"	7-1/4"	14-1/2"
MASQUE IV	All	14-7/8"	13-1/8"	12-3/4"	9-1/2"	21-3/4"

INSIGHT

Tel: 505-345-0888
www.insightlighting.com

08/29/14

Page 3 of 4

7/15/15

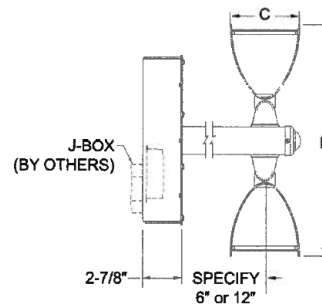
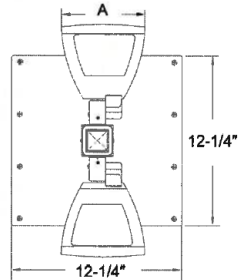
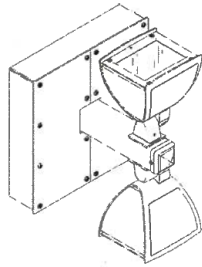
Lighting type #1 – Wall washer specification.

**EXTERIOR ARCHITECTURAL
FACADE LIGHTING**

MASQUE

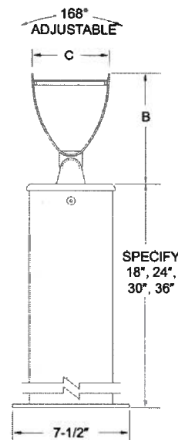
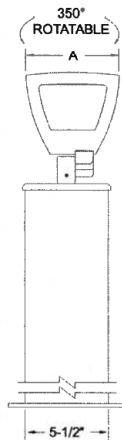
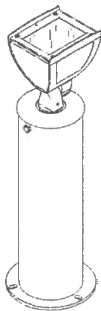
CERAMIC METAL HALIDE AND AND PULSE START METAL HALIDE

WM2-X - WALL, TWIN FIXTURE, UPLIGHT & DOWNLIGHT



PRODUCT	DIM A	DIM B	DIM C
MASQUE I	6"	18-5/8"	5"
MASQUE II	7-1/4"	22"	6-7/8"

ST-X - STANCHION



PRODUCT	DIM A	DIM B	DIM C
MASQUE I	6"	7-1/8"	5"
MASQUE II	7-1/4"	10"	6-7/8"
MASQUE IV	14-7/8"	15-1/4"	12-3/4"

7/15/15
INSIGHT
Tel: 505-345-0888
www.insightlighting.com
08/29/14 Page 4 of 4

Lighting type #1 – Wall washer specification.

TSHL2835-300

LED

Tape Light-10mm

High Luminosity

Higher Efficiency, Lower Cost per Lumen

2835 Chip - Dimmable

TSHL2835
10mm

2 wire connection

- warm white, 3000K ☐ TSHL2835-300WW
 cool white, 6000K ☐ TSHL2835-300CW

LEDS PER REEL	300
LENGTH	16.4' per reel or options of: 100 ft reel (actual 98.4 ft) and per foot custom available
CRI	≥90 Bin 29G (WW) ≥80 Bin 52G (CW)
LUMEN OUTPUT +/- 10%	3900 per reel (WW) 4200 per reel (CW) 237.80 per foot(WW) 256.10 per foot (CW)
VOLTAGE	24V DC ONLY
WATTAGE	36W per reel / 24V DC 2.2W per foot / 24V DC
CURRENT	1.5 amps / reel 24V DC
MAX RUN/driver	xxx.x feet/xxM 24V DC
WARRANTY (YEARS)	5
WEIGHT (LBS PER REEL, NON COATED)	.30
SPECTRUM CHART	See pg 11 Chart A (WW) Chart B (CW)

WIDTH • HEIGHT	
Standard Tape (Uncoated tape)	0.39"W • 0.08"H
Resin Dipped (RD)	0.39"W • 0.11"H
Silicone Cover (SC)	0.50"W • 0.17"H
Solid Silicone (SS)	0.50"W • 0.17"H
When adding coating to tape light the kelvin temperature increases, contact LED Lighting Inc. for exact specifications.	

CUTTABLE	every 6 leds or 3.9" 24V DC
VIEWING ANGLE	120°
OPERATING TEMPERATURE	-22° F to 140° F
CONNECTORS	10mm (pg 35 & 37)
POWER SUPPLIES (REQUIRED)	6 to 300 watt (pg 46 - 49)

Note: TSHL2835-300CW is not available in ≥90 CRI

Ordering Information					
Sample part number: TSHL2835-300WW-24V-80-RD-5M					
NAME	Color	Voltage	CRI	Damp and Wet Location Options:	Length Options:
TSHL2835-300	WW =3000K CW=6000K	24V DC	80 90 (WW only)	RD = resin dipped SC = silicone covered SS = solid silicone	PF = per foot 5M = 16.4" reel 30M = 98.4' reel (uncoated tape only)

Lighting type #2 – LED strip light specification.

7/15/15



Custom Illumination

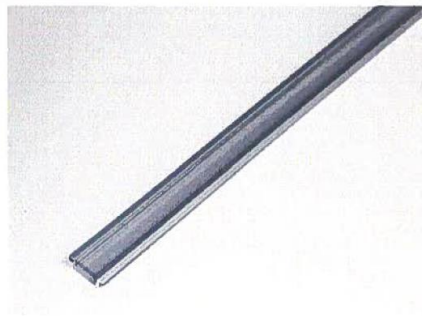
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Aluminum Channel with Cap

All Categories >> Accessories >> LED Tape Light Channels



Click on Image to Enlarge

Product Description:

Aluminum channel with PMMA (acrylic glass), 2 end caps & 2 mounting clips included.



PLEASE CALL FOR
UPDATED PRICES
BEFORE YOU
COMPLETE ORDER!

Length:

39 in

ACCOUNT LOGIN

7/15/15

Lighting type #2 – LED strip light specification.



Wet Beam brought a sleek and compact Beam luminaire for wet locations to the market. It suits both indoor spaces such as bathrooms, spas, and indoor parking garages as well as outdoor spaces such as under-canopy installations. Like its fluorescent counterpart, the LED version of the Wet Beam complements the Beam LED family. It allows for applications such as the continuation of indoor lines of light in the ceiling to the under-canopy outdoors to maintain a consistent appearance throughout the space.

Maintenance requirements for Wet Beam LED are very low and it allows for significant energy savings. Color rendering with Wet Beam LED is very good and, unlike with fluorescent HID or HPS luminaires, it provides white light under any ambient temperature, allowing notably occupants to feel safer.

MAIN PRODUCT SPECIFICATIONS

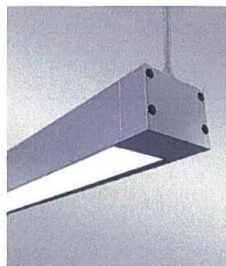
1	PRODUCT ID	2	VERSION	3	NOM. LUMENS/FT	4	COLOUR TEMP.	5	SHIELDING
WBLED	pendant led	B1	B1 (factory preset)	500	500 lm/ft	35	3500 k	F	frosted lens
WBSLED	surface led			700	700 lm/ft	30	3000 k	S	satin lens
WBWLED	wall led			900	900 lm/ft	40	4000 k		
WBRLED	recessed led								

6	LENGTH/FT	7	FINISH	8	VOLTAGE	9	DRIVER
2	2'	AP	aluminum paint	120	120V	D	dimming
3	3'	W	white	277	277V	LT	lutron
4	4'	C	custom	UNV	universal		
5	5'						
8	8'						
S#	System Run						

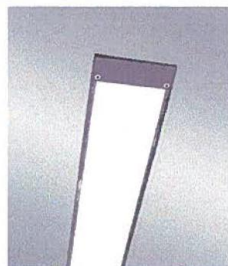


For complete luminaire specification sheets, please visit our web site at www.axislighting.com

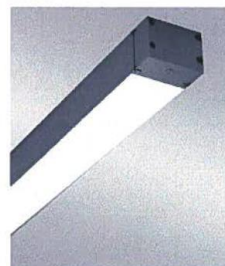
MOUNTING OPTIONS



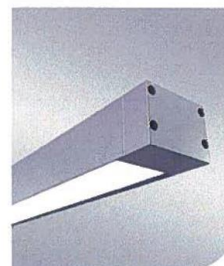
PENDANT



RECESSED



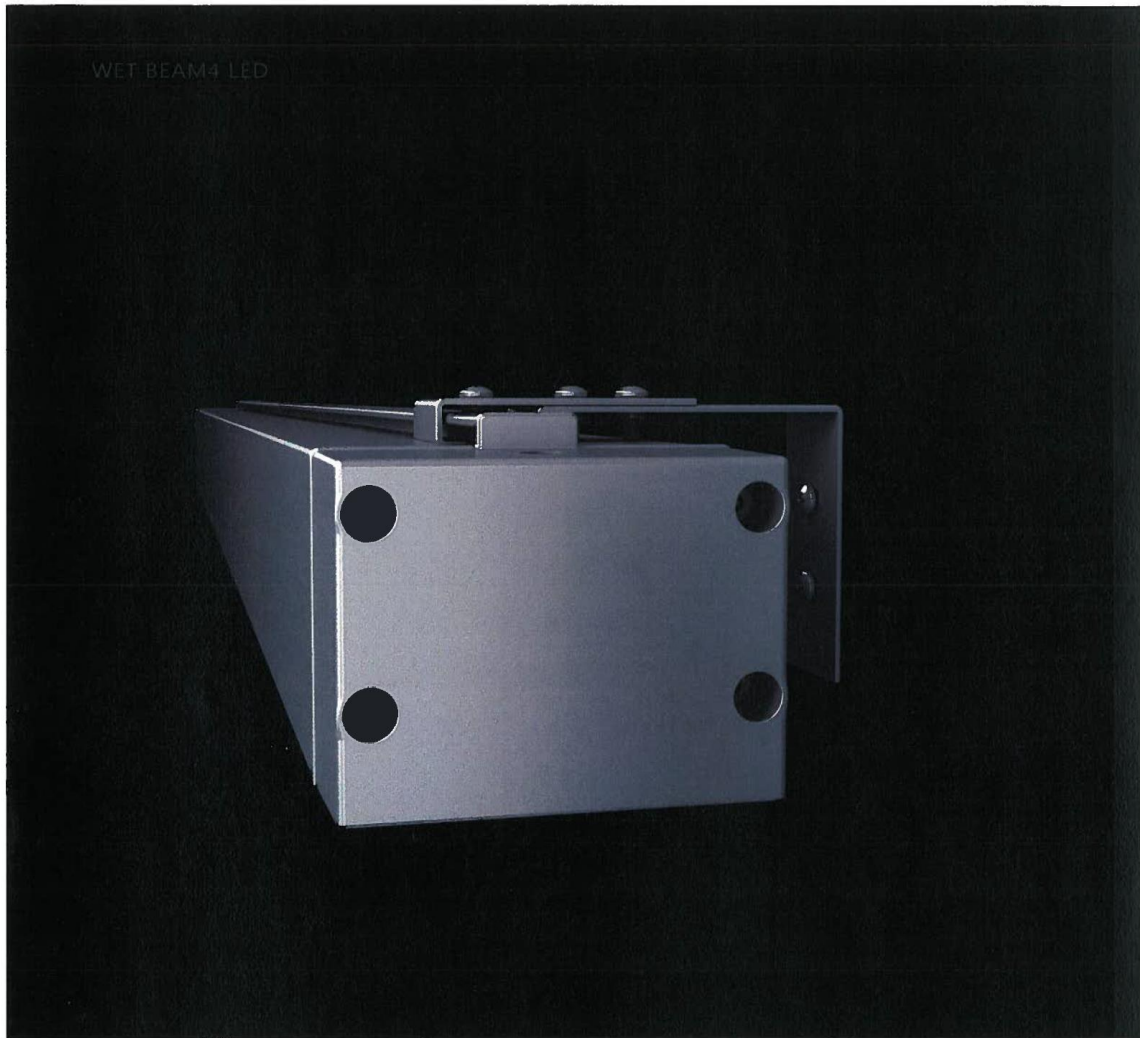
SURFACE



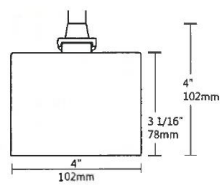
WALL

7/15/15
www.axislighting.com 2

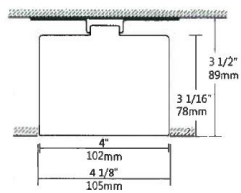
Lighting type #3 – LED recessed lighting specification.



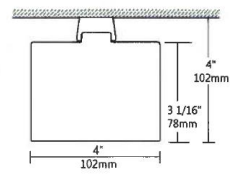
DIMENSIONS



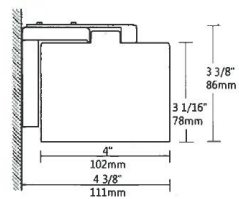
PENDANT



RECESSED



SURFACE



WALL

7/15/15

1 axis

Lighting type #3 – LED recessed lighting specification.

TASK FORCE RECOMMENDATION REPORT
CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL

DATE: 7/8/2015

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Larry Lee (Fairfield at Ross LLC)

Address: 1777 N. Record (West End)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Approve lighting, ^{fixture} locations but use warm white color illumination.

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input checked="" type="checkbox"/> Joseph Piwetz	<input type="checkbox"/> Cathy Dawson (Alternate)
<input type="checkbox"/> Jay Firsching (Vice-Chair)	<input type="checkbox"/> Charles Neel	<input checked="" type="checkbox"/> Anne Stimmel (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: Anne Stimmel
2nd: Justin Curtsinger

① Joseph Piwetz recused

Task Force members in favor: 5

Task Force members opposed: 0

Basis for opposition:

CHAIR, Task Force

Gary C. Coffman

DATE

7/8/15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CD145-027(MD)
LOCATION: 201 N. Montclair Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-A
CENSUS TRACT: 0046.00

APPLICANT: Kevin Maher

REPRESENTATIVE: None.

OWNER: TRACE & JENNIFER C BEARD

REQUEST:

Demolish accessory structure using standard 'imminent threat to public health and safety'.

BACKGROUND / HISTORY:

7/7/2014 – Landmark Commission approved a new wood fence in cornerside yard and concrete driveway (CA134-394(MD)).

7/6/2015 – Landmark Commission approved a new rear addition and denied without prejudice the removal of waterfall steps (CA145-436(MD)).

ANALYSIS: The Applicant provided all the required material to indicate that the structure is indeed an imminent threat to public health and safety, therefore Staff is recommending approval.

STAFF RECOMMENDATION:

Demolish accessory structure using standard 'imminent threat to public health and safety'. – Approve – The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(C). The structure constitutes a documented major and imminent threat to public health and safety; the demolition or removal is required to alleviate the threat to public health and safety; and there is no reasonable way, other than demolition or removal, to eliminate the threat in a timely manner.

TASK FORCE RECOMMENDATION:

Demolish accessory structure using standard 'imminent threat to public health and safety'. No quorum. Comments only. We support the demolition.

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD 145-027 (MD)
Office Use Only

1. Name of Applicant: Heidi & Kevin Maher
MAILING Address: 801 N. Montclair Ave City Dallas State Tx Zip 75208
Daytime Phone: 214-288-1383 Fax: _____
Relationship of Applicant to Owner: Same
ADDRESS OF PROPERTY TO BE DEMOLISHED: 201 N. Montclair Ave Zip 75208
Historic District: Winnetka Heights Dallas, Tx

Proposed Work:

2. Indicate which 'demolition standard(s)' you are applying:
- ☐ Replace with more appropriate/compatible structure
 - ☐ No economically viable use
 - ☒ Imminent threat to public health / safety
 - ☐ Demolition noncontributing structure because newer than period of significance
 - ☐ Intent to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;
- Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:
(please see attached checklist)

Demolition of 1 of 2 accessory garage buildings
on property due to condition beyond repair.

Application Deadline:

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210. **DO NOT FAX PHOTOGRAPHS.**

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: [Signature] Date: 6/28/15
5. Signature of Owner: [Signature] Date: 6/28/15
(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- ☐ APPROVED. Please release the building permit.
- ☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
- ☐ DENIED. Please do not release the building permit or allow work.
- ☐ DENIED WITHOUT PREJUDICE.. Please do not release the building permit or allow work.

Sustainable Development and Construction

Date

NOTE: THIS APPLICATION WILL EXPIRE 180 DAYS AFTER THE APPROVAL DATE

Certificate for Demolition & Removal

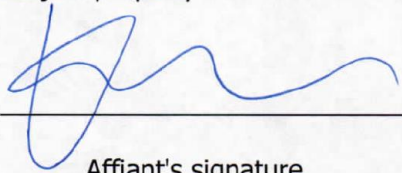
City of Dallas

Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05


Affidavit

Before me the undersigned on this day personally appeared
Kevin Maher who on his or her oath certifies that
the statements contained in the application for a certificate of demolition
and removal are true and correct to the best of his or her knowledge and
that he or she is the owner, principle, or authorized representative of the
subject property.



Affiant's signature

Subscribed and sworn to before me this 1st day of July, 2015



Notary Public





Front (east) and partial south elevations.



Pictures for Garage Demolition
201 N. Montclair Ave



Front of Garage – facing 9th Street





Side of Garage – facing alley



Back of Garage – in backyard of property

June 27, 2015

Heidi and Kevin Maher
201 N. Montclair Avenue
Dallas, Texas 75208

RE: Maher Residence
201 N. Montclair Avenue
Study of Existing Garage Structure

Dear Heidi and Kevin:

I have studied the existing garage structure on your property at the above address. The following are my observations:

1. Location
 - a. *The garage is on the southwest corner of the property, facing 9th Street, with a curb cut and driveway access from 9th Street.*
2. Access
 - a. *The curb cut is in good condition, and street gutter appears to be sloped properly in order to provide proper drainage along the street.*
 - b. *The driveway to the garage is in fair condition, and will likely need to be replaced if you decide to build a new garage structure.*
 - c. *I recommend removal of (1) existing hackberry tree on East side of the driveway due to its poor health and danger of possible collapse.*
2. Garage Structure - Walls
 - a. *The garage is constructed with a slab foundation. Slab is in fair to poor condition, and will require removal / replacement if you decide to build a new garage structure.*
 - b. *Garage walls are constructed with wood stud framing and painted exterior wood siding. Areas of the exterior wood siding are deteriorated. There is no finished wall surface on the interior of the garage. Walls are visibly out-of-plumb, and garage door openings facing 9th Street are consequently out-of-square, rendering the garage doors inoperable.*
 - c. *The garage wall studs are visibly deteriorated, so that the entire structure is leaning to the east/northeast (toward the main house).*
 - d. *Garage soffit boards are misaligned, and cracked in some cases. There are no gutters installed at the roof edges, so that rainwater is able to wick along the fascia/soffit boards and infiltrate the subsurface, contributing to further cosmetic and structural deterioration.*

12239 BRISBANE AVE. FARMERS BRANCH, TEXAS 75234
214-674-3295

3. Garage Structure - Roof

- a. *Roof joists and tie joists show similar deterioration as wall studs. Top bearing plates of wall are quite possibly compromised due to water infiltration described at paragraph 2(d) above.*
- b. *Roof decking is also deteriorated due to water damage.*
- c. *Roof shingles and ridges are in poor condition, and are obviously several decades old. There is visible damage to the shingles above the garage doors on the south side of the structure, so that rainwater is able to infiltrate.*

In summary, I recommend immediate demolition of the existing garage structure. The design of the garage is of no historical importance and exhibits no special detailing worthy of preservation. On the contrary, the dilapidated condition of the building detracts from your otherwise beautiful and historical home. It is my opinion that the garage is in imminent danger of collapse as evidenced by its leaning alone. There is also the very real danger of fire due to collateral damage to existing electrical wiring in the event of a collapse. Certainly, no one should enter the garage structure and, until it is demolished, I recommend the added precaution of posting warning signs to this effect in order to protect you from liability.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Rogers", with a long horizontal stroke extending to the right.

David M. Rogers, AIA, NCARB, LEED® AP
Registered Architect, State of Texas
TBAE License Number 15908

TASK FORCE RECOMMENDATION REPORT

WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Kevin Maher

PROPERTY ADDRESS: 201 N. Montclair (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

We support the demolition

Task force members present

<input type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Garth Russo	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Les Hall	<input type="checkbox"/> Jeff Cummings (Vice-Chair)	<input type="checkbox"/> Connie Marks (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Bob Rodriguez	

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-509(MD)
LOCATION: 306 S. Rosemont Ave.
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-E
CENSUS TRACT: 0052.00

APPLICANT/OWNER: Steven Wilson

REQUEST:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 'Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'.

BACKGROUND / HISTORY: None.

ANALYSIS: The paint colors meet the criteria in the Winnetka Heights preservation criteria, therefore Staff is recommending approval.

STAFF RECOMMENDATION:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 'Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'. – Approve - Approve paint specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Paint main structure. Brand - Sherwin Williams. Body - SW 2845 'Bunglehouse Gray'. Trim - SW 2846 'Roycroft Bronze Green'. Accent - SW 2839 'Roycroft Copper Red'. No quorum. Comments only. We support the paint colors.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-509 (MD)
Office Use Only

Name of Applicant: STEVEN WILSON
Mailing Address: 115 S ROSEMONT
City, State and Zip Code: DALLAS, TX 75208
Daytime Phone: 214 908 6433 Fax: 214 819 6057
Relationship of Applicant to Owner: SAME

PROPERTY ADDRESS: 306 S ROSEMONT
Historic District: WINNETKA HEIGHTS

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

REPLACE, REPAIR SIDING, FASIA, AS NEEDED
STRIP PAINT FROM BRICK COLUMNS, FOUNDATION TO
RESTORE TO ORIGINAL
PAINT see attached for colors
REPAIR CONCRETE STEPS, SIDEWALK WITH SAME
REPLACE WOOD FENCE WITH NEW (WILL MATCH
NEIGHBOR TO NORTH.) ADD GUTTER TO 2ND STORY

Signature of Applicant: [Signature] Date: 7-1-15

Signature of Owner: [Signature] Date: JUL 02 2015
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



West elevation.

306 South Rosemont / STEVE WILSON



Body



TRIM



Accent

7/15/15

Proposed paint specification.

TASK FORCE RECOMMENDATION REPORT

WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Steven Wilson

PROPERTY ADDRESS: 306 S. Rosemont (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

we support the paint colors and fence location

Task force members present

☐ Jeffrey Fahrenholz (Chair)

☐ Garth Russo

☐ Les Hall

☐ Jeff Cummings (Vice-Chair)

☐ Barbara Roy (Alternate)

☒ Alfred Pena

☐ Bob Rodriguez

☒ Connie Marks (Alternate)

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****AUGUST 3, 2015**

FILE NUMBER: CA145-523(MD)
LOCATION: 105 S. Willomet Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-F
CENSUS TRACT: 0046.00

APPLICANT: Gary Garmon

REPRESENTATIVE: None.

OWNER: STEVE ELIOT SANDERFER

REQUEST:

- 1) Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'.
- 2) Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'.
- 3) Remove existing ribbon driveway and install solid driveway.

BACKGROUND / HISTORY: None.

ANALYSIS: All requests meet the requirements on the Winnetka Heights preservation criteria, therefore Staff is recommending approval.

STAFF RECOMMENDATION:

- 1) Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'. – Approve - Approve paint specifications dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'. – Approve - Approve shingle specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roof colors in the preservation criteria Sections 51P-87.111(a)(8)(E) and 51P-87.111(a)(14)(B), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Remove existing ribbon driveway and install solid driveway. – Approve - Approve site plan dated 7/15/15 with the finding of fact the proposed work is consistent with the criteria for sidewalks, driveways, and curbing in the preservation criteria

Section 51P-87.111(b)(9)(A)(iii), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

- 1) Paint main structure. Brand - Sherwin Williams. Body - SW 0078 'Sunbeam Yellow'. Trim - SW 0051 'Classic Ivory'. Accent - SW 0010 'Wickerwork'. No quorum. Comments only. We support application as submitted.
- 2) Install composition shingle roof to match in material. Color - Timberline HD 'Charcoal'. No quorum. Comments only. We support application as submitted.
- 3) Remove existing ribbon driveway and install solid driveway. No quorum. Comments only. We support application as submitted.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 523 [MD]
Office Use Only

Name of Applicant: GARY GARMON, R. A.
Mailing Address: 3916 PETER PAN DRIVE
City, State and Zip Code: DALLAS TX 75229
Daytime Phone: 214-220-2005 Fax: email ggarcheflashart
Relationship of Applicant to Owner: ARCHITECT

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes ☐ No ☐

Planner's Initials

PROPERTY ADDRESS: 105 South Willomet Ave.
Historic District: Winnetka Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

The Scope of Work is to repair and paint existing structure. Remove concrete steps at entry and replace with new concrete. Replace driveway roof, remove window units, repair existing windows if required, add new central heat and air. Landscape will remain unchanged only cleaned and trimmed. Build new 6'0" wood fence for back yard.

Signature of Applicant: [Signature]

Date: 2

RECEIVED BY

Signature of Owner: [Signature]

Date: 7-1-05

(IF NOT APPLICANT)

JUL 02 2015

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 111408



East façade.

5/15/2



LEGEND
TRIM - ROOSE - CLASSIC IVORY
BODY - ROOSE - SUNBEAM YELLOW
ACCENT - ROOSE WICKERWORK
ALL PAINTS ARE SHERWIN WILLIAMS
HISTORICAL COLLECTION

ROOF - THYBERLINE LIFELINE ARCHITECTURAL
SHINGLES THYBERLINE HD CHARCOAL
1X8 LAP SIDING TYPICAL

GARY GARMON
3915 Peter Pan Drive
Dallas, TX 75228

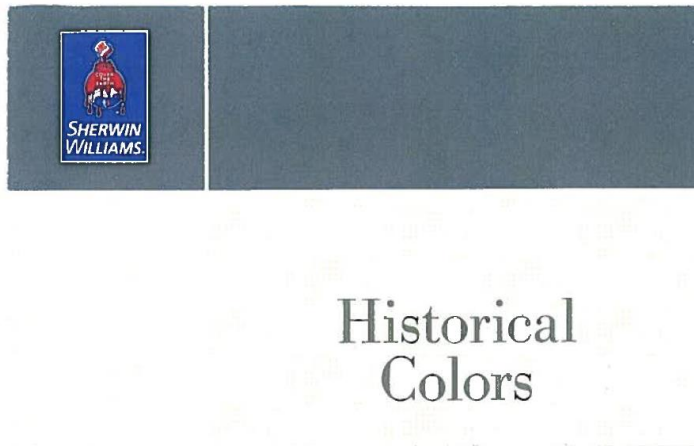
ARCHITECT

2 JULY 2015

105 SOUTH WILLOMET AVE
DALLAS TEXAS

FRONT ELEVATION

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PAGE 5
PAINTING



❖Wickerwork
SW 0010

ACCENT



GAF TIMBERLINE LIFELINE ARCHITECTURAL SHINGLES
TRIMBERLIND HD CHARCOAL



*Classic Ivory
SW 0051

TRIM



*Sunbeam Yellow
SW 0078

BODY



GARY GARMON
3916 Peter Pan Drive
Dallas, TX 75229

ARCHITECT

2 JULY 2015

105 SOUTH WILLOMET AVE
DALLAS TEXAS

3

COLOR SAMPLES

SCALE : NO SCALE"

COLOR SAMPLE CHART

7/15/15

Proposed paint and shingle specifications.

