



**CITY OF DALLAS**  
**LANDMARK COMMISSION**  
Monday, February 6, 2017  
**AGENDA**

**BRIEFINGS: AGENDA**

Dallas City Hall  
1500 Marilla St., Room 5/E/S

**10:00 A.M.**

**PUBLIC HEARING:**

Dallas City Hall  
1500 Marilla St., Council Chambers, 6<sup>th</sup> floor

**1:00 P.M.**

David Cossum, Director  
Mark Doty, Chief Planner Historic Preservation  
Jennifer Anderson, Senior Planner  
Liz Casso, Senior Planner  
Eric Hill, Planner  
Marsha Prior, Planner

**BRIEFING ITEM**

\*The Landmark Commission may be briefed on any item on the agenda if it becomes necessary.

1. It's Election Season: What You Need to Know as a Board or Commission Member." – Casey Burgess, Asst. City Attorney."

**CONSENT ITEMS**

**1. 1007 Moreland Ave**

Peak's Suburban  
CE167-004(PT)  
Pam Thompson

**Request:**

A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

**Applicant:** Patricia Simon

**Application filed:** January 5, 2017

**Staff Recommendation:** Approval of the Certificate of Eligibility

**2. 1620 1ST AVE**

Fair Park Historic District  
CA167-158(MD)  
Mark Doty

**Request:**

1. Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad.
2. Hall of Domestic Arts (Science Place II) - Install bike



## Landmark Commission Agenda Monday, February 6, 2017

parking signage at front of building.

**Applicant:** Russ Berger Design Group - Daniel Butko

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad. Approve drawings dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Hall of Domestic Arts (Science Place II) - Install bike parking signage at front of building. Approve drawings dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad. No quorum. Comments only. Supportive.
2. Hall of Domestic Arts (Science Place II) - Install bike parking signage at front of building. No quorum. Comments only. We support with the suggestion that the bicycle sign be moved to the west approx. 2 feet away from the existing historical step.

### 3. 2036 COMMERCE ST

Bluitt Sanitarium-Aspley Building  
CA167-178(LC)  
Liz Casso

**Request:**

1. Add six window openings on west elevation.
2. Remove door opening on west elevation.
3. Replace roll-up door on south elevation with two window openings.
4. Add door opening on south elevation.
5. Add security lighting on west and south elevations.
6. Construct rooftop mechanical room and penthouse.
7. Install continuous skylight curb on roof.
8. Relocate HVAC compressors on roof.

**Applicant:** A Gruppo Architects - Thad Reeves AIA

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Add six window openings on west elevation. Approve drawings dated 1/19/17 with the condition that the windows may be two-over-two or one-over-one, and with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Remove door opening on west elevation. Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Replace roll-up door on south elevation with two window openings. Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

## Landmark Commission Agenda

### Monday, February 6, 2017

4. Add door opening on south elevation. Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
5. Add security lighting on west and south elevations. Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
6. Construct rooftop mechanical room and penthouse. Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for new construction and additions in Sections 8.1, 8.3 and 8.7, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
7. Install continuous skylight curb on roof. Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for roofs in Section 6.4, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
8. Relocate HVAC compressors on roof. Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for roofs in Section 6.4, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

#### **Task Force Recommendation:**

1. Add six window openings on west elevation. Approve with the following conditions: 1) Narrow window on west facade be redesigned or eliminated. 2) Level two and three should be one-over-one; the basement is ok.
2. Remove door opening on west elevation. Approve as submitted.
3. Replace roll-up door on south elevation with two window openings. Approve as submitted.
4. Add door opening on south elevation. Approve as submitted.
5. Add security lighting on west and south elevations. Approve as submitted.
6. Construct rooftop mechanical room and penthouse. Approve with the following condition: Penthouse should be lowered as much as possible. South elevation compatible brick and mortar, other elevations to be metal non corrugated siding.
7. Install continuous skylight curb on roof. Approve as submitted.
8. Relocate HVAC compressors on roof. Approve with the following condition: Move mechanical equipment as close as possible to sky lights.

#### **4. 401 N CARROLL AVE** Crockett Elementary School

#### **Request:**

1. Install metal bike rack.

Landmark Commission Agenda  
Monday, February 6, 2017

CA167-170(LC)  
Liz Casso

2. Construct metal carports.
3. Install 6'-0" metal picket fence and sliding gates around parking lot.
4. Repaint parking stripes in parking lot.

**Applicant:** Crockett School Multifamily, LLC

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Install metal bike rack. Approve drawing and image dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Construct metal carports. Approve drawing and images dated 1/18/17 with the finding that although the proposed work does not comply with Section 4.1 that states the form, materials, general exterior appearance, color, and details of any new accessory buildings must be compatible with the existing historic structure, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is historically accurate, it is consistent with the spirit and intent of the preservation criteria and it will not adversely affect the historic character of the property or the integrity of the historic overlay district.
3. Install 6'-0" metal picket fence and sliding gates around parking lot. Approve drawing and images dated 1/18/17 with the finding that although the proposed work does not comply with Section 2.7 that states that no fences are permitted in the no-build zone, except as required for school security, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is historically accurate, is consistent with the spirit and intent of the preservation criteria and it will not adversely affect the historic character of the property or the integrity of the historic overlay district.
4. Repaint parking stripes in parking lot. Approve drawing dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Install metal bike rack. Approved as submitted.
2. Construct metal carports. Approved as submitted.
3. Install 6'-0" metal picket fence and sliding gates around parking lot. Approved as submitted.
4. Repaint parking stripes in parking lot. Approved as submitted.

**5. 1907 ELM ST**

Harwood Historic District, Majestic Theatre  
CA167-171(LC)  
Liz Casso

**Request:**

1. Install new storefront systems on the south and west elevations.
2. Install canopy over main entry on south elevation.
3. Install retractable awnings on the first floor of the south and west elevations.

**Applicant:** Merriman Anderson Architects - Patrick Hazard

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Install new storefront systems on the south and west elevations. Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Install canopy over main entry on south elevation. Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Install retractable awnings on the first floor of the south and west elevations. Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Install new storefront systems on the south and west elevations. Approved as submitted with conditions: Owner to remove paint from all bronze window surrounds on the first floor (ground level) of Elm and St. Paul Streets. Approved as submitted with conditions: Owner to remove paint from all bronze window surrounds on the first floor (ground level) of Elm and St. Paul Streets.
2. Install canopy over main entry on south elevation. Approved as submitted with conditions: Canopy materials to be provided and submitted for approval.
3. Install retractable awnings on the first floor of the south and west elevations. Approved as submitted with conditions: Canopy materials to be provided and submitted for approval.

**6. 702 LIPSCOMB AVE**

Junius Heights Historic District  
CA167-167(MP)  
Marsha Prior

**Request:**

Replace sliding glass door on left side elevation with double French doors.

**Applicant:** Tracy Lawson

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Replace sliding glass door on left side elevation with double French doors. Approve photos and specifications dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Replace sliding glass door on left side elevation with

double French doors. No comments, suggestions only; approve replacement.

**7. 725 RIDGEWAY ST**

Junius Heights Historic District  
CA167-160(MP)  
Marsha Prior

**Request:**

Remove dead oak tree from front parkway.

**Applicant:** Walter Pearson

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Remove dead oak tree from front parkway. Approve proposed work with the finding the removal of the tree is consistent with preservation criteria Section 3.5(c) and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Remove dead oak tree from front parkway. No quorum, comments only. Approve.

**8. 5411 WORTH ST**

Junius Heights Historic District  
CD167-008(MP)  
Marsha Prior

**Request:**

Demolish carport using the standard 'noncontributing structure because newer than period of significance.'

**Applicant:** Nora Drutz

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Demolish carport using the standard 'noncontributing structure because newer than period of significance.' Approve - the proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(D). The structure is noncontributing to the historic overlay district; the structure is newer than the period of historic significance for the historic overlay district; and demolition of the structure will not adversely affect the historic character of the property or the integrity of the historic overlay district.

**Task Force Recommendation:**

Demolish carport using the standard 'noncontributing structure because newer than period of significance.' No quorum, comments only. Yes to removal.

**9. 400 E 5TH ST**

Lake Cliff Historic District  
CA167-161(JKA)  
Jennifer Anderson

**Request:**

Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown."

**Applicant:** Sonya Eudaley

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown." Approve paint specifications dated 1-17-17 with the finding that the proposed work is consistent with preservation criteria Section 4.8(c) and

meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown." No quorum, comments only. Need paint chips and clarification of paint placement. Need more info.

**Request:**

Install 4 signs on main structure.

**Applicant:** PHP Carroll Mob, LP

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Install 4 signs on main structure. Approve sign specifications dated 01-21-2017 with the condition that the signs are front-lit. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**Task Force Recommendation:**

Install 4 signs on main structure. Approve with finding this is a non-contributing property.

**10. 1015 N CARROLL AVE**

Peak's Suburban Addition Neighborhood Historic District  
CA167-177(EH)  
Eric Hill

**11. 4300 JUNIUS ST**

Peak's Suburban Addition Neighborhood Historic District  
CA167-172(EH)  
Eric Hill

**Request:**

1. Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White".
2. Construct pent roof over rear entry on main structure.
3. Install iron fence along rear property line.

**Applicant:** David Malekan

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". Approve proposed work dated 01-05-2017 with the condition that the new balconies match the existing in profile and dimensions. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
2. Construct pent roof over rear entry on main structure. Approve proposed work dated 01-05-2017 with the condition that the tile material matches the existing on the main structure.. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
3. Install iron fence along rear property line. Approve site plan and fence specifications dated 01-05-2017 with the finding that the proposed work is consistent with the Preservation Criteria Sections 2.9 and 2.13 and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**12. 4304 JUNIUS ST**

Peak's Suburban Addition Neighborhood Historic District  
CA167-173(EH)  
Eric Hill

**Task Force Recommendation:**

1. Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". Approve with finding the balconies are on the rear elevation.
2. Construct pent roof over rear entry on main structure. Approve with the condition that specifications or sample of roof tile to be presented.
3. Install iron fence along rear property line. Approve.

**Request:**

1. Remove and replace existing second floor balcony on rear of main structure.
2. Construct pent roof over rear entry on main structure.

**Applicant:** David Malekan

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove and replace existing second floor balcony on rear of main structure. Approve proposed work dated 01-05-2017 with the condition that the new balconies match the existing in profile and dimensions. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
2. Construct pent roof over rear entry on main structure. Approve proposed work dated 01-05-2017 with the condition that the tile material matches the existing on the main structure.. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Remove and replace existing second floor balcony on rear of main structure. Approve with finding the balconies are on the rear elevation.
2. Construct pent roof over rear entry on main structure. Approve with condition that specifications or sample of roof tile to be provided by hearing.

**13. 4422 SWISS AVE**

Peak's Suburban Addition Neighborhood Historic District  
CA167-182(EH)  
Eric Hill

**Request:**

1. Construct four semi-detached residences.
2. Install landscaping and hardscaping in front and side yards.

**Applicant:** Miguel Ramirez

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Construct four semi-detached residences. Approve updated plans dated 01-19-2017 with the finding that the work is consistent with preservation criteria Section 4.2 and it meets the criteria in City Code Section 51A-4.501(g)(6)(C)(ii).
2. Install landscaping and hardscaping in front and side yards. Approve landscaping plan dated 01-19-2017



with the condition that the front yard fence is 50% open. The proposed landscaping and hardscaping is consistent with the Preservation Criteria Sections 2.3, 2.6 and 2.10 and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**Task Force Recommendation:**

1. Construct four semi-detached residences. Approve with condition a window is replaced with a door to the balcony. Door to be 15-lite door or other compatible style.
2. Install landscaping and hardscaping in front and side yards. Approve.

**14. 4602 SWISS AVE**

Peak's Suburban Addition Neighborhood Historic District  
CA167-175(EH)  
Eric Hill

**Request:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut.

**Applicant:** Jessica Hale

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut. Approve proposed stain specifications dated 01-05-2017 with the finding that the proposed staining specifications with not have an adverse effect on the historic overlay district. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**Task Force Recommendation:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut. Approve.

**15. 311 N MARKET ST**

West End Historic District  
CA167-169(LC)  
Liz Casso

**Request:**

Replace acorn street light toppers along N Market Street.

**Applicant:** Dallas Innovation Alliance - Jennifer Sanders

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Replace acorn street light toppers along N Market Street. Approve with the condition that the light fixtures will not include a decorative cage, and with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Replace acorn street light toppers along N Market Street. No quorum, comments only. - Generally ok with all options; don't use the decorative cage in 3rd option. No quorum, comments only. - Generally ok with all options; don't use the decorative cage in 3rd option.

**16. 3628 DUNBAR ST**

Wheatley Place Historic District  
CD167-007(MP)  
Marsha Prior

**Request:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code.



**Applicant:** City of Dallas Atty's Office - Andrew Gilbert

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code. Approve - The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the Applicant has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

**Task Force Recommendation:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code. Approve, but salvage siding or wood trim features and any other architectural elements. Approve - salvage siding or wood trim features and any other architectural elements.

**17. 223 S MONTCLAIR AVE**

Winnetka Heights Historic District  
CA167-163(JKA)  
Jennifer Anderson

**Request:**

Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate."

**Applicant:** Tom Perkins

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate." Approve paint specifications dated 01-17-17 with the finding that the proposed work is compatible with the historic overlay district and meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

**Task Force Recommendation:**

Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate." No quorum, comments only. Support.

**18. 402 S MONTCLAIR AVE**

Winnetka Heights Historic District  
CA167-162(JKA)  
Jennifer Anderson

**Request:**

Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray."

**Applicant:** Stephanie Matthews

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray." Approve paint specifications dated 01-17-17 with the finding that the work is consistent

## Landmark Commission Agenda Monday, February 6, 2017

with preservation criteria Section 51P-87.111(a)(8) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray." No quorum, comments only. Support.

### 19. 400 N WILLOMET AVE

Winnetka Heights Historic District  
CA167-166(JKA)  
Jennifer Anderson

**Request:**

Install GAF Timberline composition shingles in color "Charcoal" on the main structure.

**Applicant:** Gregory Bussey

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Install GAF Timberline composition shingles in color "Charcoal" on the main structure. Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 51P-87.111(a)(8)(E) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Install GAF Timberline composition shingles in color "Charcoal" on the main structure. No quorum, comments only. Support.

### 20. 237 S WINDOMERE AVE

Winnetka Heights Historic District  
CA167-186(JKA)  
Jennifer Anderson

**Request:**

Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure.

**Applicant:** Ty Boland

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure. Approve specifications dated 1/17/17 with the finding that the proposed work is consistent with preservation criteria Section 51P-87.111(a)(14)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure. No quorum, comments only. Support.

## **COURTESY REVIEW ITEMS:**

### 1. 1907 ELM ST

Harwood Historic District, Tower Petroleum

**Request:**

Courtesy Review - Install a blade sign.

## Landmark Commission Agenda Monday, February 6, 2017

CR167-007(LC)  
Liz Casso

### 2. 6019 WORTH ST

Junius Heights Historic District  
CR167-004(MP)  
Marsha Prior

**Applicant:** Merriman Anderson Architects - Patrick Hazard

**Application Filed:**

**Staff Recommendation:**

Courtesy Review - Install a blade sign. Approve conceptually with the condition that the sign not be a plastic or metal can sign, that the use of exposed neon lighting be considered, and that final plans, elevations, and details are submitted for final Landmark Commission review

**Task Force Recommendation:**

Courtesy Review - Install a blade sign. Task Force supports concept of blade sign. Use configuration of original sign and support plate location. Do not use plastic or metal can sign. Suggest using exposed neon lighting.

**Request:**

1. Courtesy Review - Add second story addition.
2. Courtesy Review - Construct new porch with brick and wood columns.
3. Courtesy Review - Add brick chimney.
4. Courtesy Review - Remove vinyl siding and restore original wood siding.

**Applicant:** Quentin Hartley

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Courtesy Review - Add second story addition. Approve conceptually with condition that one-over-one windows on addition follow that shown in elevation drawings, that no glass block windows are installed and that the windows are true divided light, that the addition is moved back to the rear 50% mark, and that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
2. Courtesy Review - Construct new porch with brick and wood columns. Approve conceptually with condition that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
3. Courtesy Review - Add brick chimney. Approve conceptually with condition that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
4. Courtesy Review - Remove vinyl siding and restore original wood siding. Approve conceptually with condition that front gable follow elevation drawings with wood shake shingles, and that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.

**Task Force Recommendation:**

1. Courtesy Review - Add second story addition. No quorum, comments only. Suggest (a) working on

## Landmark Commission Agenda Monday, February 6, 2017

windows on 2nd story - void to solid ratio; (b) avoid frosted glass blocks on 2nd floor; (c) Add windows on side of 2nd floor.

2. Courtesy Review - Construct new porch with brick and wood columns. No quorum, comments only. Porch construction as proposed.
3. Courtesy Review - Add brick chimney. No quorum, comments only. Chimney constructed as proposed - height to be later submitted.
4. Courtesy Review - Remove vinyl siding and restore original wood siding. No quorum, comments only. Removal of vinyl approved.

### 3. 1801 N LAMAR ST

West End Historic District  
CR167-005(LC)  
Liz Casso

#### **Request:**

Courtesy Review - Construct a three-story addition.

**Applicant:** Craig Melde

**Application Filed:** January 5, 2017

#### **Staff Recommendation:**

Courtesy Review - Construct a three-story addition. Approve conceptually with the condition that the stone detailing on the parapet be simplified, and that final plans, elevations, and details are submitted for final Landmark Commission review.

#### **Task Force Recommendation:**

Courtesy Review - Construct a three-story addition. Task Force supports concept of vertical addition.

### 4. 515 ROSS AVE

West End Historic District  
CR167-008(LC)  
Liz Casso

#### **Request:**

Courtesy Review - Construct a three-story museum.

**Applicant:** OMNIPLAN ARCHITECTS

**Application Filed:** January 5, 2017

#### **Staff Recommendation:**

Courtesy Review - Construct a three-story museum. Approve conceptually with the condition that final plans, elevations, and details are submitted for final Landmark Commission review.

#### **Task Force Recommendation:**

Courtesy Review - Construct a three-story museum. Task Force's previous concerns have been addressed. Calculate solid to void ratio. Provide surface treatment of exterior horizontal surfaces. Task Force supports design.

## **DISCUSSION ITEMS:**

### 1. 5728 JUNIUS ST

Junius Heights Historic District  
CA167-183(MP)  
Marsha Prior

#### **Request:**

Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard.

**Applicant:** Bernard Ford

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard. Approve survey plat and photo dated 1/18/2017 with the condition that the finished side faces out if visible from the street with the finding the work is consistent with preservation criteria Section 3.6(a)(2) which allows Landmark Commission to approve fences beyond the 50% rear mark in side yards for security reasons and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard. No quorum, comments only. Approve to 50% mark.

## **2. 5540 VICTOR ST**

Junius Heights Historic District  
CA167-159(MP)  
Marsha Prior

**Request:**

1. Remove secondary door on front elevation and fill void with wood siding.
2. Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed.
3. Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed window, and infill with wood siding as needed.

**Applicant:** Doug Hathcock

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove secondary door on front elevation and fill void with wood siding. Deny without prejudice - the proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with preservation criteria Section 5.1 for historic doors and windows.
2. Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed. Approve drawings and specifications dated 1/18/2017 with condition that windows are wood rather than vinyl with the finding the work is consistent with preservation criteria Section 5.3 and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
3. Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed window, and infill with wood siding as needed. Approve drawings and specifications dated 1/18/2017 with condition that windows are wood rather than vinyl with the finding the work is consistent with preservation criteria Section 5.3 and meets the standard in City

Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Remove secondary door on front elevation and fill void with wood siding. No quorum, comments only. No - many of these homes in J.H. had two front doors.
2. Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed. No quorum, comments only. No to removal.
3. Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed window, and infill with wood siding as needed. No quorum, comments only. Removal ok as long as it is wood.

**3. 5411 WORTH ST**

Junius Heights Historic District  
CA167-168(MP)  
Marsha Prior

**Request:**

1. Remove three windows at rear of left side elevation, fill voids with siding, and paint.
2. Remove two windows at front of left side elevation, fill voids with siding, and paint.
3. Install eight vents along skirting on rear and side elevations.
4. Remove one tree and vegetation along left side elevation.

**Applicant:** Jeff & Nora Rogne

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove three windows at rear of left side elevation, fill voids with siding, and paint. Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
2. Remove two windows at front of left side elevation, fill voids with siding, and paint. Deny without prejudice - The proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with preservation criteria Section 5.1 for historic doors and windows.
3. Install eight vents along skirting on rear and side elevations. Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
4. Remove one tree and vegetation along left side elevation. Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Remove three windows at rear of left side elevation, fill voids with siding, and paint. No quorum, comments only. Approve removal of three back windows (15, 16, 17) and replace with 1/1 window over toilet.

**4. 428 E 6TH ST**

Lake Cliff Historic District  
CA167-187(JKA)  
Jennifer Anderson

2. Remove two windows at front of left side elevation, fill voids with siding, and paint. No quorum, comments only. Approve moving two windows on left side elevation (9 & 10) forward to allow bedroom to have windows. Measurements to be submitted.
3. Install eight vents along skirting on rear and side elevations. No quorum, comments only. Vents - yes.
4. Remove one tree and vegetation along left side elevation. No quorum, comments only. Tree removal - yes.

**Request:**

1. Remove carport on east side of the main structure.
2. Remove rear porch cover.
3. Remove west side window roof cover.
4. Replace two front doors.
5. Replace rear door.
6. Remove side door and steps and replace with window.
7. Replace aluminum windows on west side.
8. Replace siding on rear and sides of the main structure with brick to match existing.
9. Install GAF Timberline composition shingles in color "Weathered Wood."

**Applicant:** Robert Garza

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove carport on east side of the main structure. Approve site plan dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 3.5 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Remove rear porch cover. Approve site plan dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 4.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Remove west side window roof cover. Approve the photograph dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 6.3 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
4. Replace two front doors. Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 5.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
5. Replace rear door. Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 5.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
6. Remove side door and steps and replace with window.



## Landmark Commission Agenda

### Monday, February 6, 2017

Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the applicant has not met the burden of proof required to justify the work and because scaled elevation drawings have not been submitted.

7. Replace aluminum windows on west side. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the applicant has not met the burden of proof required to justify the work and because scaled elevation drawings have not been submitted.
8. Replace siding on rear and sides of the main structure with brick to match existing. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 8.1 stating that historic architectural features are protected and because Staff considers the original rear porch openings to be important historic architectural features.
9. Install GAF Timberline composition shingles in color "Weathered Wood." Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 6.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

#### **Task Force Recommendation:**

1. Remove carport on east side of the main structure. No quorum, comments only. Support.
2. Remove rear porch cover. No quorum, comments only. Support.
3. Remove west side window roof cover. No quorum, comments only. Support.
4. Replace two front doors. No quorum, comments only. Support. Needs pictures of doors.
5. Replace rear door. No quorum, comments only. Support.
6. Remove side door and steps and replace with window. No quorum, comments only. Support. Need brick and window specifications.
7. Replace aluminum windows on west side. No quorum, comments only. Support. Need window sizes.
8. Replace siding on rear and sides of the main structure with brick to match existing. Not reviewed by Task Force.
9. Install GAF Timberline composition shingles in color "Weathered Wood." No quorum, comments only. Support.



**5. 4805 WORTH ST**

Peak's Suburban Addition Neighborhood Historic District  
CA167-176(EH)  
Eric Hill

**Request:**

Replace two garage doors with single automatic garage door on accessory structure.

**Applicant:** Jason Riche

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Replace two garage doors with single automatic garage door on accessory structure. Approve proposed door specifications dated 1-21-16 with the finding that the proposed work is compatible with the historic overlay district and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**Task Force Recommendation:**

Replace two garage doors with single automatic garage door on accessory structure. Deny without prejudice - submitted door not appropriate

**6. 4406 SYCAMORE ST**

Peak's Suburban Addition Neighborhood Historic District  
CA167-179(EH)  
Eric Hill

**Request:**

1. Paint main structure. Work completed without Certificate of Appropriateness. Brand: Sherwin Williams. Color: Brick- SW7066 "Gray Matters", Wood siding- SW7064 "Passive", Trim/Fascia- SW7068 "Grizzle Gray".
2. Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness.
3. Construct 10'x10' shed in rear yard. Work completed without Certificate of Appropriateness.

**Applicant:** Asaf Bitton

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Paint main structure. Work completed without Certificate of Appropriateness. Brand: Sherwin Williams. Color: Brick- SW7066 "Gray Matters", Wood siding- SW7064 "Passive", Trim/Fascia- SW7068 "Grizzle Gray". Deny without prejudice - Deny completed work dated 01-21-2017 with the finding that painting of brick that has been previously unpainted is not compatible with the historic overlay district. The completed work does not meet the standard of City Code Section 51A-4.501(g)(6)(C)(ii).
2. Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness. Deny without prejudice - Deny completed work and window survey dated 01-21-2017 with the finding that the completed work is not compatible with the historic overlay district and does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(ii).
3. Construct 10'x10' shed in rear yard. Work completed

## Landmark Commission Agenda Monday, February 6, 2017

without Certificate of Appropriateness. Approve site plan dated 01-23-2017 with the finding that the completed accessory structure meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

### **Task Force Recommendation:**

1. Paint main structure. Work completed without Certificate of Appropriateness. Brand: Sherwin Williams. Color: Brick- SW7066 "Gray Matters", Wood siding- SW7064 "Passive", Trim/Fascia- SW7068 "Grizzle Gray". Approve with finding that the original modern three-color brick blend was not appropriate to the neighborhood.
2. Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness. Deny.
3. Construct 10'x10' shed in rear yard. Work completed without Certificate of Appropriateness. Approve.