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Gary Garmon

PROPERTY ADDRESS: 105 S. Willomet (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

We support application as submitted

Task force members present

<input type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Garth Russo	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Les Hall	<input type="checkbox"/> Jeff Cummings (Vice-Chair)	<input type="checkbox"/> Connie Marks (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Bob Rodriguez	

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:
2nd.

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****AUGUST 3, 2015**

FILE NUMBER: CA145-510(MD)
LOCATION: 118 N. Winnetka Ave.
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-E
CENSUS TRACT: 0052.00

APPLICANT/OWNER: Russ Aikman

REQUEST:

Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'.

BACKGROUND / HISTORY: None.

ANALYSIS: The proposed roof shingle specification meets the criteria in the Winnetka Heights preservation criteria, therefore Staff is recommending approval.

Staff did ask the Applicant to confirm (email on CX-4) that the front dormer would remain and would not be removed as shown on the documentation originally provided by the Contractor, also on CX-4.

STAFF RECOMMENDATION:

Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'. – Approve - Approve shingle specification dated 7/15/15 with the finding the proposed work is consistent with the criteria for roof colors in the preservation criteria Sections 51P-87.111(a)(8)(E) and 51P-87.111(a)(14)(B), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install composition shingle roof to match in material. Color - GAF Timberline 'Hickory'. No quorum. Comments only. We support as submitted.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 510 [MD]
Office Use Only

Name of Applicant: Russ Aikman
Mailing Address: 225 S. Windomere Ave.
City, State and Zip Code: Dallas, TX 75208
Daytime Phone: 817-307-0400 Fax: _____
Relationship of Applicant to Owner: same

PROPERTY ADDRESS: 225 S. Windomere Ave.
Historic District: Winnetka Heights

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

THE ROOF ON MY HOUSE IS OVER 20 YRS OLD AND
NEEDS REPLACEMENT. THE CURRENT ROOF COLOR
IS WEATHERED WOOD. I WOULD LIKE TO
CHANGE TO A COLOR THAT MORE CLOSELY MATCHES
THE EXTERIOR TRIM COLOR, WHICH IS BURGUNDY.
THE COLOR CHOSEN IS GAF TIMBERLINE HICKORY.

Signature of Applicant: Russ Aikman Date: July 2, 2015

Signature of Owner: _____ Date: JUL 02 2015
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



East elevation.



Proposed shingle specification.

Doty, Mark

From: Aikman, Russ
Sent: Thursday, July 02, 2015 9:58 AM
To: Doty, Mark
Subject: Re: CA for 225 S. Windomere

Correct - the front dormer will not be changed in any way except for a new roof. The contractor prepared the image of the house with the proposed roof but did not account for the dormer.

Sincerely,

-RA

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015
TIME: 5:30pm
MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Russ Aikman
PROPERTY ADDRESS: 225 S. Windomere (Winnetka Heights)
DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

we support as submitted

Task force members present

<input type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Garth Russo	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Les Hall	<input type="checkbox"/> Jeff Cummings (Vice-Chair)	<input type="checkbox"/> Connie Marks (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Bob Rodriguez	

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:
2nd.

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-511(MD)
LOCATION: 411 S. Winnetka Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract A

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-F
CENSUS TRACT: 0051.00

APPLICANT: Larry Oliver

REPRESENTATIVE: Jamie Oliver

OWNER: ANTHONY & LINDA SWINDALL

REQUEST:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'.

BACKGROUND / HISTORY:

5/4/2014 – Landmark Commission approved landscaping and new porch lighting (CA134-259(MD)).

5/5/2015 – Landmark Commission approved removal of windows and installation of French doors on north façade (CA145-365(MD)).

ANALYSIS: Either option of the proposed paint colors meet the criteria in the Winnetka Heights preservation criteria, therefore Staff is recommending approval.

STAFF RECOMMENDATION:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'. – Approve - Approve both paint specification options dated 7/15/15 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Paint main structure. Brand - Sherwin Williams. Option #1 - Body - SW 7069 'Iron Ore'. Trim - SW 7649 'Silverplate'. Option #2 - Body - SW 7048 'Urbane Bronze'. Trim - SW 7649 'Silverplate'. No quorum. Comments only. We support application as submitted.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 511 [MD]
Office Use Only

Name of Applicant: Larry and Jamie Oliver
Mailing Address: 411 S. Winnetka Ave.
City, State and Zip Code: Dallas, Tx 75208
Daytime Phone: 214-926-9729 Fax: _____
Relationship of Applicant to Owner: Owner

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes ____ No ____
Planner's Initials

PROPERTY ADDRESS: 411 S. Winnetka
Historic District: Winnetka Heights Historic District

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Scrape and Paint entire exterior of house. Paint is peeling and exposing wood on all sides of the house. Would like to paint the entire structure a darker two-color combo. Submitting two color combos for approval.

Color Combo 1: HOUSE BODY SW7069 (iron ore) AND TRIM COLOR SW7649 (silverplate)

Color Combo 2: HOUSE BODY SW7048 (urbane bronze) and TRIM COLOR SW7649 (silverplate)

RECEIVED BY

Signature of Applicant: [Signature] Date: 6/30/15 JUL 02 2015

Signature of Owner: [Signature] Date: _____
(IF NOT APPLICANT)

Current Planning

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

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OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

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☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

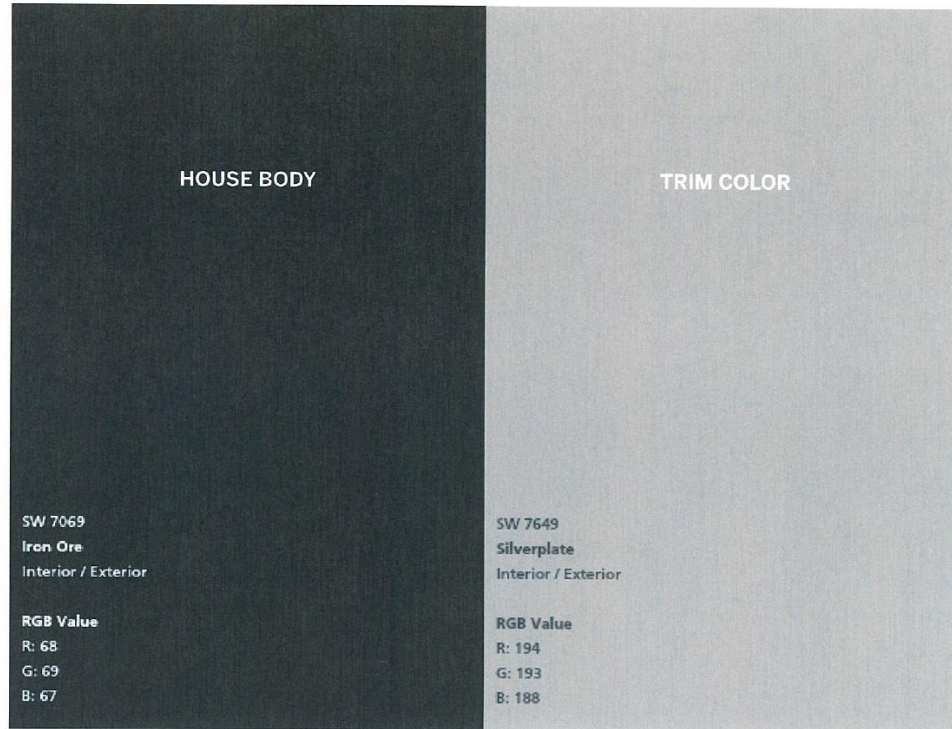
City of Dallas

Historic Preservation
Rev. 111408



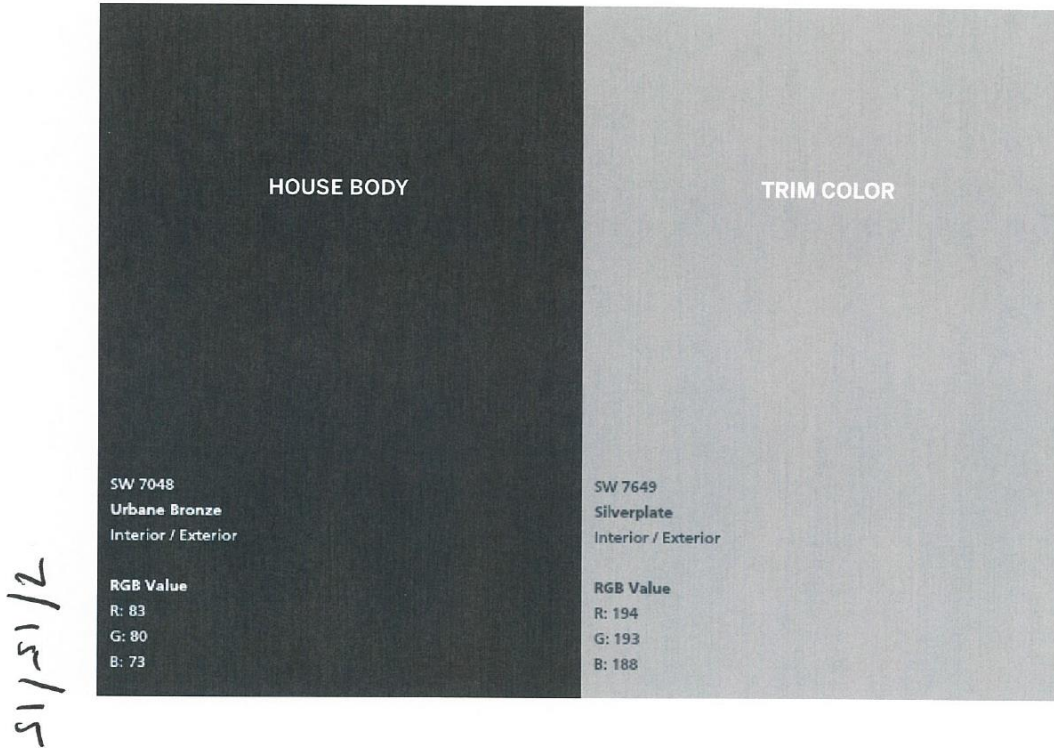
Front (east) elevation.

7/15/15



Option #1 - Proposed paint specification.

COLOR COMBO 2:
SW7048 (URBANE BRONZE) AND SW7649 (SILVERPLATE)



Option #2 - Proposed paint specification.

**PHOTOSHOPPED VERSION
OF OUR HOUSE WITH PAINT:**



TASK FORCE RECOMMENDATION REPORT

WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Jamie Oliver

PROPERTY ADDRESS: 411 S. Winnetka (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

We support application as submitted

Task force members present

<input type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Garth Russo	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Les Hall	<input type="checkbox"/> Jeff Cummings (Vice-Chair)	<input type="checkbox"/> Connie Marks (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Bob Rodriguez	

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-525(MP)
LOCATION: 611 N. Glasgow
STRUCTURE: Main, Non-Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Marsha Prior
DATE FILED: July 3, 2014
DISTRICT: Junius Heights
MAPSCO: 36-Y
CENSUS TRACT: 0013.01

APPLICANT: Vince Leibowitz/Profound Estate

OWNER: Profound Estate

REQUEST:

- 1) Remove roof and add second story addition.
- 2) Remove vinyl window on east elevation and replace with wood, three-over-one window.
- 3) Remove all Hardie board siding and install pine wood siding to original structure and proposed addition.
- 4) Demolish and re-build rear addition that was burned in fire.
- 5) Replace existing front door with Craftsman-style door.
- 6) Install wood three-over-one windows on all elevations of second-story addition.
- 7) Remove front fence (both wood and chain link portions), supporting brick column, and gates.
- 8) Remove door on rear elevation and install two French wood hinged patio doors.
- 9) Install French wood hinged patio doors on east side elevation.
- 10) Extend front elevation of house to be flush with current front door/entryway projection.
- 11) Remove window on lower story, front elevation and install three wood, three-over-one windows.

BACKGROUND / HISTORY: Applicant initially submitted a design plan that included an upper balcony on front elevation. The overhang from the balcony was also to serve as protection for cars that could park right in front of house. Task Force strongly recommended a new design that eliminated the second story balcony and extensive overhang. Applicant's current design has taken Task Force recommendations into account—removing the second story balcony and (in a CA to be submitted at a later date) proposing that the carport be placed on the west side elevation.

ANALYSIS:

Efforts to understand the history of this house have been undertaken by applicant and staff. The 1999 Junius Heights survey lists the house as non-contributing constructed in 1945, which is outside the period of significance (1900–1940). Dallas Central Appraisal District also lists the property with a 1945 construction date. Research included the possibility that the structure was originally a carriage house that had been altered over the years. A 1922 Sanborn map, however, shows the entire lot to be vacant in 1922. Sometime between then and 1952, the lot was covered with seven structures. It is difficult to determine what type of complex this may have represented as the writing on the Sanborn is illegible. However there was a dwelling fronting Worth and a structure fronting Glasgow that appears to be in the same location as 611 N Glasgow (See Sanborn maps at end of this document).

Based on the research conducted, staff believes that this is a ca. 1945 building. The proposed design to remodel 611 N Glasgow to conform to the Craftsman style is consistent with the Junius Heights ordinance Section 10.2 that states new residential construction be in the Prairie or Craftsman style. Although, technically, this is not new construction, the proposed alterations are significant enough to warrant the comparison.

STAFF RECOMMENDATION:

- 1) Remove roof and add second story addition – Approve – Approve plans dated 07/15/2015 with condition that a horizontal wood band be installed at the juncture between the original first story and new second story to distinguish between the original and the new second story addition, and that new roof use Owens Corning 3-tab shingles in Estate Gray with the finding the proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), 8.4, and 8.14 for additions, Section 6.2 for roofs, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Remove vinyl window on east elevation and replace with wood, three-over-one window – Approve – Approve specifications dated 07/15/2015 with the finding the proposed work is consistent with preservation criteria Section 5.2 for replacing non-historic windows and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 3) Remove all Hardie board siding and install pine wood siding to original structure and proposed addition – Approve – Approve specifications dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Section 4.1(b) Section for restoring historic integrity of facades and meets the standards of City Code Section 51A-4.501(g)(6)(C)(ii).
- 4) Demolish and re-build rear addition that was burned in fire – Approve with conditions – Approve plans dated 7/15/2015 with condition that existing footprint remain the same and wood siding replace the existing Hardie board and match new wood siding with the finding the proposed work is consistent with preservation criteria Sections 4.3 and 4.10 for wood siding and restoration, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 5) Replace existing front door with Craftsman-style door – Approve with conditions – Approve specifications dated 07/15/2015 with condition that door has no sidelights with the finding the proposed work meets preservation criteria Section 5.2 to replace non-historic doors and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 6) Install wood three-over-one windows on all elevations of second-story addition – Approve – Approve drawings and specifications dated 07/15/2015 with finding that

proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), and 8.5 for additions, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

7) Remove front fence (both wood and chain link portions), supporting brick column, and gates – Approve – Approve proposed work with the finding the work is consistent with preservation criteria Section 3.6 for fences and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

8) Remove door on rear elevation and install two French wood hinged patio doors – Approve – Approve drawings and specifications dated 07/15/2015 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

9) Install French wood hinged patio doors on east side elevation – Approve – Approve drawings and specifications dated 07/15/2015 with the finding the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

10) Extend front elevation of house to be flush with current front door/entryway projection – Approve – Approve drawings dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Sections 8.1, 8.3(d), and 8.5 for additions and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

11) Remove window on lower story, front elevation and install three wood, three-over-one windows – Approve – Approve specifications dated 07/15/2015 with finding the proposed work is consistent with preservation criteria Section 5.2 for replacing non-historic windows and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

1) Remove roof and add second story addition – No quorum, comments only – Remove the balcony, correct the proportions, add craftsman details, add measurements; suggested parking on alley side; remove fence from front yard.

2) Remove vinyl window on east elevation and replace with wood, three-over-one window – No quorum, no comments.

3) Remove all Hardie board siding and install pine wood siding to original structure and proposed addition – No quorum, no comments.

4) Demolish and re-build rear addition that was burned in fire – No quorum, no comments.

5) Replace existing front door with Craftsman-style door – No quorum, no comments.

6) Install wood three-over-one windows on all elevations of second-story addition – No quorum, no comments.

7) Remove front fence (both wood and chain link portions), supporting brick column, and gates – No quorum, no comments.

8) Remove door on rear elevation and install two French wood hinged patio doors – No quorum, no comments.

9) Install French wood hinged patio doors on east side elevation – No quorum, no comments.

10) Extend front elevation of house to be flush with current front door/entryway projection – No quorum, no comments.

11) Remove window on lower story, front elevation and install three wood, three-over-one windows – No quorum, no comments.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-525 (AP)
Office Use Only

Name of Applicant: Profound Estate thru V. Leibowitz, Agent
Mailing Address: 10 V. Leibowitz, # 9661 Audelia # 338
City, State and Zip Code: DALLAS TX 75238
Daytime Phone: 972-874-6175 Fax: _____
Relationship of Applicant to Owner: Realtor

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 611 N. Glasgow
Historic District: JUNIUS HEIGHTS

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

RECEIVED BY

JUL 02 2015

Current Planning

1. Remove roof and add second story addition.
2. Remove vinyl windows and replace with wood windows.
3. Remove Hardie board siding and replace with cedar wood siding.
4. Demolish and re-build rear addition that was burned in fire.
5. Replace existing front door with glass door.
6. Construct balcony/covered parking addition.
7. Construct wood deck on side and rear elevation.

CONF →

Signature of Applicant: [Signature]

Date: June 22, 2015

Signature of Owner: [Signature]
(IF NOT APPLICANT)

Date: 6/22/15

APPLICATION DEADLINE:

Application material must be completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.

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OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408

8. Install architectural features to match historic period of neighborhood.
9. Repair fence.
10. Demolish concrete drive and construct new drive to conform to new overhang for covered parking.
11. Replace back door.
12. Add double glass door to side elevation.

CA continued.



611 N Glasgow, front (north) elevation.



Right side (west) elevation.



Close up of right side (west) elevation.



Rear (south) elevation.



Left side (east) elevation.



Alley next to west elevation of 611 N Glasgow (right side of 611 N Glasgow when facing house).



Home directly across the street from 611 N Glasgow.



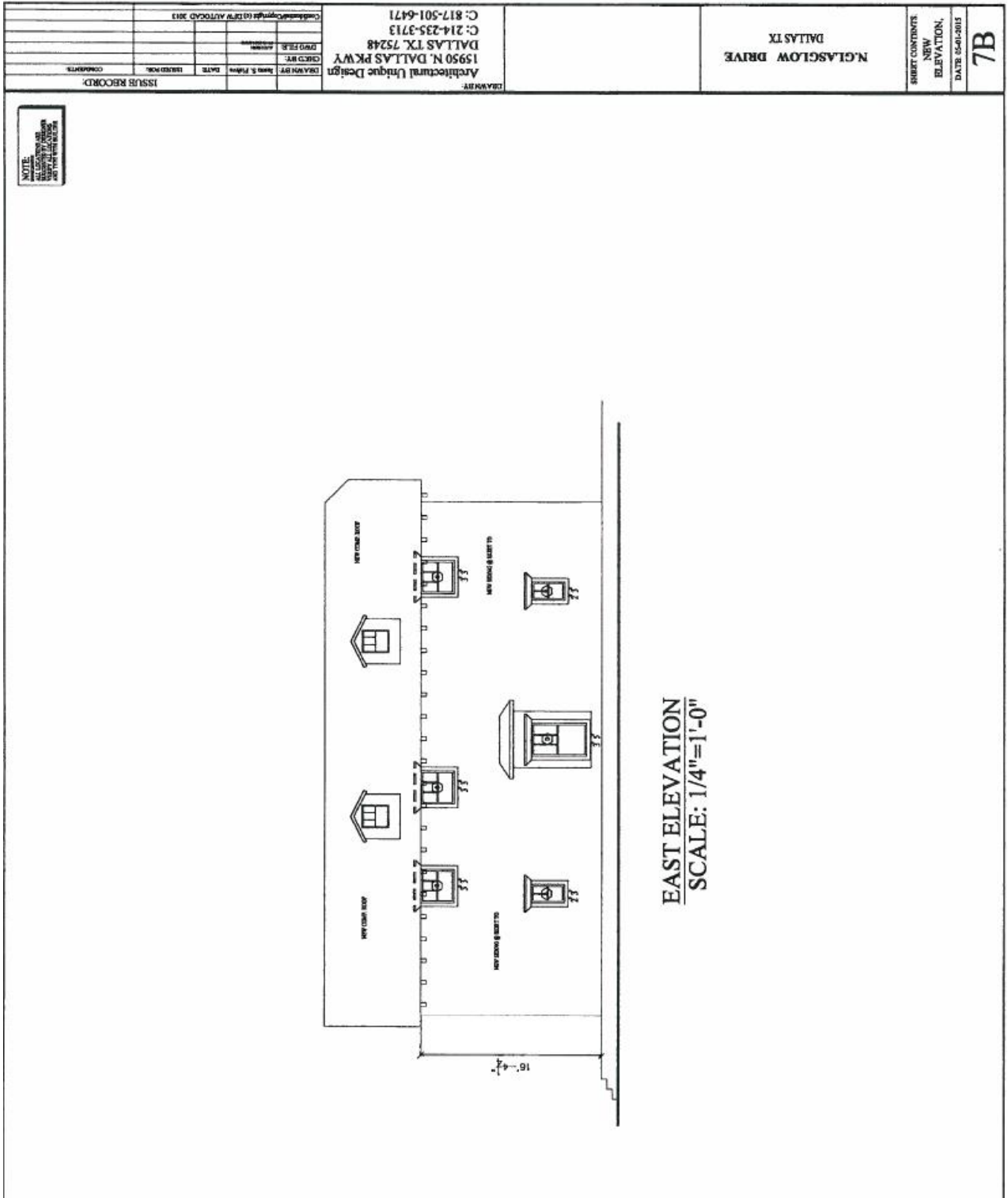
Back of house that is adjacent to 611 N Glasgow on east elevation.



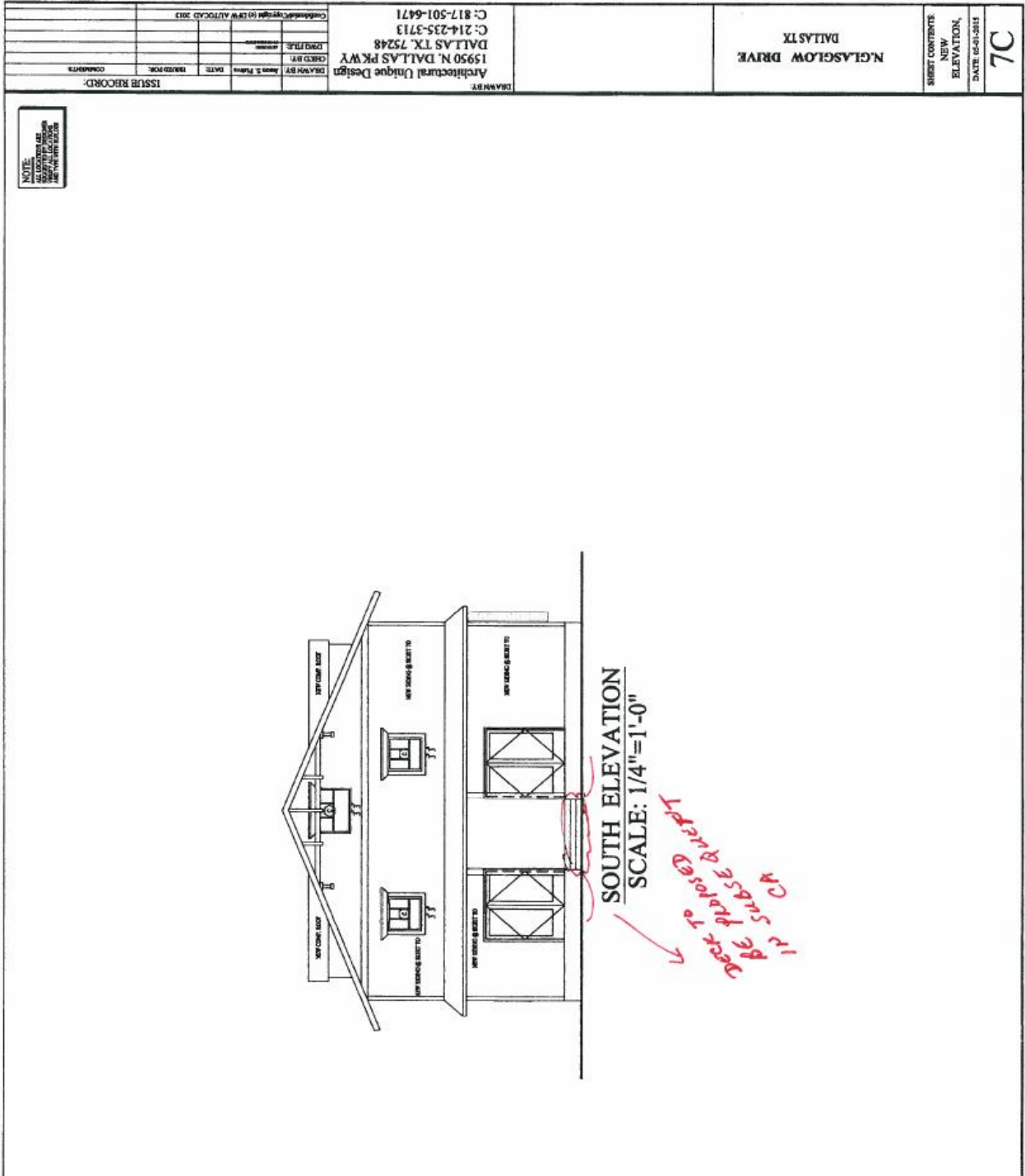
Side of house that is adjacent to 611 N Glasgow on east elevation.

[illegible]

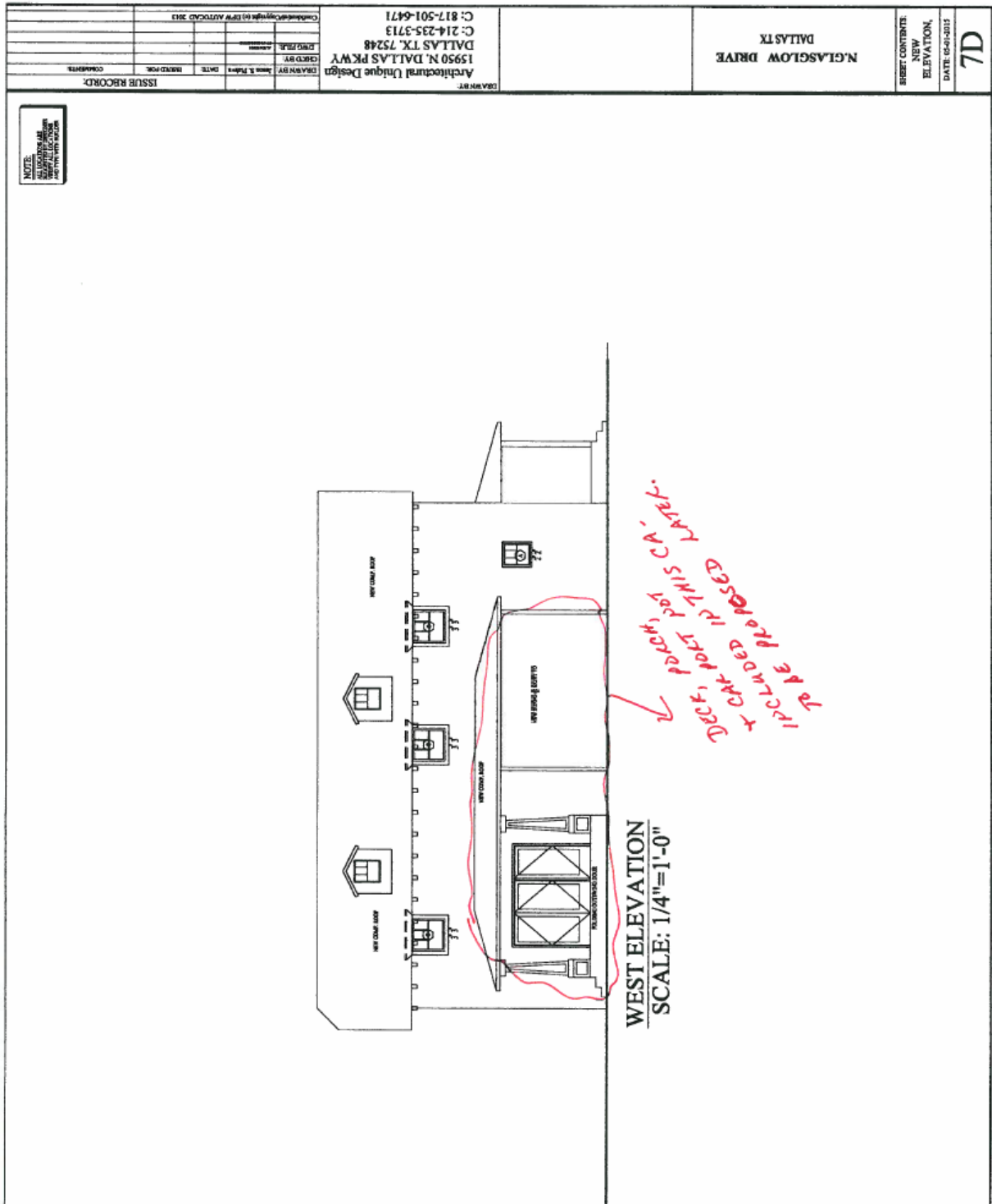
Proposed front (north) elevation. Note: porch deck and columns not included in this CA; to be proposed in a future CA.



Proposed east elevation.



Proposed rear (south) elevation. Note: proposed back deck to be included in a later CA.



Proposed side (west) elevation. Note: porch deck, columns, and carport not included in this CA; to be proposed in a later CA.

13 Craftsman Collection

Colección de Artesano

611 N. Glasgow door w/o side light

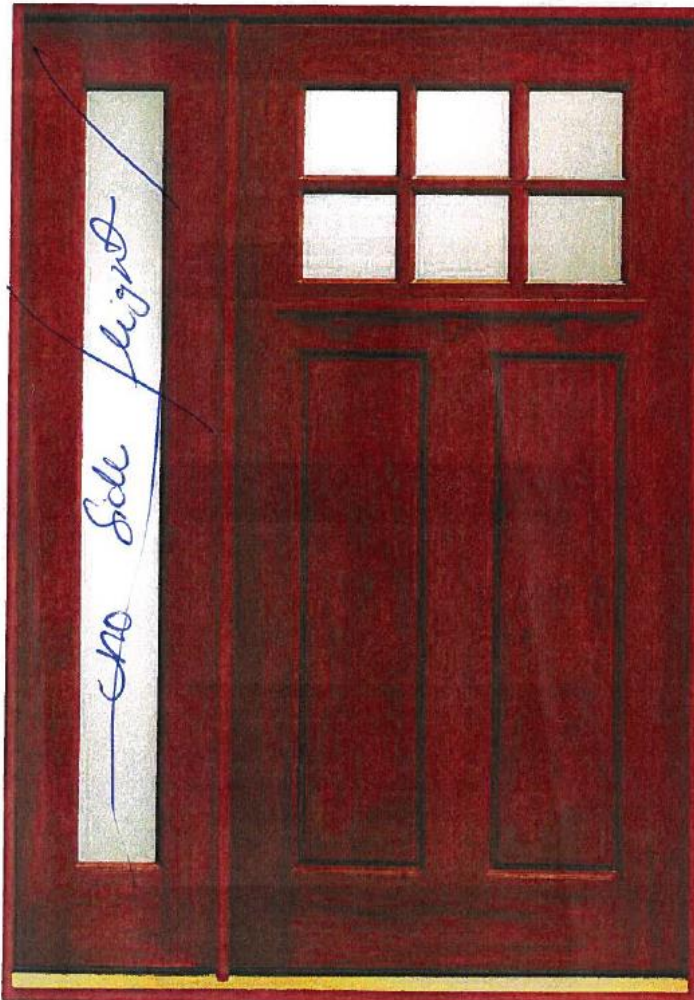
NEW
NUEVO

About The Collection

Distinguish your home's entry with Main Door's new offering—The Craftsman Collection. Inspired by the 19th century American Arts and Crafts movement, this style encourages originality, simplicity and warmth. Choose from three handcrafted models and various finishes for your home's entry—it is sure to be both simple and elegant.

Sobre la Colección

Distinguir la entrada de su casa con la nueva oferta—The Craftsman Colección de Puerta Principal. Inspirado por el movimiento Arts and Crafts estadounidenses del siglo 19, este estilo fomenta la originalidad, sencillez y calidez. Elija entre tres modelos hechos a mano y varios finales para la entrada de su casa—es seguro que será a la vez simple y elegante.



Stains & Finishes

Las Manchas Y Acabados



Cherry
Cereza



Walnut
Nogal



Golden Oak
Roble de Oro



Espresso
Espresso



Antique Mahogany
Antique Mahogany



Unfinished
Inconcluso

Optional Shelf Estante Opcional



Glass Options Opciones de vidrio



Specifications for front door.

12"x16'-716" 2 Tier Textured, Primed
12"x16'-7/16" 3 Tier Textured, Primed

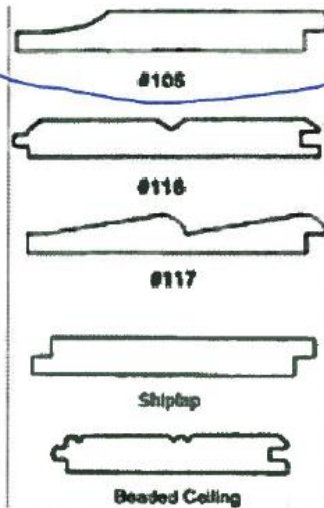
Fiber Cement Siding

James Hardie/ MaxTile
All Siding, Panels and Trim Available

Vinyl Siding Available

Cypress and Redwood Siding Available

Yellow Pine "D" Siding



** Wood Siding*

1x6-105
1x8-105
1x6-116
1x6-117
1x6-122
1x4-Beaded Ceiling

Specifications for wood siding.

400 SERIES FRENCHWOOD HINGED PATIO DOOR



INTERIOR WOOD (3)

INTERIOR FINISH (2)

HARDWARE FINISH (12)

EXTERIOR COLOR (4)

EXTERIOR TRIM COLOR (11)

EXTERIOR TRIM PROFILES (6)

REQUEST A BROCHURE



SHARE +

OVERVIEW

SIZES &
SHAPES

GLASS

GRILLES

HARDWARE &
ACCESSORIES

PERFORMANCE

INSTALLATION
& WARRANTY

TECHNICAL
DOCUMENTS

OVERVIEW

Andersen® 400 Series Frenchwood® hinged patio doors not only open your home to the world outside, they bring the beauty of nature inside. They can flood a room with sunlight and provide panoramic views, and their wide wood profiles add an undeniable elegance to their surroundings—yet they are just as effective in sealing the elements out.

Our 400 Series Frenchwood hinged patio doors are available as inswing or outswing models with optional sidelights and transom windows. Transom windows go above a door while sidelights flank one or both sides of the door. Alone or combined, they can turn your doorway into a focal point while letting more natural light into your home.

- Traditional French door styling
- Energy efficient
- Solid wood door
- Quality construction with mortise-and-tenon dowel joints
- Multipoint locking system that seals the doors tight at the top, center and bottom
- Extensive array of options and accessories, including sidelights and transom windows
- Available in one-, two- and three-panel configurations (inswing) or one- and two-panel configurations (outswing)

Specifications for proposed French doors on rear and west side elevations.



400 SERIES WOODWRIGHT DOUBLE- HUNG WINDOW

- Six exterior colors
- Natural oak, maple, or pine interiors
- Energy efficient
- Dual-layer, compressible bulb weatherstripping seals out dust, wind and water
- Variety of hardware styles and finishes
- Custom sizing and replacement version available
- Tilting sash allows for easy cleaning

DETAILS > ✓ Replacement ✓ Several Shapes ✓ Tilt-Wash



EXTERIOR COLORS
(6)

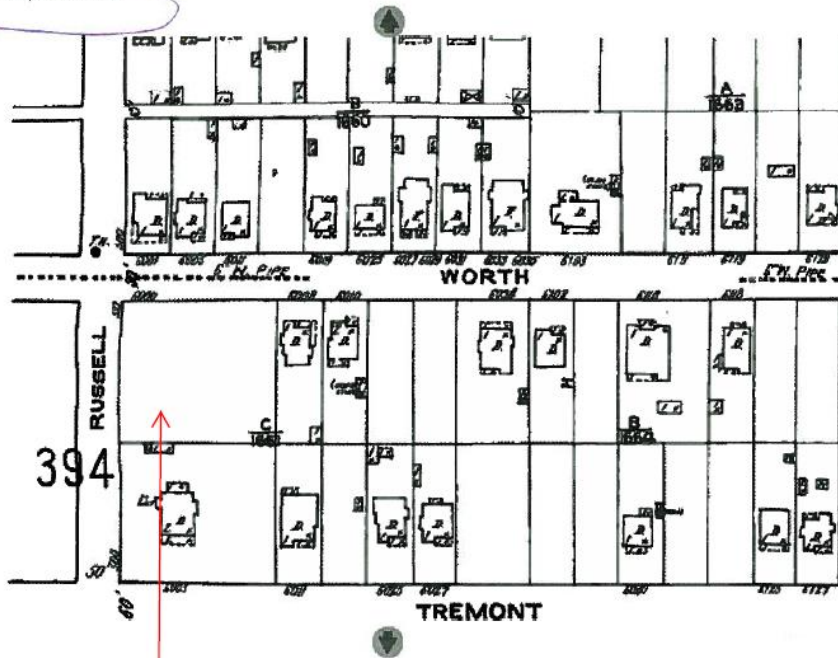


INTERIOR FINISH (2)



INTERIOR WOOD (3)

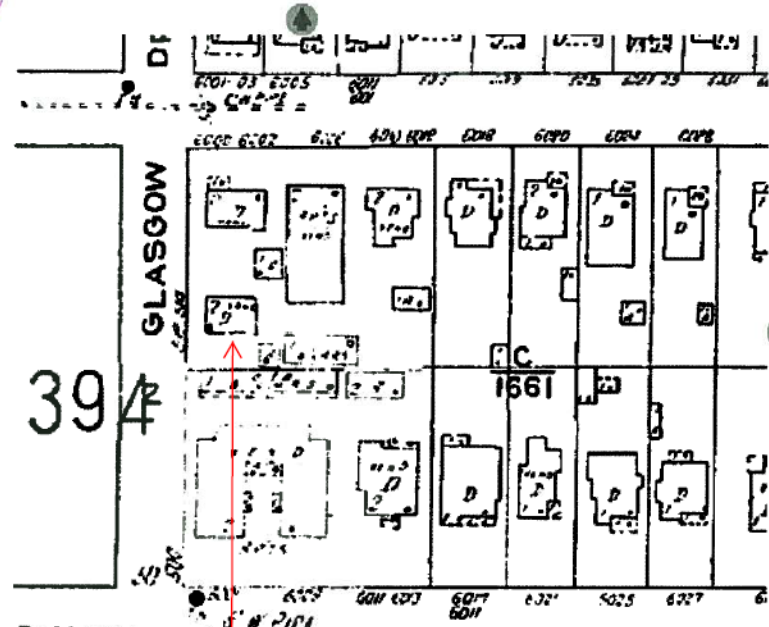
Dallas 1921-1927vol.3,1922, Sheet 399a



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Lot where 611 N Glasgow is currently located. Note: Russell changed to Glasgow.



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Lot of 611 N Glasgow,
showing complex built
between 1922 and 1952.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 07/09/2015

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Vince Liebowitz
Address: 611 N Glasgow
Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments / basis:

Remove the ^{Balcony} ~~proportions~~, correct the proportions, add
craftsman details, add measurements,

Suggest parking on ally side.

Remove fence from front yard.

Schmidt / Koppang / Cohns

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Sally Johnson	<input type="checkbox"/> Terri Raith (Alternate)
<input checked="" type="checkbox"/> Barbara Cohen	<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

July 9, 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-526(MP)
LOCATION: 5821 Tremont
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 397

PLANNER: Marsha Prior
DATE FILED: July 2, 2015
DISTRICT: Junius Heights
MAPSCO: 36-Y
CENSUS TRACT: 0013.01

APPLICANT: Kathleen Eustace

OWNER: Kathleen Eustace

REQUEST: Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness under previous owner.

BACKGROUND / HISTORY: None

ANALYSIS: Request to install Hardie board is inconsistent with ordinance that stipulates maintaining original wood facades. Staff has recommended, however, and Landmark has approved the use of Hardie board siding for the lower two laps (or six inches) with the remainder being wood siding to match existing.

STAFF RECOMMENDATION: Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness under previous owner – Deny without prejudice – The partially completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the removal of previous skirting is inconsistent with preservation criteria Section 4.1(b) that states that repair of protected facades must employ materials similar to the historic materials in texture, color, pattern, grain, and module size, and because it is inconsistent with preservation criteria Section 4.5 that states historic materials must be repaired if possible and replaced only when necessary.

TASK FORCE RECOMMENDATION: Replace skirting with Hardie board lap siding, wood grain finish. Work initiated without a Certificate of Appropriateness under previous owner – No quorum, comments only: Bottom two courses to be Hardie board smooth side out, drip board to be installed, remainder to be [wood] lap siding.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-526 (MP)
Office Use Only

Name of Applicant: Kathleen Eustace
Mailing Address: 5821 Trement St
City, State and Zip Code: Dallas, Tx 75214
Daytime Phone: 986-552-9672 Fax: _____
Relationship of Applicant to Owner: am the owner

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes _____ No _____
Planner's Initials

PROPERTY ADDRESS: 5821 Trement St, Dallas, Tx 75214
Historic District: Juarez Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Replace existing only (floor level down) ~24" from ground with fiber cement (hardboard) lap siding with wood grain finish to match current lap siding set as existing. Material will match historical aesthetics (shaped dimensions of current lap siding) maintaining structural integrity. Replace rotted wood and siding around house with treated wood siding panels and planks cut to correct dimensions as needed. House to also be repainted with follow up CA to be provided with color information.

Signature of Applicant: Kathleen Eustace

Date: **RECEIVED BY**

Signature of Owner: "

Date: "

(IF NOT APPLICANT)

JUL 02 2015

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 111408







5821 Tremont, foundation repair.



5821 Tremont, foundation repair.



5821 Tremont, foundation repair.



Hardie board.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 07/09/2015

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Kathleen Eustace
Address: 5821 Tremont
Date of CA/CD Request: 07/02/2015

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis: 2 courses smooth side out,
Bottom ~~2" x 6"~~ be hard board + top to be
wood, drip board to be installed, remainder to be
lap siding.

Bottom two course to be hard board, smooth side out,
drip board to be installed, remainder to be lap siding.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Sally Johnson	<input type="checkbox"/> Terri Raith (Alternate)
<input type="checkbox"/> Barbara Cohen	<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker: Koppang
2nd: Schms -
Task Force members in favor:
Task Force members opposed: All
Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****AUGUST 3, 2015**

FILE NUMBER: CA145-533(JKA)
LOCATION: 5010 Junius
STRUCTURE: Main, Contributing
COUNCIL DISTRICT: 14
ZONING: PD No. 97

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: Munger Place
MAPSCO: 46-B
CENSUS TRACT: 0013.02

APPLICANT: Kyle Phillips

OWNER: CHRISTOPHER M BURGIN

REQUEST:

- 1) Construct addition in rear of the main structure.
- 2) Install wood columns on front of main structure.
- 3) Install railing on front second floor balcony of main structure.
- 4) Remove exterior door on rear of main structure and replace with interior door.
- 5) Stain front door on main structure.
- 6) Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff."
- 7) Install 6' cedar fence.
- 8) Install landscaping in front of the main structure.

ANALYSIS:

The main structure was built in 1912 and has been heavily modified over the years. The rafter tails, window detail, and age of the home suggest that it was originally a Prairie/Craftsman hybrid like many homes in the Munger Place neighborhood. Note that several changes detailed in the plans and presentation will have to be resubmitted since they were not reviewed by Task Force (replacement of the dormer windows in the front façade, replacement of unspecified window, and demolition of the garage).

- 1) Construct addition in rear of the main structure – The 1922 Sanborn map shows a full length porch on the rear of the structure. This is likely the porch that exists today that was later enclosed. The applicant would like to reopen most of the porch, retaining the bathroom on the left side of the lower level of the porch. Task Force did not believe that the railing was appropriate for the architectural style of the structure. Staff believes that the railing is neutral and fits in with the architectural style, while distinguishing it as new construction. Additionally, the porch is not visible from the street. Staff is recommending

approval of this item and has determined that it meets the preservation criteria and City Code.

2) Install wood columns on front of main structure – The applicant is proposing floor to ceiling box columns for the front façade. Staff and Task Force do not believe that this style is a good match for the architectural style for the house and that a design incorporating brick piers or thicker columns should be explored. Staff is recommending Denial without Prejudice for this item.

3) Install railing on front second floor balcony of main structure – Staff is recommending Denial without Prejudice for the railing so that the applicant can coordinate the railing with a revised design for the columns. Additionally, the wood railing proposed on the plans is different from the wrought iron railing proposed in the presentation submitted by the applicant.

4) Remove exterior door on rear of main structure and replace with interior door – The Prairie style rear entry door matches other doors on the structure and appears to be the original door. Staff is recommending Denial without Prejudice for this item.

5) Stain front door on main structure – The applicant is proposing to remove the screen door and stain the front door. Staff determined that the stain color meets the preservation criteria and City Code and is recommending approval.

6) Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff" – The brick on the main structure was painted by a previous owner and the Munger Place criteria allows for previously painted brick to be repainted. However, Staff believes that the grey color scheme proposed is too dark for the structure and will not compliment the surrounding homes. Therefore, Staff is recommending Denial without Prejudice.

7) Install 6' cedar fence – The proposed fence is located in the corner side yard. Staff has determined that the proposal meets the preservation criteria and City Code.

8) Install landscaping in front of the main structure – Staff has determined that the landscaping proposed is appropriate for the architectural style and meets the preservation criteria and City Code.

STAFF RECOMMENDATION:

1) Construct addition in rear of the main structure – Approve – Approve plans dated 7-14-15 with the finding that the proposed work is consistent with preservation criteria Section 51P-97.111(c)(1)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

2) Install wood columns on front of main structure – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(J)(iii) stating that columns must be typical of the style and period of the main building and the district.

3) Install railing on front second floor balcony of main structure – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(N) stating that railings on front entrances and porches must be typical of the style and period of the main building.

4) Remove exterior door on rear of main structure and replace with interior door – Deny without Prejudice – The proposed work does not meet the standards in City Code

Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(C) stating that materials and decorative elements must be typical of the style and period of the main building and inconsistent with City Code Section 51A-4.501(e)(4)(B) stating that the removal of distinctive materials that characterize a property will be avoided.

5) Stain front door on main structure – Approve – The proposed work is consistent with preservation criteria Section 51P-97.111(c)(1)(I)(vi) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

6) Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff" – Deny without Prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-97.111(c)(1)(I)(dd) stating that complimenting color schemes are encouraged throughout the blockface.

7) Install 6' cedar fence – Approve – Approve specifications and fence location on site plan dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-97.111(c)(2)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

8) Install landscaping in front of the main structure – Approve – Approve landscaping design detailed on site plan dated 7-14-15 with the finding that the work is consistent with preservation criteria Section 51P-97.111(c)(2)(C) and 51P-97.111(c)(2)(E) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

1) Construct addition in rear of the main structure – Deny without Prejudice – Provide plans, unclear where addition is proposed. Railing on second floor balcony does not appear appropriate to style of the house.

2) Install wood columns on front of main structure – Deny without Prejudice – Wood columns not consistent with style of existing porch roof. Suggest referring to 4928 Junius for similar porch/entry style or alternate roof support to match existing roof style.

3) Install railing on front second floor balcony of main structure – Deny without Prejudice – Railing does not appear appropriate.

4) Remove exterior door on rear of main structure and replace with interior door – Deny without Prejudice – Deny without Prejudice – Insufficient information, provide elevation and details.

5) Stain front door on main structure – Deny without Prejudice – May be acceptable but insufficient material provided for review.

6) Paint main structure. Brand: Sherwin Williams. Body: SW2821 "Downing Stone;" trim: SW2851 "Sage Green Light;" Accent 1: SW2846 "Roycroft Bronze Green;" Accent 2: SW0050 "Classic Light Buff" – Deny without Prejudice – May be acceptable but insufficient material provided for review.

7) Install 6' cedar fence – Deny without Prejudice – May be acceptable but insufficient material provided for review. Landscaping details not submitted for review.

8) Install landscaping in front of the main structure – None – Landscape not submitted for review.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-533 (JKA)
Office Use Only

Name of Applicant: Kyle Phillips
Mailing Address: 8530 185 Freeway Suite C10
City, State and Zip Code: Dallas TX 75181
Daytime Phone: 214-772-1904 Fax: _____
Relationship of Applicant to Owner: General Contractor

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 5010 Junius St Dallas, TX 75214
Historic District: Munger Place

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Cosmetic Rehab to structure. Interior Paint, Flooring
New Kitchen, Cabinets, Sheetrock Repair. Repaint ext.
Remodel Bath. Re-do Back Porch. Minor Landscaping
Replace broken doors and windows as needed (Glass)
Demo shed. Replace Rotted ext Wood as needed. Match
existing. Replace light fixtures

RECEIVED BY

Signature of Applicant: Kyle Phillips Date: 7-2-15
Signature of Owner: Chris Burgh Date: 7-2-15
(IF NOT APPLICANT)

JUL 02 2015

APPLICATION DEADLINE:

Current Planning

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

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OTHER:

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- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

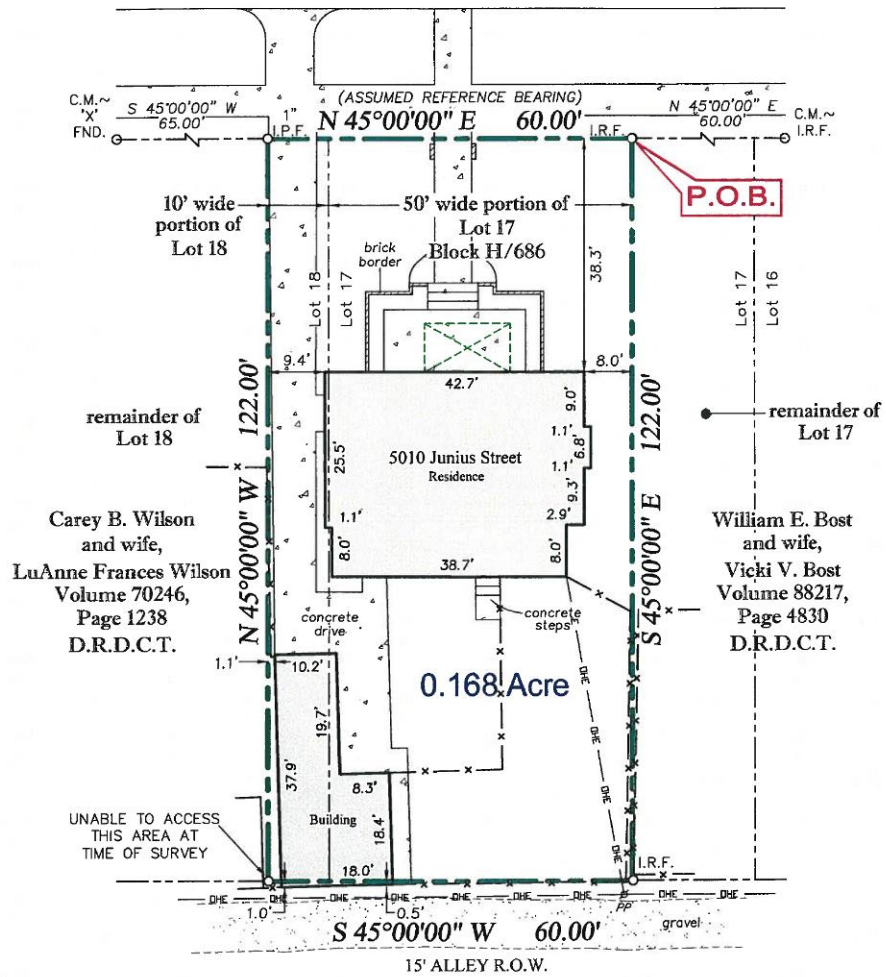
Historic Preservation
Rev. 111408





JUNIUS STREET

(70' R.O.W.)