### **7. 4604 SYCAMORE ST**

Peak's Suburban Addition Neighborhood Historic District  
CA167-180(EH)  
Eric Hill

### **Request:**

1. Re-frame roof on flat roof addition on rear of main structure.
2. Construct railing on 1st floor porch on front of the main structure.
3. Install cedar decking on front concrete porch.
4. Remove large tree on northeast side yard.
5. Extend existing concrete driveway 10' towards rear yard.

**Applicant:** Batts Holding Inc.

**Application Filed:** January 5, 2017

### **Staff Recommendation:**

1. Re-frame roof on flat roof addition on rear of main structure. Approve elevations dated 01-21-2017 with the finding that while the proposed work does not comply with Preservation Criteria Section 3.16, the updated roof plan is consistent with the spirit and intent of the preservation criteria and the proposed work will not adversely affect the historic character of the property. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
2. Construct railing on 1st floor porch on front of the main structure. Approve elevations dated 01-21-2017 with the condition that the porch railings are a maximum 30" in height and matches the dimensions and profile of the 2nd story balcony rails. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
3. Install cedar decking on front concrete porch. Deny proposed porch flooring with the finding that the work does not comply with the preservation criteria Section 3.19 and does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i).

4. Remove large tree on northeast side yard. Approve engineering report and arborist statements dated 01-21-2017. The proposed work is consistent with the Preservation Criteria Section 2.8 and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
5. Extend existing concrete driveway 10' towards rear yard. Approve proposed work and site plan dated 01-21-2017 with the condition that the new section matches exactly the material, width, and color of the existing. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Re-frame roof on flat roof addition on rear of main structure. Approve.
2. Construct railing on 1st floor porch on front of the main structure. Approve with condition max height of railing to be 30" maximum and use 2x2 squared balusters between 2x4 top and bottom rails.
3. Install cedar decking on front concrete porch. Approve with condition - Flooring should be tongue & groove and provide detail on edge condition.
4. Remove large tree on northeast side yard. Approve with condition of inspection of arborist. With finding that the tree is likely to impact the foundation of structure.
5. Extend existing concrete driveway 10' towards rear yard. Approve.

**8. 2635 SOUTH BLVD**

South Blvd/Park Row Historic District  
CA167-184(MP)  
Marsha Prior

**Request:**

Paint exterior brick elevations. Brand: Sherwin Williams, SW 6327 'Bold Brick.'

**Applicant:** Ginger Sanchez

**Application Filed:** January 5, 2017

**Staff Recommendation:**

Paint exterior brick elevations. Brand: Sherwin Williams, SW 6327 'Bold Brick.' Approve with the condition that no cast stone elements are painted with the findings that the recommended brick cleaning product failed to remove old paint and the proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

Paint exterior brick elevations. Brand: Sherwin Williams, SW 6327 'Bold Brick.' Approve with condition that mock-up of paint stripping is presented to Landmark; paint brick color Georgian Brick by Benjamin Moore. Do not paint cast stone elements; recommend cleaning these.

**9. 2608 HIBERNIA ST**

State Thomas Historic District  
CA167-181(EH)  
Eric Hill

**Request:**

1. Install window on side elevation in rear 50% of main structure.
2. Install A/C unit in rear yard.

3. Install sign in front yard.

**Applicant:** Eric Marye

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Install window on side elevation in rear 50% of main structure. Approve elevation dated 01-21-2017 with the finding that while the completed work is inconsistent with the preservation criteria Section 51P-225.109(a)(3) it is located in the rear 50% of the side facade and not easily visible from the public right of way. The completed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
2. Install A/C unit in rear yard. Approve site plan dated 01-21-2017 with the finding that the proposed work is consistent with the preservation criteria. The completed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
3. Install sign in front yard. Deny without prejudice - Deny site plan and proposed work dated 01-21-2017 with the finding that the applicant has not met the burden of proof that it is consistent with preservation criteria Section 51P-225.107(h)(2)(A) it does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**Task Force Recommendation:**

1. Install window on side elevation in rear 50% of main structure. Approve Vote was 3-1. Ms. Hearst felt that the window is not appropriate in its current location.
2. Install A/C unit in rear yard. Approve.
3. Install sign in front yard. Approve with condition that the sign meets the requirements stated in the ordinance. Defer to Landmark Commission on placement.

**Request:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness.
2. Install window on south side of the main structure where door and sidelights were removed by previous owner.
3. Install 8' wood fence in side yard of the main structure.

**Applicant:** Jeff Blackwell

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness. Deny without prejudice - The completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since the applicant did not meet the burden of proof required

#### **10. 215 S CLINTON AVE**

Winnetka Heights Historic District  
CA167-165(JKA)  
Jennifer Anderson

to show that the door or the door opening was not original to the home.

2. Install window on south side of the main structure where door and sidelights were removed by previous owner. Deny without prejudice - The completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since the applicant did not meet the burden of proof required to show that the door or the door opening was not original to the home.
3. Install 8' wood fence in side yard of the main structure. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since fences that conceal the cornerside facade are not typically found in the historic overlay district.

**Task Force Recommendation:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness. No quorum, comments only. Support work. Believe door was not original.
2. Install window on south side of the main structure where door and sidelights were removed by previous owner. No quorum, comments only. Not applicable [due to support of Option #1].
3. Install 8' wood fence in side yard of the main structure. No quorum, comments only. Not applicable [due to support of Option #1].

**Request:**

1. Remove door on south side of the main structure.
2. Install wood railing on front porch.

**Applicant:** Jeff Blackwell

**Application Filed:** January 5, 2017

**Staff Recommendation:**

1. Remove door on south side of the main structure. Deny without prejudice - The work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with preservation criteria Section 51P-87.111 (a)(17)(F)(iii) stating that all windows, doors, and lights in the side facades of the main building must be typical of the style and period of the building, and because the applicant has not met the burden of proof required to show that the door was not an original feature on the main structure.
2. Install wood railing on front porch. Deny without prejudice - the proposed work does not meet the standards in City Code Section 5A-4.501(g)(6)(C)(i)

**11. 200 N WINDOMERE AVE**

Winnetka Heights Historic District  
CA167-164(JKA)  
Jennifer Anderson

because it is not consistent with preservation criteria Section 51P-87.111(a)(11)(A) stating that railings on front porches must be typical of the style and period of the main building and because the applicant has not met the burden of proof required to prove that railings were an original feature on the main structure. The proposed work is also not consistent with City Code Section 51A-4.501 because it is inconsistent with City Code Section 51A-4.501(e)(4)(C) stating that the addition of conjectural features or architectural elements from other buildings will not be undertaken.

**Task Force Recommendation:**

1. Remove door on south side of the main structure. No quorum, comments only. Support.
2. Install wood railing on front porch. No quorum, comments only. Support. Show context and find similar examples.

**12. 1923 N. Edgefield Avenue**

Hold a public hearing to consider initiation of historic designation process for 1923 N. Edgefield Avenue.

**Owner:** Industrial Building Corporation

**13. 1601 Chalk Hill Road**

Hold a public hearing to consider initiation of historic designation process for 1601 Chalk Hill Road (Eagle Ford School).

**Owner:** New Micros Inc.

**OTHER BUSINESS ITEMS:**

Consideration by Landmark Commission to send a letter to Business Development and Procurement Office regarding the RFP to hire a Consultant for the Development of Specifications Management and Operations of Fair Park.

Approval of Minutes from January 9, 2017.

**ADJOURNMENT**

**DESIGNATION COMMITTEE:**

The Landmark Commission Designation Committee is scheduled to meet on Wednesday, February 16, 2017, 5:45 p.m., at the Wilson House Dining Room (Preservation Dallas), 2922 Swiss Avenue.

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at [www.ci.dallas.tx.us/cso/boardcal.shtml](http://www.ci.dallas.tx.us/cso/boardcal.shtml). Please review the official agenda for location and time.

**EXECUTIVE SESSION NOTICE**

The Commission may hold a closed executive session regarding any item on this agenda when:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the Commission/Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex, Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]

discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt. Code §551.086]





## LANDMARK COMMISSION

FEBRUARY 6, 2017

**FILE NUMBER:** CE167-004(PT)

**PLANNER:** Pam Thompson

**LOCATION:** 1007 Moreland Ave

**DATE FILED:** 1/5/2017

**COUNCIL DISTRICT:** 2

**DISTRICT:** Peak's Suburban

**SIZE OF REQUEST:** 3,568

**MAPSCO:** 46-A

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**APPLICANT:** Patricia Simon, registered agent and manager of Simcoe, LLC

**OWNER:** SIMCOE LLC

**REQUEST:** A Certificate of Eligibility (CE) for a tax exemption on 100 percent of land and improvements for a period of ten years.

**SUMMARY:** This single-family house was built in 1902 and is a contributing structure in the historic district.

In Revitalizing Historic Districts, property owners are eligible to receive an exemption based on rehabilitation on 100 percent of the land and improvement value on the city portion of the property taxes for a period of 10 years. This exemption requires that rehabilitation completed on the property must be, at minimum, 25 percent of the pre-rehabilitation improvement value.

Improvements Value (2016):	\$42,250
Land Value:	\$37,130
Required Expenditures:	\$10,563
Estimated Expenditures:	\$338,900
Estimated Total Exemption:	\$6,211

Notes on the estimated exemptions:

\* The estimated value after rehabilitation does not account for any increase in value due to appreciation.

\*\* Tax estimates are based on the new city tax rate of 0.7825%. Properties with homestead exemptions are assumed to increase in taxable value at the capped rate of 10% until they reach the "estimated new value after rehabilitation".

The Landmark Commission may approve expenditures made up to three years prior to the Landmark Commission's approval of a Certificate of Eligibility. A default completion date will be February 5, 2020. The Certificate of Eligibility shall expire if the rehabilitation work has not been completed by that time.

**STAFF RECOMMENDATION:** Approval of the Certificate of Eligibility.

# Historic Tax Exemption Application

## Step 1 – Application for a Certificate of Eligibility

### Property Information

Property Address: 1007 MORELAND AVENUE, DALLAS, TX 75204

Legal description: Lot PT 4 Block 1/769

Provide a metes and bounds attachment if no lot and block can be determined.

Building name (if applicable): N/A

Historic district or pending historic district: PEAK'S SUBURBAN DISTRICT

Year the historic structure was built: 1902

Is this a contributing structure? YES

### Owner Information

Please list all of the property owner(s): SIMCOE, LLC

Mailing address: 4519 GASTON AVENUE, DALLAS, TX 75246

City, state and zip code: DALLAS, TX 75246

Phone number: 214-938-4533 Fax number: \_\_\_\_\_

Email: pasimon@swbell.net

### Applicant Information (if different then the property owner)

Applicant name: Patricia Simon

Mailing address: 4519 Gaston Avenue

City, state and zip code: Dallas, TX 75246

Phone number: 214-938-4533 Fax number: \_\_\_\_\_

Email: pasimon@swbell.net

### Rehabilitation Information

Estimated Rehabilitation Investment: \$500,000

Current Use: Single family home Proposed Use: Same

For any exterior work, has a Certificate of Appropriateness (CA) been approved yet? Yes

If not, when will the application for a CA be considered? \_\_\_\_\_

Projected Construction Time and Estimated Date of Completion: ~1 year - July 2017 ??

**Lien Holder Information (if applicable)**

Primary mortgage company: N/A  
Contact person: \_\_\_\_\_  
Correspondence address: \_\_\_\_\_  
Secondary mortgage company: \_\_\_\_\_  
Contact person: \_\_\_\_\_  
Correspondence address: \_\_\_\_\_  
Other lienholder: \_\_\_\_\_  
Contact person: \_\_\_\_\_  
Correspondence address: \_\_\_\_\_

**Financial Information**

The following information can be obtained from the Dallas Central Appraisal District website ([www.dallascad.org](http://www.dallascad.org) and click search for appraisals). The City of Dallas will use the tax values for the year prior to the application being made.

The date this application is submitted to the city: January 4, 2017  
Improvement Value: \$ 42,250  
Land Value: \$ 37,130  
Has the property received any previous tax relief? If so, please explain: NO  
Is this in a TIF district? NO

\*\* Please attach a copy of the dallascad.org account information for the property to this application\*\*

**If Applying for an Urban Historic District Conversion Exemption**

Total Building Square Footage: \_\_\_\_\_  
Retail Square Footage: \_\_\_\_\_  
Office Square Footage: \_\_\_\_\_  
Residential Square Footage: \_\_\_\_\_  
Number of Jobs Created: \_\_\_\_\_



## Type of Exemption that is being applied for:

Category		Type	Required Expenditures (% of pre-rehab value of structure)	Amount (portion of land and structure)	Duration	Renewable (façade expenditures only)
<b>Urban Historic Districts</b> Includes all properties located within the Urban historic district area shown on the last page of the Information packet	<input type="checkbox"/>	Based on Rehab	75%	100%	10 years	Yes
	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Residential / ground floor conversion	50% must be converted to residential and 65% of ground floor must be converted to retail	100%	5 years	No

**\*\* A Residential / Ground Floor Conversion exemption may be applied for in addition to an exemption Based on Rehab**

Category		Type	Required Expenditures (% of pre-rehab value of structure)	Amount	Duration	Renewable (façade expenditures only)
<b>Revitalizing Historic Districts</b> Includes properties located in: <ul style="list-style-type: none"> <li>Junius Heights</li> <li>Lakecliff</li> <li>Peak's Suburban</li> <li>South Blvd. / Park Row</li> <li>Winnetka Heights</li> </ul>	<input checked="" type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures (% of pre-rehab value of structure)	Amount	Duration	Renewable (façade expenditures only)
<b>Endangered Historic Districts</b> <ul style="list-style-type: none"> <li>10<sup>th</sup> Street</li> <li>Wheatley Place</li> </ul>	<input type="checkbox"/>	Based on Rehab	25%	100%	10 years	Yes

Category		Type	Required Expenditures (% of pre-rehab value of structure)	Amount	Duration	Renewable (façade expenditures only)
<b>Citywide</b> Includes properties located in: <ul style="list-style-type: none"> <li>Munger Place</li> <li>State Thomas</li> <li>Swiss Avenue</li> <li>All properties not located within the Urban, Endangered or Revitalizing historic districts</li> </ul>	<input type="checkbox"/>	Based on Rehab	50%	Added Value	10 years	Yes
	<input type="checkbox"/>	Endangered Property (Landmark Commission must find that this property is endangered.)	25%	100%	10 years	Yes

Category		Type	Required Expenditures (% of pre-rehab value of structure)	Amount	Duration	Renewable
<b>Citywide – maintenance</b> Includes properties in all historic districts	<input type="checkbox"/>	Maintenance	3%	Added Value	3 years	Yes

Category		Type	Requirement	Amount	Duration	Renewable
<b>Ownership by a non-profit entity open to the public</b>	<input type="checkbox"/>	Non-profit	Be a contributing structure in the district, and be a designated historic landmark that is open to the public and is operated by a non-profit with 501(c)(3) status. See Sec 51A-11.207 for other requirements	100%	As long as the building is owned by a non-profit entity and is open to the public	Annually

PLEASE NOTE: All tax exemption approvals that accumulatively (new applications and renewals) will receive exemptions totaling in excess of \$50,000 will have to be approved by both the Landmark Commission and the City Council.









C1-7



Certificate of Appropriateness Application



1007 Moreland Avenue





CE167-004(PT)



Certificate of Appropriateness Application



1007 Moreland Avenue

C1-8





CE167-004(PT)

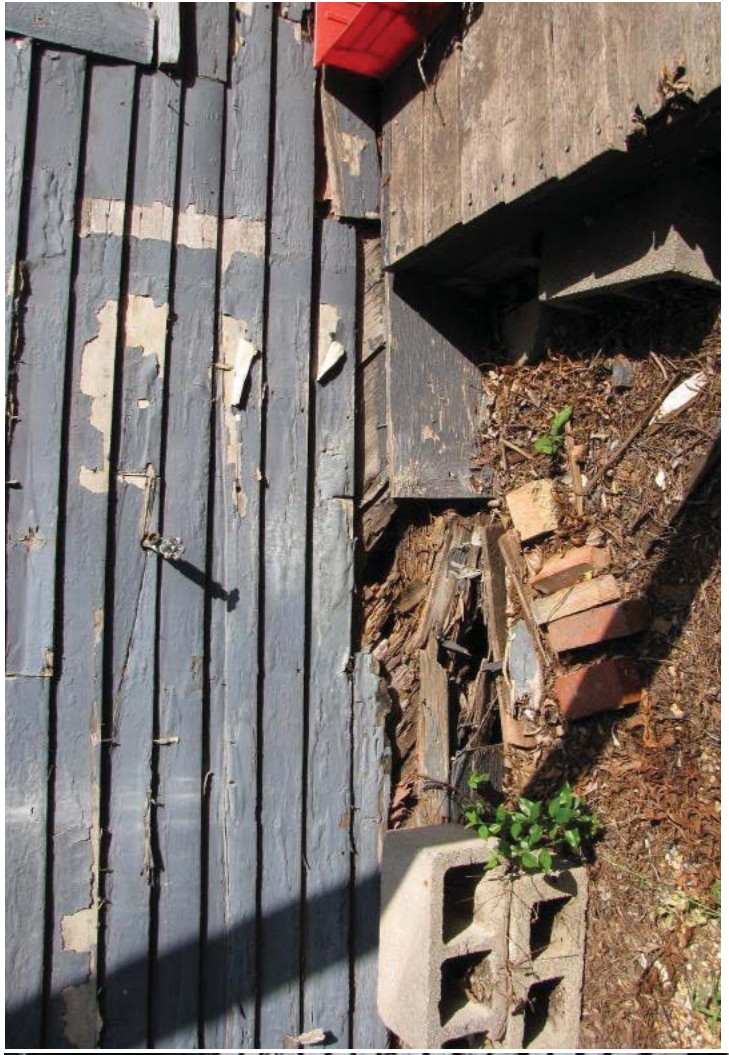
C1-9



Certificate of Appropriateness Application

1007 Moreland Avenue





1007 Moreland Avenue



CE167-004(P1)



C1-10

Certificate of Appropriateness Application





CE167-004(PT)

C1-11





1007 Moreland Avenue



Certificate of Appropriateness Application





CE167-004(PT)

C1-13









CE167-004(PT)

C1-15



Certificate of Appropriateness Application

1007 Moreland Avenue





CE167-004-PT

C1-16



Certificate of Appropriateness Application



1007 Moreland Avenue

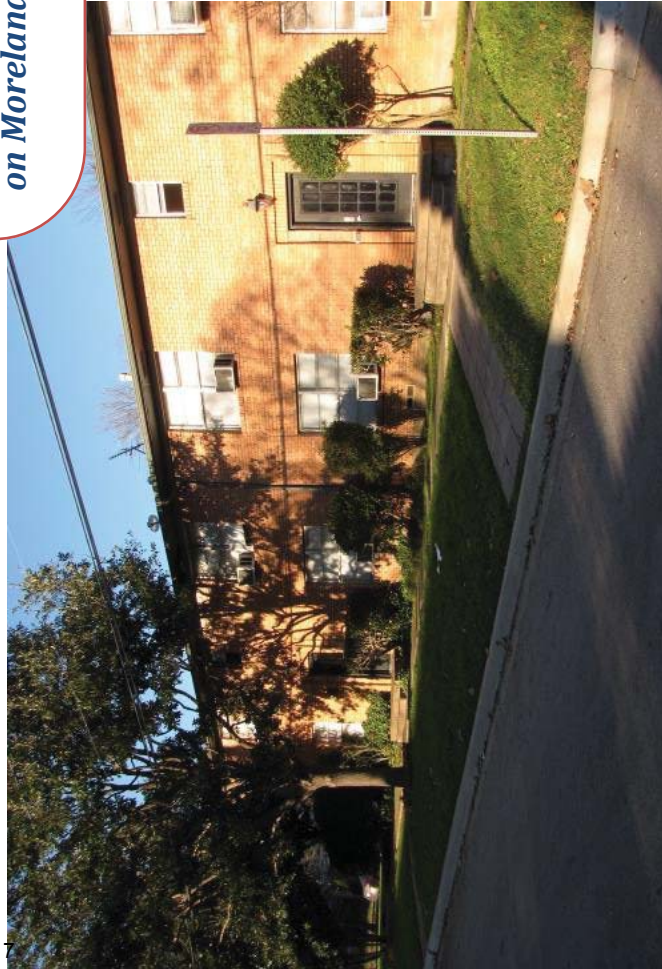


CE167-004(PT)



C1-17

*Neighboring Properties  
on Moreland and on Swiss*



Certificate of Appropriateness Application



1007 Moreland Avenue



## Statement of Understanding

THE STATE OF Texas §  
COUNTY OF Dallas §

I certify that the information in this application for a tax exemption, including all supporting documentation, is complete and correct.

I authorize members of the Landmark Commission and city officials to visit and inspect the property as necessary to certify eligibility and verification for a tax exemption.

I acknowledge that I have read and understand the program regulations, and that I will not receive an exemption until all program requirements have been met and a letter of verification obtained.

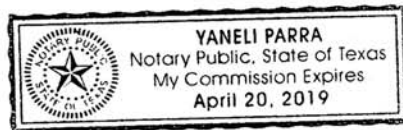
I understand that all rehabilitation work must be completed by the time specified by the Landmark Commission (or within 3 years after the date of the Landmark Commission's determination of eligibility if a completion date was not specified). If the deadline for completion is subsequently extended by the Landmark Commission, all rehabilitation work must be completed by the extended time specified. I understand that penalties may apply if I do not complete the work.

I understand that I must make an annual application to Dallas Central Appraisal District each year in order to receive the exemption for that year, and that if I do not make the application in time, I will lose the ability to receive a tax exemption for that year.

Owner's Name: PATRICIA A. SIMON  
Owner's Signature: Patricia A. Simon

This instrument was acknowledged before me on October 14, 2016  
by (print name of owner) Patricia A. Simon

Notary stamp



Yaneli Parra  
Notary Signature



## Residential Account #00000124189000000

[Location](#)
[Owner](#)
[Legal Desc](#)
[Value](#)
[Main Improvement](#)
[Additional Improvements](#)
[Land](#)
[Exemptions](#)  
[Estimated Taxes](#)
[History](#)

### Property Location (Current 2017)

**Address:** 1007 MORELAND AVE  
**Neighborhood:** 1DSD07  
**Mapsc:** 46-A (DALLAS)

### DCAD Property Map

### 2016 Appraisal Notice

### Electronic Documents (ENS)

### File Homestead Exemption Online



### Print Homestead Exemption Form

### Owner (Current 2017)

SIMCOE LLC  
 4519 GASTON AVE  
 DALLAS, TEXAS 752461007

### Multi-Owner (Current 2017)

Owner Name	Ownership %
SIMCOE LLC	100%

### Legal Desc (Current 2017)

- 1: A C ARDREYS
- 2: BLK 1/769 PT LT 4
- 3: 59X150X25X75X34X75
- 4: INT201300370809 DD12042013 CO-DC
- 5: 0769 001 00400 1DA0769 001

**Deed Transfer Date:** 12/5/2013

### Value

2016 Certified Values	
<b>Improvement:</b>	\$42,250
<b>Land:</b>	+ \$37,130
<b>Market Value:</b>	= \$79,380
<b>Revaluation Year:</b>	2016
<b>Previous Revaluation Year:</b>	2014

### Main Improvement (Current 2017)

<b>Building Class</b>	04	<b>Construction Type</b>	FRAME	<b># Baths (Full/Half)</b>	4/1
<b>Year Built</b>	1936	<b>Foundation</b>	BRICK	<b># Kitchens</b>	1
<b>Effective Year Built</b>	1990	<b>Roof Type</b>	GABLE	<b># Bedrooms</b>	4
<b>Actual Age</b>	81 years	<b>Roof Material</b>	COMP SHINGLES	<b># Wet Bars</b>	0
<b>CEiling (Ft)</b>	MANUALLY ENTER	<b>C1Fence Type</b>	WOOD	<b># Fireplaces</b>	1

	DEPRECIATION				
<b>Living Area</b>	4,012 sqft	<b>Ext. Wall Material</b>	FRAME	<b>Sprinkler (Y/N)</b>	N
<b>Total Area</b>	4,012 sqft	<b>Basement</b>	NONE	<b>Deck (Y/N)</b>	N
<b>% Complete</b>	40%	<b>Heating</b>	CENTRAL FULL	<b>Spa (Y/N)</b>	N
<b># Stories</b>	TWO STORIES	<b>Air Condition</b>	CENTRAL FULL	<b>Pool (Y/N)</b>	N
<b>Depreciation</b>	0%			<b>Sauna (Y/N)</b>	N

## Additional Improvements (Current 2017)

No Additional Improvements.