Scale: 1"=20'

NORTH
NORTH
PLAN



WATER EFFICIENCY:

SLOPED FOR RUNOFF TO FILTRATION FEATURE

Project Name & Address
5010 JUNIUS ST
DALLAS, TX
75214



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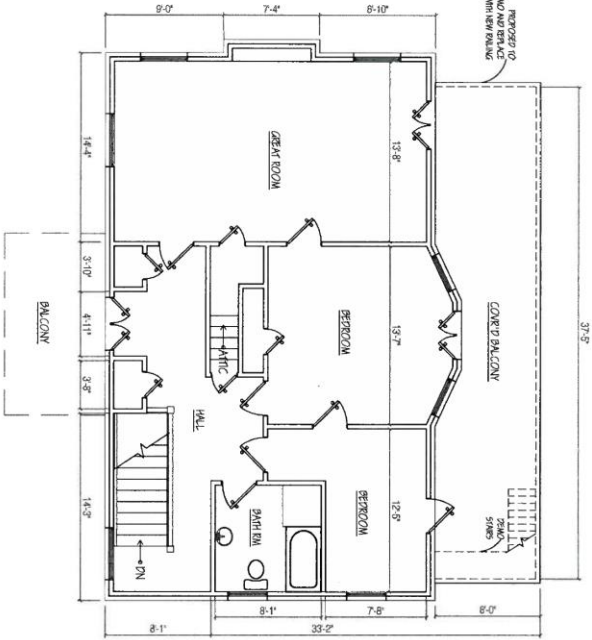
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL, BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

**DICAMNI CONSULTING
DALLAS, TX
214-948-0040**

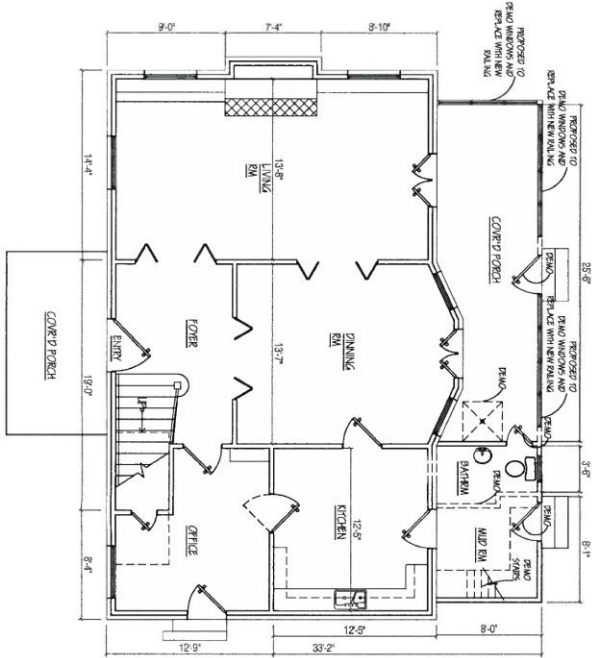
CA145-533(JKA)

D3-8

SQUARE FOOTAGE	
EXT 1ST FLOOR AREA	1,067 SF
EXT 2ND FLOOR AREA	1,067 SF
TOTAL A/C AREA	2,134 SF
COVER'D PORCH REAR	285 SF
COVER'D BALCONY REAR	285 SF
COVER'D PORCH FRONT	106 SF
BALCONY FRONT	106 SF
TOTAL BUILDING SQUARE FT.	2,916 SF



2 EXISTING 2ND FLOOR PLAN
Scale: 1/8"=1'-0"



2 EXISTING 1ST FLOOR PLAN
Scale: 1/8"=1'-0"

Project Name & Address

5010 JUNIUS ST
DALLAS, TX
75214

DICAMNI
Consulting

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DICAMNI CONSULTING
DALLAS, TX
214-948-0040

Project
EXISTING PLAN

Sheet
2

Date
7/8/2015

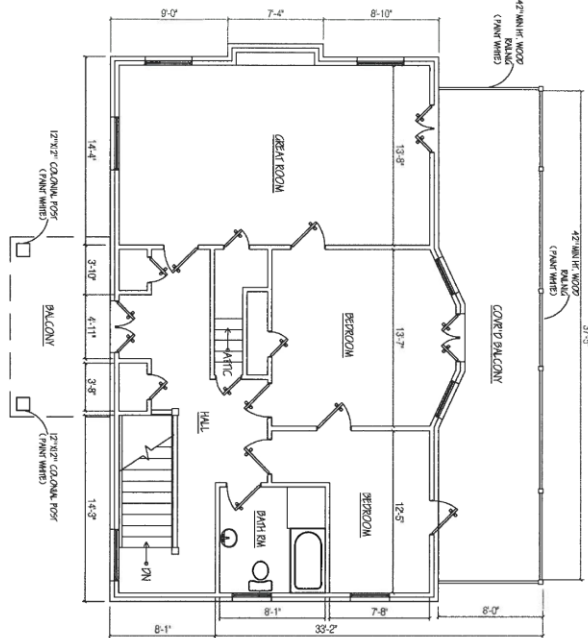
Scale
1/8"=1'-0"

Drawn By
JL

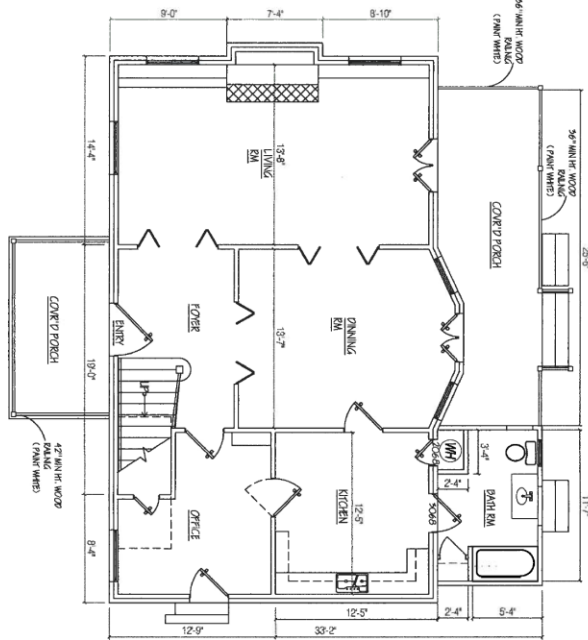
SQUARE FOOTAGE	
EXT 1ST FLOOR AREA	1,165 SF
EXT 2ND FLOOR AREA	1,067 SF
TOTAL A/C AREA	2,232 SF
COVER'D PORCH REAR	285 SF
COVER'D BALCONY REAR	187 SF
COVER'D PORCH FRONT	106 SF
BALCONY FRONT	106 SF
TOTAL BUILDING SQUARE FT.	2,916 SF

DOOR SCHEDULE			
TAG	SIZE	DESC.	QTY.
1	3'-0" X 6'-8"	SC	1
2	2'-0" X 6'-8"	HC	1

H.C. = HOLLOW CORE
S.C. = SOLID CORE
D.R. = DOUBLE DOOR



- SCOPE OF WORK:**
- Paint exterior brick/siding with Downing Stone
 - Paint trim,brick bedding Classical White
 - Stain front door Kona Wood Stain by Varathane
 - remodel existing 1st floor bathroom
 - with siding to match historical lap siding
 - add railing in rear porch and front/rear balcony as well
- to be painted white**
- 10% Brick to be replaced at flowerbox to match existing
 - 20% Rotated wood to be replaced
 - 6" fence to be added in rear to match neighbors existing fence
 - demo chain link fence in rear
 - replace steel post in front balcony with 12x12" colonial post to be painted white
 - windows in attic to be replaced with new to match existing



3 PROPOSED FLOOR PLAN

Scale: 1/8"=1'-0"

Project	FLOOR PLAN
Sheet	3
Date	7/8/2015
Scale	1/8"=1'-0"
Drawn By	ii

Project Name & Address
5010 JUNIUS ST
DALLAS, TX
75214

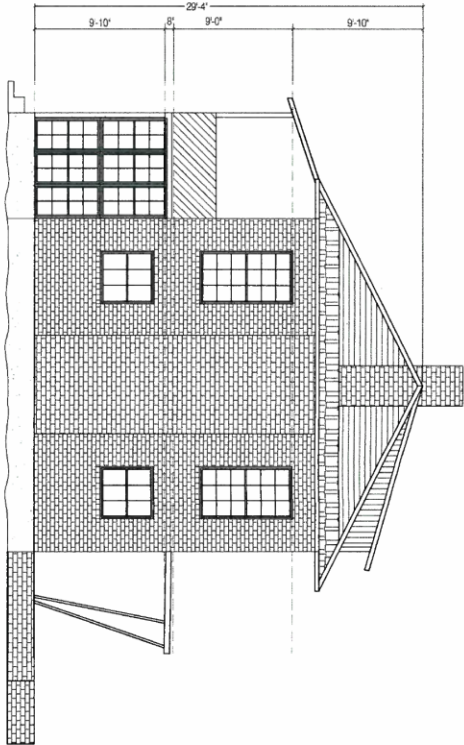


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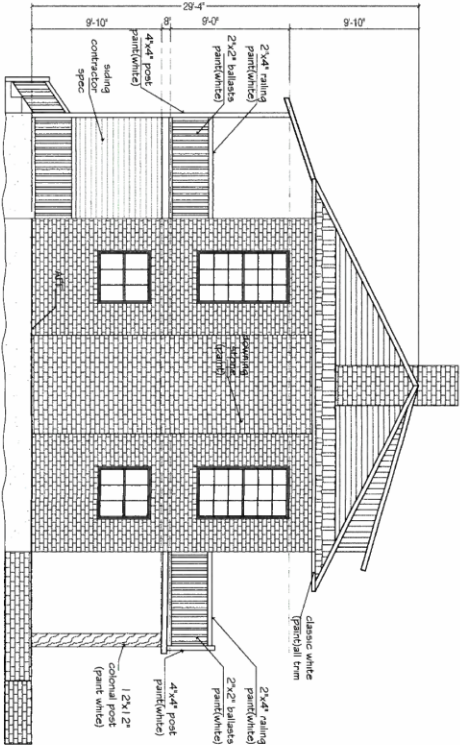
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS AND MUST BE REVIEWED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS. THE CONTRACTOR IS USUALLY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.

DICAMNI CONSULTING
DALLAS, TX
214-948-0040

4 LEFT ELEVATION
1/8"=1'-0"



4 PROPOSED LEFT ELEVATION
1/8"=1'-0"



Project	ELEVATION
Sheet	4
Date	
Scale	1/8"=1'-0"
Drawn By	

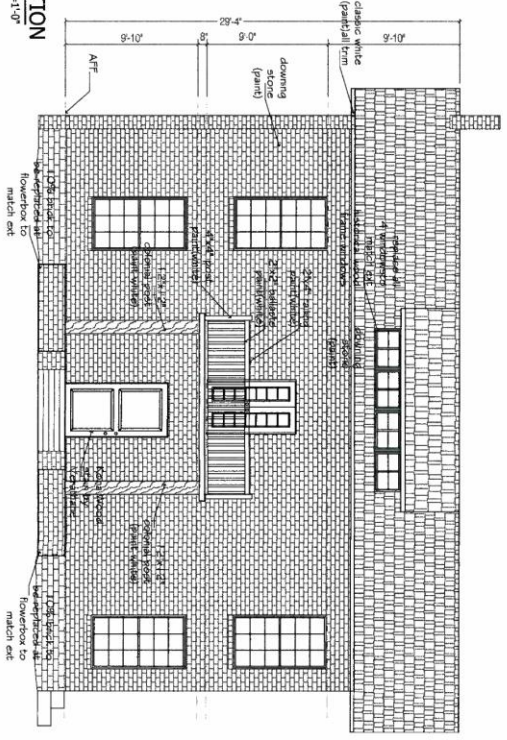
Project Name & Address
5010 JUNIUS ST
DALLAS, TX
75214



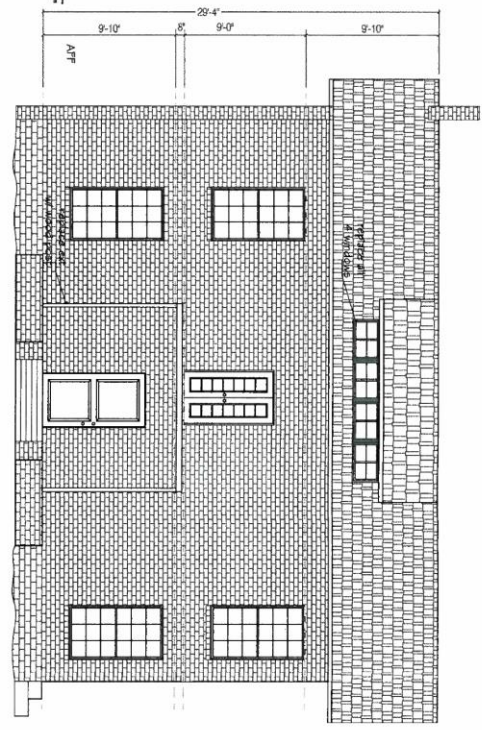
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214-948-0040

5 PROP FRONT ELEVATION
1/8"=1'-0"



5 FRONT ELEVATION
1/8"=1'-0"



Project	ELEVATIONS
Sheet	5
Date	
Scale	1/8"=1'-0"
Drawn By	JL

Project Name & Address
5010 JUNIUS ST
DALLAS, TX
75214

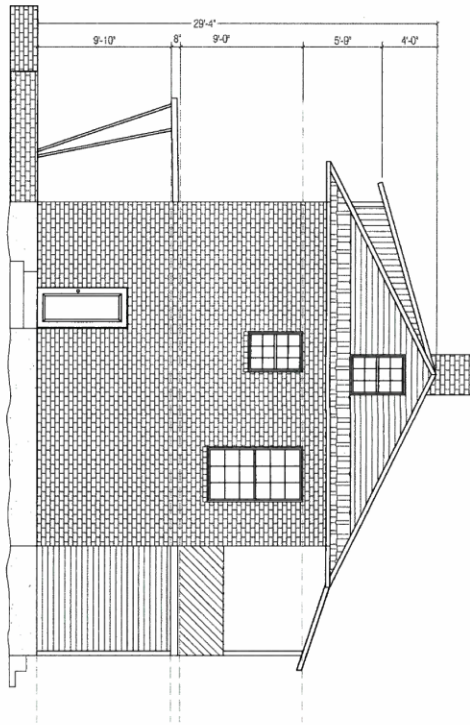


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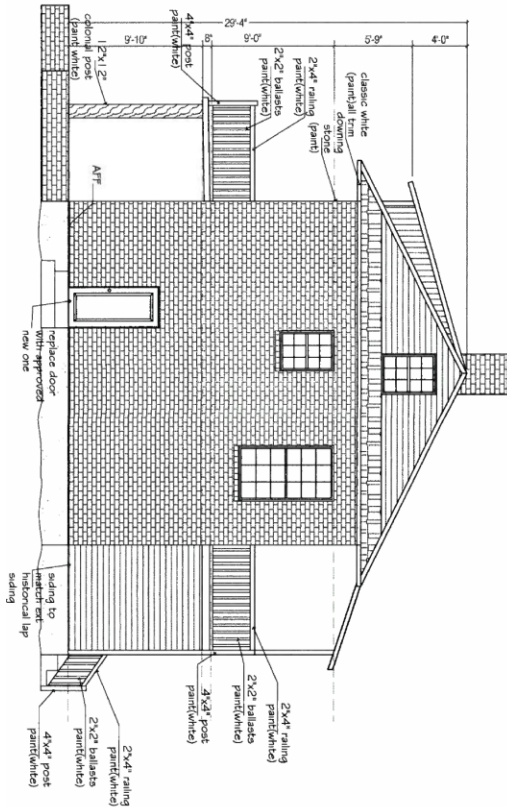
RIGHT ELEVATION

1/8"=1'-0"



PROPOSED RIGHT ELEVATION

1/8"=1'-0"



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Project
ELEVATION

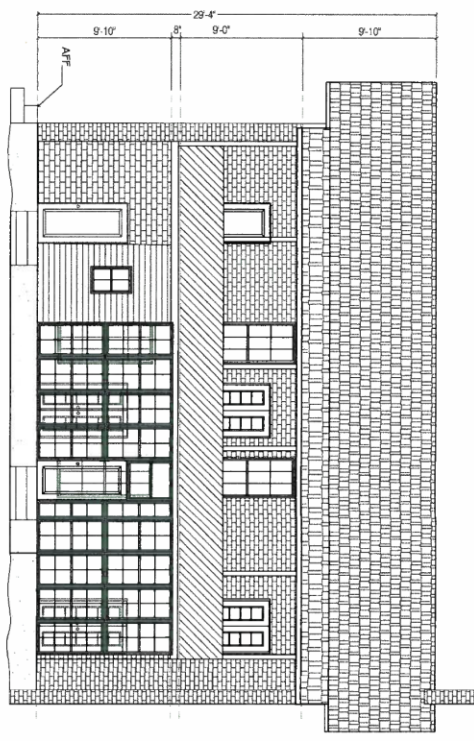
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6

Date

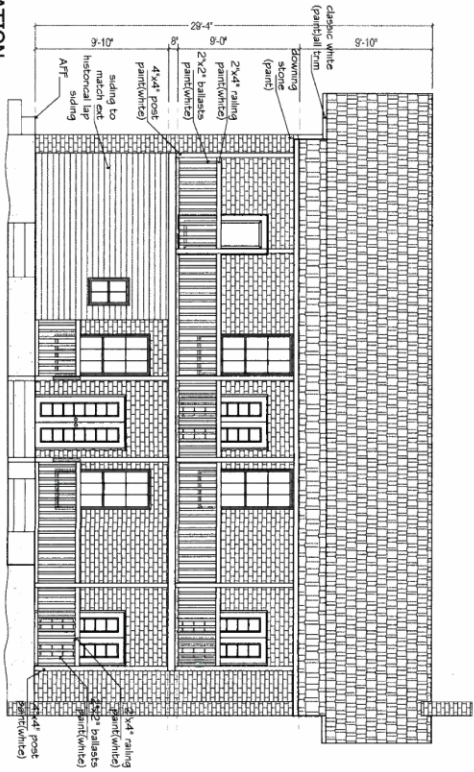
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Drawn By
JI

7 REAR ELEVATION
1/8"=1'-0"



7 PROPOSED REAR ELEVATION
1/8"=1'-0"



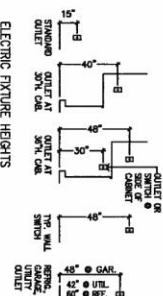
Project
ELEVATIONS
Sheet
7
Date
Scale
1/8"=1'-0"
Drawn By
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ELECTRIC FIXTURE HEIGHTS
(UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES:
1. ALL ELECTRICAL DEVICES AND
HIGHEST STANDARD OF THE COM-

- NOTE: WASH / DRYER - ALL ELECTRICAL AND DRAINING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL, PLUMBING, MECHANICAL, AND GAS CODES.
2. PERFORMANCE STANDARDS SHALL CORRESPOND TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND REGULATORY AGENCIES.
3. ALL DEVICES SHALL BE UL APPROVED AND OLEAF HEIGHT SHALL BE 48" MAXIMUM.
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. FLOOR SHALL BE CONCRETE ON GRADE.
6. FLOOR SHALL BE SLOPED AWAY FROM EACH OTHER ON PLAN SHALL BE (4) PERCENT SLOPE.
7. SINK SHALL BE 18" WIDE.
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99. SINK SHALL BE 18" HIGH.
100. SINK SHALL BE 18" WIDE.

ELECTRICAL LEGEND

- | | | | |
|---|-----------------------|---|--------------------------------------|
|  | 10A 125°C RECEPTACLE |  | HARMFUL LIGHT |
|  | WATERSPOUT RECEPTACLE |  | INCANDESCENT DIMMABLE DIM LIGHT |
|  | 10A 125°C IN CHARGE |  | INCANDESCENT DIMMABLE DIMMABLE LIGHT |
|  | 20A 125°C IN CHARGE |  | WALL MOUNTED LIGHT |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="665 515 695 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="615 515 645 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="565 515 595 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="515 515 545 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="465 515 495 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="415 515 445 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="365 515 395 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="315 515 345 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="265 515 295 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="215 515 245 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="165 515 195 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="115 515 145 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="65 515 95 545"/> |
|  | 20A 125°C IN CHARGE |  | 24\" data-bbox="15 515 45 545"/> |

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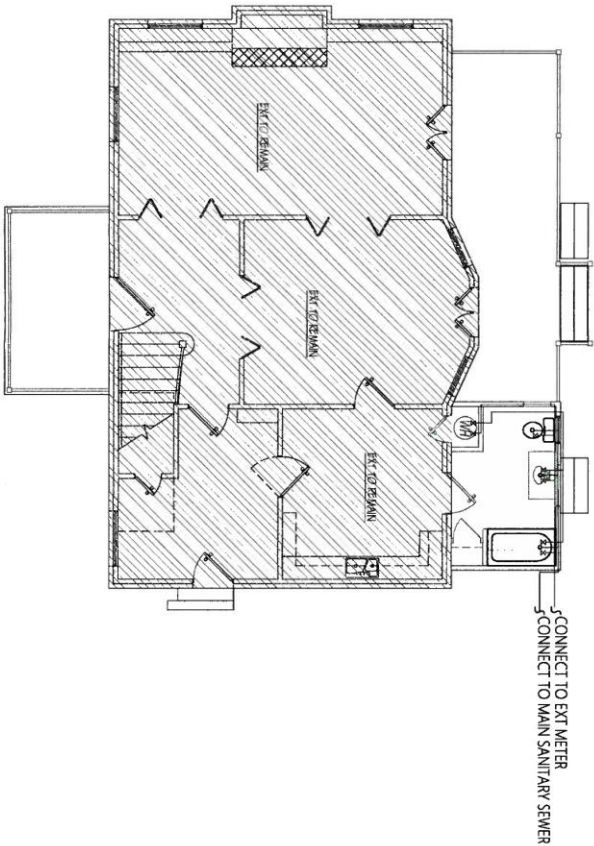
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75214

Project	ELECTRICAL
Sheet	8
Date	
Scale	1/8"=1'-0"
Drawn By	JL

PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
	SANITARY SEWER
	HOT WATER
	COLD WATER



9 PROPOSED 1ST FLOOR PLUMBING
1/8"=1'-0"

Project

PLUMBING

Sheet

9

Date

Scale


1/8"=1'-0"

Drawn By

JL

Project Name & Address

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PLUMBING GENERAL NOTES

1. ALL PILING SHALL BE EJECTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PILING REQUIRED TO REMAIN SHALL BE EJECTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
2. ALL PILING SHALL BE CONCEALED IN WALLS AND BEHIND FACED FINISHINGS UNLESS OTHERWISE INDICATED.
3. EXPOSED PILING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT FLOOR ENTRY TO FINISHED AREA.
4. SLEEVE ON CORE SHALL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR CORING AND THE SITE OPENING ABOVE PIPE BEFORE LOCATING OF STRUCTURAL BEAMS, JOISTS, ETC.
5. ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION AND/OR NEW SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECRETLY LOCKED IN PLACE UNTIL FINAL FINISH CONNECTIONS ARE INSTALLED.
6. WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, DOORS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
7. PROVIDE CLEANSKITS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANSKITS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
8. ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONNECTIONS CROSS WALLS, ETC. WHERE ACCESS TO THE SYSTEMS IS REQUIRED FOR MAINTENANCE AND INSPECTION. ACCESS PANELS ARE NOT REQUIRED.
9. ALL PILING SHALL BE PLAIN GALVANIZED STEEL OR ALUMINUM AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
10. INSTALL ALL PILING AS REQUIRED TO MEET ALL CONSTRUCTION CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
11. PROVIDE AN ISOLATING, DIELECTRIC JUNCTION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
12. PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO COMPLETE THE INSTALLATION. THE FINISHING AS INDICATED BY THE PERSON AND THE EQUIPMENT INDICATED.
13. COORDINATE LOCATION OF FLOOR DRAIN IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

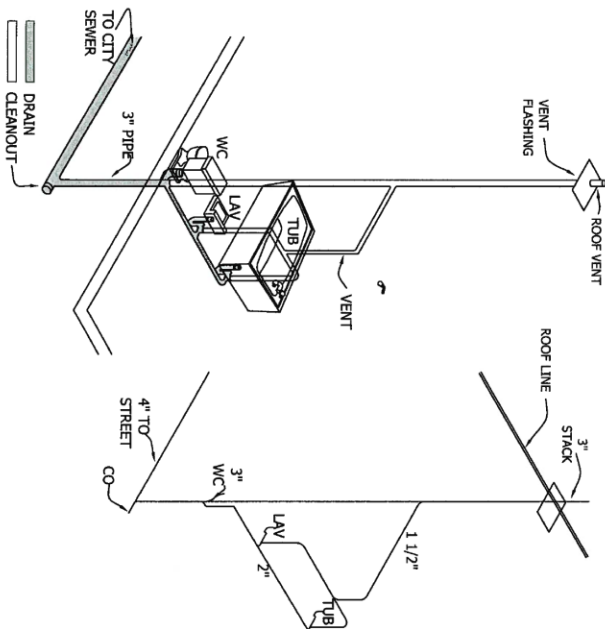
PLUMBING NOTES

1. PLUMBER TO CONNECT ALL WATER LINES, GAS LINES, WASTE LINES, ETC. TO FULLY COMPLETED ALL EQUIPMENT AND RUN CONDENSATE LINES FROM LINES TO DRAIN AND OTHER LINES TO BE NO SMALLER THAN THE SIZE OUT OF THE MACHINE. PLUMBER TO PROVIDE SHUT-OFF VALVES ON ALL WATER AND GAS LINES, ALL WALK-OUTS, TRAPS, HORIZONTAL SPOCK VALVES, AND PRESSURE TEST ALL LINES. IT IS THE PLUMBER'S DUTY TO COME TO ALL LINES, TEST, AND CORRECT ANY DEFECTS. IN THE ITA SPECIFICATIONS, PLACERS, PLUMBING, ETC. FITTINGS, IN EXTERIOR AND SPECIALLY ITEMS ARE TO BE FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER AS OUTLINED IN THE ITA SPECIFICATIONS. ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO INSTALLATION AND HOOK-UP OF EQUIPMENT. OMISSIONS OR ERRORS ON THE SCHEDULE DO NOT RELIEVE THE PLUMBING CONTRACTOR FROM COMPLETE FINAL PLUMBING RESPONSIBILITY.

2. ALL OUTLETS AND CONNECTIONS SHOW RELATE TO ATTACHED EQUIPMENT ONLY - REFER TO ARCHITECTURAL/ENGINEERING PLANS FOR NEW FLOOR DRAINS OR ADDITIONAL REQUIREMENTS.
3. ALL DIMENSIONS GIVEN ARE FROM COULUMB CONTROLS, AND/OR FINISHED WALLS AND ARE IN INCHES TO 1/4". DIMENSIONS GIVEN ARE FROM FINISHED FLOORS.
4. ALL ROOMS ARE SHOWN ARE TO BE PLAIN INSIDE WALLS EXCEPT STAIR-UP LOCATIONS INDICATE POINT OF EXIT FROM WALLS, CEILING OR FLOORS.
5. ALL ROOM DRAINS TO SET 1" BELOW FINISHED FLOOR UNLESS OTHERWISE NOTED. DO NOT SLOPE FLOORS SO CLOSE TO DRAINS AS TO DEGRADE PIPES OR PIPES IN FLOOR.
6. MINIMUM SLOPE OF SLOTE IS BE 2" FROM CENTERLINE OF DRAIN PLUMBING CONNECTION TO FLOOR TO RUN ALL DIRECT WASTES FROM EXTERIOR TO FLOOR SINK OR FLOOR DRAIN.
7. NOT USED.

8 Drawings on this sheet are for illustration only. Actual routing and arrangements may change in the field and this is the responsibility of the Plumbing Contractor.

Traps that are close together may be listed as a combined vent as long as it meets table 912.2, Chapters 9 and 10 of the 2003 International Plumbing Code.



10 Riser Plan

FURNITURE SCHEDULE				
	DESCRIPTION	QTY	HW	WASTE
FURNITURE				
TOILET	AMERICAN STANDARD TOILET # 1, 1 1/4" RISE, 17 1/2" WIDE	1/2	-	#
LAUNDRY	AMERICAN STANDARD TUB/SHOWER (36"X66" X 29") FALCET (CHICAGO PLUMBER - 2 GAL (886-517-2231-440))	1/2	2'	1 1/2'
SHOWER	BY OWNER 2'X4'	1*	1'	2'
FLOOR CLEANOUT	PLASTIC COODITES #PCO-100-85 W/ 3/4" INTL. TOP	-	#	1 1/2'
EXT. CLEANOUT	PLASTIC COODITES #PCO-40-85 W/ RECESSED HEAD BRASS PLUG	-	3 1/4'	-
WALL CLEANOUT	PLASTIC COODITES #PCO-44 W/ RECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE W/ PLASTIC COODITES #A1212 ACCESS	-	#	-
WATER HEATER	OWNER SPECIFIC MODEL (MIN. 40 GAL. CAPACITY) (TANKLESS)	-	1*	1*

NOTE: 1) PROVIDE FIXTURES SPECIFIED OR EQUALS.

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5010 JUNIUS ST
DALLAS, TX
75214

Project
PLUMBING
DETAIL

Date _____

Scale 1/8"=1'-0"

Drown By JI

Longhorn GC proposed exterior work for:

5010 Junius st.

Dallas, TX.

75214

Rotted wood replacement:

- 30% of the rear porch and balcony rot will be replaced with 2x4x8 pine railing, 4x4x10 pine posts, and 2x2x4 pine ballasts; then painted white.
- The south west corner of the rear porch will have #117 pine siding to replace the rotted wood.(As seen in the pictures)

Siding specifications:

- #117 Southern High Density Pine siding.
- Dimensions: 1"x6"x16'



Top: Front façade
Bottom: Rear south facade



Rear southeast façade. Note that the original unpainted brick and the original doors can be seen on the back wall.



Top: Rear east corner façade.
Bottom: Rear southeast facade



Top: Southwest side façade
Bottom: Northeast side facade

View from Street

Plans to change exterior-

- Different columns
- Change landscape
- Fix concrete steps and patio
- Restore details around front door
- Add railing around balcony
- Change exterior colors
- Stain front door

Replace door in rear



Exterior Changes...



- Wrought Iron fence outside balcony door
- Columns to replace front porch posts
- Bottom picture is an example of what will be on back patio for upstairs and downstairs

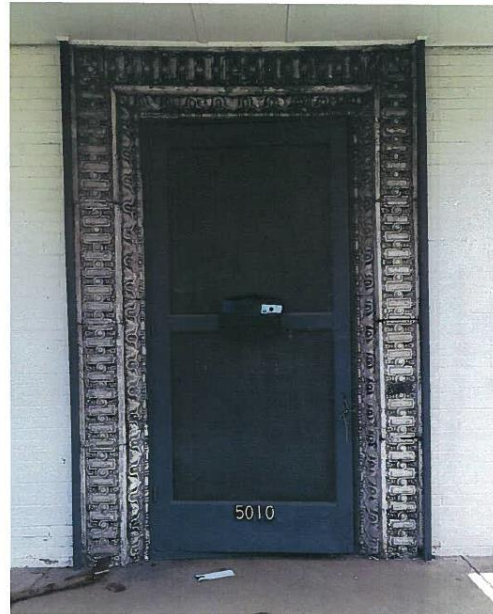


Presentation submitted by applicant.

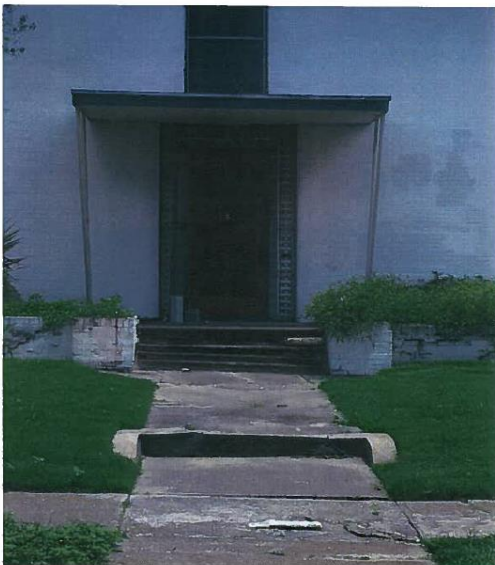
Note: The applicant did not list all items on application or scope of work listed above and must obtain a CA for those items separately. Some items will be handled as routine maintenance. Also, the railing proposed for the front balcony is different from what is proposed in drawings.

Front Door

We plan to stain the front door and restore the detailing around it. Gently power wash and add new mortar to joints. We are going to remove screen door.



Columns



We are going to change the metal posts into 12X12 Cedar posts which will be painted white. This will help the house match the rest of the neighborhood.

Presentation submitted by applicant.

Back Porch



Our plan is to demo staircase in the back of the house to create a larger bathroom on the first floor. The staircase leads to the upstairs porch. There will no longer be access from the bottom porch, only through the trunk room, master and extra bedroom.

This is what we plan to make the back side of the house look like.



Windows & Doors- First Floor



Replace door leading to staircase from kitchen with interior door.



Replace window pane

Reglaze window by side door and replace side door



Reglaze windows on right side of fire place above book cases

Presentation submitted by applicant.

Bottom left: the applicant wishes to remove the door and install a single pane wood door.

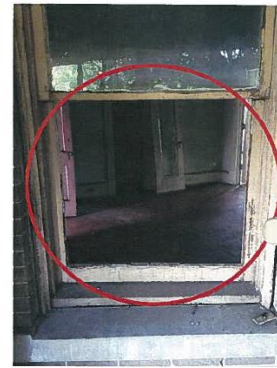
The replacement of window panes and reglazing will be handled via routine maintenance.

Windows & Doors- Second Floor

Window glass replaced in trunk room
Replace one pane glass in door to upstairs patio



Reglaze window



Replace whole window

Backyard

Fencing-

-Matching all fences

-Removing chain-link fence that goes down the middle of the yard

There are no plans to add flowers, bushes, etc. May budget for tree trimming.

We plan to add 3-4 steps leading to the porch; in alignment to back door.



The chain link fence that goes through the middle of the yard and along the neighbors' (left of the house) fence will be removed to create a more open backyard.

We plan on matching the height of the neighbors' fence, which is 6 ft., (to the right of the house) by using cedar side by side-dog eared.



Presentation submitted by applicant.

Landscape Changes

We plan to repair brick surrounding porch and try to preserve as much of the original brick as possible.

We plan to put bushes on the outside of the brick with mulch and flowers in the beds. Multi-Colored perennials in brick beds.



Japanese Holly Sky Pencils will be placed against the house (2-3 on each side)

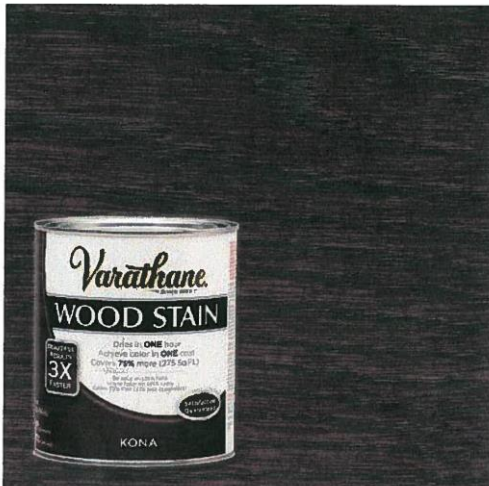
Presentation submitted by applicant.

Exterior Paint

Downing Stone is going to be the main house color.
 Classical White is going to trim the windows, roof and brick bedding.
 When we put the columns in (to replace the white metal posts), they will be white.

Colors Shown

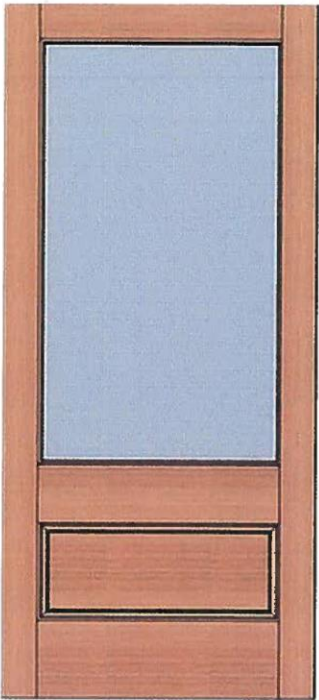
BODY	TRIM	ACCENT	ACCENT 2
SW 2821 Downing Stone	SW 2851 Sage Green Light	SW 2846 Roycroft Bronze Green	SW 0050 Classic Light Buff



Front Door Stain

Presentation submitted by applicant.

501



PRINT SPECIFICATIONS SHEETADD DOOR TO MY GALLERYVIEW MY GALLERY (0)

◀ PREVIOUSNEXT ▶

501

specifications

THICKNESS

1-3/4" | 1-3/8"

STILES

4-1/2"

TOP RAIL

4-1/2"

LOCK RAIL

7-1/2"

BOTTOM RAIL

9-1/4"

PANEL THICKNESS

3/4" HRP SPP

GLASS OPTIONS

1/8" CLEAR SGM

STICKING

OVOLO

WIDTH

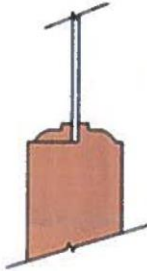
2' 6" | 2' 8" | 3'

HEIGHT

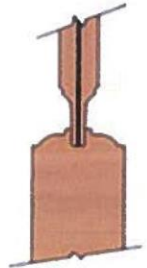
6' 8"

UNDERSTANDING SPECIFICATIONS

Flexibility in Design, Specs, and Species

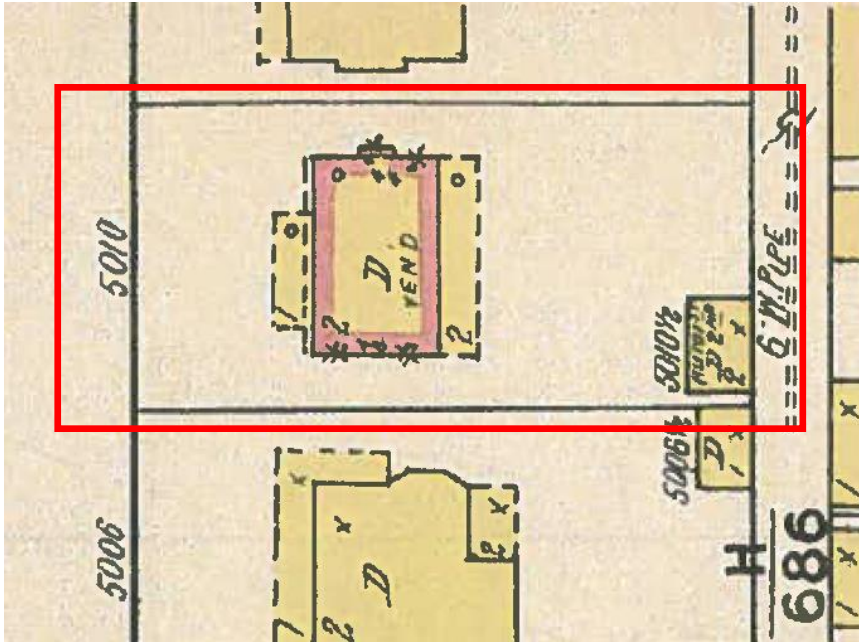


1 3/4" Ovolo
1/8" Clear SGM



1 3/4" Ovolo
3/4" HRP SPP

GLASS OPTIONS | WOOD SPECIES



Top: 1921 Sanborn Map showing that the original porch footprints.

Bottom: 4928 Junius is an example of the hybrid Craftsman/Prairie style that characterizes many homes in the neighborhood including, most likely, 5010 Junius.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 07/07/15
TIME: 5:30 pm
MEETING PLACE: Lakewood Library (6121 Worth Street)

Applicant Name: Kyle Phillips
Address: 5010 Junius (Munger Place)
Date of CA/CD Request: 07/02/15

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

- PROVIDE PROPOSED PLAN, UNLESS WHERE ADDITION IS PROPOSED
- WOOD COLUMNS NOT CONSISTENT WITH STYLE OF EXISTING PORCH
ROOF. ~~THESE~~ SUGGEST REFER TO 4928 JUNIUS FOR SIMILAR
PORCH / ENTRY STYLE. OR ALTERATE ROOF SUPPORT TO MATCH
EXISTING ROOF STYLE.

- RAILING C FRONT SECOND FLOOR DOES NOT APPEAR APPROPRIATE
- RAILING C PER AS WOOD PER PHOTOS NOT APPROPRIATE TO
STYLE OF HOUSE.

Task force members present

<input checked="" type="checkbox"/> Joanna Hampton (Chair)	<input checked="" type="checkbox"/> John Mark Guest	<input type="checkbox"/> Elizabeth Mast
<input checked="" type="checkbox"/> Wesley Powell (Vice-Chair)	<input checked="" type="checkbox"/> John Gormley	<input checked="" type="checkbox"/> Greg Johnston
<input checked="" type="checkbox"/> Cheryl Scott	<input type="checkbox"/> Vacant (Professional)	<input checked="" type="checkbox"/> Beth Bradley (Munger Alt.)
<input type="checkbox"/> Vacant (Swiss Alternate)		

Ex Officio staff members Present : Jennifer Anderson ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: CHERYL SCOTT

2nd: JOHN MARK GUEST

Task Force members in favor: ALL

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force [Signature]

DATE 07 July 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

- REAR DOOR REPLACEMENT REQUEST, INSUFFICIENT INFORMATION. PROVIDE ELEVATION & DETAILS.
- ITEMS 5, 6 & 7 - MAY BE ACCEPTABLE, NOT SUFFICIENT MATERIAL.
- LANDSCAPE NOT SUBMITTED FOR REVIEW.



LANDMARK COMMISSION

August 3, 2015

FILE NUMBER: CA145-516(JKA)
LOCATION: 4942 Reiger
STRUCTURE: Main, Accessory, Non-Contributing
COUNCIL DISTRICT: 14
ZONING: PD-97

PLANNER: Jennifer Anderson
DATE FILED: July 2, 2015
DISTRICT: Munger Place
MAPSCO: 46-F
CENSUS TRACT: 0013.02

APPLICANT: Marena Homes LLC

OWNER: MARNEA HOMES LLC

REQUEST:

- 1) Construct 1678 sq. ft. single family home.
- 2) Construct 510 sq. ft. accessory structure.
- 3) Install 6' board on board wood fence.
- 4) Install 6' wrought iron gate.

ANALYSIS: The applicant modified the front façade of the main structure to include a fascia to address the Task Force's concerns about the space between the upper floor window heads and the eaves. The plans were also reviewed by Building Inspection to check issues regarding egress, lot coverage, setbacks, and height. Building Inspections determined that the plans meet City Building Code. The brick piers for the front porch columns are 24" in wide and the minimum width for brick columns in Munger Place is 24". Staff is recommending approval of both the main structure and accessory structure with the condition that the applicant use standard modular size brick rather than King size on the main structure. Staff is recommending approval of the gate and fence. The wood fence appears to encroach within 50% of the side yard, so Staff is recommending approval with the condition that the fence is placed no further than 50% side yard. Staff has determined that the proposed work meets the historic preservation criteria and City Code.

STAFF RECOMMENDATION:

- 1) Construct 1678 sq. ft. single family home – Approve with Conditions – Approve plans dated 7-14-15 with condition that the brick is modular size only, King size brick not approved. The work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Construct 510 sq. ft. accessory structure – Approve – Approve plans dated 7-14-15 with the finding that the proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

- 3) Install 6' board on board wood fence – Approve with Conditions – Approve plans and specifications with the condition that the fence is located in the rear 50 percent of the side yard. The proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 4) Install 6' wrought iron gate – Approve – Approve plans and specifications dated 7-14-15 with the finding that the proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

- 1) Construct 1678 sq. ft. single family home – Deny without Prejudice – Color as submitted. Submit brick color/style and window specifications per Exhibit K. Windows to be added to side elevations. Applicant to verify egress with Building Inspection. Review spacing between double windows. Column proportions to be revised per Exhibit H, no exception to brick/wood column configuration. Review overhang to comply with Section 16(B), roof slope, and pitch per 16(E). Space above 2nd floor window head appears taller than typical for houses in Munger Place, recommend adding 1x12 fascia below overhang.
- 2) Construct 510 sq. ft. accessory structure – Deny without Prejudice – No comment provided.
- 3) Install 6' board on board wood fence – Deny without Prejudice – Fence to conform to Exhibit M.
- 4) Install 6' wrought iron gate – Deny without Prejudice – No comment provided.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 516 (JKA)
Office Use Only

Name of Applicant: Morena Homes, LLC
Mailing Address: P.O. Box 830142
City, State and Zip Code: Richardson, Tx 75083
Daytime Phone: 214-703-8061 Fax: 888-972-2187
Relationship of Applicant to Owner: Same

PROPERTY ADDRESS: 4942 Reiger Ave., Dallas 75214
Historic District: Munger Place Historical District

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Morena Homes wishes to build a 2 story home on the vacant
lot on Reiger Ave. This home will be an Historical Reproduction
of the existing homes in the Munger Place Historic District.

RECEIVED BY

JUL 02 2015

Signature of Applicant: Mark P. Schwartz Date: 7/1/15
Signature of Owner: _____ Date: _____
(IF NOT APPLICANT)

Current Planning

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

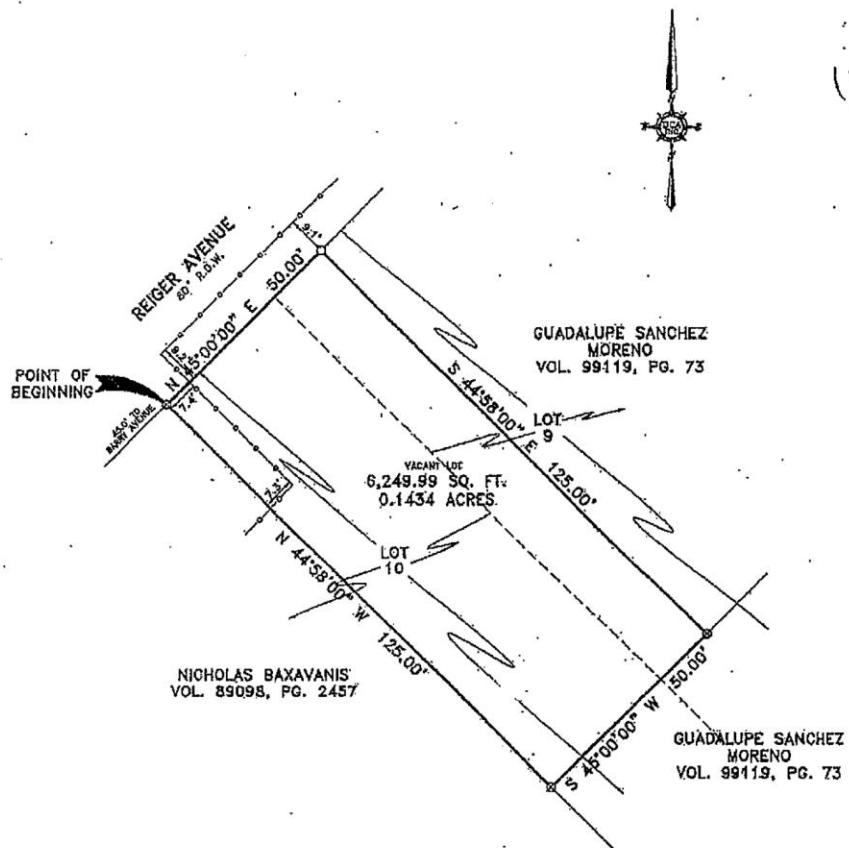
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

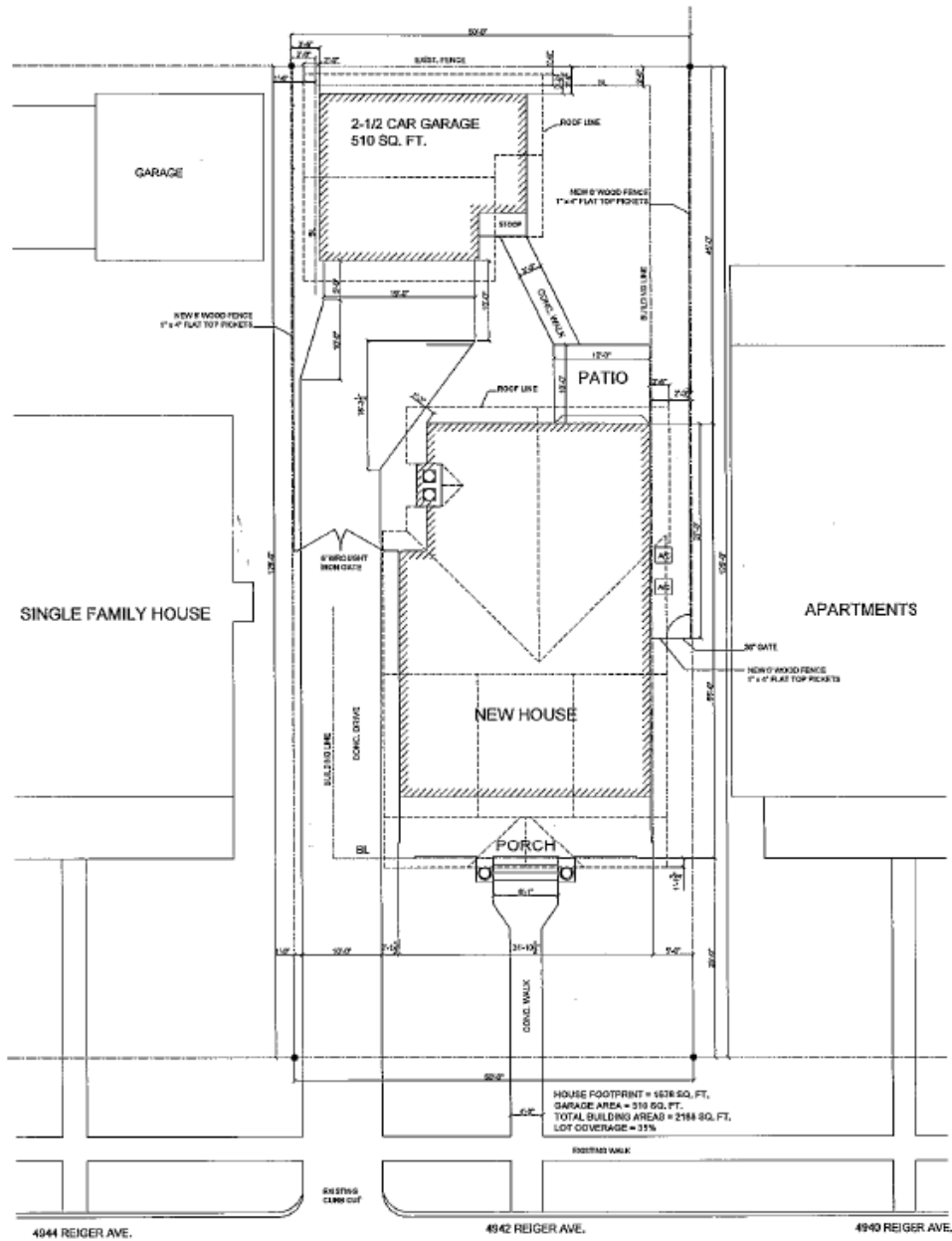
Historic Preservation
Rev. 111408



NOTE: According to the F.I.R.M. in Map No. 4811300345 J, this and DOES NOT lie within the 100 year flood zone.