## Land (2016 Certified Values)

#	State Code	Zoning	Frontage (ft)	Depth (ft)	Area	Pricing Method	Unit Price	Market Adjustment	Adjusted Price	Ag Land
1	SINGLE FAMILY RESIDENCES	SINGLE FAMILY DISTRICT 7,500 S	59	75	4,425.0000 SQUARE FEET	STANDARD	\$5.00	0%	\$22,125	N
2	UNASSIGNED	SINGLE FAMILY DISTRICT 7,500 S	25	75	1,875.0000 SQUARE FEET	STANDARD	\$8.00	0%	\$15,000	N

\* All Exemption information reflects 2016 Certified Values. \*

## Exemptions (2016 Certified Values)

No Exemptions

## Estimated Taxes (2016 Certified Values)

	City	School	County and School Equalization	College	Hospital	Special District
Taxing Jurisdiction	DALLAS	DALLAS ISD	DALLAS COUNTY	DALLAS CO COMMUNITY COLLEGE	PARKLAND HOSPITAL	UNASSIGNED
Tax Rate per \$100	\$0.7825	\$1.282085	\$0.252371	\$0.122933	\$0.2794	N/A
Taxable Value	\$79,380	\$79,380	\$79,380	\$79,380	\$79,380	\$0
Estimated Taxes	\$621.15	\$1,017.72	\$200.33	\$97.58	\$221.79	N/A
Tax Ceiling					N/A	N/A
Total Estimated Taxes:						\$2,158.57

**DO NOT PAY TAXES BASED ON THESE ESTIMATED TAXES.** You will receive an **official tax bill** from the appropriate agency when they are prepared. Please note that if there is an Over65 or Disabled Person **Tax Ceiling** displayed above, **it is NOT reflected** in the Total Estimated Taxes calculation provided. Taxes are collected by the agency sending you the **official** tax bill. To see a listing of agencies that collect taxes for your property. [Click Here](#)

The estimated taxes are provided as a courtesy and should not be relied upon in making financial or other decisions. The Dallas Central Appraisal District (DCAD) does not control the tax rate nor the amount of the taxes, as that is the responsibility of each Taxing Jurisdiction. Questions about your taxes should be directed to the appropriate taxing jurisdiction. We cannot assist you in these matters. These tax estimates are calculated by using the most current certified taxable value multiplied by the most current tax rate. **It does not take into account other special or unique tax scenarios, like a tax ceiling, etc..** If you wish to calculate taxes yourself, you may use the [TaxEstimator](#) to assist you.

History

[History](#)

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## COST ESTIMATES

1007 MORELAND AVENUE, DALLAS, TX 75206

SCOPE OF WORK		AMOUNT
1	CARPENTRY/ FRAMING/ REPAIR TERMITE DAMAGE	\$ 65,000
2	ELECTRICAL	\$ 25,000
3	EXTERIOR DOORS (REPAIR FRONT/ NEW BACK)	\$ 3,000
4	EXTERIOR BRICK VENEERS OR TREATMENTS	\$ 3,500
5	FAÇADE ITEMS: SIDING REPAIR	\$ 15,000
6	FLOORING	\$ 15,000
7	FOUNDATION REPAIR	\$ 42,000
8	HEATING AND COOLING	\$ 25,000
9	INTERIOR WORK: TILE BATHROOMS/ SHOWERS	\$ 8,000
10	INTERIOR WORK: REPAIR/ RESTORE FIREPLACE MANTEL	\$ 2,000
11	INTERIOR WORK: RECLAIM POCKET DOORS	\$ 2,500
12	PAINTING: EXTERIOR	\$ 20,000
13	PAINTING: INTERIOR	\$ 15,000
	PORCH REPAIRS	\$ 12,000
14	PLUMBING	\$ 21,000
15	ROOFING	\$ 16,000
16	SECURITY SYSTEM	\$ 5,000
17	SHEETROCKING	\$ 25,000
18	WINDOWS: NEW	\$ 8,900
19	WINDOWS: REPAIR OLD	\$ 10,000
TOTAL ESTIMATED EXPENDITURES OF APPLICABLE COSTS:		<b>\$ 338,900</b>



## **LANDMARK COMMISSION**

**FEBRUARY 6, 2017**

FILE NUMBER: CA167-158(MD)  
LOCATION: 1620 1<sup>st</sup> Avenue  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 7  
ZONING: CS

PLANNER: Mark Doty  
DATE FILED: January 5, 2017  
DISTRICT: Fair Park  
MAPSCO: 46-Q  
CENSUS TRACT: 0203.00

**APPLICANT:** RUSS BERGER DESIGN GROUP

**REPRESENTATIVE:** Daniel Butko

**OWNER:** CITY OF DALLAS

**REQUEST:**

- 1) Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad.
- 2) Install bike parking signage at front of building.

**BACKGROUND / HISTORY:**

5/2/2016 – Landmark Commission approved several exterior changes to the structure including; new accessible ramp on south façade, handrails on south and east entries, installation of door and sidelights and accessible ramp on north façade, and placement of a generator and chain link fence on west side of building (CA156-420(MD)).

Science Place II, or the Hall of Domestic Arts, is considered ‘contributing’ to the Fair Park historic district and is located in the Civic Center Sub-district of the Rehabilitation Zone.

**ANALYSIS:**

After the Task Force meeting, the Applicant revised the placement of the bicycle parking signage as recommended for Request #2 and submitted new drawings to Staff based on those comments. Although the Fair Park preservation criteria does not address this structure or items specifically, Staff believes the proposed work will not have an adverse effect on the structure or historic overlay in general, and is recommending approval of all requests.

**STAFF RECOMMENDATION:**

- 1) Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad. – Approve - Approve drawings dated 1/18/17 with the



finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

- 2) Hall of Domestic Arts (Science Place II) - Install bike parking signage at front of building. – Approve - Approve drawings dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Hall of Domestic Arts (Science Place II) - Install bike parking equipment on existing concrete pad. – No quorum. Comments only. Supportive.
- 2) Hall of Domestic Arts (Science Place II) - Install bike parking signage at front of building. – No quorum. Comments only. We support with the suggestion that the bicycle sign be moved to the west approx. 2 feet away from the existing historical step.

# Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 167-158 [MD]  
Office Use Only

Name of Applicant: Daniel Butko, RBDG  
Mailing Address: 2343 Tarpley Road  
City, State and Zip Code: Carrollton, TX 75006  
Daytime Phone: 972-661-5222 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Architect

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials:

PROPERTY ADDRESS: 1620 1st Ave, Fair Park Science Place II, Dallas, TX  
Historic District: Fair Park

## PROPOSED WORK:

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist. The existing Science Place II building at Fair Park (which is currently unoccupied) is proposed to be the new home for Dallas City News (DCN). The proposed scope of work is primarily an interior renovation intended to preserve key historical features of the building with minimal impact to the exterior conditions.

Previously approved submittals outlined proposed exterior modifications and exterior improvements. This submittal defines the two (2) proposed bicycle parking spaces required per the City of Dallas permit review process.

Signature of Applicant: \_\_\_\_\_

Date: \_\_\_\_\_

Signature of Owner: \_\_\_\_\_

(IF NOT APPLICANT)

Date: \_\_\_\_\_

RECEIVED BY

JAN 05 2017

## APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

## OTHER:

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

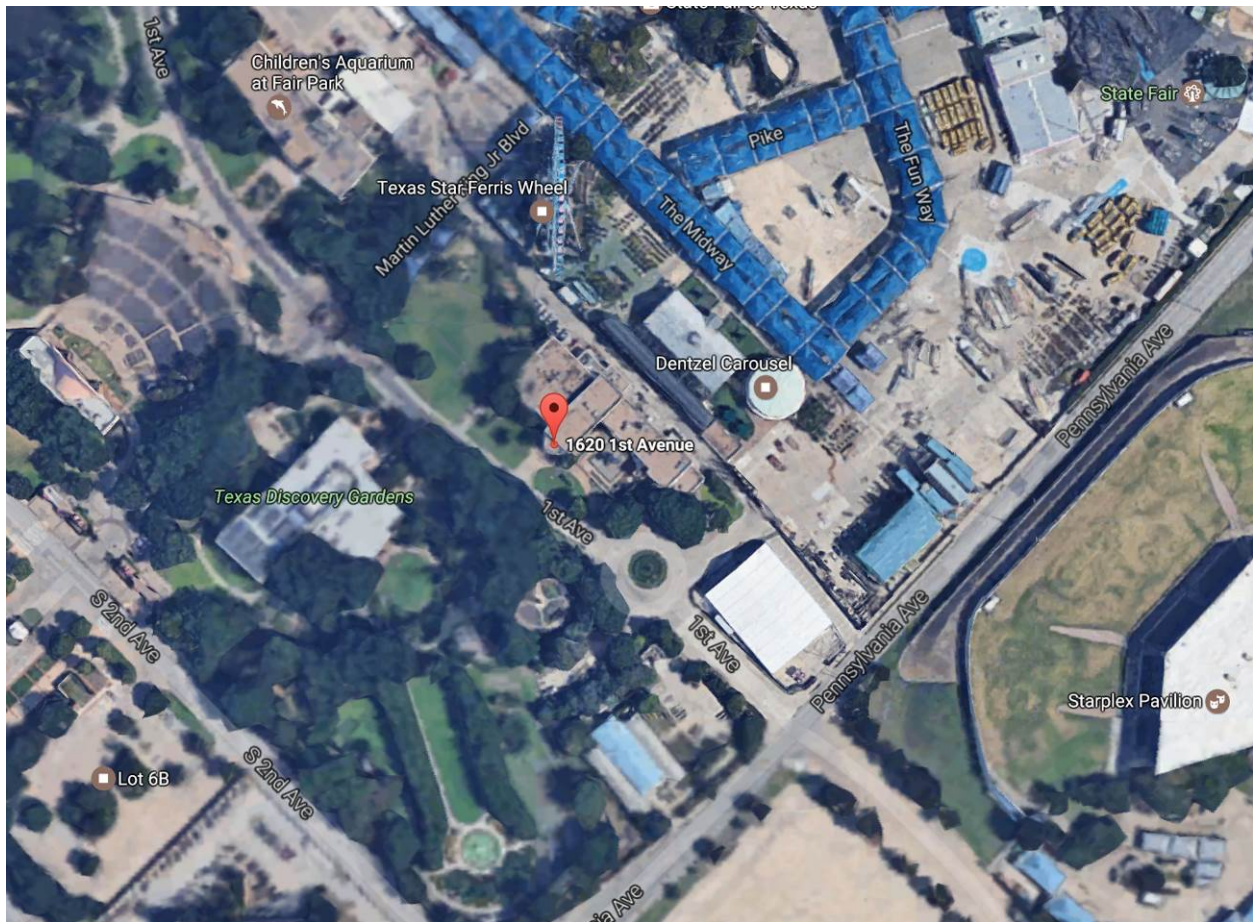
- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date



Front elevation of Hall of Domestic Arts.







View from front of building looking west.





Texas Discovery Garden facility to the south of the building.







View from front of building looking southeast.



View looking from front of building looking east.





Postcard of original building design



Photo from 1936 Texas Centennial Exposition

Historical photos of portico entrance



during construction



c. 1937





View turned eastward. Bicycle parking is proposed at east end of property.



East side of building with proposed bicycle parking spaces.

Request #1 – Existing conditions.



East side of building with proposed bicycle parking spaces.



Proposed  
bicycle  
parking  
sign  
location.

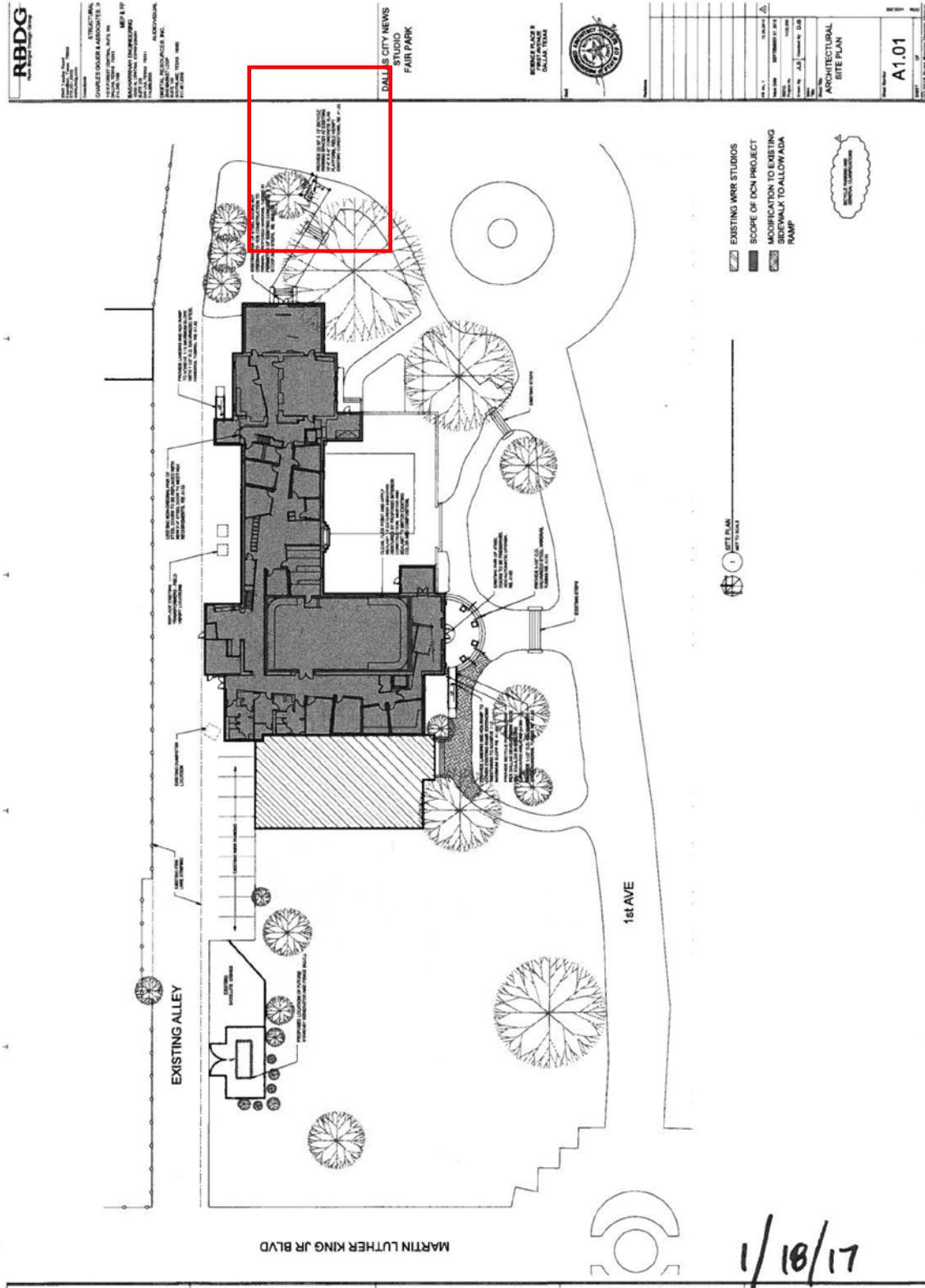


Front (south) elevation of existing building.  
Proposed bicycle parking sign in landscaped area at left (west) side of entry.

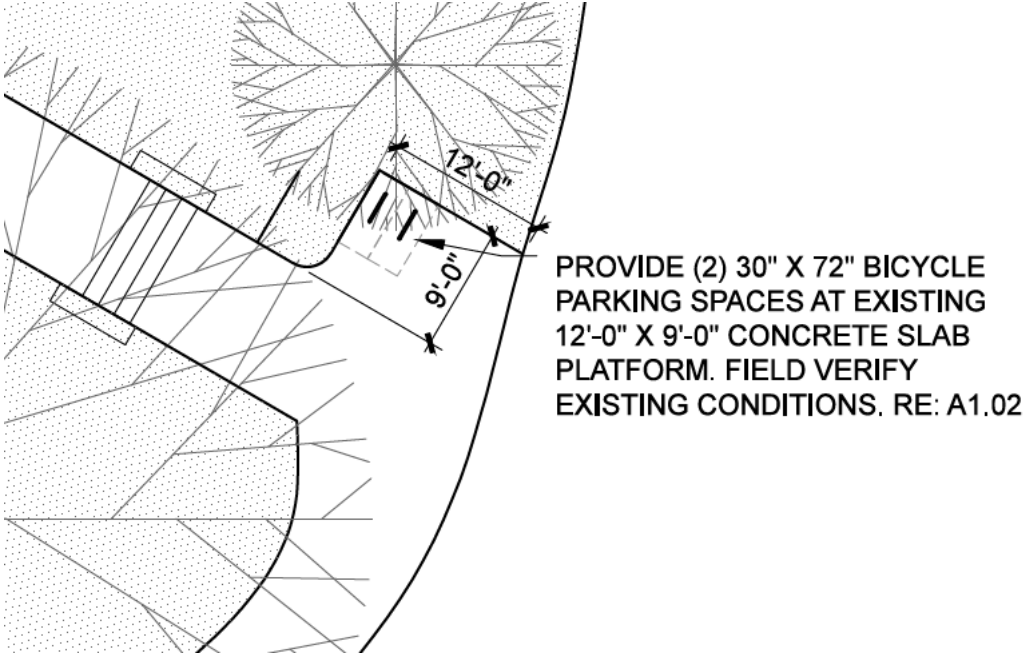


View looking eastward. Bicycle parking is proposed at east end of property.

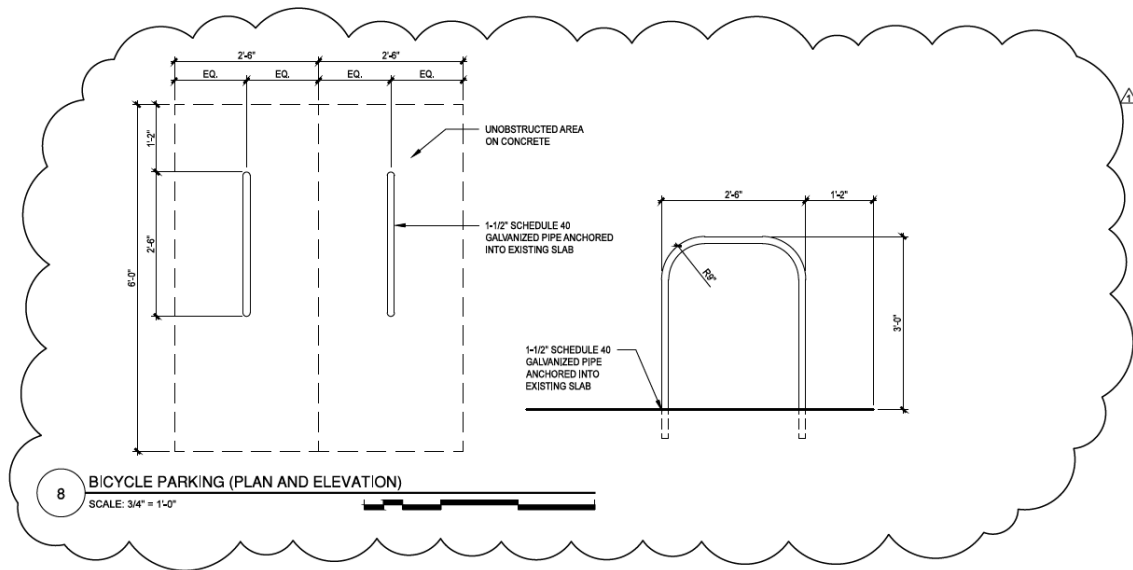
Request #2 – Existing conditions.



Request #1 - Install bike parking equipment on existing concrete pad.

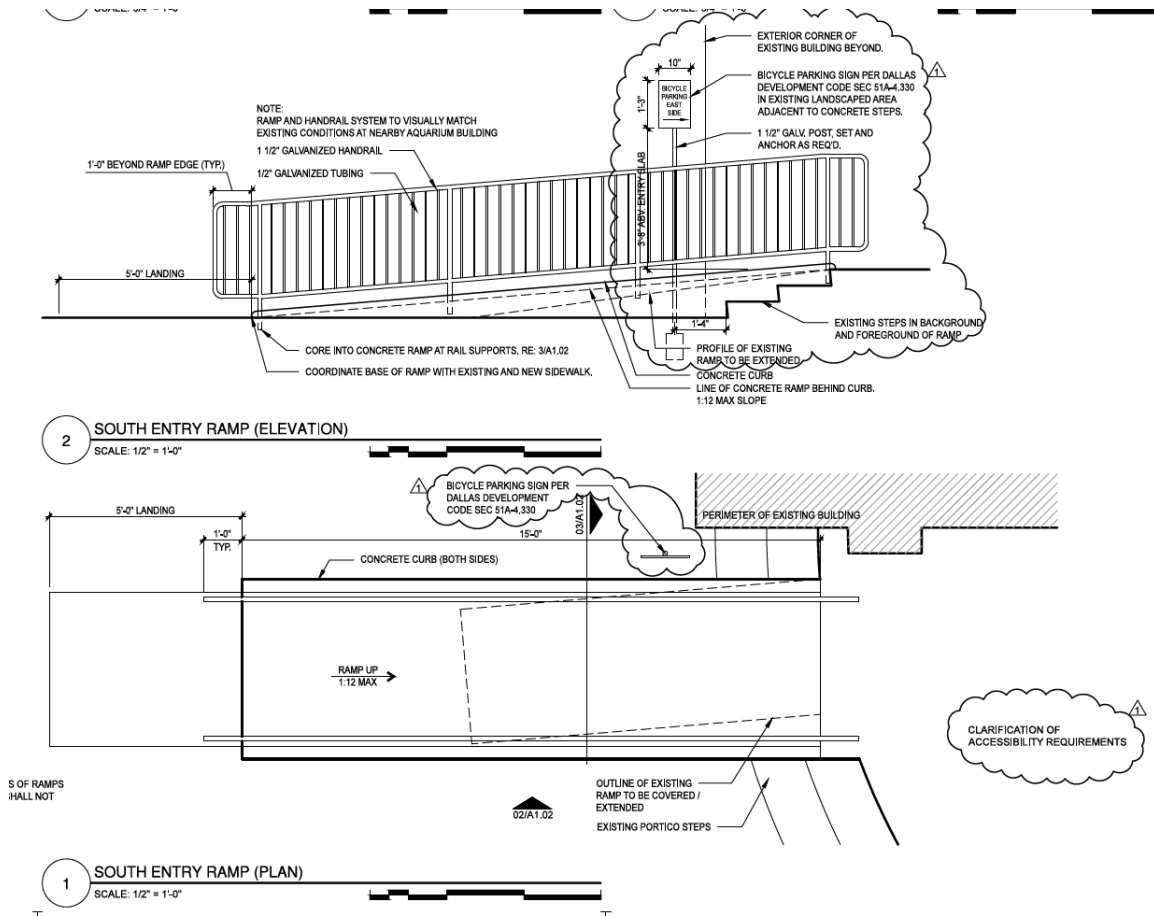


Request #1 - Bike rack location enlarged details.









Request #2 - Bicycle signage enlarged details.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATIONS

There are no specific criteria for this structure in the Fair Park preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

- (aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

- (bb) the proposed work will not have an adverse effect on the architectural features of the structure;

- (cc) the proposed work will not have an adverse effect on the historic overlay district; and

- (dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.



**TASK FORCE RECOMMENDATION REPORT**  
**FAIR PARK**

DATE: 1/11/2017

TIME: 11:00 am

MEETING PLACE: Fair Park, Tower Building Conference Room

Applicant Name: Daniel Butko – Russ Berger Design Group

Address: 1620 1<sup>st</sup> Ave. (Hall of Domestic Arts – Science Place II)

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

We support with the suggestion that the bicycle sign be moved to the west approx. 2 feet away from the existing historical stop.

**Task force members present**

<input type="checkbox"/> Bob Hilbun	<input type="checkbox"/> David Chase	<input type="checkbox"/> Clifford Welch
<input checked="" type="checkbox"/> Craig Holcomb	<input type="checkbox"/> Gary Skotnicki	<input type="checkbox"/> Virginia McAlester (Alternate #1)
<input checked="" type="checkbox"/> E.L. Dunn	<input checked="" type="checkbox"/> Stephen Johns	<input checked="" type="checkbox"/> Nancy McCoy (Alternate #2)

Ex Officio staff members Present ☒ Mark Doty ☐ Dee Hirsch ☒

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition: no quorum - comments only.

CHAIR, Task Force Steve Johns

DATE Jan 11, 2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, with a staff briefing at a time to be determined at a later date.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-178(LC)  
LOCATION: 2036 Commerce Street  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-357

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: Bluit Sanitarium (H-102)  
MAPSCO: 45-L  
CENSUS TRACT: 0031.01

**APPLICANT:** A Gruppo Architects

**REPRESENTATIVE:** Thad Reeves

**OWNER:** Colab LLC

**REQUEST:**

- 1) Add six window openings on west elevation.
- 2) Remove door opening on west elevation.
- 3) Replace roll-up door on south elevation with two window openings.
- 4) Add door opening on south elevation.
- 5) Add security lighting on west and south elevations.
- 6) Construct rooftop mechanical room and penthouse.
- 7) Install continuous skylight curb on roof.
- 8) Relocate HVAC compressors on roof.

**BACKGROUND / HISTORY:**

9/1/2005 – Landmark Commission denied without prejudice a request to install a temporary banner sign (CA045-434(JA)).

**ANALYSIS:**

After the Task Force meeting, the applicant submitted revised drawings based on the Task Force recommendations. The original request included seven new fixed windows on the west elevation. The applicant has changed the window style to one-over-one clad wood windows for the second and third floor windows, and eliminated a narrow second floor window. Staff also believes a two-over-two window to match the existing would be appropriate. The existing windows are detailed with a segmented arch. The proposed windows would have a soldier course lintel, which would differentiate them from the historic windows.

The height of the penthouse has been reduced to further minimize its visual impact. The penthouse will be clad in brick on the south elevation and metal lap siding on the

north, east and west elevations. This is similar to the penthouse on the adjacent historic structure which is clad in brick on its south and east elevations, and vertical metal paneling its north and west elevations.

Also per the Task Force recommendations, the applicant has moved the proposed mechanical equipment closer to the proposed skylights and away from the parapet so they would not be visible from the public right of way.