REVISIONS		LEGEND	
DATE	BY		
		○ 1/2" IRON ROD FOUND	● POWER POLE
		○ 1/2" IRON ROD SET	■ BRICK COLUMN
		□ 1" IRON PIPE (DUMP)	A/P - AIR OCCUPATION
		□ FORCE MAIN DUMPER	— 1" — 1" FENCE
		□ 2" FOUND IN CONCRETE	— 2" — 2" FENCE
		▲ UNDERGROUND ELECTRIC	— COVERED POWER/GEAR ON CASE
		▲ OVERHEAD ELECTRIC	— OVERHEAD ELECTRIC TIE
		— ASPHALT PAVING	— OVERHEAD POWER LINE
		— GRAYEL/ROCK ROAD OR DRIVE	— CONCRETE PAVING

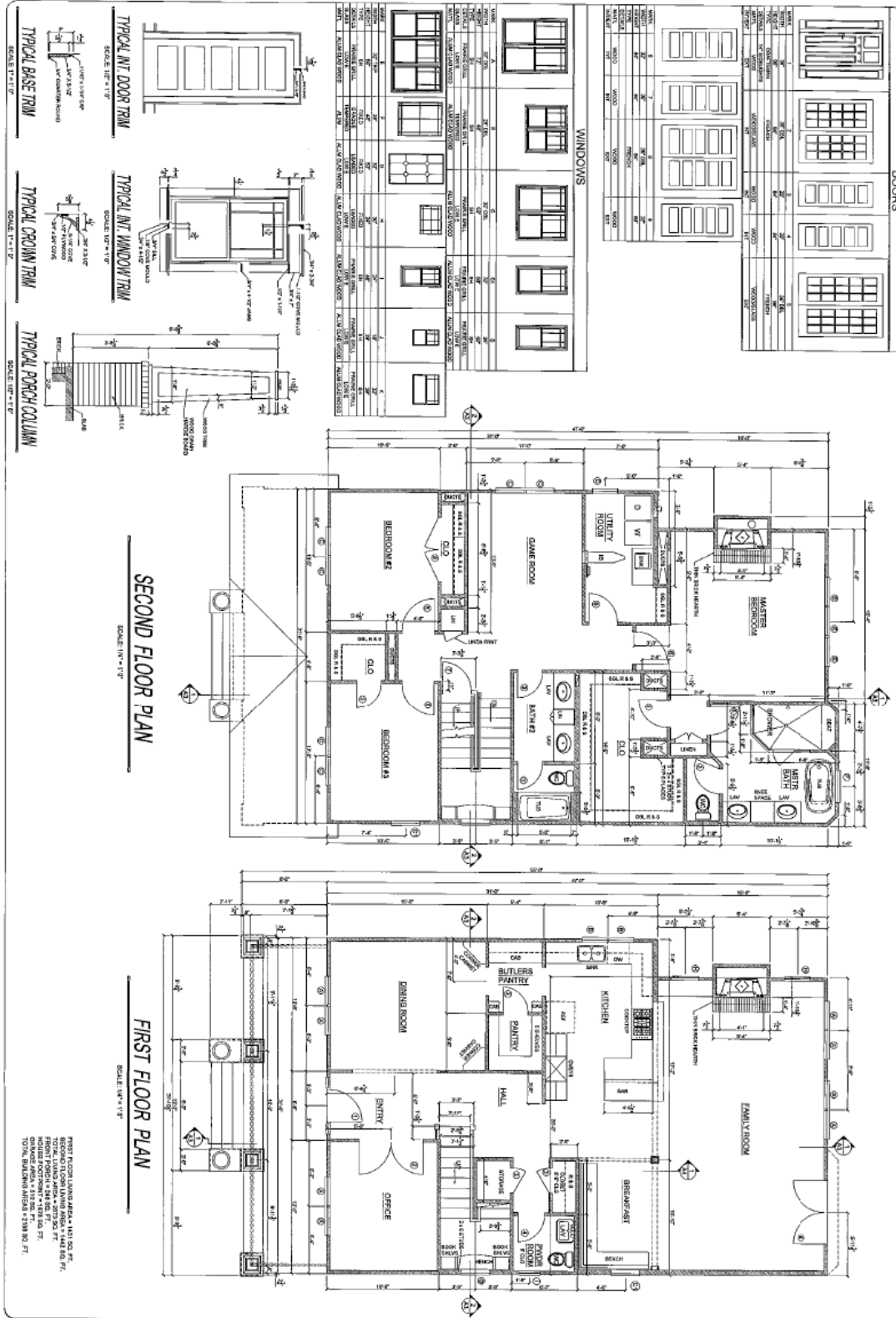
NOTE: ASSUMED BEARING ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF REIGER AVENUE.



SITE PLAN

SCALE: 1/16" = 1' 0"

4942 REIGER AVE., DALLAS, TEXAS 75214
 McKELLS HOMESTEAD
 MUNGER PLACE HISTORIC DISTRICT
 BLOCK D/ 1428 PT LOTS 9 & 10, 50 x 125
 DALLAS COUNTY, TEXAS

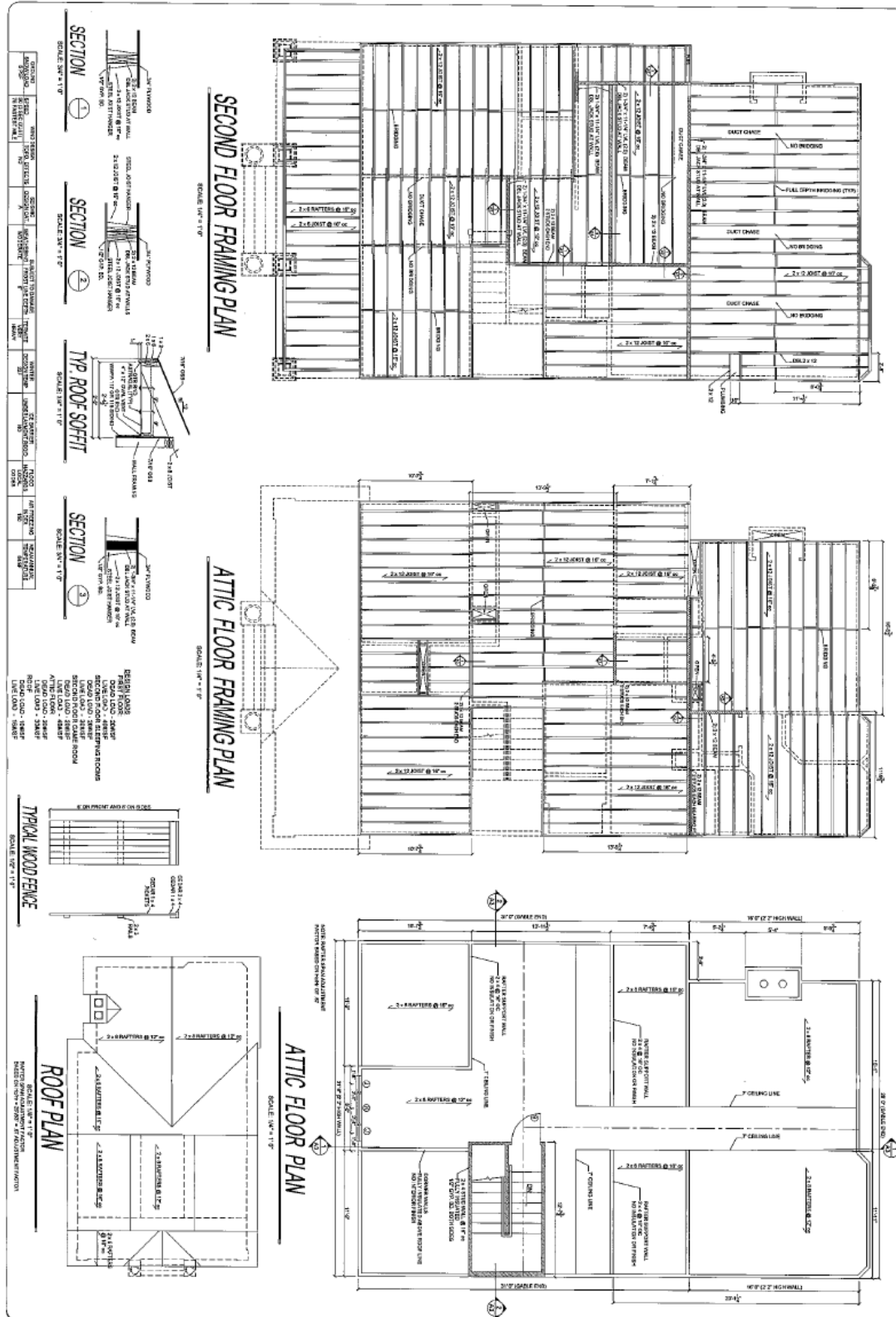


B. W. KUYKENDALL
ARCHITECTURAL DESIGNS

214.356.555 budkuykendall@gmail.com

MARENA HOMES, INC.
4942 REIGER AVE., DALLAS, TEXAS, 75214
MARELLS HOMESTEAD
MUNGER PLACE HISTORIC DISTRICT
BLOCK D/ 1428 PT LOTS 9 & 10, 50 x 125
DALLAS COUNTY, TEXAS

DWN. BY - BWK
DATE - 7-8-15



2-14-15

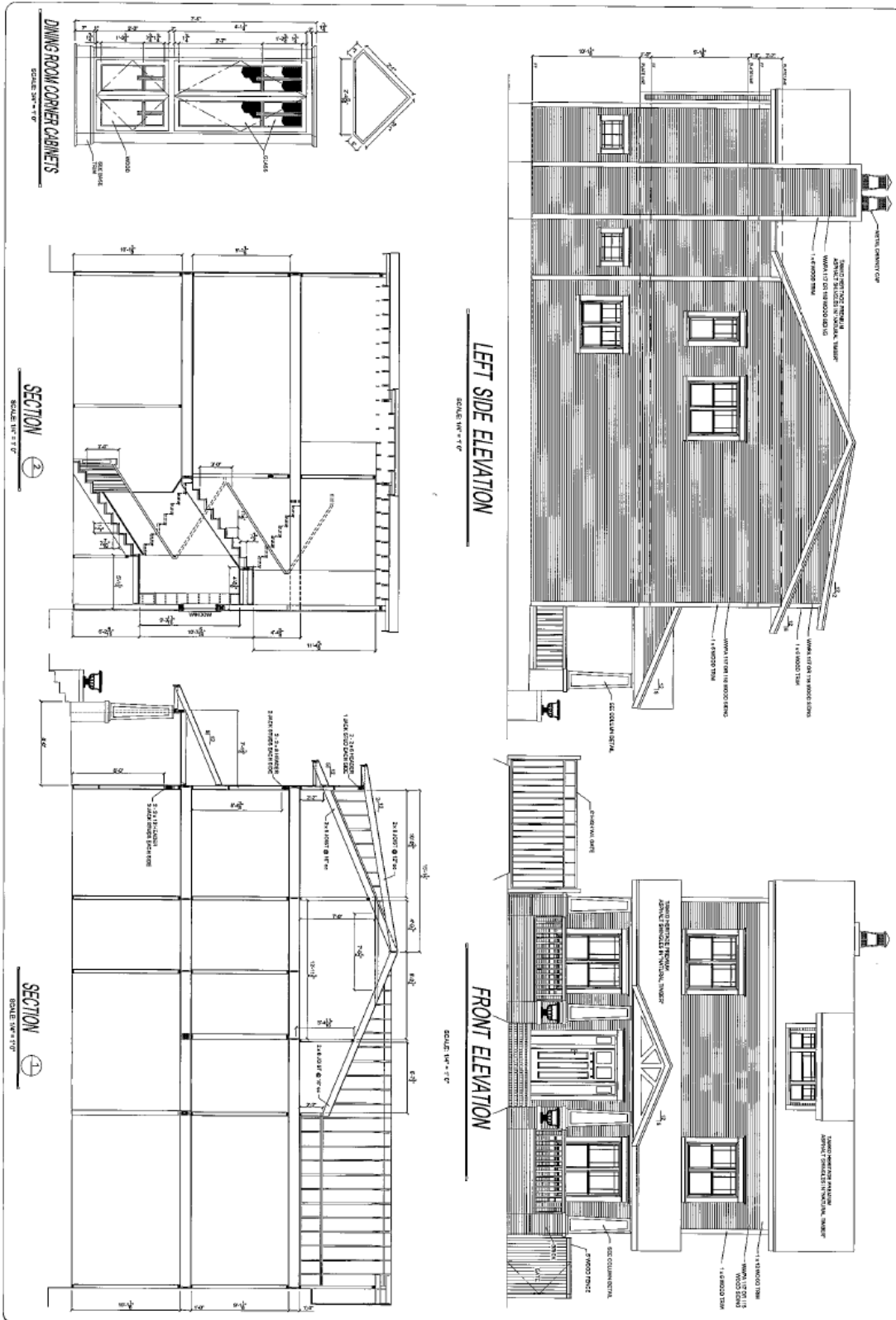
A2

SHEET NO.
REVISION DATE

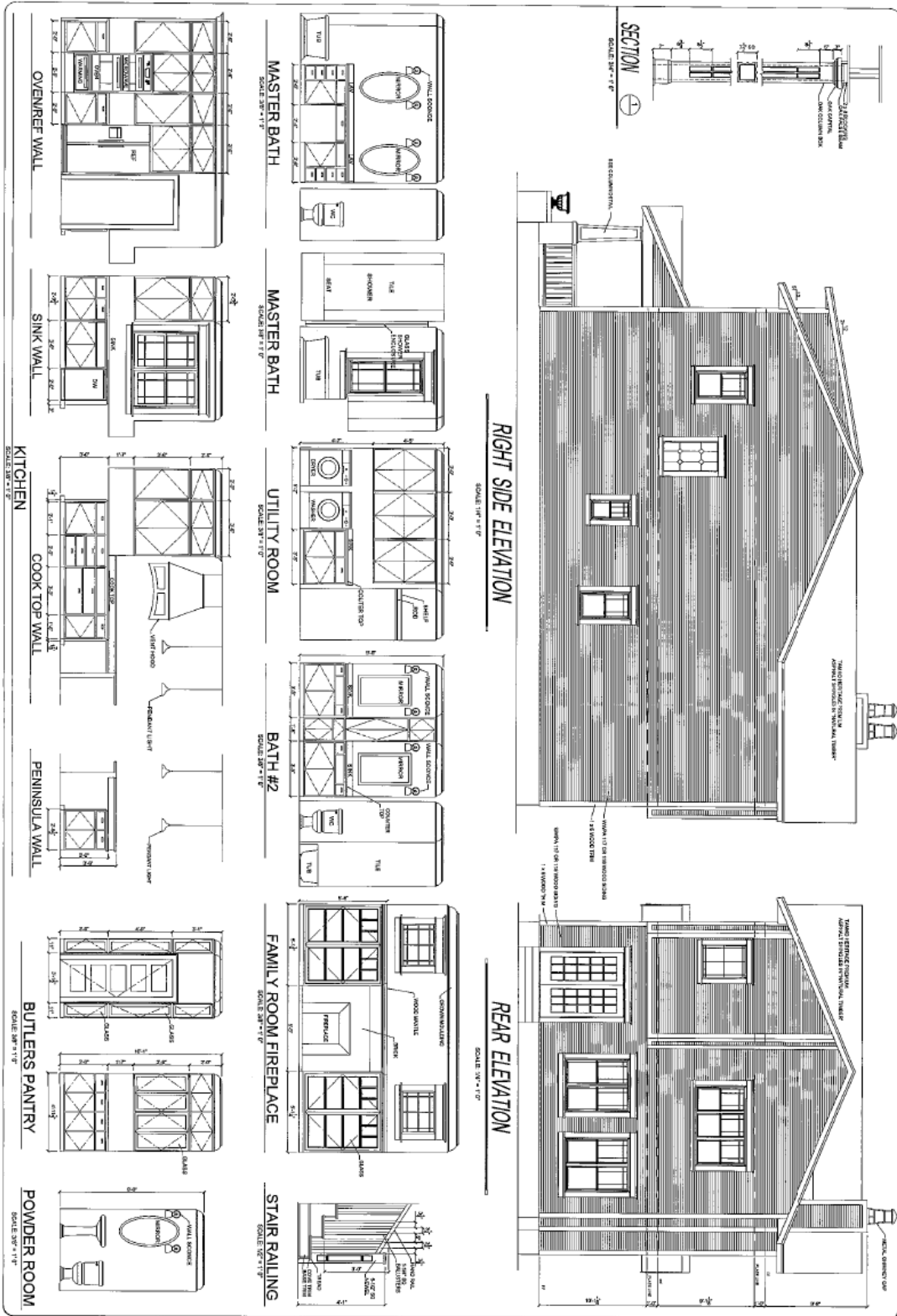
B. W. KUYKENDALL
ARCHITECTURAL DESIGNS
214.356.555 budkuykendall@gmail.com

MARENA HOMES, INC.
4942 REGER AVE., DALLAS, TEXAS, 75214
MCKELL'S HOMESTEAD
MUNGER PLACE HISTORIC DISTRICT
BLOCK OF 1428 PT LOTS 9 & 10, 50 x 125
DALLAS COUNTY, TEXAS

DWN. BY - BWK
DATE - 7-8-15



A3	SHEET NO.	B. W. KUYKENDALL ARCHITECTURAL DESIGNS 214.356.555 budkuykendall@gmail.com	MARENA HOMES, INC. 4042 REIGER AVE., DALLAS, TEXAS, 75214 MCKELLS HOMESTEAD MUNGER PLACE HISTORIC DISTRICT BLOCK D/ 1428 PT LOTS 9 & 10, 50 x 125 DALLAS COUNTY, TEXAS	DWN. BY - BWK
	REVISION DATE			DATE - 7-8-15



2-14-15

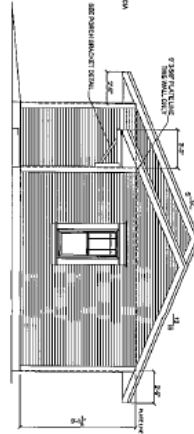
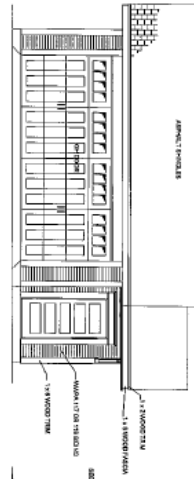
A4
SHEET NO.

REVISION DATE

B. W. KUYKENDALL
ARCHITECTURAL DESIGNS
214.356.555 budkuykendall@gmail.com

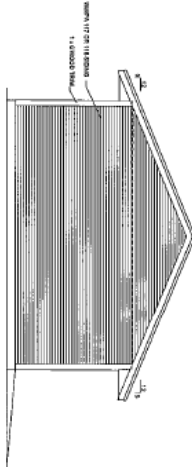
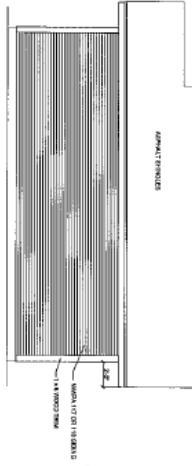
MARENA HOMES, INC.
4942 REIGER AVE., DALLAS, TEXAS, 75214
McKELL'S HOMESTEAD
MUNGER PLACE HISTORIC DISTRICT
BLOCK DV 1428 PT LOTS 9 & 10, 50 x 125
DALLAS COUNTY, TEXAS

DWN. BY - BWK
DATE - 7-8-15



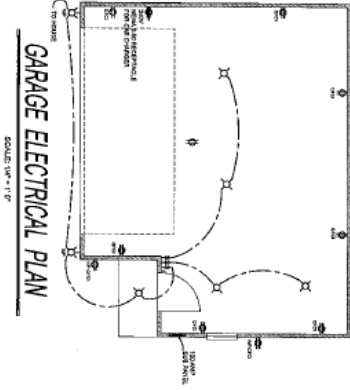
GARAGE FRONT

GARAGE RIGHT SIDE

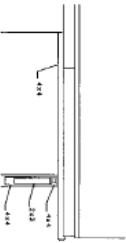


GARAGE REAR

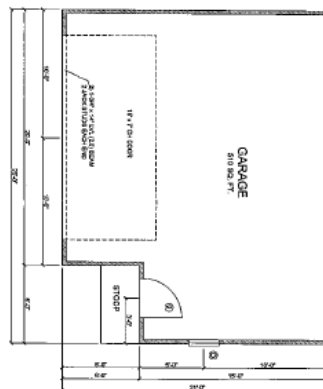
GARAGE LEFT SIDE



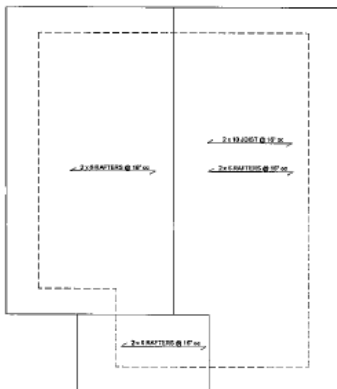
GARAGE ELECTRICAL PLAN



PORCH BRACKET DETAIL



GARAGE FLOOR PLAN



GARAGE ROOF PLAN

DESIGN: LKJ
DRAWN: LKJ
CHECKED: LKJ
DATE: 11-15-15

G1

SHEET NO.

REVISION DATE

B. W. KUYKENDALL
ARCHITECTURAL DESIGNS

214.356.555

budkuykendall@gmail.com

MARENA HOMES, INC.

4942 REIGER AVE., DALLAS, TEXAS, 75214
MCKELL'S HOMESTEAD
BLOCK D/ 1428 PT LOTS 9 & 10, 60 x 125
DALLAS COUNTY, TEXAS

DWN. BY - BWK
DATE - 5-15-16

SPECIFICATIONS

Property Location:	4942 Reiger Ave., Dallas, Texas 75214
Property Owner:	Marena Homes, Inc.
Project Description:	Single Family Residence

GENERAL CONSTRUCTION REQUIREMENTS

Everything in the building specifications shall be considered part of the plans and everything in the plans shall be considered part of the building specifications. The builder reserves the right to substitute materials or modify any part of the plans or specifications for the betterment of construction technique, design, and serviceability. The owner or his representative shall be the final authority of material quality and workmanship.

Subcontractors shall notify the builder of any proposed deviation from or proposed changes to specifications or plans in writing prior to bid submittal. Changes must be approved by builder prior to start of construction. Signed copies of all changes shall be attached to specifications and become part of the construction documents subject to all other provisions of specifications and plans.

Subcontractors shall provide builder with proof of payment for all materials and labor used on the project before payment will be made on any work. Partial payments for work completed will be allowed if approved by builder prior to start of work and proof of payment is provided. Payment will be for work completed less ten percent (10%). All subcontractors shall be required to remove all debris and trash resulting from their portion of work before final payment is made. All warranty information and operating instructions for equipment installed shall be given to owner.

All construction shall comply with the IBC Residential building code as adopted by the city of Dallas. Plumbing, electrical, and mechanical shall comply with the IBC building code as adopted by the city of Dallas. Building exterior and site work shall comply with Munger Place Historic District requirements.

Subcontractors shall be required to carry insurance to protect builder from any losses associated project or injuries to personnel. Contractors shall be responsible for the conduct of their personnel. Proof of insurance shall be provided to builder prior to start of work.

Before ordering any material or doing any work, the contractor(s) shall verify all measurements at the project and shall be responsible for correctness of same. No extra charge or compensation shall be allowed because of differences between actual dimensions and the measurements shown on plans. Any differences which may be found shall be submitted to the owner for consideration before proceeding with work. Bidding on this residence shall be considered evidence that the bidder has read the plans and specifications and agrees to comply with their contents.

SITE WORK

Builder shall remove trees and vegetation from building footprint and shall designate trees to be protected. Dirt not used for backfill or landscaping shall be removed from site. Final grading shall conform to accepted practices and city of Dallas requirements.

FOUNDATION

- 1.1 Design for foundation shall be by licensed, registered engineer based on soils information taken from lot. Soil borings and soil report by a qualified engineer are required prior to foundation design.

FOUNDATION CONT.

- 1.2 Finished floor shall be twenty-four inches (24") above finished grade at foundation perimeter.
- 1.3 Driveway shall be concrete, minimum 5" thick reinforced with rebar per slab engineer.
Sidewalks shall be nominal 4" thick concrete reinforced with 6x6 10x10 welded wire mesh.
- 1.4 Backfill shall be free of wood, foreign material, and vegetation.

EXTERIOR WALLS

1.1 FRAMING

- A) Sill plate shall be installed over Owens Corning SealR sill plate gasket or equal.
- B) Studs shall be #2 or Stud Grade at 16" o.c.
- C) Top plates shall be doubled with staggered joints over studs.
- D) Exterior sheathing shall be 7/16" OSB panels installed per APA and code requirements.
- E) Headers over doors and windows shall be as shown in IBC Residential code.
- F) Exterior shall be wrapped in Tyvec or equal with all edges and joints taped per manufacturer recommendations.

1.2 INSULATION

- A) Insulation shall be closed cell foam and fill all cavities in exterior walls.
- B) Insulation shall be between plumbing and exterior.
- C) Walls shall be min. R20, ceiling shall be min. R38.

1.3 EXTERIOR FINISHES

- A) Brick veneer shall be color and size as selected by builder.
 - a) Wall anchors shall be 22 ga., 7/8" wide corrosion resistant metal ties nailed to studs. Spacing of ties shall not be over 32" o.c. horizontally and 12" o.c. vertically. Rows of ties shall be staggered.
 - b) Flashing shall be beneath brick veneer and extend up wall 6".
 - c) Brick veneer lintels shall be as follows:

up to 6'	3" x 3" x 1/4"w angle
6' to 8'	4" x 3" x 1/4"w angle with long leg vertical
8' to 10'	5" x 3-1/2" x 5/16"w angle with long leg vertical

All lintels shall have 4" bearing on each end.
- B) Siding shall be wood WWPA pattern 116 or 117.
 - a) Siding shall be installed per manufacturers instructions.
 - b) Trim shall be solid wood.

INTERIOR WALLS

1.1 Framing

- A) Studs shall be #2 or Stud Grade at 16" o.c.
- B) Walls over 8' high shall have center blocking of 2 x 4's.

1.2 INSULATION

- A) All cavities in walls where shown on plans shall be filled with fiberglass insulation without vapor barrier.
- B) There shall be fiberglass insulation in all walls around bath rooms.

1.3 WALL FINISHES

- A) All interior walls shall be covered with 1/2" gypsum board except within 24" of fireplace openings shall be covered with 1/2" fire code gypsum board.

WALL FINISHES CONT.

- B) Walls around tubs and showers shall be covered with 1/2" cement board.
 - C) Surface texture and colors shall be as selected by builder.
- 1.4 TRIM
- A) Interior trim shall be as shown on plans.
 - B) Finish shall be one coat of primer and two coats of white semi-gloss paint.

CEILING AND ROOF SYSTEM

- 1.1 FRAMING
- A) Ceiling joist and roof rafters shall be #2 KD Southern Yellow Pine spaced 16" o.c..
 - B) Ceiling joist and roof rafter sizes shall be as shown on plans.
 - C) Framing shall have minimum 2" air space around chimney and fireplace.
- 1.2 DECKING
- A) Roof decking shall be 7/16" OSB sheathing laid perpendicular to rafters with staggered joints.
 - B) Floor decking over Garage shall be 3/4" T&G plywood laid perpendicular to rafters with staggered joints.
 - C) Nails shall be ring or screw shank.
- 1.3 ANCHORS
- A) Every rafter attached to beams shall be secured with 18 ga. Galvanized metal anchors.
 - B) Rafters attached to walls shall have 18 ga. Galvanized metal anchors spaced 48" oc.
- 1.4 INSULATION
- A) Insulation shall be closed cell foam and fill all cavities.
 - B) Roof insulation shall be min. R38 applied to underside of roof decking.
- 1.6 FASCIA AND SOFFIT
- A) Fascia shall be 3/4" x 6" fiber wood installed over a 2 x 6 and nailed per plans.
 - B) Soffit shall be 1/4" plywood.

ROOFING

- 1.1 ROOFING MATERIAL
- A) Roofing shall be fiberglass architectural shingles with 30 year guarantee. Color shall be as specified by builder.
 - B) Roof shingles shall be installed over 15% roofing felt.
- 1.2 FLASHING
- A) Drip strip shall be 26 ga. Galvanized steel applied to all edges of roof.
 - B) Valley flashing shall be 26 ga. Galvanized steel 18" wide.
 - C) Wall to roof and chimney to roof flashing shall be 26 ga. Galvanized steel. Flashing shall be stepped where required.