**STAFF RECOMMENDATION:**

- 1) Add six window openings on west elevation. – Approve – Approve drawings dated 1/19/17 with the condition that the windows may be two-over-two or one-over-one, and with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Remove door opening on west elevation. – Approve – Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Replace roll-up door on south elevation with two window openings. – Approve – Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 4) Add door opening on south elevation. – Approve – Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 5) Add security lighting on west and south elevations. – Approve – Approve drawings dated 1/19/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 6) Construct rooftop mechanical room and penthouse. – Approve – Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for new construction and additions in Sections 8.1, 8.3 and 8.7, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 7) Install continuous skylight curb on roof. – Approve – Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for roofs in Section 6.4, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 8) Relocate HVAC compressors on roof. – Approve – Approve the drawings dated 1/19/17 with the finding the proposed work is consistent with the preservation criteria for roofs in Section 6.4, and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Add six window openings on west elevation. – Approve with condition – Approve with the following conditions: 1) Narrow window on west façade be redesigned or eliminated. 2) Level two and three should be one-over-one; the basement is ok.
- 2) Remove door opening on west elevation. – Approve – Approve as submitted.
- 3) Replace roll-up door on south elevation with two window openings. – Approve – Approve as submitted.
- 4) Add door opening on south elevation. – Approve – Approve as submitted.



- 5) Add security lighting on west and south elevations. – Approve – Approve as submitted.
- 6) Construct rooftop mechanical room and penthouse. – Approve with condition – Approve with the following condition: Penthouse should be lowered as much as possible. South elevation compatible brick and mortar, other elevations to be metal non corrugated siding.
- 7) Install continuous skylight curb on roof. – Approve – Approve as submitted.
- 8) Relocate HVAC compressors on roof. – Approve with condition – Approve with the following condition: Move mechanical equipment as close as possible to sky lights.

JAN 05 2017

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 178 (LC)  
Office Use Only

Name of Applicant: A Gruppo Architects - Thad Reeves AIA  
Mailing Address: 315 S Cesar Chavez Suite 110 Dallas Tx 75201  
City, State and Zip Code: \_\_\_\_\_  
Daytime Phone: 214.316.6806 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Architect

PROPERTY ADDRESS: 2036 Commerce St, Dallas TX 75201  
Historic District: H 102

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:


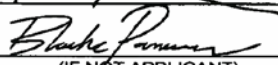
Yes ☒ No ☐

Historic Planner's  
Initials: JS

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Additional Windows to be added on 2036 Commerce West Facade( Facing parking lot) New windows to match existing window in scale and rythm. Locations of new windows intend to blend into existing window cadence. Added security lighting on south facade. Roll up garage doors on south facade to be replaced by new window. New Egress door added

Signature of Applicant:  Date: 1/4/17  
Signature of Owner:  Date: 1/4/17  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

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Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please **do not** release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

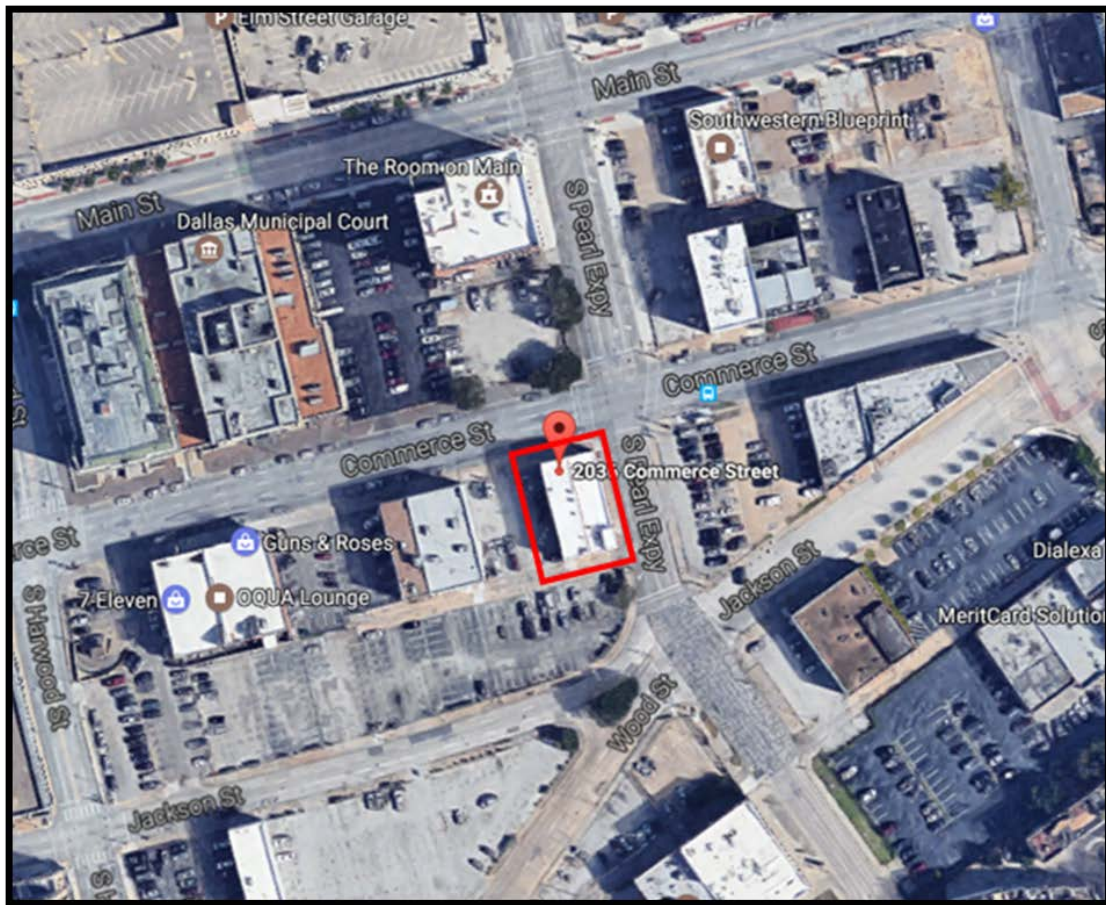
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Site Aerial



Existing North (Front) Elevation





Existing North (Front) & West Elevations



Existing West Elevation



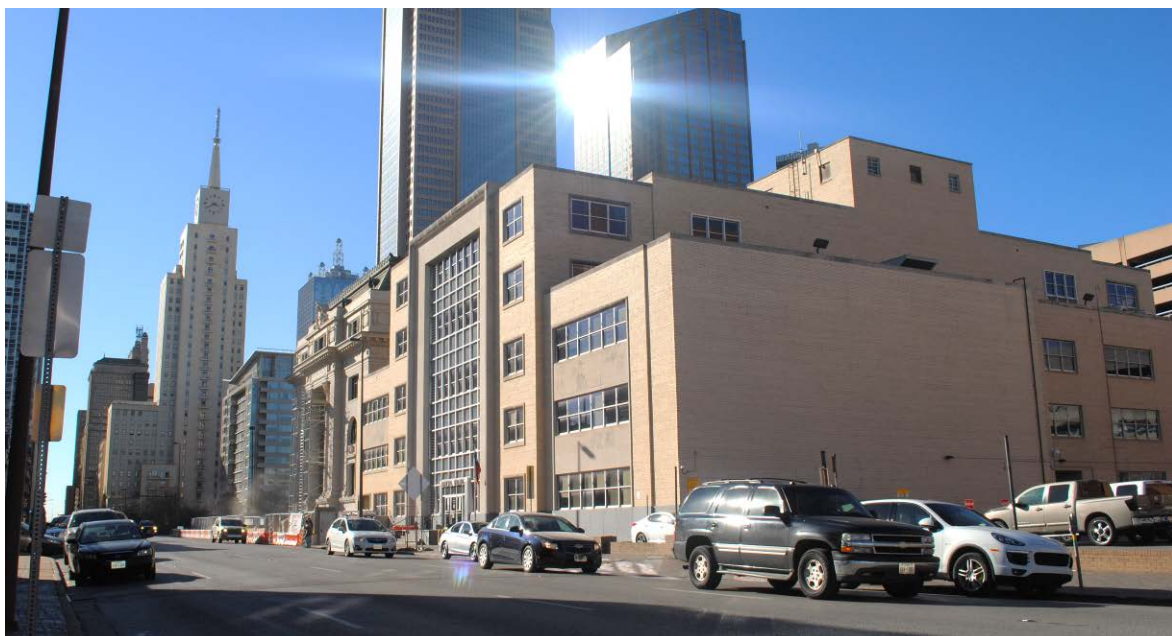
Existing South (Rear) Elevation



Streetscape – Facing Southeast on Commerce St



Streetscape – Facing Southwest on Commerce St

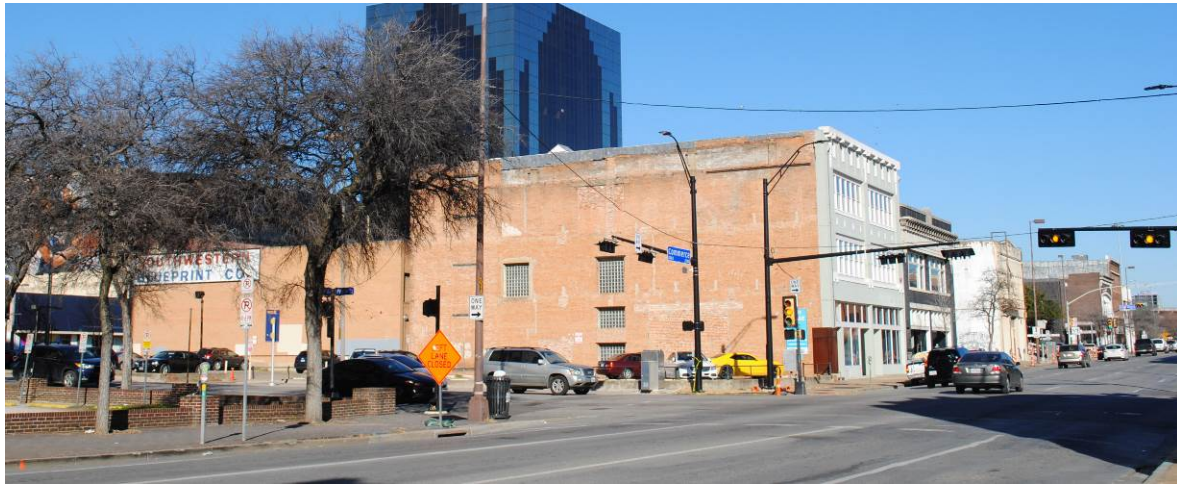


Streetscape – Facing Northwest on Commerce St (across street)

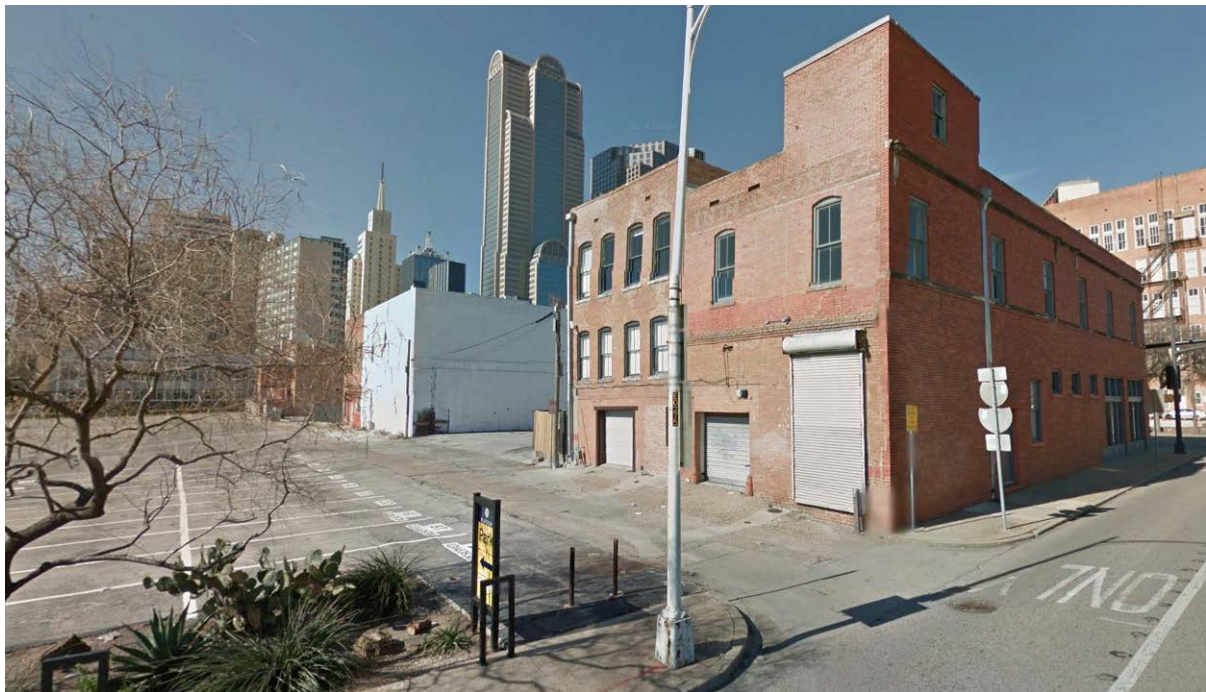
CA167-178(LC)

C3-7



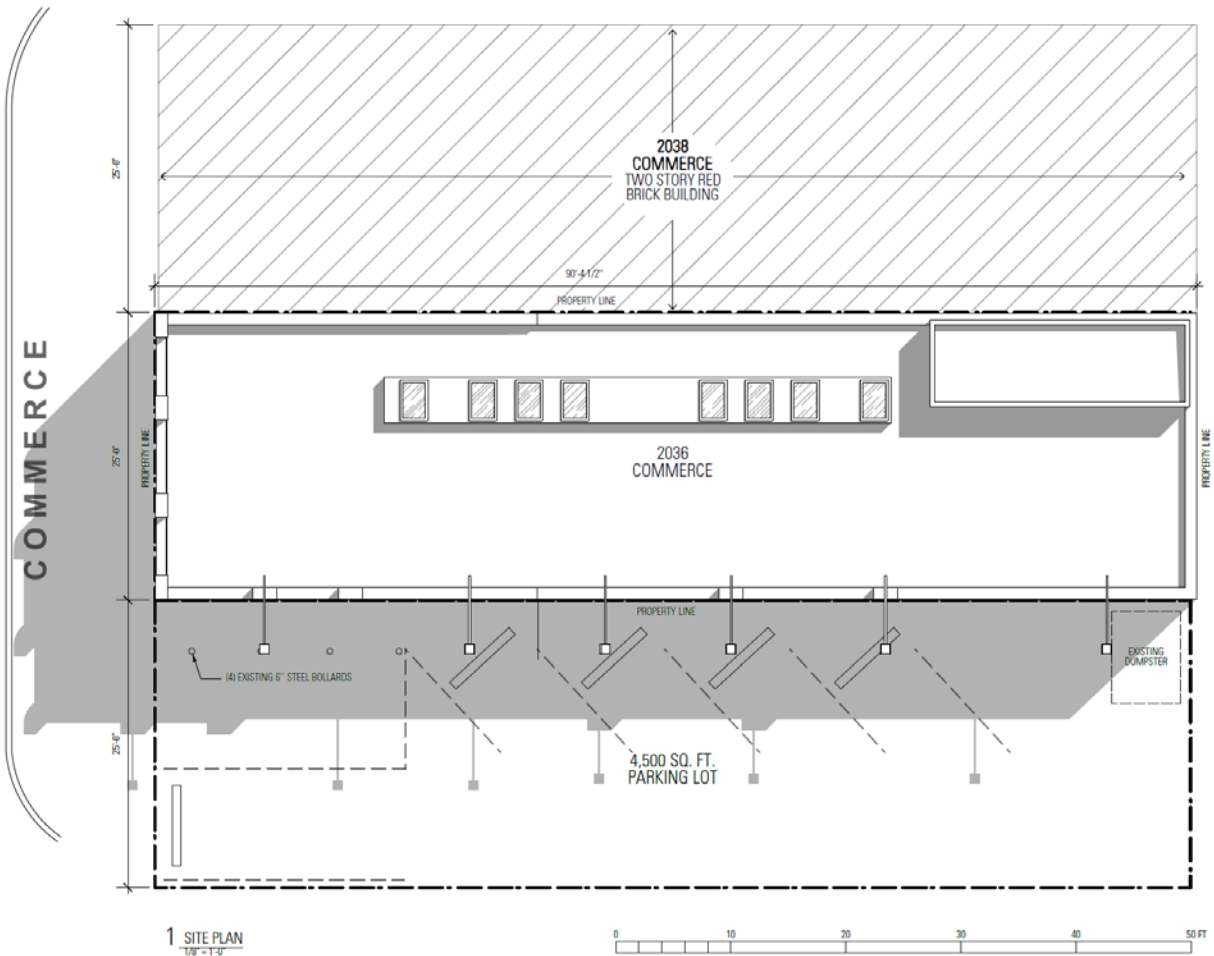


Streetscape – Facing Northeast on Commerce St (across street)

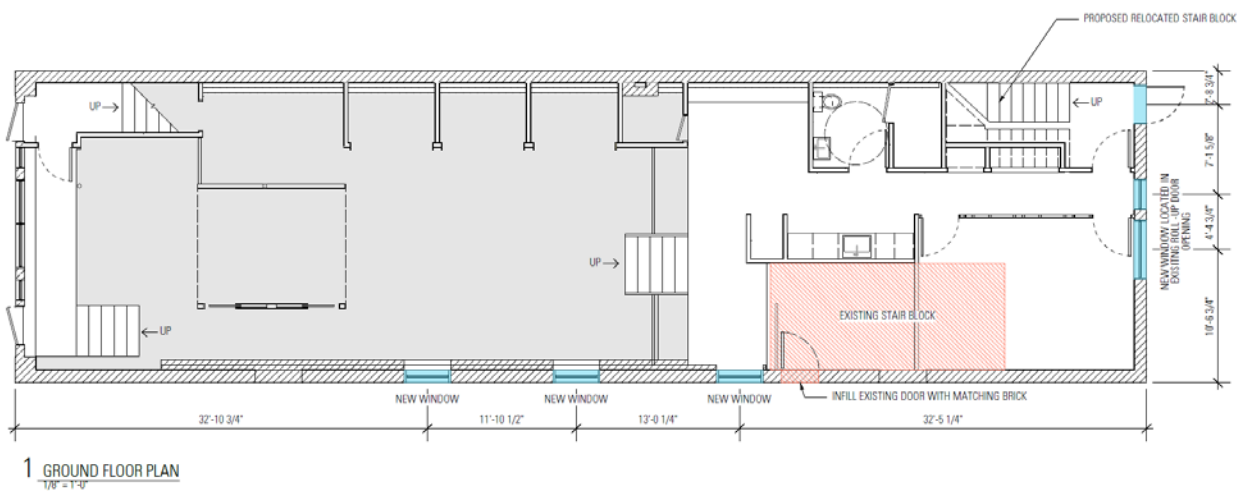


Alley-scape – Facing Northwest from rear alley





Site Plan

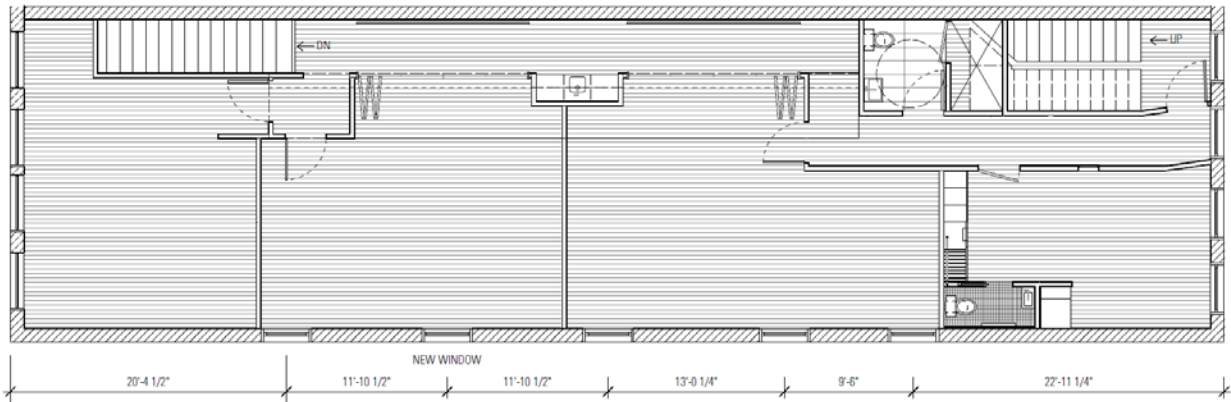


Ground Floor Plan



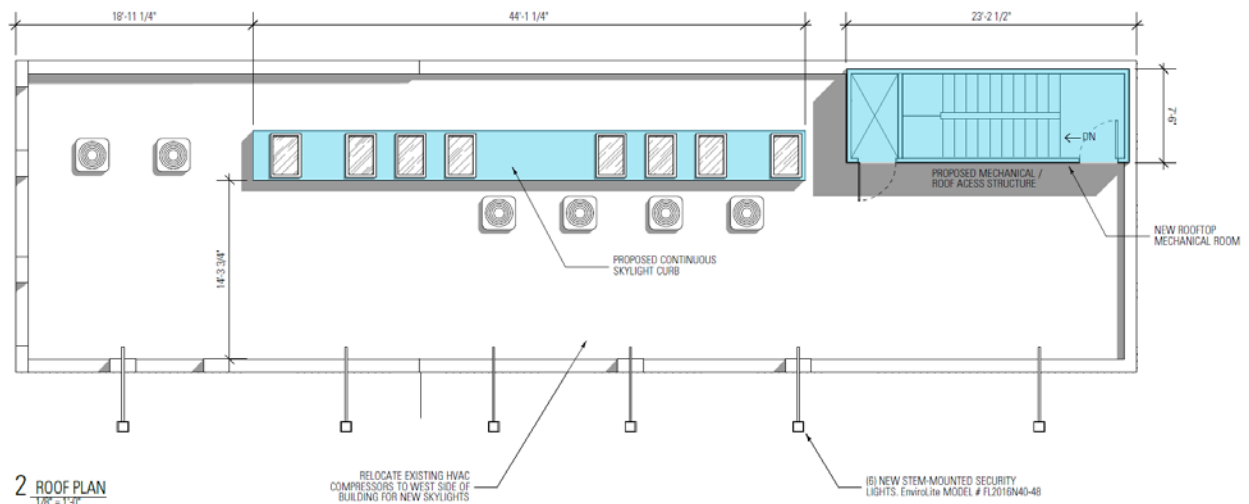
2 SECOND FLOOR PLAN  
1/8" = 1'-0"

Second Floor Plan



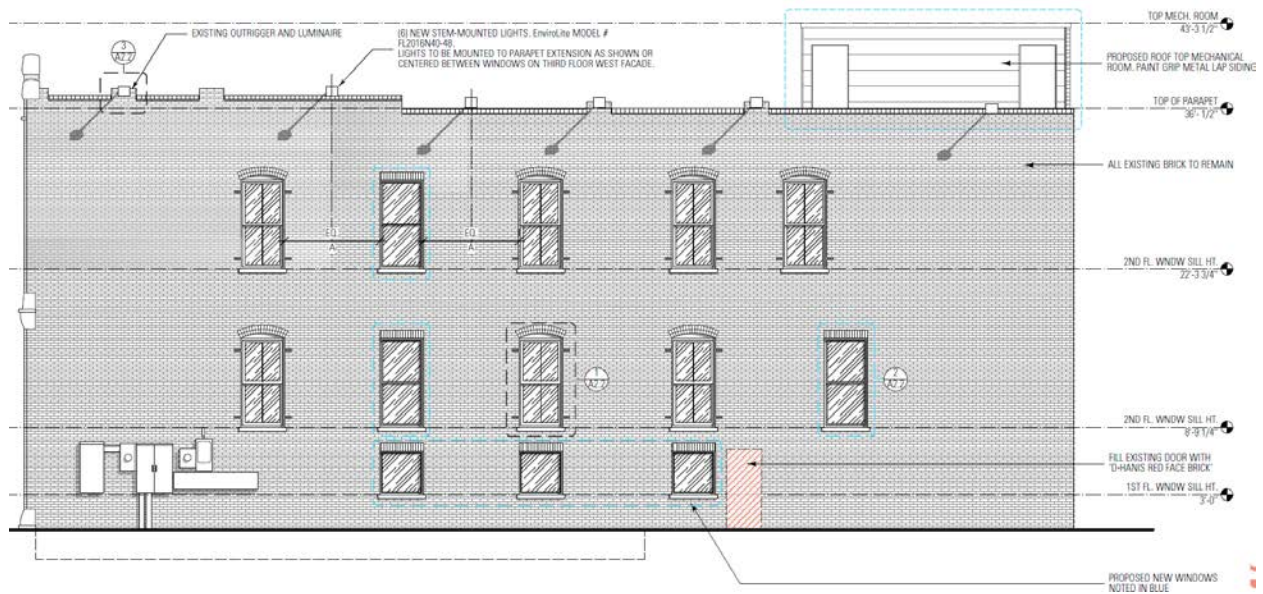
1 THIRD FLOOR PLAN  
1/8" = 1'-0"

Third Floor Plan

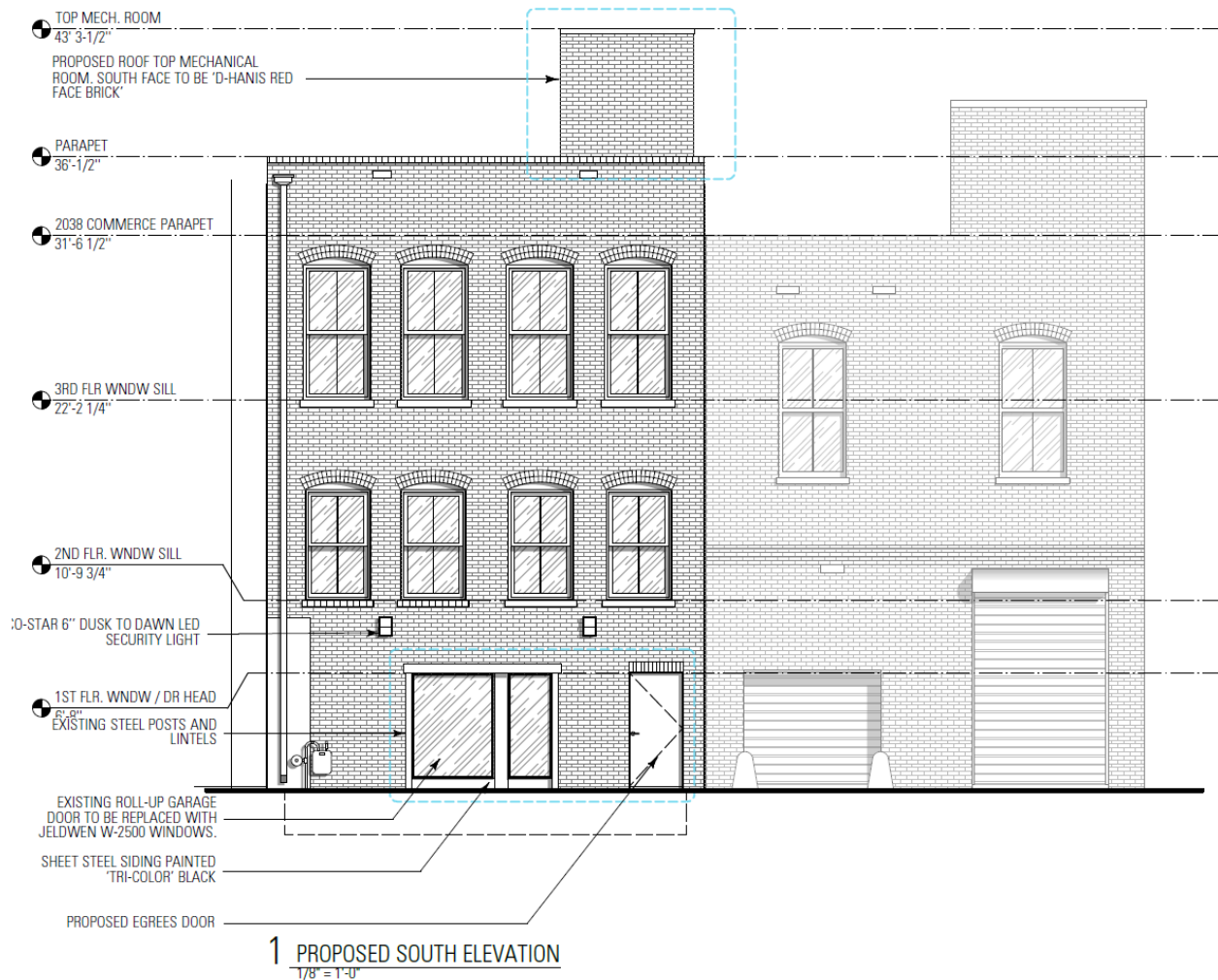


2 ROOF PLAN  
1/8" = 1'-0"

Roof Plan



Proposed West Elevation

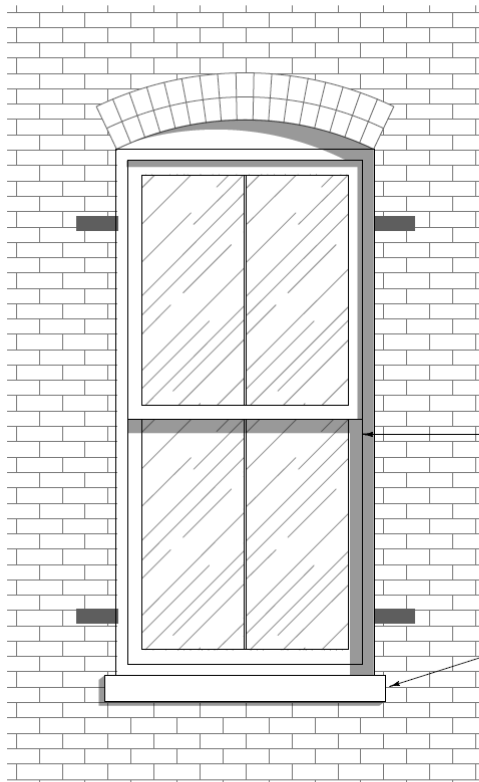


Proposed South Elevation

CA167-178(LC)

C3-11





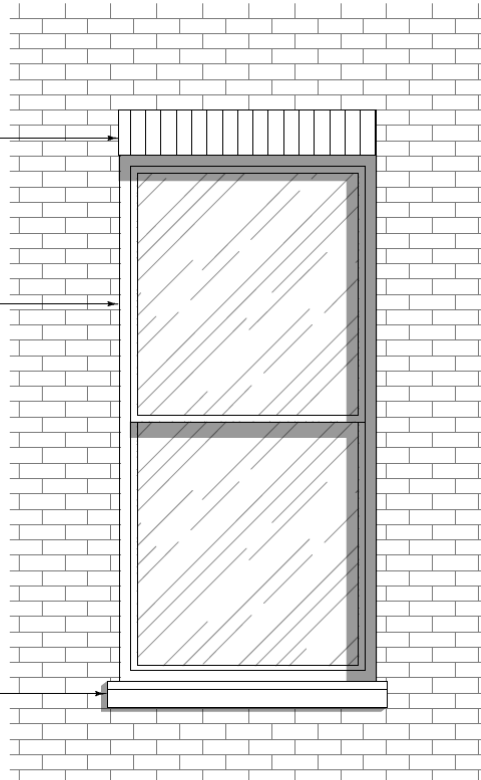
HEAD SOLDIER COURSE

JELD-WEN W-2500 TWIN  
LITE WINDOW CLAD IN  
BLACK. (\*SEE NOTE)

EXISTING WINDOW  
FRAMES TO BE PAINTED  
WITH SHERWIN  
WILLIAMS ALL SURFACE  
ENAMEL LATEX PAINT IN  
"Tricorn Black"

EXISTING HAMMERED  
GRANITE SILL

STONE SILL



## 1 EXISTING WINDOW ELEVATION ENLARGEMENT

1/2" = 1'-0"

## 2 PROPOSED WINDOW ELEVATION ENLARGEMENT

1/2" = 1'-0"

### Existing & Proposed Window Elevations



Existing Window

CA167-178(LC)

Paint existing windows in Sherwin Williams  
"Tricorn Black" 6258



Proposed windows to be Jeld-Wen W-2500  
Aluminum Clad wood Windows w/ Exterior Black  
Cladding. Low E 366 Argon Glass.

Proposed Window Color and Specifications

C3-12

The JELD-WEN® website is your ultimate resource for learning about our reliable windows and doors. It has all the product information and design advice you need. Visit us at [jeld-wen.com](http://jeld-wen.com) today.



## THE JELD-WEN PROMISE

JELD-WEN products create lasting value for your home. We are so confident that you will be pleased with our W-2500 Clad-Wood Windows, that each one carries our industry-leading warranty. Here are just some of the highlights of our warranty...

### The Window & Patio Door Limited Warranty Includes:

- » Lifetime limited warranty on Auralas® Wood, protects against wood rot for as long as you own and occupy your home
- » 20-year coverage against defects in material and workmanship for most product components (such as insulating glass, metal and wood components, and hardware)
- » 20-year coverage on Kynar® clad finish; 10-year coverage on polyester clad finishes
- » Skilled labor coverage for warranty repairs for 2 years
- » Coverage is transferable for 10 years

NOTE: The above information is a summary of key provisions of the JELD-WEN Window & Patio Door Limited Warranty effective February 1, 2014. For a complete copy of the current warranty, see your sales associate or refer to [www.jeld-wen.com](http://www.jeld-wen.com).



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## STYLES, LITES, COLORS & GLASS

### Window Styles



Awning



Casement



Double-Hung



Fixed, Radius & Geometric

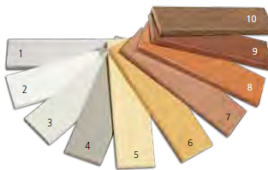
### Standard Prefinished Interiors\*

1. Primed
2. Brilliant White
3. Ivory
4. Desert Sand
5. Clear Lacquer
6. Wheat
7. Cider
8. Fruitwood
9. Cordovan
10. Walnut

\*Colors shown may vary from final finish.



FSC® certified or SFI® certified wood available. See your JELD-WEN dealer for details.



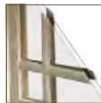
### Divided Lites



Grilles Between the Glass (GBG)

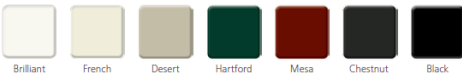


Full-Surround (FS) and Knocked-Down (KD) Removable Wood Grilles



Simulated Divided Lites (SDL)

### Clad Colors\*



\*Colors shown may vary from actual color.

### Decorative Glass Options

#### Tinted Glass

Reduces glare and is ideal for areas that get a lot of direct sunlight in the summer.



Low-E



LoE³-366

#### Textured Glass

Lets light in while maintaining privacy.



Obscure

## PERFORMANCE GLASS OPTIONS

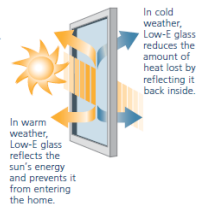
### Low-E, LoE³-366 and Low-E EC Insulating Glass

High-performance Low-E insulating glass comes standard to help lower energy costs, allows homes to stay cooler in the summer and warmer in the winter, prevents fading of interior furnishings, and reduces condensation. It also delivers greater visible light transmittance than tinted glass. We also offer optional LoE³-366, which provides even more protection against heat loss and fading, as well as greater energy savings.

Most windows and patio doors with Low-E glass are ENERGY STAR® qualified. ENERGY STAR products help Americans save energy, save money, and reduce their carbon footprints. ENERGY STAR criteria for windows are based on the U-factor and SHGC combinations that provide significant energy efficiency for a given climate zone. Just tell your JELD-WEN® dealer you want JELD-WEN windows that are ENERGY STAR qualified for your climate zone.

For even more protection, choose Low-E EC for an "extra coating" that improves the thermal performance of our windows and is the optimal solution for meeting ENERGY STAR criteria in certain regions of the country.

For more information, visit [www.jeld-wen.com/energyefficiency](http://www.jeld-wen.com/energyefficiency).



### ENERGY STAR®

The W-2500 line meets ENERGY STAR criteria in all four climate zones in the United States. ENERGY STAR criteria are achieved in North, North Central, and South Central climate zones with the standard glass package of LoE³-270 with argon, and in the Southern zone when grilles are used. Without grilles, Southern zone ENERGY STAR criteria are achieved with LoE³-366 and argon.

### Tax Credits, Rebates and Incentives

The JELD-WEN website is a great source of information for Tax Credits, Rebates and Incentives on energy efficient products. Visit [www.jeld-wen.com](http://www.jeld-wen.com) for more information. Because the windows in our W-2500 window line are so energy efficient, replacing old windows can mean money in your pocket.



## Proposed Window Details

CA167-178(LC)

C3-13

REPLACE WITH EnviroLite MODEL #  
FL2016N40-48.

REPLICATE 2" GALVANIZED PIPE  
OUTRIGGER WITH HOLD-DOWN COLLAR  
EMBED.



Existing Light Fixture on West Elevation



Proposed Light Fixture for West Elevation

CA167-178(LC)

C3-14





# Eco-Star LED Wall Pack

## LED TECHNOLOGY



*Energy Saving LED*



LW22-LED/BZ/P  
22W LED GU24 Bulb



LWP15BZ/WW/P  
15W LED Module

### Features:

- Powder Coating Steel Body(22W)
- Polycarbonate Body And Lens(15W)
- Auto Dusk-to-Dawn Photocell
- Instant Start LED Unit

### Specifications:

Model#	Description	LED Bulb Wattage	Incandescent Equivalent	Kelvin Color	Lumens	Lamp Life	Case Pack	Dimensions (LxDxH)	UPC
LWP15BZ/WW/P*	15 W LED Wall Pack w/photocell	15W	75W	3000K	800	25,000 Hours	6 pcs	L6" xD10-1/2" xH4"	68059658208-3
LW22-LED/BZ/P	22 W LED Wall Pack w/photocell	22W	120W	3000K	1600	25,000 Hours	4 pcs	L8-5/16" xD4-1/2" xH11"	79357374992-5

### Applications:

Entry Way  
Patio Light  
Porch Light

Residential or Commercial Use  
120V 60Hz

\* Suitable for Wet Location



Cyber Tech Lighting, Inc.  
1301 E Wilshire Ave, Santa Ana, CA 92705  
Tel: 714-543-8500, 1-877-60CYBER Fax: 714-543-8501  
www.cybertechlighting.com

LW1-115

Proposed Light Fixture for South Elevation

Rooftop mechanical room (South Facade) to be clad in similar 'D-Hanis Red Face Brick'.  
Manufactured in San Antonio Texas.



Proposed Brick for South Elevation of Penthouse



Proposed Sherwin Williams Color for Grip Metal Lap Siding for North, East & West Elevations of Penthouse

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name:	Thad Reeves - A Gruppo Architects
Address:	2036 Commerce Street (H-102; Bluit Sanitarium)
Date of CA/CD/CR Request:	1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Move to approve with the following conditions:*

- 1. narrow window on west facade <sup>be</sup> ~~predestined~~ or eliminated*
- 2. level 2 + 3 ~~are~~ should be 1/2 the basement is ok*
- 3. Penthouse should be lowered as much as possible, South elevation ~~bricks~~ <sup>compatible</sup> ~~composition~~ & material, other elevations to be metal non corrugated ~~the siding~~*
- 4. move mechanical equipment as close as possible to sky lights*

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Joseph Piwetz	<input type="checkbox"/>
<input checked="" type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	<input type="checkbox"/> Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Jay*  
2nd: *Carolina*

Task Force members in favor: *4*

Task Force members opposed: *0*

Basis for opposition:

CHAIR, Task Force

DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-170(LC)  
LOCATION: 401 N. Carroll Avenue  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 2  
ZONING: R-7.5(A)

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: Crockett School (H-63)  
MAPSCO: 46-E  
CENSUS TRACT: 0015.02

**APPLICANT:** Crockett School Multifamily, LLC

**REPRESENTATIVE:** Kathy Delavergne

**OWNER:** David Crockett Building LLC

**REQUEST:**

- 1) Install metal bike rack.
- 2) Construct metal carports.
- 3) Install 6'-0" metal picket fence and sliding gates around parking lot.
- 4) Repaint parking stripes in parking lot.

**BACKGROUND / HISTORY:**

9/6/2016 – Landmark Commission approved exterior alterations to non-contributing gym, installation of a metal picket fence, installation of condenser units, construction of metal carports and construction of a concrete pad and wood screen for dumpsters (CA156-711(MD)).

**ANALYSIS:**

The applicant is requesting amendments to previously approved site improvements, as well as the installation of a metal bike rack on the northwest elevation. The previously approved carport, located behind the gym, will be reduced in size. The style, material and finish color will remain the same as previously approved. The locations of the parking lot gates have been adjusted. The gate off Alcalde has been moved four feet into the property, and the fence angled in for visibility. The gate off North Carroll, which is located within the no-build zone, has been moved seven feet closer to the property line to create more space for better traffic flow and maneuverability within the parking lot. The parking stripes have been moved five feet away from the adjacent residential use to the northwest. Also, the stripes have been revised to be head-in parking instead of angled parking.

**STAFF RECOMMENDATION:**

- 1) Install metal bike rack. – Approve - Approve drawing and image dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Construct metal carports. – Approve - Approve drawing and images dated 1/18/17 with the finding that although the proposed work does not comply with Section 4.1 that states the form, materials, general exterior appearance, color, and details of any new accessory buildings must be compatible with the existing historic structure, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is historically accurate, it is consistent with the spirit and intent of the preservation criteria and it will not adversely affect the historic character of the property or the integrity of the historic overlay district.
- 3) Install 6'-0" metal picket fence and sliding gates around parking lot. – Approve drawing and images dated 1/18/17 with the finding that although the proposed work does not comply with Section 2.7 that states that no fences are permitted in the no-build zone, except as required for school security, it meets the criteria for landmark commission approval of work that does not strictly comply with the preservation criteria under City Code Section 51A-4.501(g)(6)(B), because the proposed work is historically accurate, is consistent with the spirit and intent of the preservation criteria and it will not adversely affect the historic character of the property or the integrity of the historic overlay district.
- 4) Repaint parking stripes in parking lot. – Approve – Approve drawing dated 1/18/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Install metal bike rack. – Approve – Approve as submitted.
- 2) Construct metal carports. – Approve – Approve as submitted.
- 3) Install 6'-0" metal picket fence and sliding gates around parking lot. – Approve – Approve as submitted.
- 4) Repaint parking stripes in parking lot. – Approve – Approve as submitted.

JAN 05 2017

Current Planning  
Certificate of Appropriateness (CA)  
City of Dallas Landmark Commission

CA 167 - 170 (LC)  
Office Use Only

Name of Applicant: Crockett School Multifamily, LLC  
Mailing Address: 8214 Westchester Drive, Suite 600  
City, State and Zip Code: Dallas, TX 75225  
Daytime Phone: 214-736-7002 Fax: kdelavergne@prevarian.com  
Relationship of Applicant to Owner: Applicant is Owner; contact Kathy delaVergne

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_ No \_\_\_

Historic Planner's  
Initials:

PROPERTY ADDRESS: 401 N. Carroll Avenue, Dallas, TX 75246

Historic District: Alcalde Street-Crockett School Historic District

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Amend site plan for CA dated 9-6-16, per City of Dallas zoning case approval, as follows:

- Revised location of parking stripes
- Reduced size of carports located behind gym/central plant
- Gate on N Carroll side to be moved approximately seven feet east closer to the property line
- Gate on Alcalde side to be moved approximately four feet to the east into the property to allow for larger visibility triangle.
- Added metal bike rack at the north elevation of the school

Signature of Applicant: Kathy delaVergne Date: 1-8-17

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

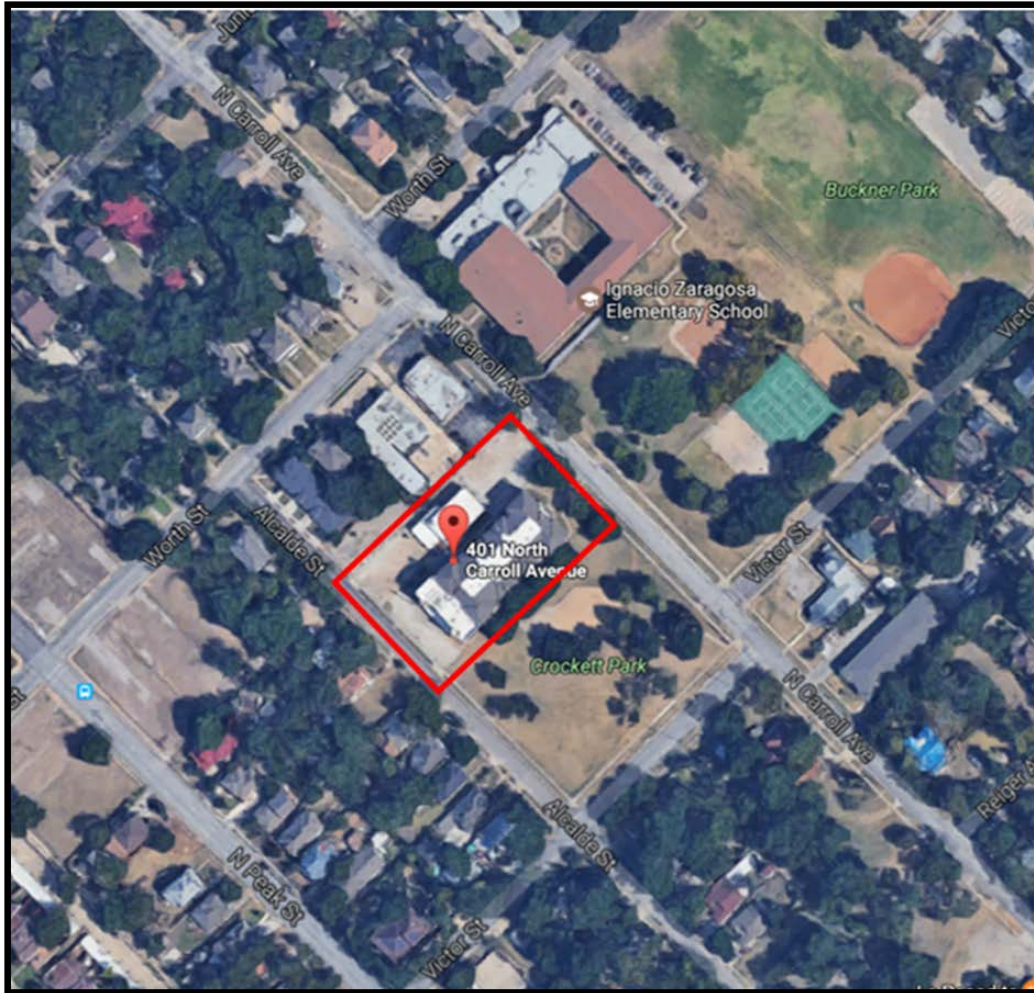
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Site Aerial



Existing Northeast (Front) Elevation



Existing Northeast (Front) & Northwest Elevations and Parking along Carroll Ave





Existing Southwest & Southeast (Rear) Elevations and Parking along Alcalde St



Additional View of Parking Lot along Alcalde (facing northwest)





Existing Southeast (Rear) Elevation and Parking along Alcalde St



Streetscape – Facing Southeast on N Carroll Ave





Streetscape – Facing Southwest on N Carroll Ave



Streetscape – Facing Northwest on N Carroll Ave (across street from front of property)



Streetscape – Facing Northeast on N Carroll Ave (across street from front of property)





Streetscape – Facing Northwest on Alcalde St



Streetscape – Facing Northeast on Alcalde St

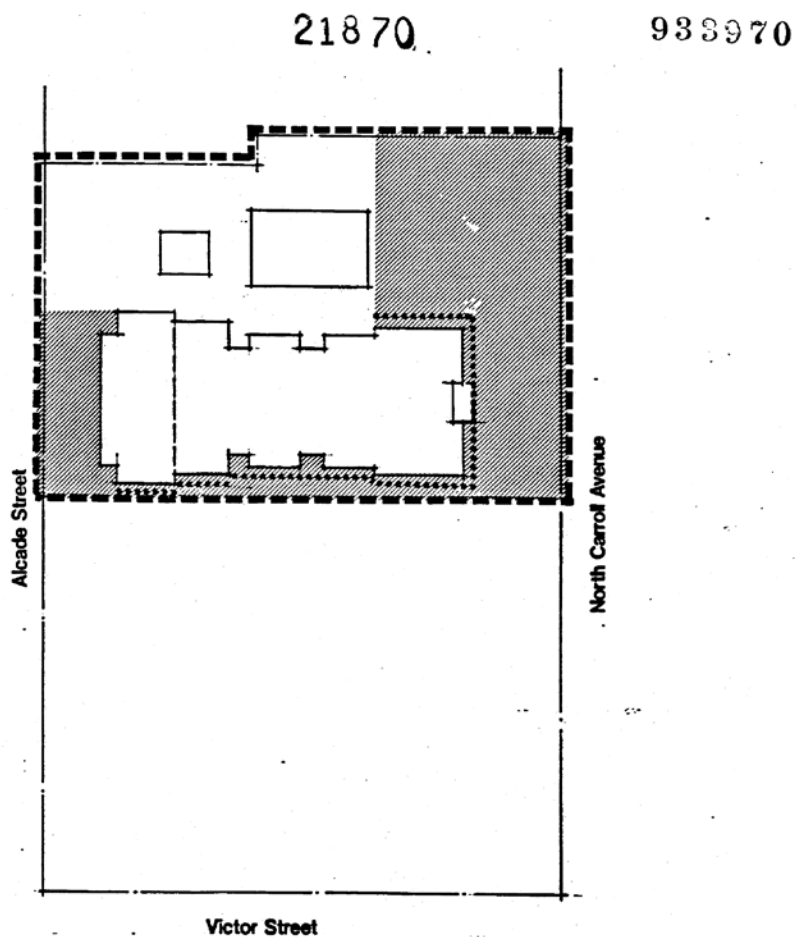


Streetscape – Facing Southeast on Alcalde St (across street from rear of property)





Streetscape – Facing Southwest on Alcade St (across street from rear of property)



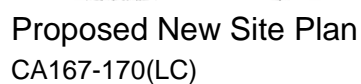
David Crockett Elementary School  
Exhibit B

--- Area of Designation  
 No Build Zone  
 ..... Protected Easement

Crockett School Historic Overlay Ordinance Exhibit B



1. Gate on Alcalde moved approximately four feet to the east into the property line
2. Moved parking striping approx. 5 feet away from adjacent residential use and revised angled parking to be "head in" parking
3. Reduced the number of carport spaces located behind the gym/central plant building
4. Added metal bike rack at north elevation of the school
5. Gate on N Carroll moved approximately seven feet closer to the property line