FIREPLACES, CHIMNEYS AND VENTS

- 1.1 FIREPLACES
- A) Fireplaces are solid fuel burning metal inserts with gas outlet in sizes show on plan.
 - B) Brick veneer shall be the same as house exterior. Steel lintel shall conform to schedule under exterior walls.
 - C) Mantels shall be as shown on drawings.

FIREPLACES, CHIMNEYS AND VENTS CONT.

1.2 CHIMNEYS

- A) Chimney shall be dual wall metal in sizes specified by fireplace manufacturer and installed according to manufacturers recommendations.
- B) Chimney height shall be as shown on plans.
- C) See roofing section for flashing.

1.3 VENTS

- A) Vents for toilets and kitchen hood shall be galvanized steel and extend through roof.
- B) Roof flashing shall be lead around vents.

WINDOWS AND DOORS

1.1 EXTERIOR

- A) Windows shall be double glazed insulated glass in aluminum clad wood frames in sizes shown on plans and as selected by builder. Windows shall be installed according to manufacturers recommendations.
- B) Entrance door shall be solid wood as selected by builder.
- C) All other exterior doors shall be solid core in size and type shown on plans and installed according to manufacturers recommendations.
- D) Garage doors shall be steel four panel type in sizes shown on plan in style selected by builder. Each door shall be equipped with an automatic door opener and all required safety equipment.

1.2 INTERIOR

- A) Interior doors shall be 1-3/8" thick hollow core in sizes shown on plans.
- B) Door style shall be as selected by builder.

FINISH FLOORS

- A) All interior finish floors in living areas shall be wood as selected by builder.
- B) All interior finish floors in baths shall be ceramic tile as selected by builder.

CABINETS AND INTERIOR DETAIL

1.1 KITCHEN

- A) Base units shall be 24" deep in sizes shown on plans. Doors shall have spring loaded hinges. Drawers shall be soft close. Style shall be as selected by builder.
- B) Wall units shall be 12" deep in sizes shown on plans. Doors shall have spring loaded hinges. Style shall be as selected by builder.
- C) Counter top shall be in material and color as selected by builder.
- D) Back splash shall be as selected by builder.

1.2 BATHS

- A) Base units shall be 24" deep and 36" high in sizes shown on plans. Doors shall have spring loaded hinges. Drawers shall be soft close. Style shall be as selected by builder.
- B) Counter top shall be in material and color as selected by builder.

PLUMBING

1.1 GENERAL

- A) Water supply shall be from public water supply system.
- B) Sewage disposal shall be by public sewer system.

PLUMBING CONT.

1.2 MATERIALS

- A) House drains shall be PVC pipe.
- B) Sewer line shall be PVC pipe.
- C) Water lines shall be copper.
- D) Water heater shall be a tankless on demand gas water heater sizes to 10 GPM.
- E) Shower pan shall be preformed composite material.
- F) Sill cocks shall be anti freeze type located as shown on drawings.

1.3 ACCESSORIES & FIXTURES

<u>fixture</u>	<u>location</u>	<u>type</u>	<u>size</u>	<u>qty.</u>
paper holder	master bath	wall mount		1
	bath #2	wall mount		1
	powder room	wall mount		1
towel bar	master bath		18"	2
			24"	2
	bath #2		18"	1
			24"	1
	powder room		18"	1
shower rod	bath #2			1
shower enclosure	master bath	frameless glass		1
mirrors	all baths	plate glass		4
lavatory	all baths	under mount		4
sink	kitchen	under mount		1
water closet	all baths			3
bathtub	master bath	soaker tub	60"	1
	bath #2	std. tub	60"	1

ELECTRICAL

1.1 SERVICE

- A) Electrical service shall be underground to house.
- B) Service entrance and panel shall be rated 200 amps.
- C) A separate subpanel rated at min. 100 amps set in garage.

1.2 EQUIPMENT

- A) All wiring shall be Romex type NM-B sized per National Electric Code.
- B) Light fixtures shall be as shown on plans and as selected by builder.

HARDWARE

1.1 DOORS

- A) Entrance door hardware shall be as selected by builder.
- B) Exterior doors shall have three (3) 4" butt hinges per door. Locksets shall be as selected by builder.
- C) Interior doors hardware shall be as selected by builder with two (3) 3-1/2" hinges per door.
All doors shall have passage locksets except baths and bedrooms in style as selected by builder.

1.2 UTILITY ROOM

- A) Dryer vent box shall be Speedi-Products 18" X 24" or equal.
- B) 42" Ironing Board Center shall be installed with integral electric outlet.

HARDWARE CONT.

1.3 KITCHEN

Kitchen equipment shall be as selected by builder.

<u>fixture</u>	<u>type</u>	<u>qty.</u>
Dishwasher	electric	1
Ovens	electric	1
Cook top	gas	1

HEATING & AIR CONDITIONING

1.1 GENERAL

- A) System shall be a central forced air electric heat pump.
- B) Builder shall select make.
- C) System shall be a split system. Unit one shall cover first floor. System two shall cover second floor.

1.2 Unit shall be sized by a HVAC professional experienced in sizing and installing HVAC.

1.3 AIR DISTRIBUTION SYSTEM

- A) Return air filter shall be replaceable fiberglass type located at return air inlet.
- B) Return air chases in walls shall be gyp. board lined.
- C) Ducts shall be foil covered fiberglass min. one inch (1") thick. All joints lapped and taped with foil tape.

1.4 VENTILATION

- A) Kitchen exhaust hood shall be vented through roof.
- B) Bathroom exhaust fans shall be vented through roof.

CAULKING & PAINTING

1.1 CAULKING

- A) Exterior wall sill plates shall be installed on a sill plate gasket. Owens Corning SealR or equal.
- B) All exterior joints and seams shall be caulked with a 25 year siliconized caulk.

1.2 EXTERIOR PAINT

- A) All bare wood and fiber cement board shall be primed with one coat of high grade primer after caulking. Knots and sap deposits shall have two coats.
- B) Two coats of exterior paint shall be applied according to manufacturers recommendations. No thinning is allowed. No painting is allowed below 50 degrees F.
- C) Color and brand of paint to be selected by builder conforming to Munger Historic District color requirements.

1.3 INTERIOR PAINT

- A) Interior textured surfaces shall be given one coat of combination sealer/primer and two (2) coats of interior latex paint after caulking.
- B) All bare wood shall be primed with one coat of sealer/primer after caulking. Knots and sap deposits shall have two coats. Finish shall be two (2) coats of interior latex semi-gloss paint.
- C) Woodwork to be stained shall be given one coat of stain sealer applied according to manufacturers recommendations. Stain shall be oil base. Finish shall be two coats of polyurethane varnish applied according to manufacturers recommendations. No thinning is allowed.
- D) Builder shall select interior colors and brand of paint and stain.

CAULKING & PAINTING CONT.

- E) Exterior colors shall be:
 - Main Body of House - Sherwin Williams #SW0036, Buckram Binding
 - Trim, Fascia and Columns - Sherwin Williams SW0042, Ruskin Room Green
 - Window Trim - Creamy White

SITE IMPROVEMENTS

1.1 GRADING

- A) Finish grade around house shall slope away from house on all sides.
- B) Finish grade shall be no higher than 12" from finish floor level.



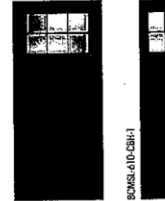
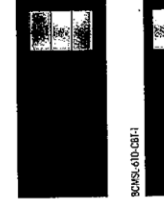
1.2 WALKS

- A) Concrete walks shall be as shown on plans installed over 2" sand base and sloped to prevent ponding.
- B) Concrete shall be 4" thick, 2500 PSI concrete with 6X6 10X10 welded wire mesh reinforcement.

Craftsman^{masonite™} DOORS

BARRINGTON® doors

BCM mahogany fiberglass


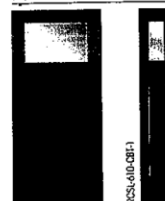
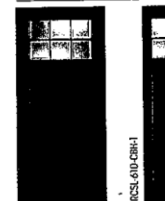
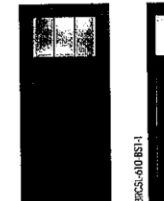
BC4 GLASS	BS1 GLASS	CBH GLASS	CBT GLASS
			
BCM-226-BC4-3	BCM-226-BS1-3	BCM-226-CBH-3	BCM-226-CBT-3

BARRINGTON® MAHOGANY

6'8"

BC4	*	*
BS1	*	*
CBH	*	*
CBT	*	*

BRC oak fiberglass

BC4 GLASS	BS1 GLASS	CBH GLASS	CBT GLASS
			
BRC-226-BC4-3	BRC-226-BS1-3	BRC-226-CBH-3	BRC-226-CBT-3

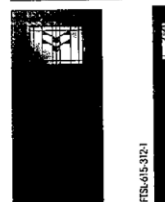
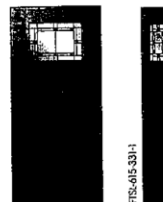
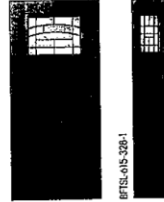
BARRINGTON® OAK

6'8"

BC4	*	*
BS1	*	*
CBH	*	*
CBT	*	*

BELLEVILLE® textured doors

BFT fir fiberglass

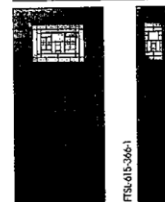
new FRONTIER™ GLASS	new MARCO™ GLASS	ELEMENT® GLASS
		
BFT-215-312-2	BFT-215-331-2	BFT-215-328-2

BELLEVILLE® FIR

6'8"


Frontier™	*	*
Marco™	*	*
Element®	*	*
Naples®	*	*
Chord	*	*
Pear	*	*

NAPLES® GLASS

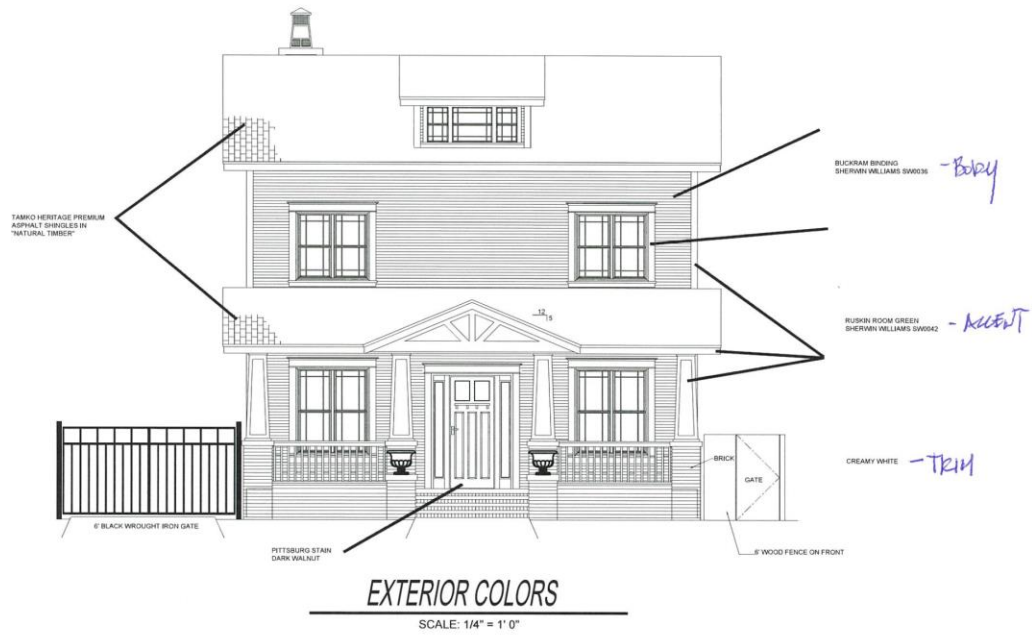


BFT-215-366-2

TEXTURED GLASS*



BFT-215-115-2



SW 0036

Buckram Binding

[Save to myS-W.com](#) +

[Add to my Project List](#) +

[View all Warm Neutral paint colors](#) +

Color Family: Warm Neutral

RGB Value: R-217 | G-198 | B-165

Hexadecimal Value: #D9C6A5

LRV: 60

Color Collection: Arts & Crafts

SW 0042

Ruskin Room Green

[Save to myS-W.com](#) +

[Add to my Project List](#) +

[View all Green paint colors](#) +

Color Family: Green

RGB Value: R-170 | G-165 | B-126

Hexadecimal Value: #AAA57E

LRV: 38

Color Collection: Arts & Crafts

SW 7012

Creamy

[Save to myS-W.com](#) +

[Add to my Project List](#) +

[View all White paint colors](#) +

Color Family: White

Color Strip: 142

RGB Value: R-238 | G-234 | B-220

Hexadecimal Value: #EEEADC

LRV: 83

Color Collection: Rustic Refined, Senior Living Warm Foundations, America's Heritage, Suburban Modern Exterior, Cool Neutrals, Warmer Whites

Heritage® Premium

America's Natural Colors

Natural Timber



Note: Reproduction of these colors is as accurate as technology will permit. TAMKO® recommends viewing an actual product installation prior to final color selection for the full impact of color blending and patterns. Dissatisfaction of the selected color after installation is not covered under the limited warranty.

TASK FORCE RECOMMENDATION REPORT
SWISS AVENUE/MUNGER PLACE

DATE: 07/07/15
TIME: 5:30 pm
MEETING PLACE: Lakewood Library (6121 Worth Street)

Applicant Name: Marena Homes LLC
Address: 4942 Reiger (Munger Place)
Date of CA/CD Request: 07/02/15

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments / basis:

- COLOR SCHEME AS SUBMITTED.
BUCKSKIN BODY, CREAM TRIM, GREEN ACCENT. PROVIDE COLOR SAMPLE
FOR LANDMARK COMMISSION.
- SUBMIT BRICK COLOR/STYLE FOR LAND MARK COM..
- ROW STEP FRONT WALK NOT REQUIRED/ABLE TO INSTANT RE
TO EXISTING GRADES
- FIRE PLACE EXTERIOR CHIMNEY ~~HAD~~ PROPOSED TO BE
SIDING AS SHOWN ON ELEVATIONS
- SIDING AS SUBMITTED TO BE "NOVELTY" SIDING
- PROVIDE COMPARTED WINDOW STYLE PER EXHIBIT K
- WINDOWS TO BE ADDED TO RIGHT & LEFT ELEVATIONS, ALSO

Task force members present

<input checked="" type="checkbox"/> Joanna Hampton (Chair)	<input checked="" type="checkbox"/> John Mark Guest	<input type="checkbox"/> Elizabeth Mast
<input checked="" type="checkbox"/> Wesley Powell (Vice-Chair)	<input checked="" type="checkbox"/> John Gormley	<input checked="" type="checkbox"/> Greg Johnston
<input checked="" type="checkbox"/> Cheryl Scott	<input type="checkbox"/> Vacant (Professional)	<input checked="" type="checkbox"/> Beth Bradley (Munger Alt.)
<input type="checkbox"/> Vacant (Swiss Alternate)		

REVIEW WITH BUILDING INSPECTION. REVIEW
ALSO SPECIFY BETWEEN RUBB
WINDOWS

Ex Officio staff members Present : Jennifer Anderson ☒

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: J. Hampton

2nd: JOHN MARK GUEST

Task Force members in favor: AM

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 07 July 2015

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

- FENCE AT RIGHT SIDE OF HOUSE TO CONFORM TO EXHIBIT H
- COLUMN PROPORTIONS TO BE REVISED PER EXHIBIT H, NO EXCEPTION TO BRICK/WOOD COLUMN CONFIGURATION.
- LANDSCAPE WILL BE SUBMITTED SEPARATELY.
- REVIEW ROOF OVERHANG TO COMPLY WITH SECTION 16 (B) & ROOF SLOPE & PITCH PER 16 (E)
- IT WAS NOTED THAT SPACE ABOVE SECOND FLOOR WINDOW HEAD APPEARS TALLER THAN TYPICAL FOR HOUSES WITHIN THE MUDGER PLACE DISTRICT SUGGEST TO ADD 1X12 FASCIA BELOW OVERHANG.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-501(MD)
LOCATION: 1108 E. 9th Street
STRUCTURE: No structure
COUNCIL DISTRICT: 4
ZONING: PD No. 388, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Tenth Street Historic
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: Rebuilding Together Greater Dallas

REPRESENTATIVE: John Hartigan

OWNER: ININTERCITY DEVELOPMENT INC

REQUEST:

Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness.

BACKGROUND / HISTORY: None.

ANALYSIS:

Although the Tenth Street preservation criteria doesn't address playground equipment, the underlying zoning does not allow for a playground use, therefore Staff is recommending denial.

STAFF RECOMMENDATION: Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness. - Deny – The existing playground is not allowed per Dallas Development Code.

TASK FORCE RECOMMENDATION: Install playground equipment on vacant lot. Work completed without a Certificate of Appropriateness. – Approve - Provide safety warranty to church for records.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 501 (MD)
Office Use Only

Name of Applicant: GREATER EL BETHEL BAPTIST
Mailing Address: REBUILDING TOGETHER GREATER DALLAS
City, State and Zip Code: 1611 N I-35 SUITE 210
CARROLLTON, TX 75006
Daytime Phone: 972-245-6900 Fax: 972-245-6988
Relationship of Applicant to Owner: NON PROFIT CONTRACTOR

PROPERTY ADDRESS: 1108 E 9TH ST.
Historic District: 10th STREET

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

AMERICAN PARKS CO. INSTALL PLAYGROUND
AND MULCHED PLAY AREA AROUND PLAYGROUND
ALL PLAYGROUND EQUIPMENT MEET SAFETY STANDARDS
INSTALL CRUSHED GRANITE WALKWAY TO PLAYGROUND

Signature of Applicant: [Signature]

Date: 6-25-15

RECEIVED BY

Signature of Owner: [Signature]

(IF NOT APPLICANT)

Date: JUL 02 2015

APPLICATION DEADLINE:

Application material must be **completed and submitted by the** Current Planning **FIRST THURSDAY OF EACH MONTH 12:00 NOON.** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



Playground equipment located in middle of vacant lot.



Building Better Parks for Children of all ages 1-800-381-4491



Scan the QR Code for a 360° Panoramic View

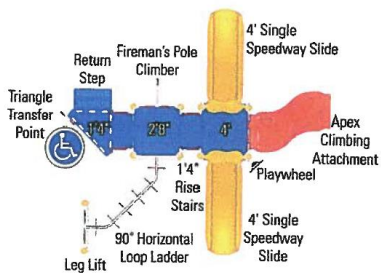
Word To The Wise AP-689-73416

Ages: 5-12 years

Use Zone: 29' 0" x 27' 11" Child Capacity: 15-25

Fall Height: 7' 0" Activities: 7

ADA	Elevated	Accessible by Transfer	Ground	Types
	5	5	2	2



American Parks Company

1.800.381.4491

www.AmericanParksCompany.com

Typical playground configuration and style.

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / 10TH STREET

DATE: **7/7/15**

TIME: **4:00 pm**

MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Rebuilding Together Greater Dallas

Address: 1108 E. 9th St (Tenth Street)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

PROVIDE SAFETY WARRANTY TO CHURCH
FOR RECORDS

Task force members present

<input type="checkbox"/> Nancy McCoy	<input checked="" type="checkbox"/> Alonzo Harris
<input type="checkbox"/> Chris Butler	<input checked="" type="checkbox"/> Alicia Quintans (Alternate)
<input type="checkbox"/>	<input type="checkbox"/>

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (two makes a quorum)


Maker: ALICIA QUINTANS

2nd: ALONZO

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force  DATE 7.7.15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-504(MD)
LOCATION: 220 N. Cliff Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 7
ZONING: PD No. 388, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Tenth Street Historic
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: 2000 Roses CDC

REPRESENTATIVE: Alonzo Harris

OWNER: MAYS MACY LODIS

REQUEST:

Remove two bathroom windows due to glass safety concerns.

BACKGROUND / HISTORY:

9/2/2014 – Landmark Commission denied a Certificate for Demolition (CD123-019(MD)).

4/6/2015 – Landmark Commission approved new concrete driveway, new doors, and installing two laps of Hardie siding along foundation skirting (CA145-235(MD)).

ANALYSIS: The Applicant indicated that removal of the windows was necessary due to potential safety hazards with the glass in the bathrooms. Staff does not agree with this assessment and recommends that tempered or frosted glass is installed instead of clear if there is indeed a safety or security concern.

STAFF RECOMMENDATION:

Remove two bathroom windows due to glass safety concerns. – Deny without prejudice
- The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with the preservation criteria that state original door and windows and their openings must remain intact and be preserved. Preservation criteria Section 2.11.

TASK FORCE RECOMMENDATION:

Remove two bathroom windows due to glass safety concerns. – Deny without prejudice
- Find out what code issue may be? Ventilation for bath is desirable. Harris recused.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 504 [MD]
Office Use Only

Name of Applicant: Alonzo Harris 2000 ROSES
Mailing Address: 2000 W. 10th Street
City, State and Zip Code: DALLAS TX 75208
Daytime Phone: 214-682-8796 Fax: 214-944-5331
Relationship of Applicant to Owner: _____

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 220 N. CLIFF ST.
Historic District: 10th Street

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

We are proposing to remove two windows from the two bathroom. The windows are located in the middle and at the end of the bathtubs. The residents could possible slip in the bathtub and injure themselves on the glass.

Signature of Applicant: Alonzo Harris Date: 6-30-2015

Signature of Owner: _____ Date: JUL 02 2015
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the Current Planning FIRST THURSDAY OF EACH MONTH 12:00 NOON, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 111408



West elevation.



Bathroom window to be removed.



Bathroom window to be removed.

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / 10TH STREET

DATE: **7/7/15**

TIME: **4:00 pm**

MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Alonzo Harris (2000 Roses)

Address: 220 N. Cliff St. (Tenth Street)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

FIND OUT WHAT CODE ISSUE MAY BE?

VENTILATION FOR BATH IS DESIRABLE.

Task force members present

☐ Nancy McCoy

☐ Alonzo Harris (REUSE)

☐ Chris Butler

☒ Alicia Quintans (Alternate)

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (two makes a quorum)

Maker: Alicia

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force 

DATE

7.7.15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CD145-026(MD)
LOCATION: 2850 Metropolitan Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 7
ZONING: PD No. 595, R-5(A)

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Wheatley Place
MAPSCO: 46-U
CENSUS TRACT: 0037.00

APPLICANT: Naopatra Edwards

REPRESENTATIVE: None.

OWNER: EDWARDS VIRGIL DEON &

REQUEST:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

BACKGROUND / HISTORY:

The structure is listed as contributing per the Wheatley Place National Register District.

According to the Applicant, the structure was damaged by fire in October 2014.

ANALYSIS:

Since the Applicant met all the requirements of the demolition, both Staff and Task Force are recommending approval.

STAFF RECOMMENDATION:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). – Approve - The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the Applicant has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

TASK FORCE RECOMMENDATION:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). 80% burned. Owner plans to build new similar style.

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD 145 - 026 (MD)
Office Use Only

1. Name of Applicant: NAOPATRA J. EDWARDS
MAILING Address: 320 PALM OAK DRIVE City DALLAS State TX Zip 75217
Daytime Phone: 214.335.4350 Fax: 214.398.2917
Relationship of Applicant to Owner: SELF

ADDRESS OF PROPERTY TO BE DEMOLISHED: 2850 METROPOLITAN AVE Zip 75215
Historic District: WHEATLEY PLACE

Proposed Work:

2. Indicate which 'demolition standard(s)' you are applying:

- ☐ Replace with more appropriate/compatible structure
☐ No economically viable use
☐ Imminent threat to public health / safety

☒ Demolition noncontributing structure because newer than period of significance
☒ Intent to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code,

Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:
(please see attached checklist)

Application Deadline:

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation **must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month**, 1500 Marilla SBN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210. **DO NOT FAX PHOTOGRAPHS.**

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: Naopatra Edwards Date: 05/29/15
5. Signature of Owner: Naopatra Edwards Date: 05/29/15
(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

Date

Sustainable Development and Construction

NOTE: THIS APPLICATION WILL EXPIRE 180 DAYS AFTER THE APPROVAL DATE

Certificate for Demolition & Removal

City of Dallas

Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05

For an application if the city or a property owner seeks demolition of a residential structure with no more than 3,000 square feet of floor area subject to a predesignation moratorium or in a historic overlay district pursuant to an order from a court or other tribunal requiring demolition obtained by the city, a complete application for a certificate for demolition must be submitted to the landmark commission. Within 10 days after submission of an application, the director shall notify the city's representative or the property owner in writing of any documentation required but not submitted. The application must be accompanied by the following documentation before it will be considered complete:

- ☐ An affidavit in which the city representative or the property owner affirms that all information submitted in the application is correct.
- ☐ Records depicting the current condition of the structure, including drawings, pictures, or written descriptions, and including Historic American Buildings survey or Historic American Engineering Records documentation if required by law or agreement.
- ☐ A signed order from a court or other tribunal requiring the demolition of the structure in a proceeding brought pursuant to Texas Local Government Code Chapter 54 or 214, as amended.
- ☐ A copy of a written notice of intent to apply for a certificate for demolition that was submitted to the director and the landmark commission at least 30 days before the application.
- ☐ Any other evidence the city representative or property owner wishes to submit in support of the application.

GENERAL NOTES:

- Note 1: Minimum scale of 1/8" = 1'0" on all plans and elevations, unless otherwise approved by a Preservation Planner. Section details of new cornices, columns, railings or any other distinctive details are required at 1/2" = 1'.
- Note 2: When required to show the relationship to adjacent structures and structure is on a corner, "adjacent" means across the street.
- Note 3: When material descriptions are required, materials to be used must be designated on the elevation drawings.

Affidavit

Before me the undersigned on this day personally appeared
Naopatra J. Edwards who on his or her oath certifies that
the statements contained in the application for a certificate of demolition
and removal are true and correct to the best of his or her knowledge and
that he or she is the owner, principle, or authorized representative of the
subject property.

Naopatra J. Edwards
Affiant's signature

Subscribed and sworn to before me this 29 day of JUNE, 2015

P. Kedrick Austin

Notary Public





North elevation.



North and partial west elevations.

No. S50-003577-01

CITY OF DALLAS,	§	IN THE MUNICIPAL COURT OF
Plaintiff,	§	
	§	
VS.	§	THE CITY OF DALLAS
	§	
2850 METROPOLITAN AVENUE,	§	
Defendant,	§	DALLAS COUNTY, TEXAS

MODIFIED AGREED ORDER

On the 12th day of May 2015 came on for public hearing the above-styled and numbered cause. Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, this Court has jurisdiction and makes the following findings:

A vacant structure intended for human occupancy exists on the property located at **2850 Metropolitan Avenue** City of Dallas, Dallas County, Texas (hereinafter "structure"). The structure violates numerous minimum housing standards in Chapter 27 of the Dallas City Code as specifically set forth in Plaintiff's Petition and Notice of Public Hearing.