Request #1 – Proposed Bike Rack Design



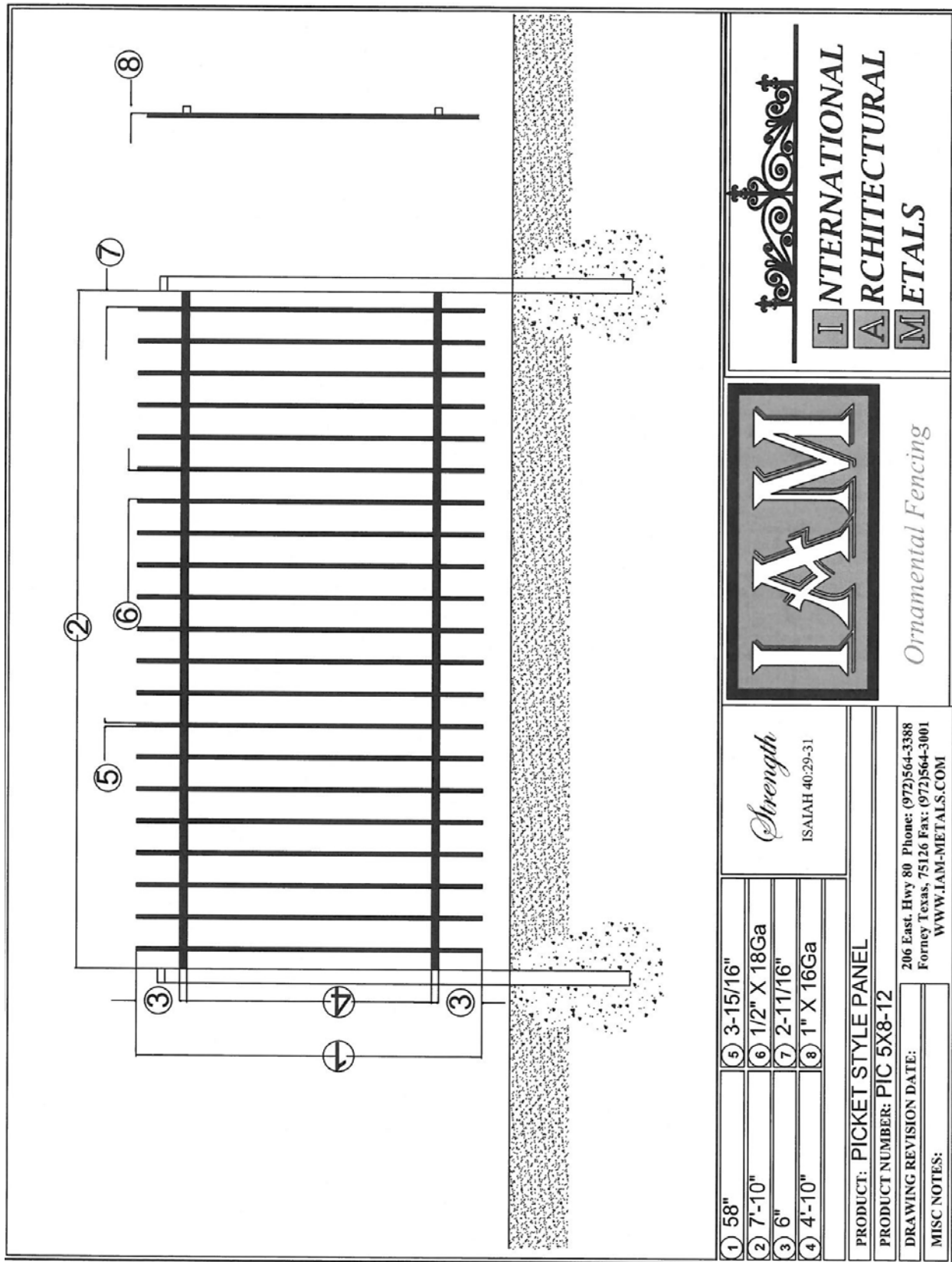
Request #1 – Proposed Bike Rack Location on Northwest Elevation (between covered walkway and chimney; see red arrow)



## Example Carports 401 N. Carroll Avenue



Request #2 – Previously Approved Metal Carport Design (9/6/16);  
No proposed design change, only size reduction



Request #3 – Previously Approved Fence Design (9/6/16);  
No proposed design change, only slight location changes

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Kathy Delavergne - Crockett School Multifamily, LLC  
Address: 401 N Carroll Avenue (H-63; Crockett Elementary)  
Date of CA/CD/CR Request: 1/5/2017

**RECOMMENDATION:**

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Approved as submitted*

**Task force members present**

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Joseph Piwetz	<input type="checkbox"/>
<input checked="" type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	<input type="checkbox"/> Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Jay Firsching*

2nd: *Charles Neel*

Task Force members in favor: *5*

Task Force members opposed: *0*

Basis for opposition:

CHAIR, Task Force

*Jay C. Coffman*

DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## **LANDMARK COMMISSION**

**FEBRUARY 6, 2017**

FILE NUMBER: CA167-171(LC)  
LOCATION: 1907 Elm Street (1900 Pacific Ave)  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-619

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: West End (H-2)  
MAPSCO: 45-L  
CENSUS TRACT: 0031.01

**APPLICANT:** Merriman Anderson Architects

**REPRESENTATIVE:** Patrick Hazard

**OWNER:** Petrocorrigan Towers LP

**REQUEST:**

- 1) Install new storefront systems on the south and west elevations.
- 2) Install canopy over main entry on south elevation.
- 3) Install retractable awnings on the first floor of the south and west elevations.

**BACKGROUND / HISTORY:**

1/9/2006 – Landmark Commission approved restoration of exterior façade (CA056-057(JA)).

12/1/2008 – Landmark Commission conceptually approved building restoration (CA089-109(MD)).

6/6/2016 – Landmark Commission approved installation of new storefront systems, construction of an addition, installation of exterior lighting, and denied without prejudice the installation of a canopy and awnings along Elm St (CA156-525(MD)).

**ANALYSIS:**

The applicant is requesting an amendment to the storefront system approved in June 2016. The door opening in the central bay along Elm Street has been eliminated and will only be a storefront window. The door opening in the second bay from the left along Elm Street has been relocated to the first bay from the left. Also, the double door entry along St. Paul Street has been eliminated and will only be a storefront window.

Also, the applicant has updated the design of the canopy and canvas awnings that were denied by the Landmark Commission in June 2016. The proposed canopy has been reduced in length to only cover the entry opening on Elm Street. The shape of the

proposed retractable awnings now more closely resembles the retractable awnings originally installed on the structure.

All of the requested items have been conditionally approved by the National Park Service and Texas Historic Commission, for a historic tax credit project. Final details (material, color, etc.) for the canopy and awning must be submitted for review. The applicant has submitted the awning material and color to Staff. The material, by Sunbrella, is acrylic, and will be Forest Green.

During the Task Force Meeting it was brought to Staff and the applicant's attention that the bronze window surrounds along Elm and St. Paul Streets had been painted gold without a CA. The Task Force recommended removal of the paint. The property owner has agreed to remove the unapproved paint and return the surrounds to their original condition. This item will be processed as a routine maintenance repair.

**STAFF RECOMMENDATION:**

- 1) Install new storefront systems on the south and west elevations. – Approve – Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Install canopy over main entry on south elevation. – Approve – Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Install retractable awnings on the first floor of the south and west elevations. – Approve – Approve drawings dated 1/5/17 with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Install new storefront systems on the south and west elevations. – Approve with condition – Approved as submitted with conditions: Owner to remove paint from all bronze window surrounds on the first floor (ground level) of Elm and St. Paul Streets.
- 2) Install canopy over main entry on south elevation. – Approve with condition – Approved as submitted with conditions: Canopy materials to be provided and submitted for approval.
- 3) Install retractable awnings on the first floor of the south and west elevations. – Approve with condition – Approved as submitted with conditions: Canopy materials to be provided and submitted for approval.

RECEIVED BY

JAN 05 2017

Certificate of Appropriateness  
City of Dallas Landmark Commission

CA 167-171(LC)  
Office Use Only

Name of Applicant: Patrick Hazard, Merriman Anderson Architects

Mailing Address: 300 N. Field Street

City, State and Zip Code: Dallas, Texas 75202

Daytime Phone: 214.347.7075

Fax: 214.987.2138

Relationship of Applicant to Owner: Architect

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes ☒ No ☐

Historic Planner's  
Initials: JS

PROPERTY ADDRESS: 1907 Elm Street Dallas, Texas 75201

Historic District: Harwood Historic District

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

**This application is an amendment to the previous Partially Approved application for 1907**

**Elm St, CA156-525 (MD), filed May 5th, 2016 and Partially Approved June 6th, 2016.**

**Changes from the previous application include the following: 1. Additional details for Canopy and Awnings along Elm Street previously denied without prejudice; 2. Revisions to the New Storefront Systems; 3. Change in Scope, no longer constructing addition on north side of structure. See additional attached sheets for further description.**

Signature of Applicant: Patrick Hazard Date: 2017.01.04

Signature of Owner: John Kitter Date: 01.05.2017  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



## MERRIMAN ANDERSON/ARCHITECTS, INC.

architecture · planning · interiors

January 4, 2017

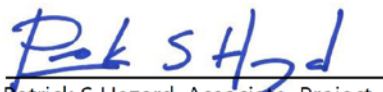
### RE: 1907 Elm Street – Certificate of Appropriateness

This application is to amend the previous Partially Approved application for 1907 Elm St, CA156-525 (MD), filed May 5<sup>th</sup>, 2016 and Partially Approved June 6<sup>th</sup>, 2016. The changes are as follows:

1. Additional details for Canopy and Awnings along Elm Street, previously denied without prejudice.
  - a) Further detail has been provided for the proposed Canopy over the main building entrance at 1907 Elm St and for the retractable canvas awnings along Elm St. and St. Paul. See sheets A1.01 Site for location of awnings and canopies, A3.01 Overall north and west exterior elevation, A3.03 Enlarged Exterior Elevations, A4.06 Canopy and Awning Details.
  - b) Precedent for the canopy is based on the previous marque sign canopy that was located on Elm Street for the Tower Theatre that's entrance was through the Tower Petroleum Building. See included historic photos of the Tower Theatre Canopy. The proposed awnings are restoration of the previous retractable awnings that were previously removed due to damage and maintenance neglect. See included historic photos of the awnings
  - c) The proposed canopy and awning has been approved by Texas Historic Commission (THC) and National Park Services (NPS). Enclosed with this application is the NPS amendment application, dated August 12<sup>th</sup>, 2016, for the canopy and awnings and the conditional approval for the items dated October 25<sup>th</sup>, 2016. NPS Project Number 27847
2. Revisions to new Storefront Systems at Elm and St. Paul, ground floor. Due to change in design and program for the hotel for 1907 Elm St, a door in the new storefront is only required in the first window bay from the left on Elm St. in lieu of the previously proposed second and third window bay from the left on Elm St. This was submitted to THC and NPS on August 12<sup>th</sup>, 2016 and conditionally approved October 25<sup>th</sup>, 2016.
3. Change in Scope, no longer construction addition on north side of structure. Due to change in design and program of the hotel for 1907 Elm St, the addition at floors 18 through 22, the north side of 1907 Elm, adjacent to 1900 Pacific is no longer required for the project. This addition is removed from the project scope.

Sincerely,

MERRIMAN ASSOCIATES/ARCHITECTS, INC.



Patrick S Hazard, Associate, Project Architect

merriman-maa.com

300 n. field street dallas, texas 75202 t.214.987.1299 f.214.987.2138  
dallas · austin · charlotte





Site Aerial



Existing West & South (Front) Elevations

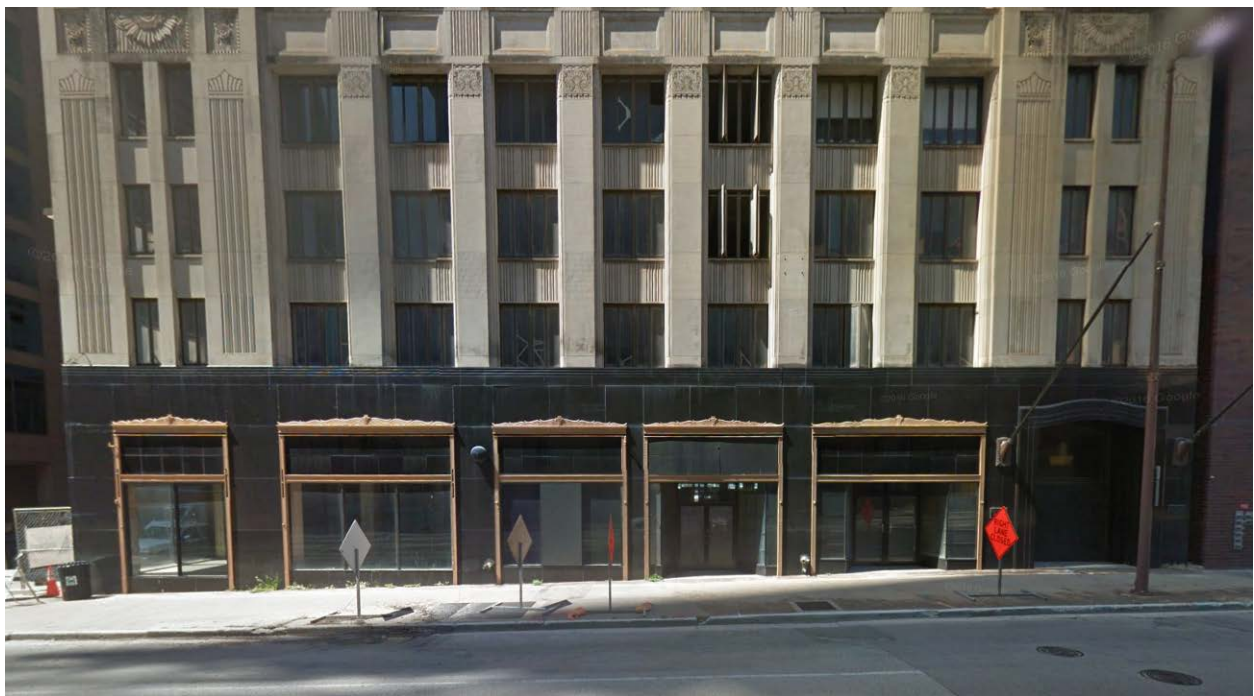
CA167-171(LC)

C5-6





Existing West & South (Front) Elevations – Storefronts



South Elevation Close-up (August 2016)



West Elevation Close-Up (August 2016)



Elm Street Entry and Proposed Canopy Location





Streetscape – Facing Northwest from Elm St



Streetscape – Facing Northeast from Elm St



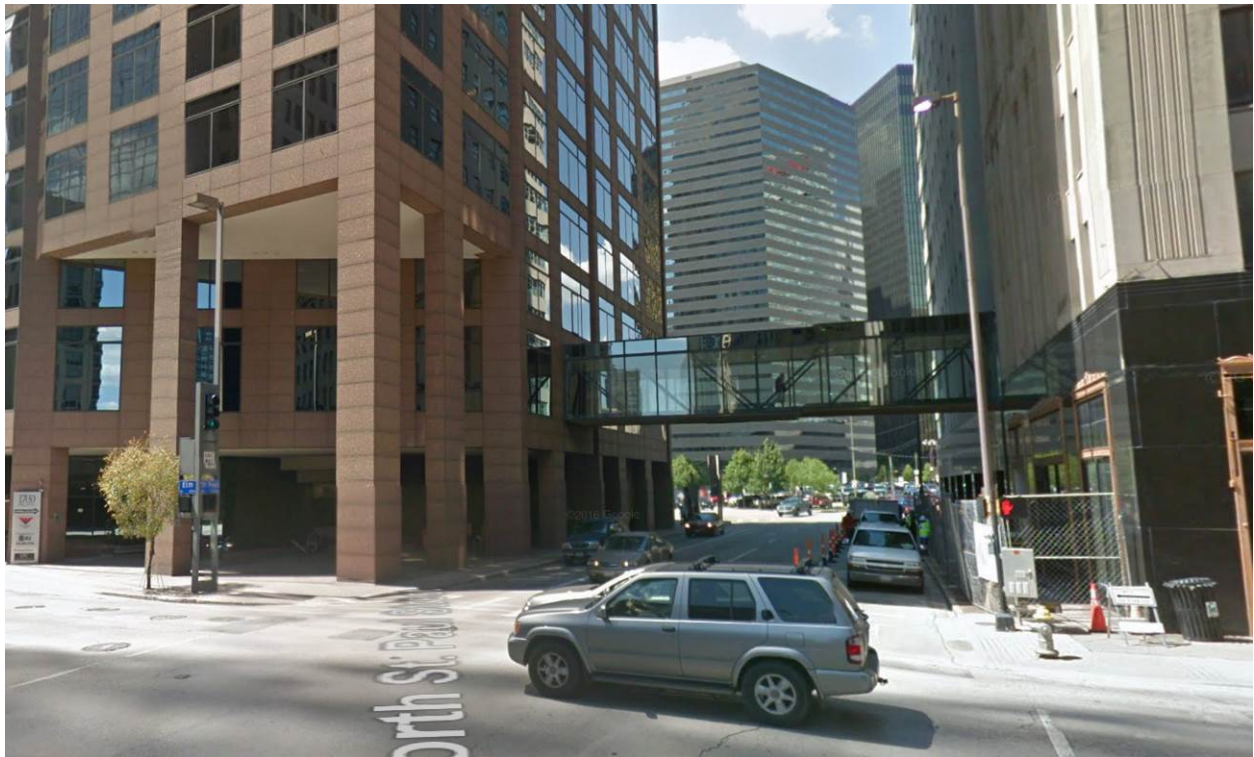


Streetscape – Facing Southeast from Elm St (across street)



Streetscape – Facing Southwest from Elm St (across street)





Streetscape – Facing Northwest (across street)



Streetscape – Facing Northeast from St. Paul St





Streetscape – Facing Southeast from St. Paul St.



Streetscape – Facing Southwest (across street)





Historic Photo – Date Unknown



Historic Photo – Date Unknown



Historic Photo – 1954



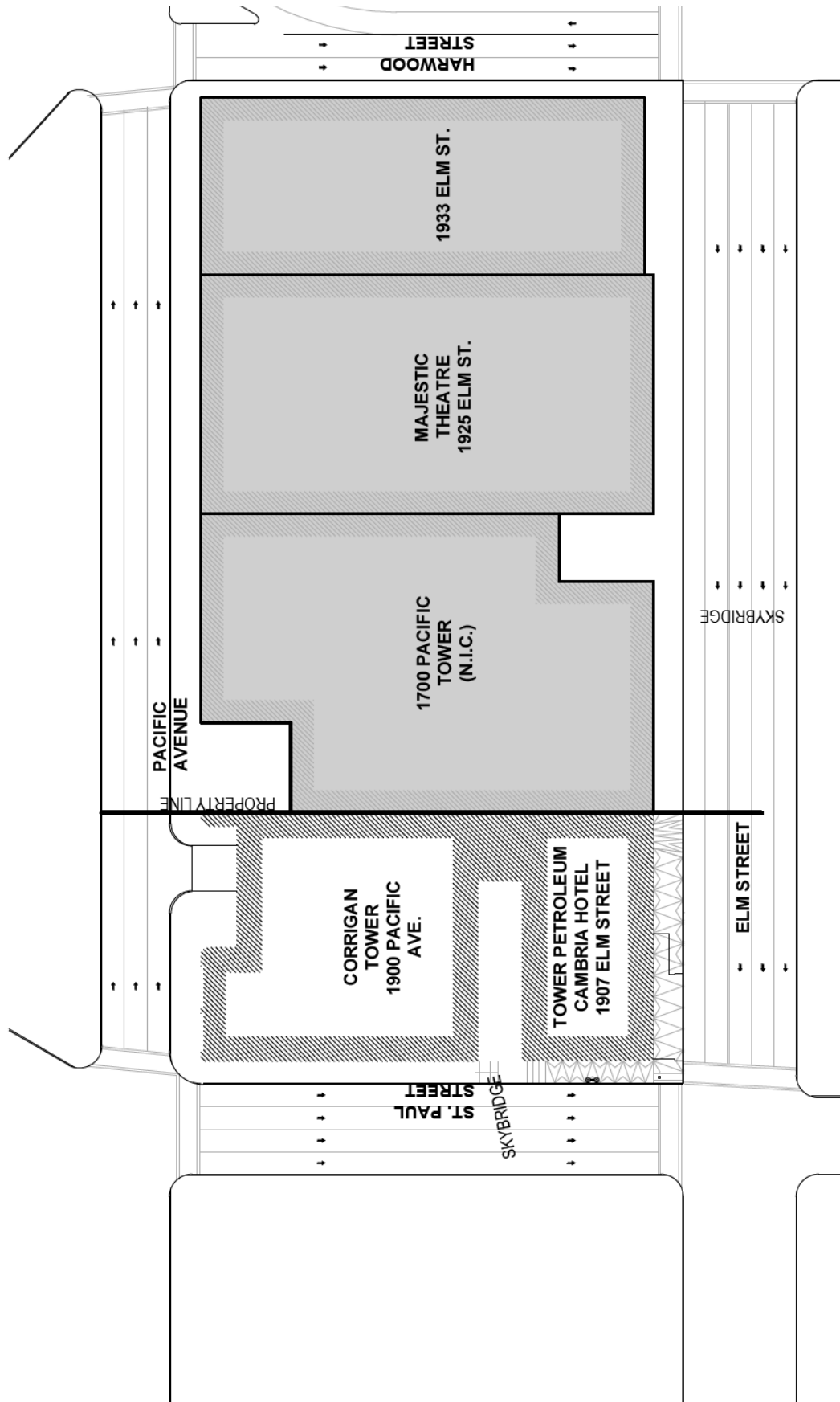
Historic Photo – 1956



Historic Photo – 1965



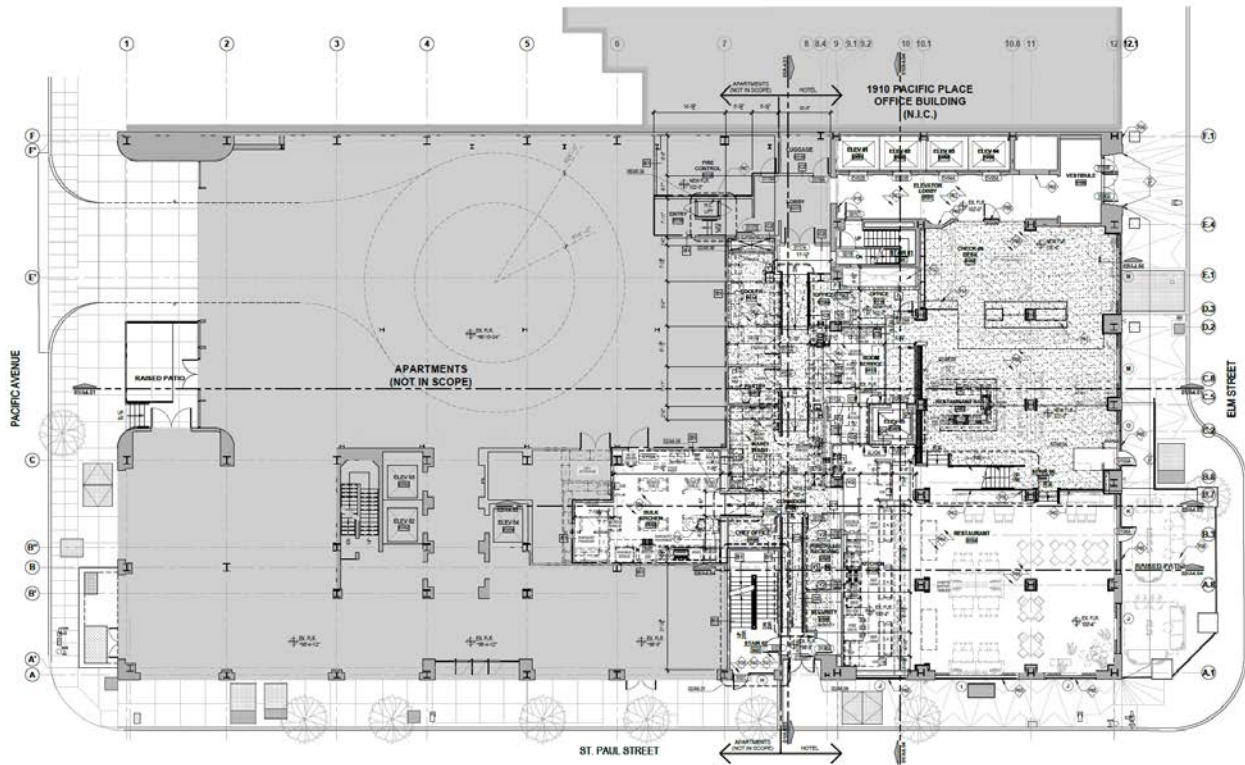
Historic Photo – 1967



## OVERALL SITE PLAN

SCALE: 1" = 50'-0"

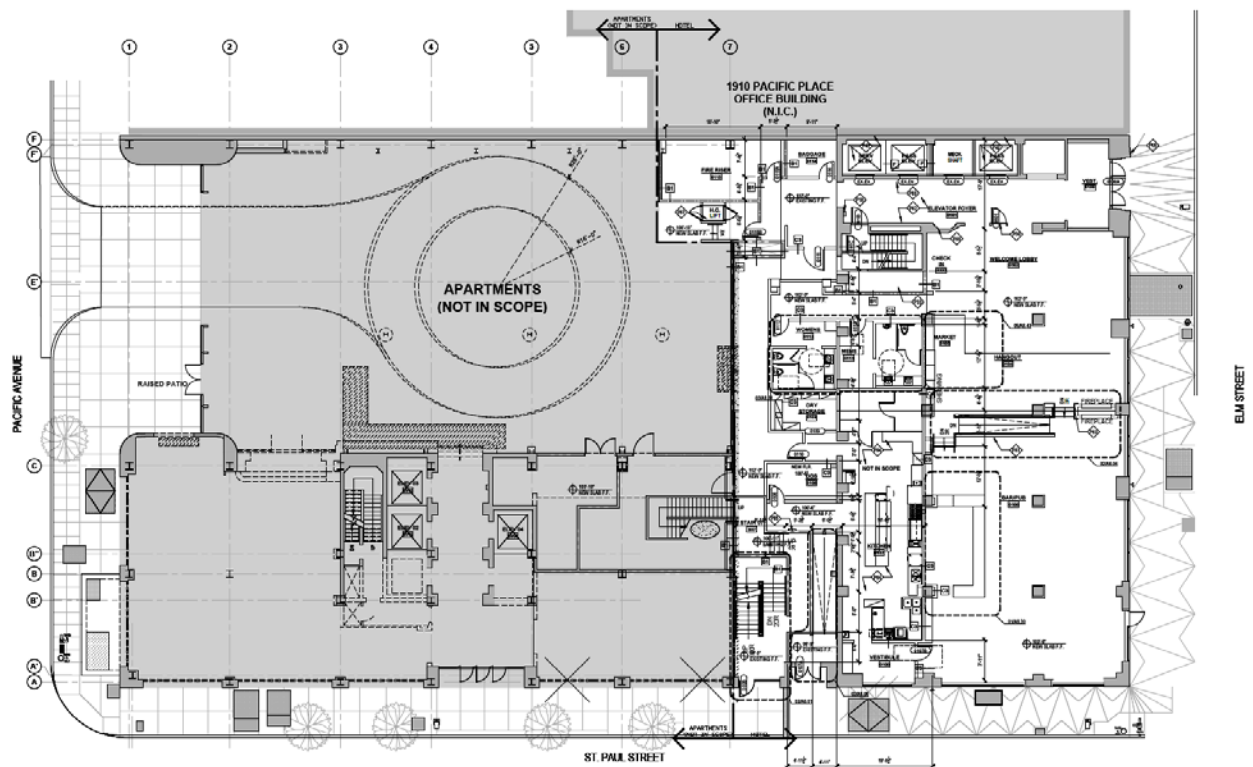




01 GROUND LEVEL - RENOVATION PLAN

SCALE: 1/8" = 1'-0"

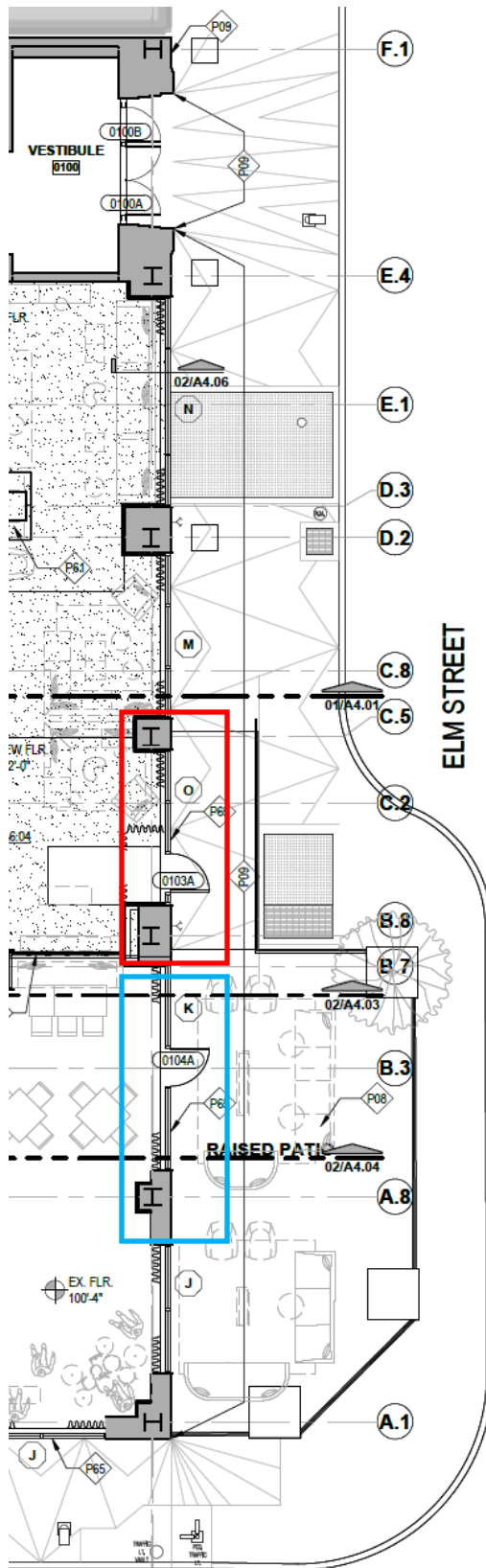
Previously Approved Ground Level Site Renovation Plan (6/6/2016)



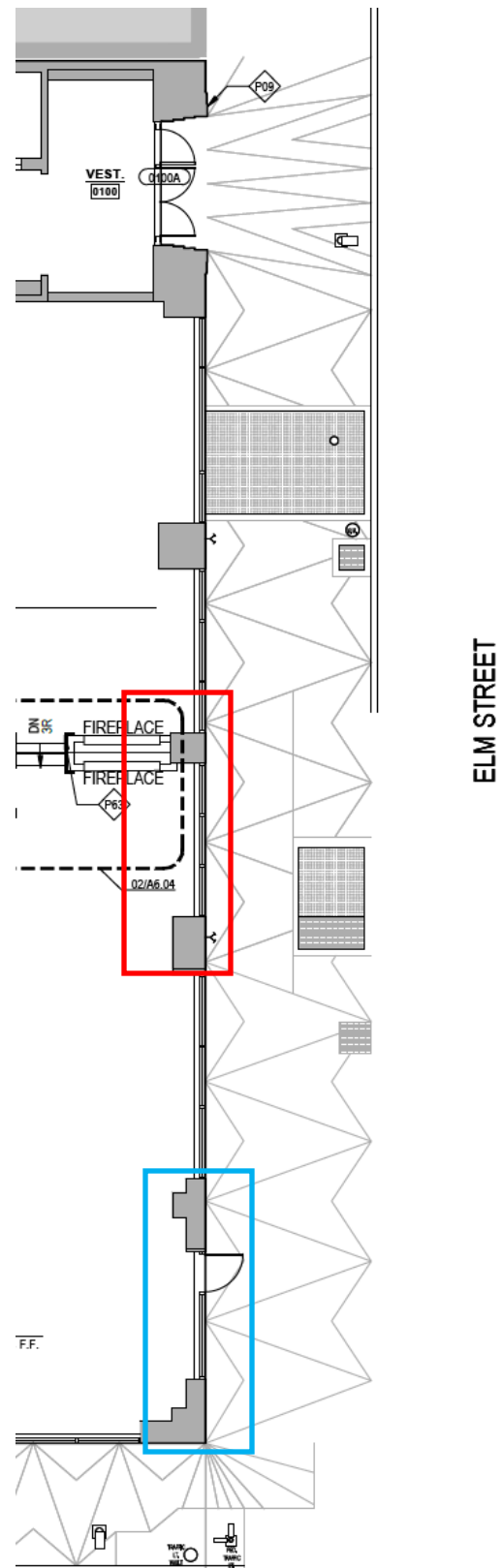
01 GROUND LEVEL - RENOVATION PLAN

SCALE: 1/8" = 1'-0"

Proposed Ground Level Site Renovation Plan

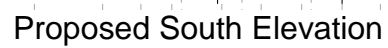
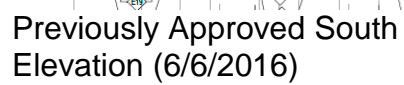


Previously Approved Site Plan  
Close-Up (6/6/2016)



Proposed Site Plan Close-Up

Note: Red box highlights eliminated door opening; Blue box indicates relocated door opening  
CA167-171(LC)





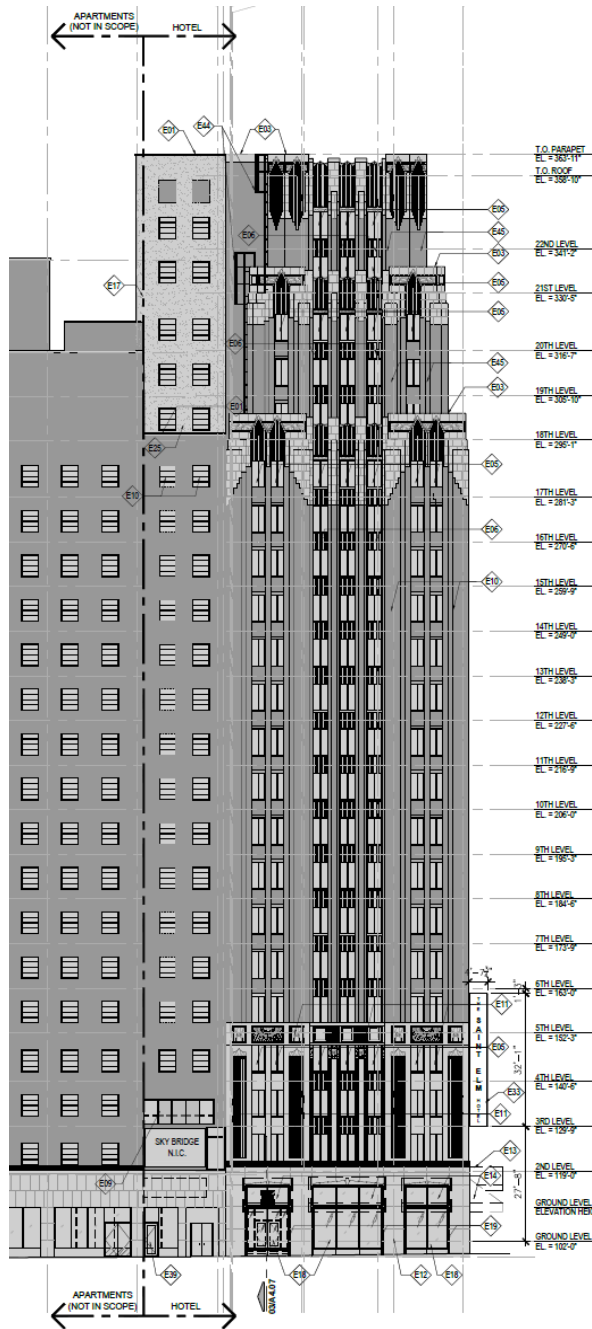


Previously Approved South Elevation Close-Up (6/6/2016)

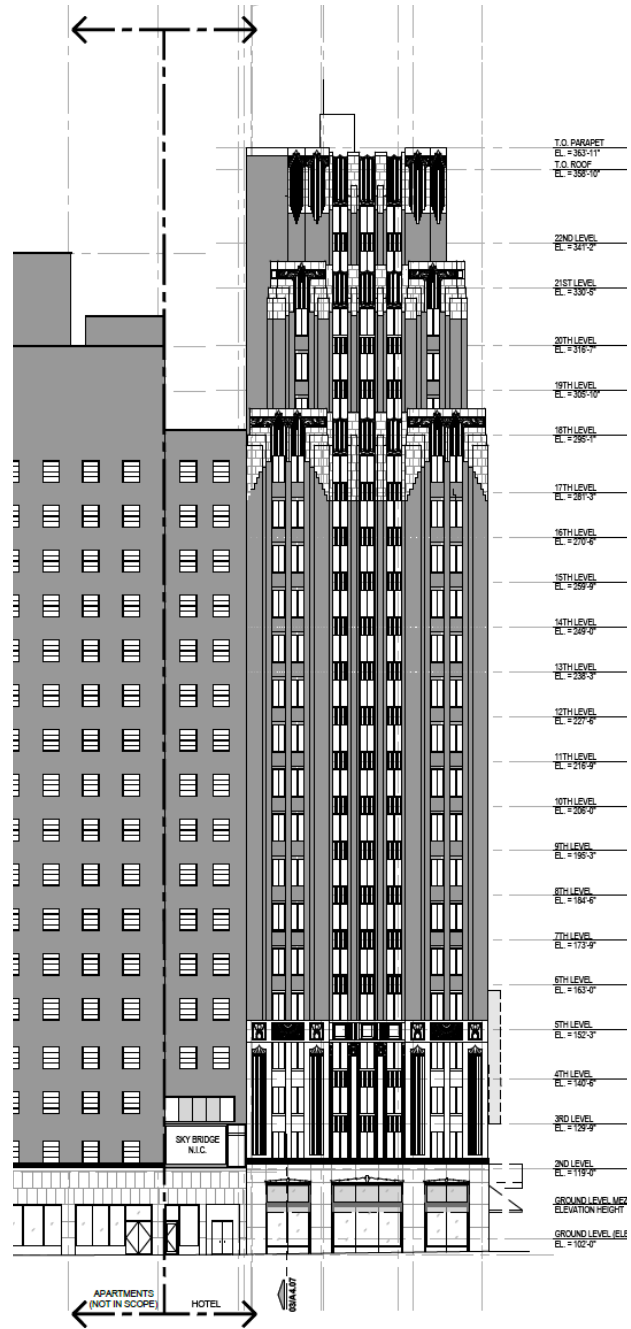


Proposed South Elevation Close-Up

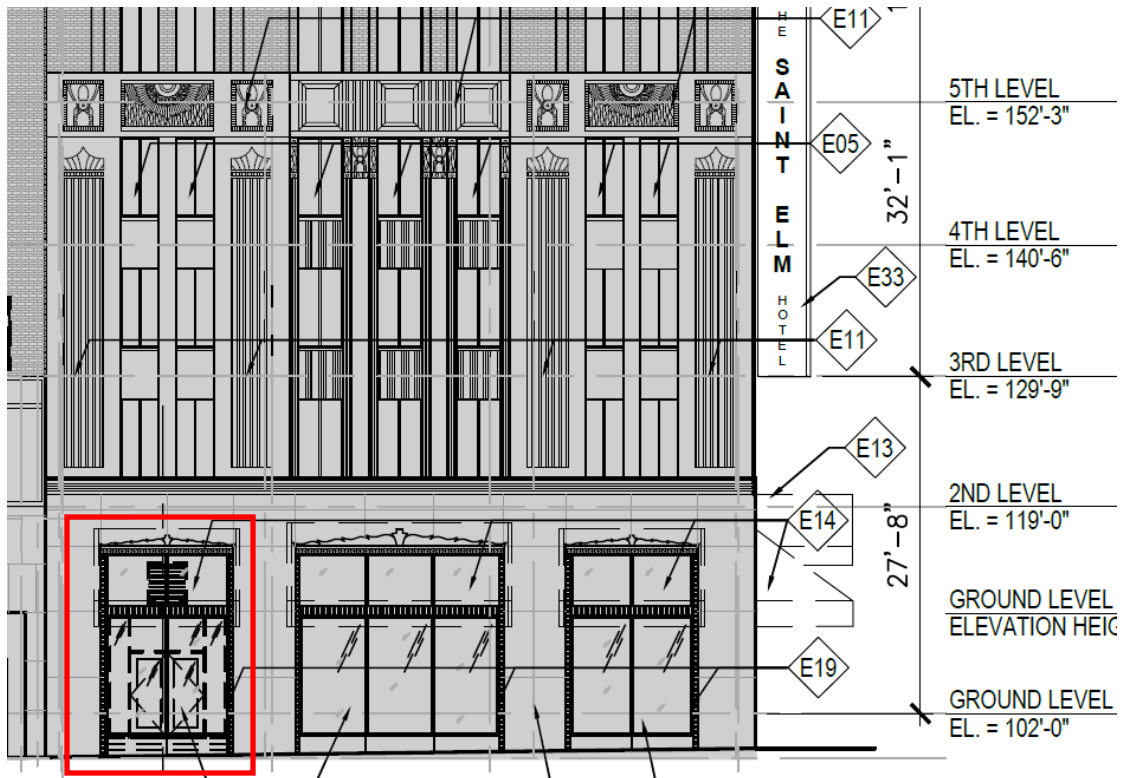
Note: Red box highlights eliminated door opening; Blue box indicates relocated door opening



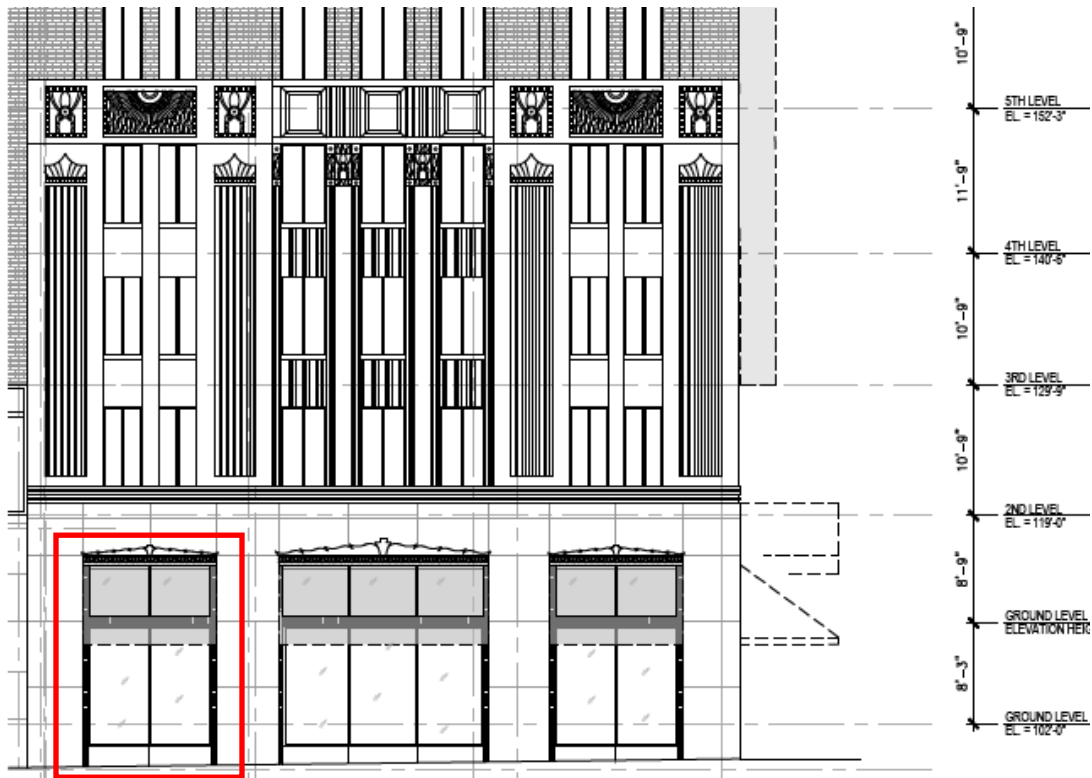
Previously Approved West  
Elevation (6/6/2016)



Proposed West Elevation



Previously Approved West Elevation Close-Up (6/6/2016)



Proposed West Elevation Close-Up

Note: Red box highlights eliminated door opening





Perspective Rendering – Street level, Facing Northeast



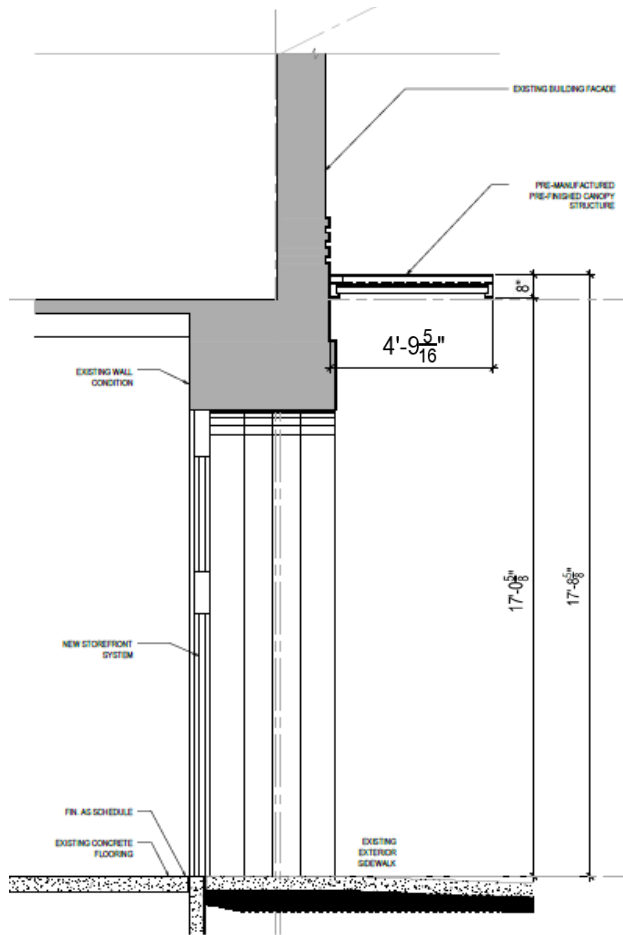
Perspective Rendering – Facing Northeast



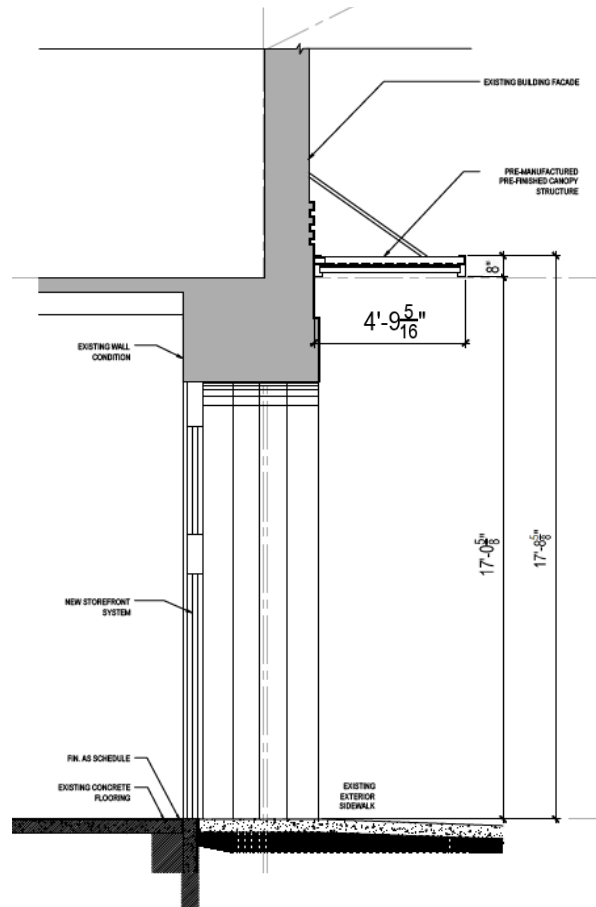
Perspective Rendering – Facing Northwest



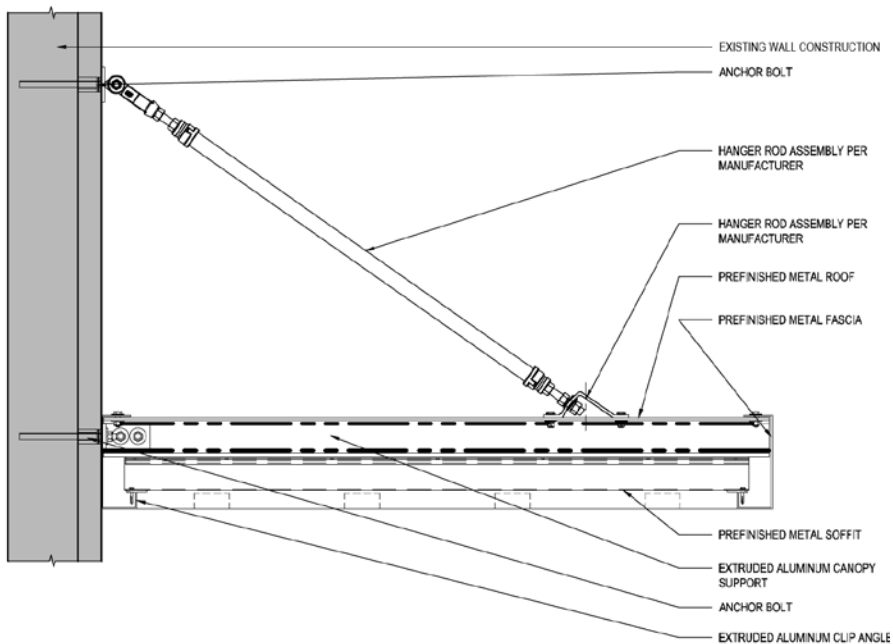
Perspective Rendering – Facing Northeast