The structure is dilapidated, substandard, unfit for human habitation, a hazard to the public health, safety and welfare, constitutes an urban nuisance, and cannot be repaired without substantial reconstruction. Each owner, mortgagee or lienholder identified was given at least 10 days advanced notice of this public hearing by certified mail, return receipt requested. Naopatra Joyce Edwards appeared regarding this property and agreed to the entry of this order. No other interested persons appeared for the public hearing regarding the property.

It is therefore ORDERED that the structure and any accessory structure(s) be **demolished** by the owner(s), mortgagee(s), lienholder(s) and other persons having an interest in the structure within **60 days**.

It is further ORDERED that if said persons fail to abide by the order of this Court within the allotted time, the City of Dallas, through its agents and contractors, is authorized to remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property, enter the Property,

NOTICE OF INTENT TO THE DIRECTOR AND THE LANDMARK COMMISSION TO APPLY FOR A CERTIFICATE OF DEMOLITION FOR A RESIDENTIAL STRUCTURE IN ACCORDANCE WITH DALLAS CITY CODE SECTION 51A-4.501(i)(5)(D)

Name of Applicant (city or property owner only) NAOPATRA J. EDWARDS

MAILING ADDRESS 320 PALM OAK DRIVE

City DALLAS State TX Zip Code 75217

Daytime Phone 214.335.8350 Fax number: _____

ADDRESS OF THE PROPERTY WHERE YOU INTEND TO APPLY FOR A CERTIFICATE OF DEMOLITION 2850 METROPOLITAN AVE, DALLAS, TX 75215

Zip Code 75215 Historic District: WHEATLEY PLACE

This notice of intent to apply for a certificate of demolition must be completed and submitted to the Director of Sustainable Development and Construction and the Dallas Landmark Commission **at least 30 days before an application for a certificate of demolition for a residential structure with no more than 3,000 square feet of floor area pursuant to a court order under Dallas Development Code Section 51A-4.501(i)(5) may be submitted to the landmark commission.** This notice of intent form must be sent to:

Current Planning
City of Dallas
1500 Marilla 5BN,
Dallas, Texas, 75201.

You may also fax this form to 214/670-4210.

Signature of Applicant: Naopatra Edwards Date 05/28/15

TASK FORCE RECOMMENDATION REPORT

WHEATLEY PLACE / 10TH STREET

DATE: 7/7/15

TIME: 4:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla, Conference Room 5BN

Applicant Name: Naopatra Edwards

Address: 2850 Metropolitan (Wheatley Place)

Date of CA/CD Request: 7/2/2015

RECOMMENDATION:

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

80% BURNED

OWNER PLANS TO BUILD NEW SIMILAR STYLE

Task force members present

☐ Nancy McCoy

☐ Chris Butler

☐

☒ Alonzo Harris

☒ Alicia Quintans (Alternate)

☐

Ex Officio staff members Present ☒ Mark Doty ☐

Simply Majority Quorum: ☒ yes ☐ no (two makes a quorum)

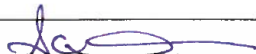
Maker: ALONZO
2nd: ALICIA

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force



DATE 7.7.15

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-529(MD)
LOCATION: 220 N. Clinton Avenue
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: RESIDENTIAL DESIGN SERVICES LLC

REPRESENTATIVE: Robert Pross

OWNER: MARIA M NAVARRO

REQUEST:

Construct new front porch.

BACKGROUND / HISTORY:

6/1/2015 – Landmark Commission approved various exterior renovations to the exterior of the main structure, but denied without prejudice the construction of a new front porch (CA145-377(MD)).

7/6/2015 – Landmark Commission approved the demolition of an existing accessory structure and the construction of a new accessory structure (CA145-443(MD)).

ANALYSIS:

This Certificate of Appropriateness application addresses the comments from the Landmark Commission when the original porch design was denied without prejudice in June 2015.

Both Task Force and Staff are supportive of both porch options, with or without the porch railing, and are recommending approval of either.

STAFF RECOMMENDATION:

Construct new front porch. – Approve - Approve drawings dated 7/15/15 with the finding of fact the proposed work is consistent with the criteria for front entrances and porches in Section 51P-87.111(a)(11), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Construct new front porch. No quorum. Comments only. We support both options.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145-529 [mo]
Office Use Only

Name of Applicant: ROBERT PROSS
Mailing Address: 4050 WILLIAMS BLVD
City, State and Zip Code: DALLAS TX 75220
Daytime Phone: 817-253-2634 Fax: _____
Relationship of Applicant to Owner: _____

Building
Inspection:
Please see signed
drawings before
issuing permit:

Yes _____ No _____

Planner's Initials

PROPERTY ADDRESS: 220 N. Clinton Ave, Dallas, Tx 75208
Historic District: _____

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

THE DEMOLITION OF AN EXISTING FRONT PORCH TO CONSTRUCT
A NEW FRONT PORCH.

RECEIVED BY

Signature of Applicant: [Signature] Date: 7/01/15 JUL 02 2015

Signature of Owner: [Signature] Date: 7/01/15
(IF NOT APPLICANT)
Current Planning

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

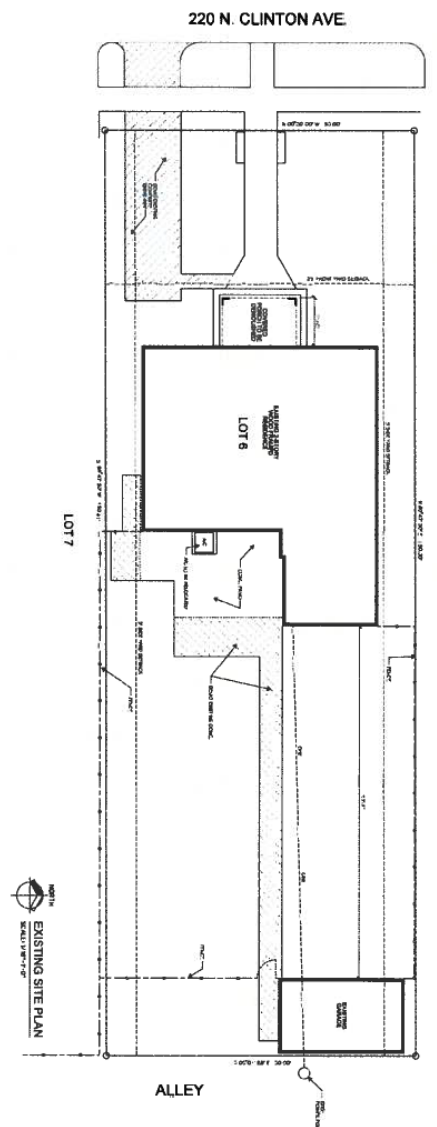
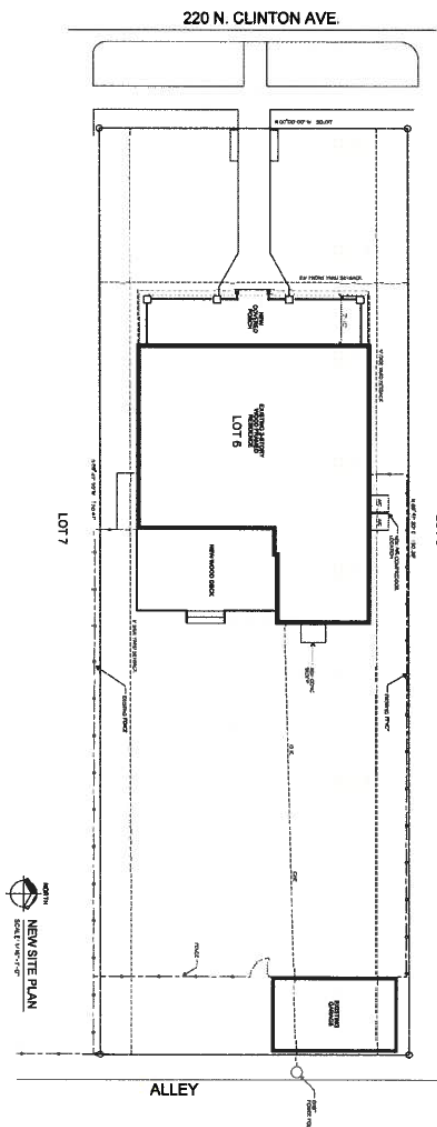
Historic Preservation
Rev. 111408



West elevation.

Proposed porch location.

7/15/15



job no.
1681
sheet
A1.0

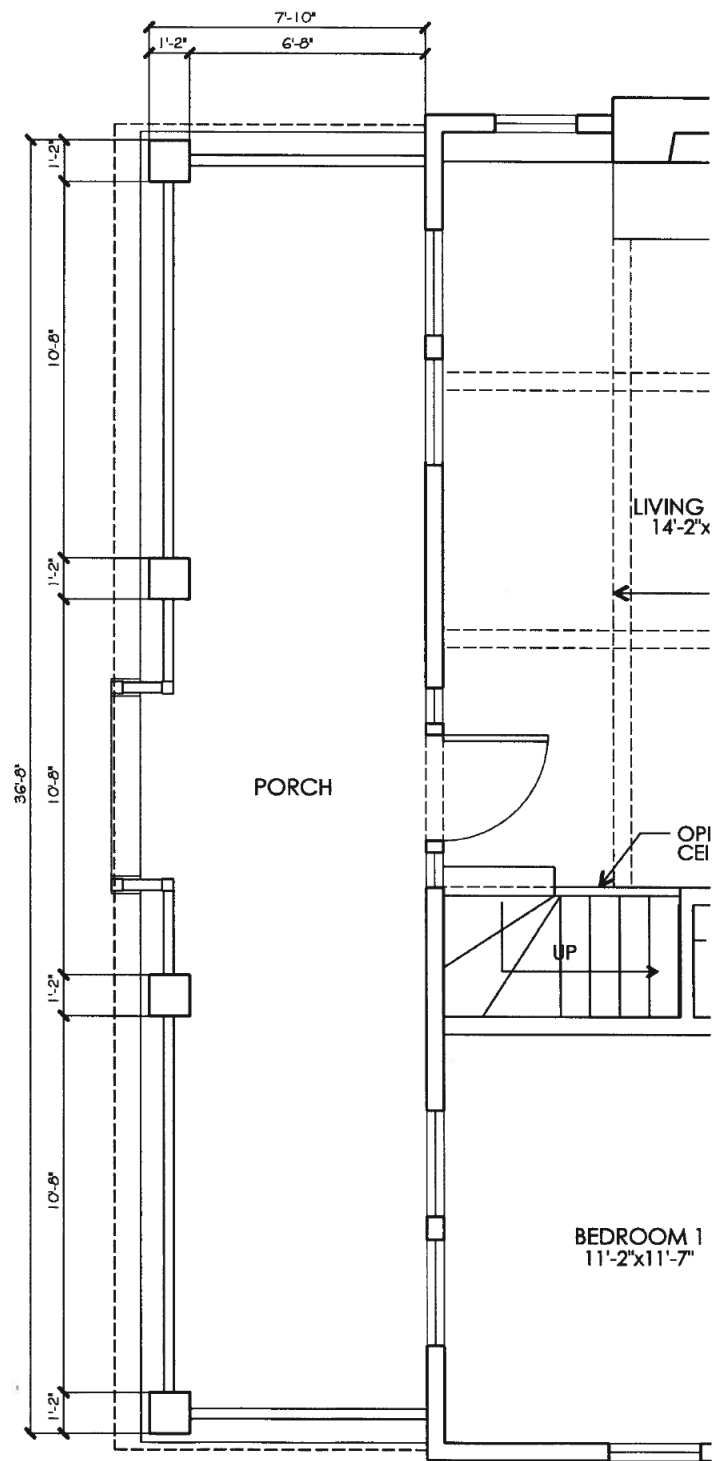
CHEN RESIDENCE RENOVATION

220 N. CLINTON

DALLAS, TEXAS

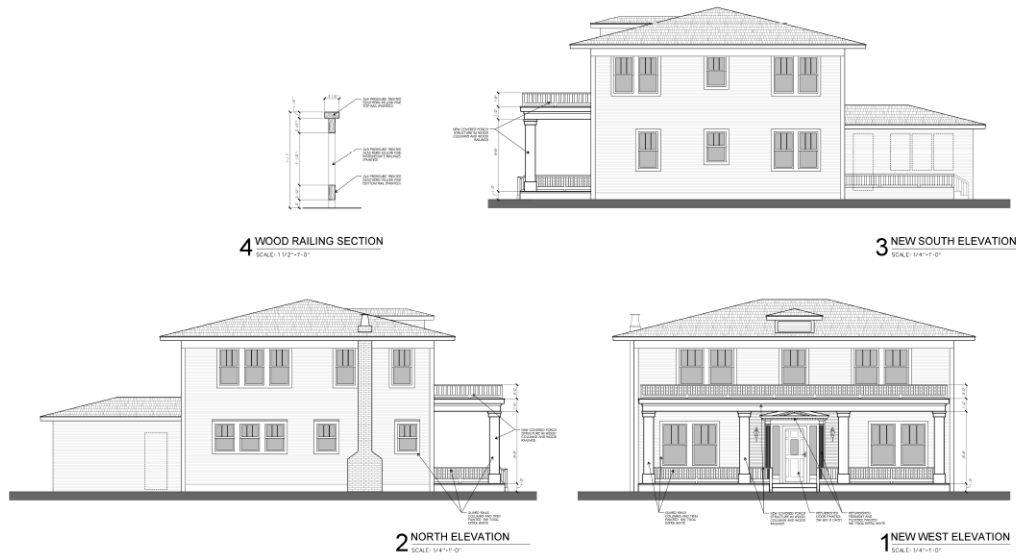

Residential Design Services LLC
4050 Williamsburg Road • Dallas, Texas 75220 • (817) 253-2634

drawn:
checked:
date:
07/15/2015

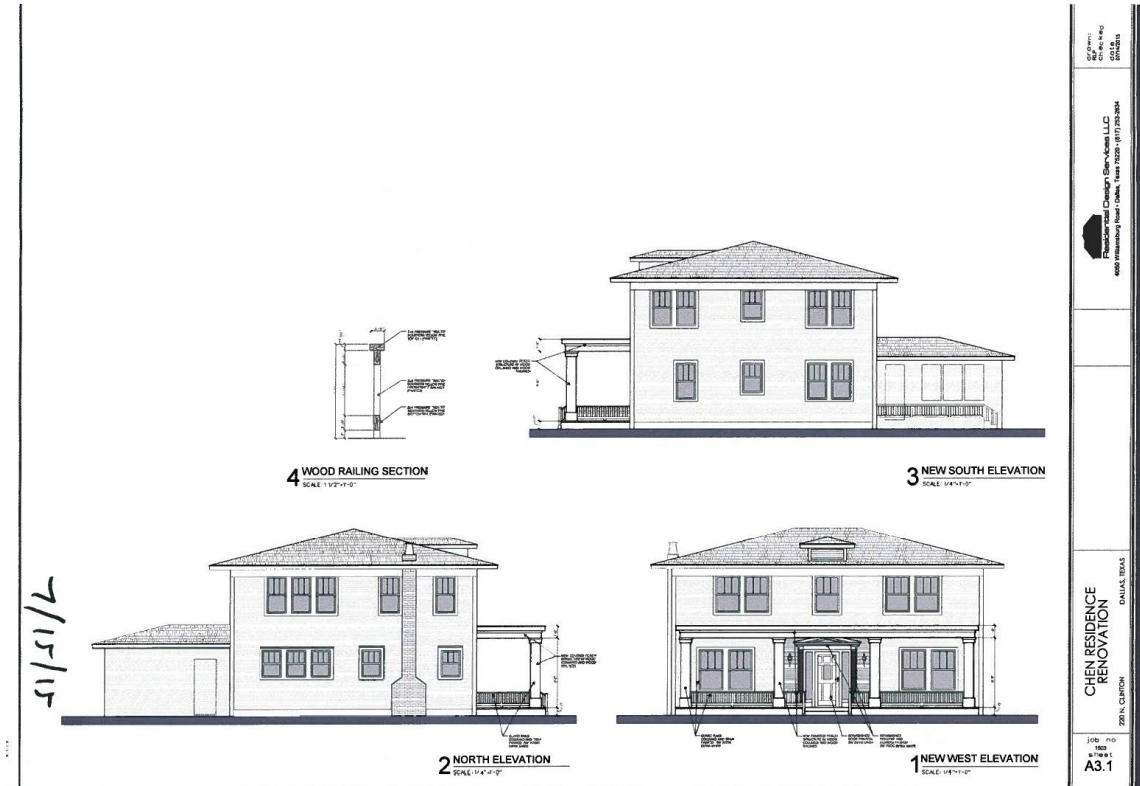


7/15/15

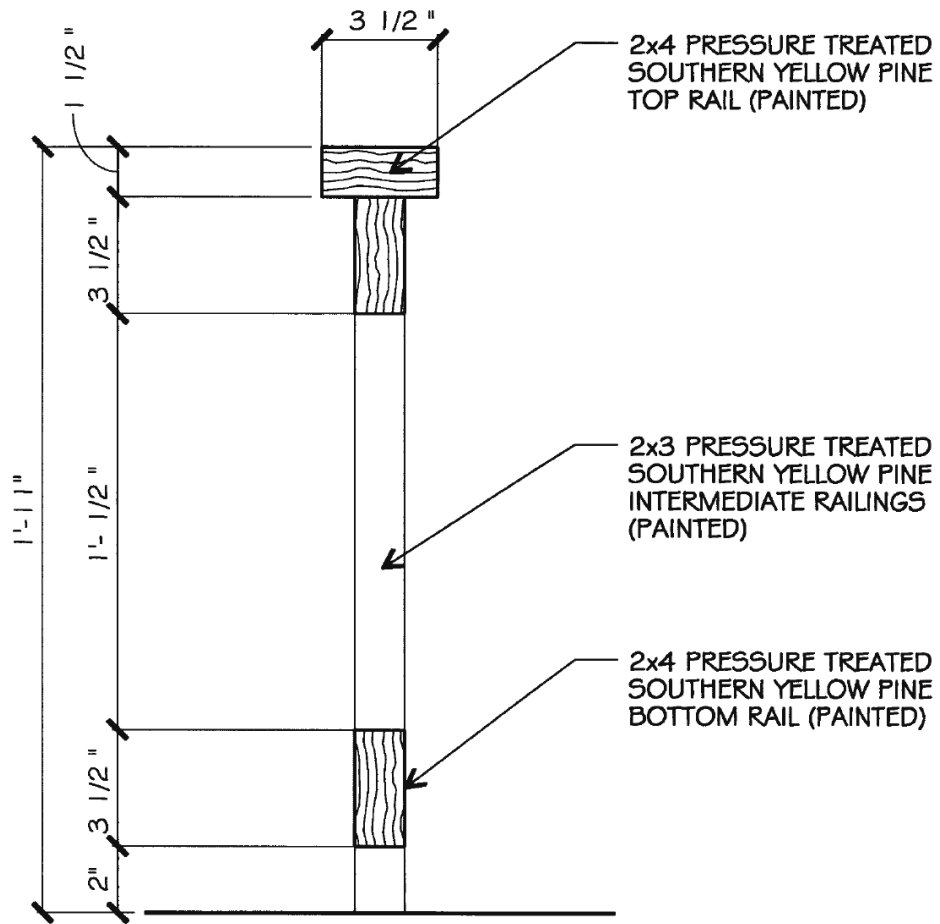
Proposed porch plan.



Option #1 – Porch with railing.



Option #2 – Porch without railing.

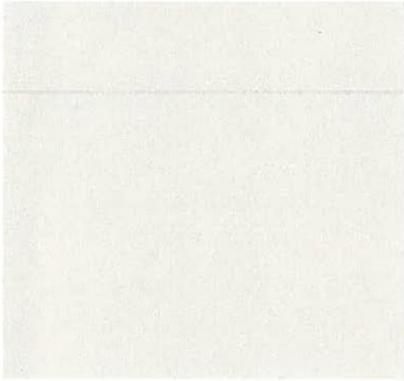


4 WOOD RAILING SECTION

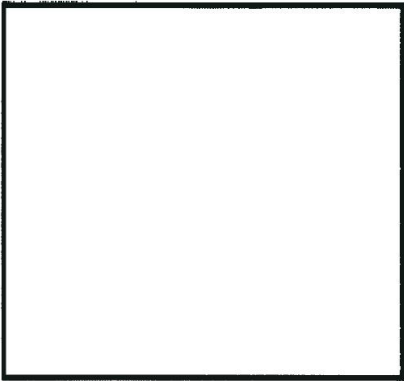
SCALE: 1 1/2"=1'-0"

7/15/15

Proposed railing detail.



**SW 7021 SIMPLE WHITE
(SIDING)**



**SW 7006 EXTRA WHITE
DOOR AND WINDOW TRIM**

6/17/15

Proposed paint specification.

TASK FORCE RECOMMENDATION REPORT

WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Robert Pross

PROPERTY ADDRESS: 220 N. Clinton (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

We support both options

Task force members present

☐ Jeffrey Fahrenholz (Chair)

☐ Garth Russo

☐ Les Hall

☐ Jeff Cummings (Vice-Chair)

☐ Barbara Roy (Alternate)

☒ Alfred Pena

☐ Bob Rodriguez

☒ Connie Marks (Alternate)

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION

AUGUST 3, 2015

FILE NUMBER: CA145-522(MD)
LOCATION: 127 N. Willomet Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD No. 87, Tract 1

PLANNER: Mark Doty
DATE FILED: July 2, 2015
DISTRICT: Winnetka Heights
MAPSCO: 54-F
CENSUS TRACT: 0046.00

APPLICANT: Zamudio Corp.

REPRESENTATIVE: Sergio Zamudio

OWNER: RAMIREZ LEONARD ALAN &

REQUEST:

Reconstruct garage in rear yard. Work completed without a Certificate of Appropriateness.

BACKGROUND / HISTORY:

4/6/2015 – Landmark Commission approved several items including a new addition, paint colors and removal of one window, however denied without prejudice installing new siding and a new front door (CA145-228(MD)).

5/4/2015 – Landmark Commission approved with conditions repairing/replacing wood windows, installing a garage door, composite wood siding on accessory structure, and a new fence with lattice work on the top (CA145-289(MD)).

7/6/2015 – Landmark Commission approved installation of a new front door design (CA145-438(MD)).

ANALYSIS:

Per the Applicant's email located on DX-, the structure, aside from one wall, collapsed during repair. Instead of contacting Staff after the collapse, the Applicant proceeded to reconstruct the garage in the same location and style.

Although Staff is not pleased that the Applicant proceeded to rebuild the majority of the structure without an approved Certificate of Appropriateness, the structure does meet the requirements on the Winnetka Heights preservation criteria, therefore Staff is recommending approval.

However, due to the proximity of the reconstruction to the sideyard setback, there may be an issue with gaining proper permits from Building Inspection.

STAFF RECOMMENDATION:

Reconstruct accessory structure in rear yard. Work completed without a Certificate of Appropriateness. – Approve - Approve with the finding of fact the completed work is consistent with the criteria for accessory buildings in the preservation criteria Section 51P-87.111(a)(1), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Reconstruct accessory structure in rear yard. Work completed without a Certificate of Appropriateness. No quorum. Comments only. We support the construction with the stipulation that the design matches the original design in materials, details, doors previously approved as that it meets all City of Dallas zoning ordinance requirements and codes.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 145 - 522 (MD)
Office Use Only

Name of Applicant: GERGIO ZAMUDIO
Mailing Address: 1362 CHEYENNE RD.
City, State and Zip Code: LEWISVILLE TX 75077
Daytime Phone: 817-715-1753 Fax: _____
Relationship of Applicant to Owner: GENERAL CONTRACTOR

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ____ No ____
Planner's Initials

PROPERTY ADDRESS: 127 N. WILLOMET DALLAS 75208
Historic District: WINNETKA HEIGHTS

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

REBUILT COLLAPSED GARAGE IN THE PROCESS OF REPAIRING
GARAGE (SEE 145.331 MD (CA) THE GARAGE COLLAPSED
3 NEW WALLS HAD TO BE CREATED, NEW ROOF AND
NEW SIDING MATCHING HOUSE WAS USED
PROFILE 117, SHINGLES MATCHING THE MAIN STRUCTURE
WERE ALSO INSTALLED

Signature of Applicant: _____

Date: JULY

RECEIVED BY

Signature of Owner: KAREN CANGEMI
(IF NOT APPLICANT)

Date: JULY 2, 2015

JUL 02 2015

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
☐ **DENIED.** Please do not release the building permit or allow work.
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation
Rev. 111408



East elevation of main structure.




Accessory structure before reconstruction.



Accessory structure after reconstruction.



Doty, Mark

From: Sergio Zamudio 
Sent: Thursday, July 02, 2015 11:29 AM
To: Doty, Mark
Subject: Garage issue
Attachments: image1.jpeg; ATT00001.txt

Hello mark I hope that u are well.

Well there are some issues with the garage at 127 n. Willomet.

1- I thought I was approved for new roof and siding(117) for the garage.

2-while performing the installation of the beams the garage roof cave in one wall also collapse and 2 others broke in have, only one wall survived, I was forced to rebuilt the broken walls and roof structure, I used the same shingles as the main structure and also used 117 siding.

It seems that with all the back and for ward issues on the rest of the structure I can't recall if I applied for a permit or not, so the city suggested to fill out another application for the landmark commission describing the work performed.

So I did it this morning, my question to you is what is the best route to follow.?

Attached is a picture of the inside of the garage as is now, Thx

TASK FORCE RECOMMENDATION REPORT

WINNETKA HEIGHTS / LAKE CLIFF

DATE: 7/8/2015

TIME: 5:30pm

MEETING PLACE: 1001 N. Bishop, Oak Cliff Chamber of Commerce,
Methodist Conference Room

APPLICANT NAME: Sergio Zamudio

PROPERTY ADDRESS: 127 N. Willomet (Winnetka Heights)

DATE of CA / CD REQUEST: 7/2/2015

RECOMMENDATION:

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

We support the construction with the stipulation that the design matches the original design in materials, details, doors previously approved as well as that it meets all City of Dallas zoning ordinance requirements and codes

Task force members present

<input type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Garth Russo	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Les Hall	<input type="checkbox"/> Jeff Cummings (Vice-Chair)	<input type="checkbox"/> Connie Marks (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Bob Rodriguez	

Ex Officio staff members present ☒ Mark Doty ☐

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.