**CANOPY SECTION-1**  
Previously Denied Canopy (6/6/2016)

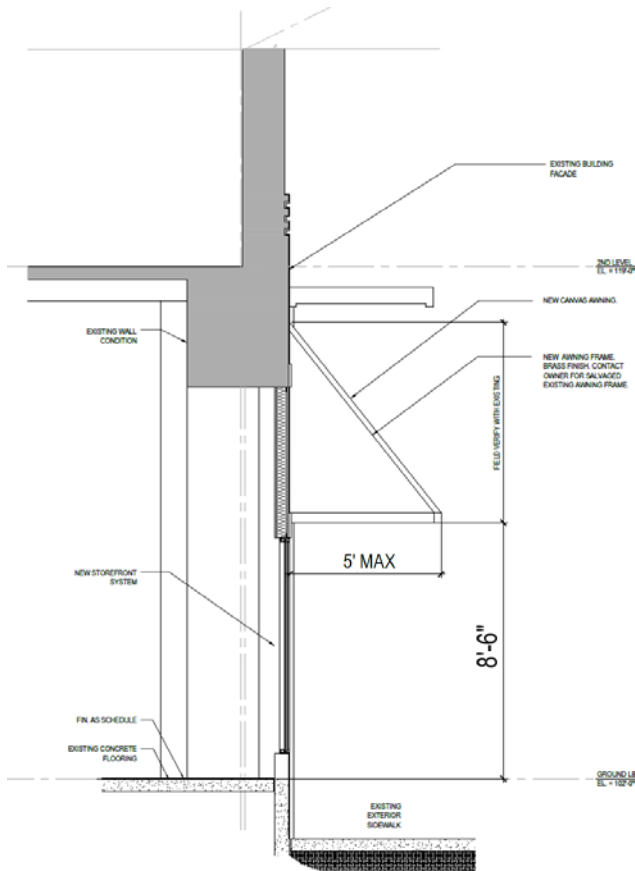


**CANOPY SECTION-1**  
Proposed Canopy

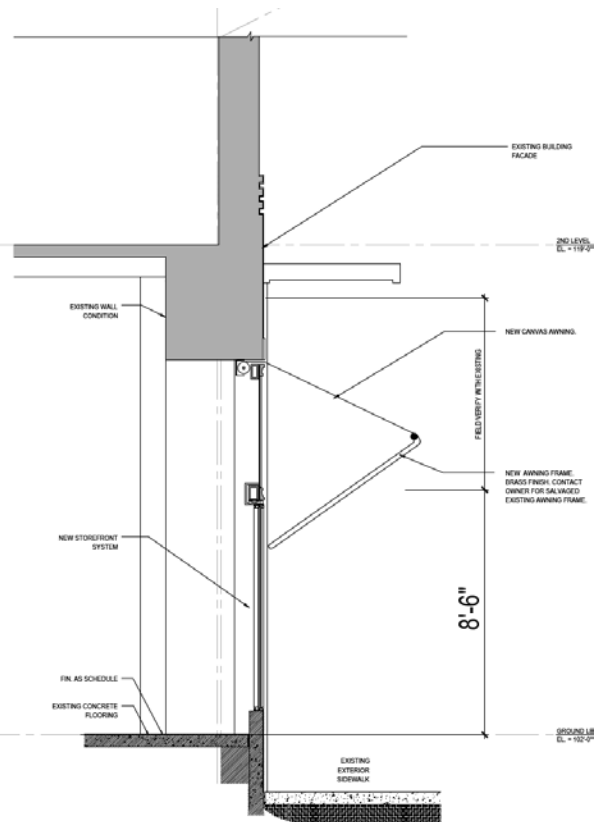


**Proposed Canopy Detail**

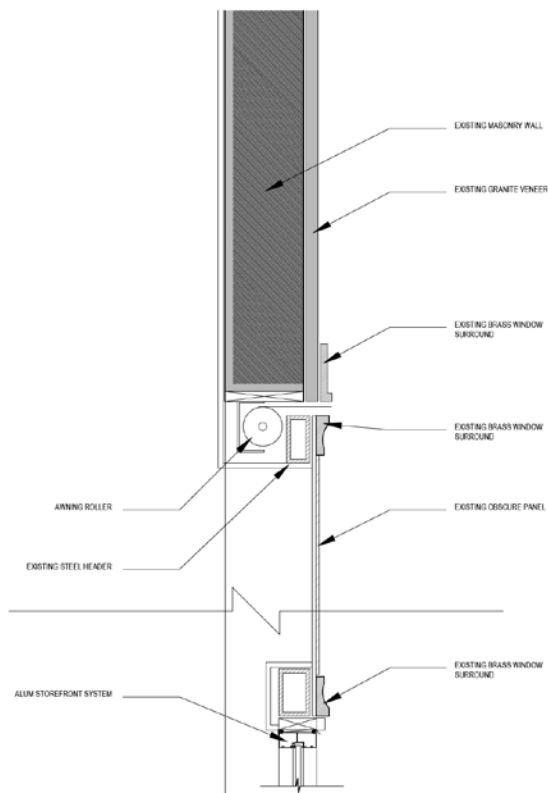




Previously Denied Awning (6/6/2016)



Proposed Awning



Proposed Awning Detail



The product to be used is:

Sunbrella  
 Sunbrella Shade Collection  
 100% Sunbrella Acrylic  
 Forest Green

Proposed Awning Material and Color

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name:	Patrick Hazard - Merriman Anderson Architects
Address:	1907 Elm Street (H-48; Harwood)
Date of CA/CD/CR Request:	1/5/2017

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Approved ~~with~~ as submitted with conditions*  
*1. Canopy Materials to be provided & submitted for approval*  
*2. Owner to remove paint from all bronze window surrounds on the First Floor (Ground Level) of Elm & St Paul Streets*

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input checked="" type="checkbox"/> Joseph Piwetz	<input type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Anne Stimmel (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *Jay Firsching*  
2nd: *Carolina Pace*  
Task Force members in favor: *5*  
Task Force members opposed: *0*  
Basis for opposition:

CHAIR, Task Force

*Gary C. Coffman* DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-167(MP)  
LOCATION: 702 Lipscomb Ave  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 36-Y  
CENSUS TRACT: 14.0

**APPLICANT:** Tracy Lawson

**REPRESENTATIVE:** None

**OWNER:** Tracy Lawson

**REQUEST:**

Replace sliding glass door on left side elevation with double French doors.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Staff is recommending approval of the proposed French doors to replace existing sliding glass doors because the French doors are more historically appropriate. Task Force was also supportive.

**STAFF RECOMMENDATION:**

Replace sliding glass door on left side elevation with double French doors – Approve – Approve photos and specifications dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

Replace sliding glass door on left side elevation with double French doors – No comments, suggestions only; approve replacement.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 167 (AP)  
Office Use Only

Name of Applicant: Tracy Lawson  
Mailing Address: 702 Lipsomb Ave  
City, State and Zip Code: Dallas, TX 75214  
Daytime Phone: 614/439-6241 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: owner

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_\_ No \_\_\_\_\_  
Planner's Initials

PROPERTY ADDRESS: 702 Lipsomb  
Historic District: Junius Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Replace existing sliding door in kitchen with door identical to  
the ones we had installed in our sunroom renovation in 2016.

Photos and spec sheet on door attached.

**RECEIVED BY**

Signature of Applicant: Tracy Lawson Date: 1/5/AN 05 2017

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**Current Planning**

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

**OTHER:**

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

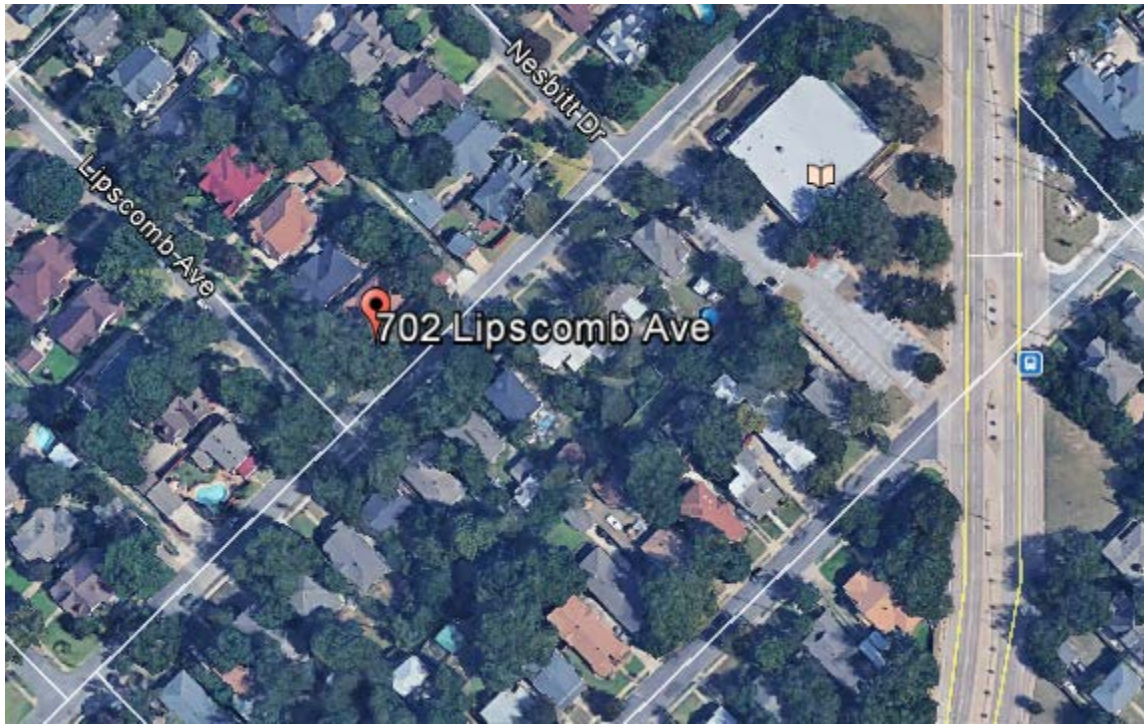
**Sustainable Construction and Development**

**Date**

**Certificate of Appropriateness**

**City of Dallas**

**Historic Preservation**  
Rev. 111408



Aerial view, 702 Lipscomb.





Front (West) elevation.





View to left (North) of 702 Lipscomb.



View to right (South) of 702 Lipscomb.



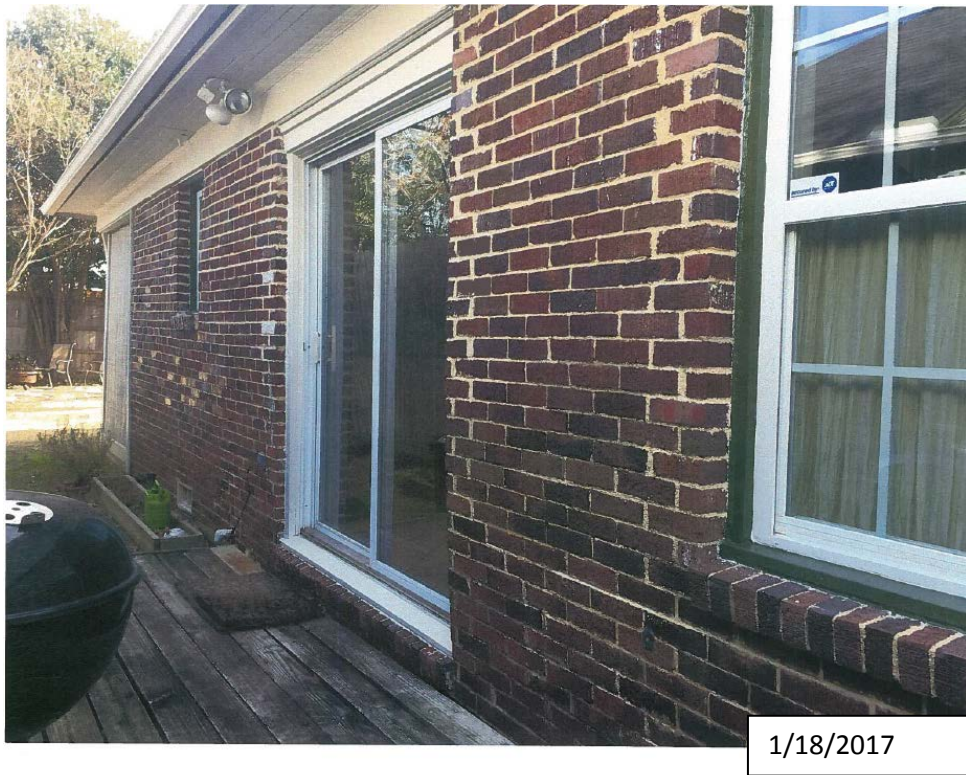


View across the street (West) from 702 Lipscomb.





Left side elevation with current sliding glass door.



Left side elevation with current sliding glass door.



Current sliding glass door, close-up.





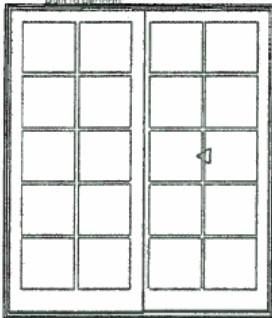
French doors previously approved for front elevation.



## LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Kitchen	Net Price:		2,390.93
Qty: 1		Ext. Net Price:	USD	2,390.93



As Viewed From The Exterior

Entered As: CN  
MO 71 1/2' X 82 1/4"

CN 6068

FS 71" X 82"

RO 72" X 82 1/2"

Egress Information

Width: 29 17/64" Height: 77 15/64"

Net Clear Opening: 15.70 SqFt

Stone White Exterior  
Bare Pine Interior  
Integrity Sliding French Door - OX  
Wood-Ultrex  
CN 6068  
Rough Opening 72" X 82 1/2"  
Left Panel  
IG  
Tempered Low E2 w/Argon  
7/8" SDL - With Spacer Bar  
Rectangular - Standard Cut 2W5H  
Stone White Ext - Bare Int  
Right Panel  
IG  
Tempered Low E2 w/Argon  
7/8" SDL - With Spacer Bar  
Rectangular - Standard Cut 2W5H  
Stone White Ext - Bare Int  
Multi-Point Lock  
Cambridge SFD Handle Brass PVD Keyed Exterior Primary Handle Set  
Cambridge SFD Handle Brass PVD Interior Primary Handle Set  
Exterior Aluminum Screen  
Stone White Surround  
Charcoal Fiberglass Mesh  
\*\*\*Screen/Combo Ship Loose  
Bronze Ultrex Sill / Black Weatherstrip  
4 9/16" Jambs  
Nailing Fin  
\*\*\*Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

1/18/2017

Specifications for proposed French doors.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

There is no specific criteria for this particular request in the Junius Heights preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

**TASK FORCE RECOMMENDATION REPORT**  
**JUNIUS HEIGHTS**

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Tracy Lawson  
Address: 702 Lipscomb Ave

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Approve replacement*

**Task force members present**

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

*Jan. 12, 2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

---

FILE NUMBER: CA167-160(MP)  
LOCATION: 725 Ridgeway Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 36-Y  
CENSUS TRACT: 14.0

---

**APPLICANT:** Walter Pearson

**REPRESENTATIVE:** None

**OWNER:** Walter Pearson

**REQUEST:**

Remove dead oak tree from front parkway.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Based on arborist's report, and the fact that unhealthy trees may be removed per the preservation criteria, Staff and Task Force are recommending approval for removing tree.

**STAFF RECOMMENDATION:**

Remove dead oak tree from front parkway – Approve – Approve proposed work with the finding the removal of the tree is consistent with preservation criteria Section 3.5(c) and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

Remove dead oak tree from front parkway – No quorum, comments only – Approve.

# Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 167 - 160 (MP)

Name of Applicant: Walter Pearson  
 Mailing Address: 725 Ridgeway Street  
 City, State and Zip Code: Dallas, TX 75214  
 Daytime Phone: 214/403-1074 Fax: 469/291-5259  
 Relationship of Applicant to Owner: Same  
 : 725 Ridgeway Street  
 : Luckus Heights

Building  
 Inspection:  
 Please see signed  
 drawings before  
 issuing permit:  
 Yes ☐ No ☐  
 Historic Planner's  
 Initials:

## PROPOSED WORK:

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Remove diseased/dead oak tree at curb. Report by Armand J. Groschke R.S. states that the tree has Hypoxylon Canker and is infested with boring insects and cannot be treated or saved.

Signature of Applicant: Walter Pearson Date: 12/1/16

RECEIVED BY

Signature of Owner: \_\_\_\_\_ Date: JAN 05 2017  
 (IF NOT APPLICANT)

## APPLICATION DEADLINE:

Application material must be completed and submitted by the \_\_\_\_\_ before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Current Planning

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

## OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall. Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
 Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ APPROVED. Please release the building permit.
- ☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
- ☐ DENIED. Please do not release the building permit or allow work.
- ☐ DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

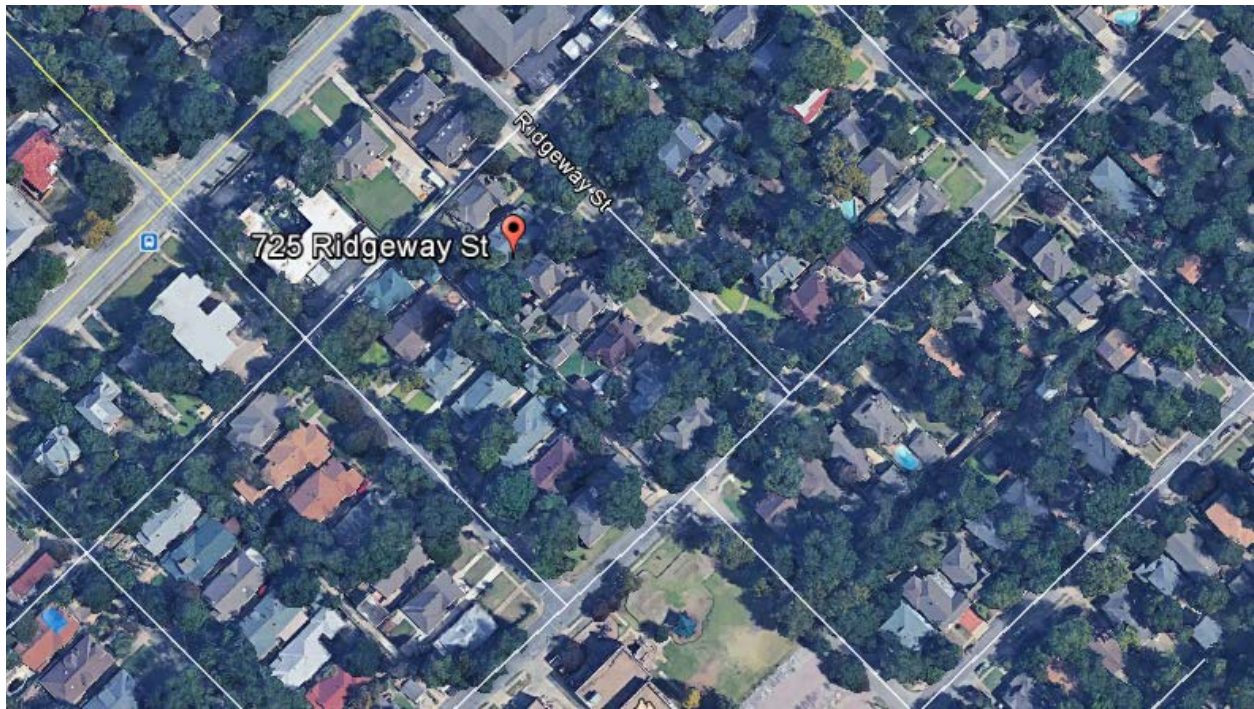
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
 Rev. 111408



Aerial view, 725 Ridgeway.





Front (East) elevation.





View to left (North) of 725 Ridgeway.



View to right (South) of 725 Ridgeway.





View across the street (East) from 725 Ridgeway.





1/18/2017

Photo of oak tree submitted by applicant. Note: tree on right is diseased tree.



1/18/2017

# Arborilogical Services, Inc.

16 STEEL ROAD ■ WYLIE, TX 75098



The Tree Care Experts  
**DALLAS (972) 442-1524**  
**FT. WORTH (817) 849-1160**  
 TOLL FREE (866) 55 ARBOR (552-7267)  
 FAX: (972) 429-0012



www.arborilogical.com

**"ENHANCING THE URBAN ENVIRONMENT THROUGH TREE PRESERVATION"**

Company Email: email@arborilogical.com

Arborist Email: jgroschke@arborilogical.com

Web Site: www.arborilogical.com

**PROPOSAL SUBMITTED TO:**

Name: Walter & Heather Pearson

Street: 725 Ridgeway

City, ST, Zip: Dallas, TX 75214

Job Location: 725 Ridgeway, Dallas 75214

Client Acct: 785

Job ID: 242127

Date: 8/18/2016

Authorized By:

Certified Arborist: John Groschke

MAPSCO: Dallas 36 Y

Email: wpearson100@sbcglobal.net

Home: (214) 403-1074

APP?	SPECIFICATIONS AND ESTIMATES	COST
	<b>Tree Removal/Stump Grinding</b>	
	1 Texas Red Oak (front/right) takedown, cut to grade	\$1,275.00
	*grind stump 6-8" below grade, mulch left on site to fill hole Note to Client: Stump grinding is typically scheduled & completed 1-5 business days following your tree removal	\$215.00
	Haul all brush & debris E-Mail/Pending	
	<p>Mr. &amp; Mrs. Pearson,</p> <p>After taking a look at your tree I can see that there was a good portion of the tree that didn't leaf out this year because there is still buds on the ends of the limbs that haven't even opened. The tree was experiencing stress over the winter and potentially even last year. About 16 feet up on the main trunk there are smoother silver patches on the tree. The patches are a Hypoxylon canker. The infection affects stressed or weakened trees and unfortunately there is no effective management for the disease. If the disease is in a structural limb we can quarantine the spread by pruning out the limb. When it appears in the main trunk such as your case, removal is recommended because the disease dries out the wood and it becomes brittle and dangerous. Along with the Hypoxylon there are also boring insects present in the tree. They bore in to the tree and lay eggs. When the eggs hatch they bore tunnels around the inside of the tree. The tunnels disrupt the flow of water and nutrients in the tree. The insects in your tree just accelerated the dying process in your tree. Attached is a proposal for the removal of your tree along with the stump grind. If you have any further questions or concerns please let me know.</p> <p>Respectfully,                      John Groschke, B.S. Agricultural Business Management, Arborist                      Office: 972-442-1524                      E-Mail: jgroschke@arborilogical.com</p>	

Applicable tax will be added to invoice

4/19/2017

Please call with any questions or if you would like to have this work scheduled. Thank you.

Schedule Department - email@arborilogical.com

Arborist Email: jgroschke@arborilogical.com

All prices are plus sales tax unless you are exempt.

We are insured for your protection.

Responsibility for determining tree ownership and obtaining consent from joint owners, if any, lies strictly with customer. Customer will indemnify and hold harmless Arborilogical Services, Inc. from and against any and all claims, damages, liabilities, lawsuits, costs and expenses (including, without limitation, attorneys fees and court costs), for wrongful tree removal or wrongful pruning.

Arborist's report.



After taking a look at your tree I can see that there was a good portion of the tree that didn't leaf out this year because there is still buds on the ends of the limbs that haven't even opened. The tree was experiencing stress over the winter and potentially even last year. About 16 feet up on the main trunk there are smoother silver patches on the tree. The patches are a Hypoxylon canker. The infection affects stressed or weakened trees and unfortunately there is no effective management for the disease. If the disease is in a structural limb we can quarantine the spread by pruning out the limb. When it appears in the main trunk such as your case, removal is recommended because the disease dries out the wood and it becomes brittle and dangerous. Along with the Hypoxylon there are also boring insects present in the tree. They bore in to the tree and lay eggs. When the eggs hatch they bore tunnels around the inside of the tree. The tunnels disrupt the flow of water and nutrients in the tree. The insects in your tree just accelerated the dying process in your tree. . . .

John Groschke, B.S. Agricultural Business Management, Arborist

Re-typed arborist report (because difficult to read in pdf version).

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### 3.0 SITE AND SITE ELEMENTS

#### 3.5 Landscaping

3.5(c) Existing mature trees in the front yard are protected, except that unhealthy or damaged trees may be removed.

**TASK FORCE RECOMMENDATION REPORT**  
**JUNIUS HEIGHTS**

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Walter Pearson

Address: 725 Ridgeway

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Approve*

**Task force members present**

☒ Rene Schmidt (Chair)

☐ Mary Mesh

☐ Barbara Cohen

☒ Laura Koppang

☒ Terri Raith

☒ Morgan Harrison

☐ VACANT

☐ VACANT

☐ VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE

*Jan 12, 2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CD167-008(MP)  
LOCATION: 5411 Worth Street  
STRUCTURE: Accessory, Non-Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 46-B  
CENSUS TRACT: 13.02

**APPLICANT:** Nora Drutz

**REPRESENTATIVE:** None

**OWNER:** Jeff Rogne and Nora Drutz Rogne

**REQUEST:**

Demolish carport using the standard “noncontributing structure because newer than period of significance.”

**BACKGROUND / HISTORY:**

The carport is non-contributing; the main structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Based on Sanborn maps and photos of the carport, Staff is recommending approval for the demolition. The carport appears to have been constructed sometime after the period of significance for Junius Heights (1900-1940). Task Force was also supportive of the demolition.

**STAFF RECOMMENDATION:**

Demolish carport using the standard “noncontributing structure because newer than period of significance” – Approve – The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(D). The structure is noncontributing to the historic overlay district; the structure is newer than the period of historic significance for the historic overlay district; and demolition of the structure will not adversely affect the historic character of the property or the integrity of the historic overlay district.

**TASK FORCE RECOMMENDATION:**

Demolish carport using the standard “noncontributing structure because newer than period of significance” – No quorum, comments only. Yes to removal.

**Certificate for Demolition and Removal (CD)**  
**City of Dallas Landmark Commission**

CD 167 - 008 (MP)  
Office Use Only

1. Name of Applicant: Jeff Ragny & Nora Drutz  
MAILING Address: 5411 Worth Street City Dallas State TX Zip 75214  
Daytime Phone: 928-710-1544 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Self  
ADDRESS OF PROPERTY TO BE DEMOLISHED: 5411 Worth Street Zip 75214  
Historic District: Junius Heights

**Proposed Work:**

2. Indicate which 'demolition standard(s) you are applying:
- ☐ Replace with more appropriate/compatible structure
  - ☐ No economically viable use
  - ☐ Imminent threat to public health / safety
  - ☒ Demolition noncontributing structure because newer than period of significance
  - ☐ Intent to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;
- Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:  
(please see attached checklist)  
Removal of noncontributing carport that is newer than  
period of significance. Exact date unknown, structure  
is metal framed.

**Application Deadline:**

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210. **DO NOT FAX PHOTOGRAPHS.**

JAN 05 2017

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

RECEIVED BY  
Current Planning

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: Nora Drutz Date: 01/12/2016  
5. Signature of Owner: Nora Drutz Date: 01/12/2016  
(IF NOT APPLICANT)

Review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Development and Construction

Date

NOTE: THIS APPLICATION WILL EXPIRE 180 DAYS AFTER THE APPROVAL DATE

Certificate for Demolition & Removal

City of Dallas

Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05



### Affidavit

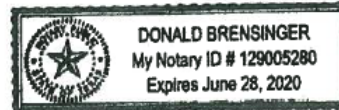
Before me the undersigned on this day personally appeared

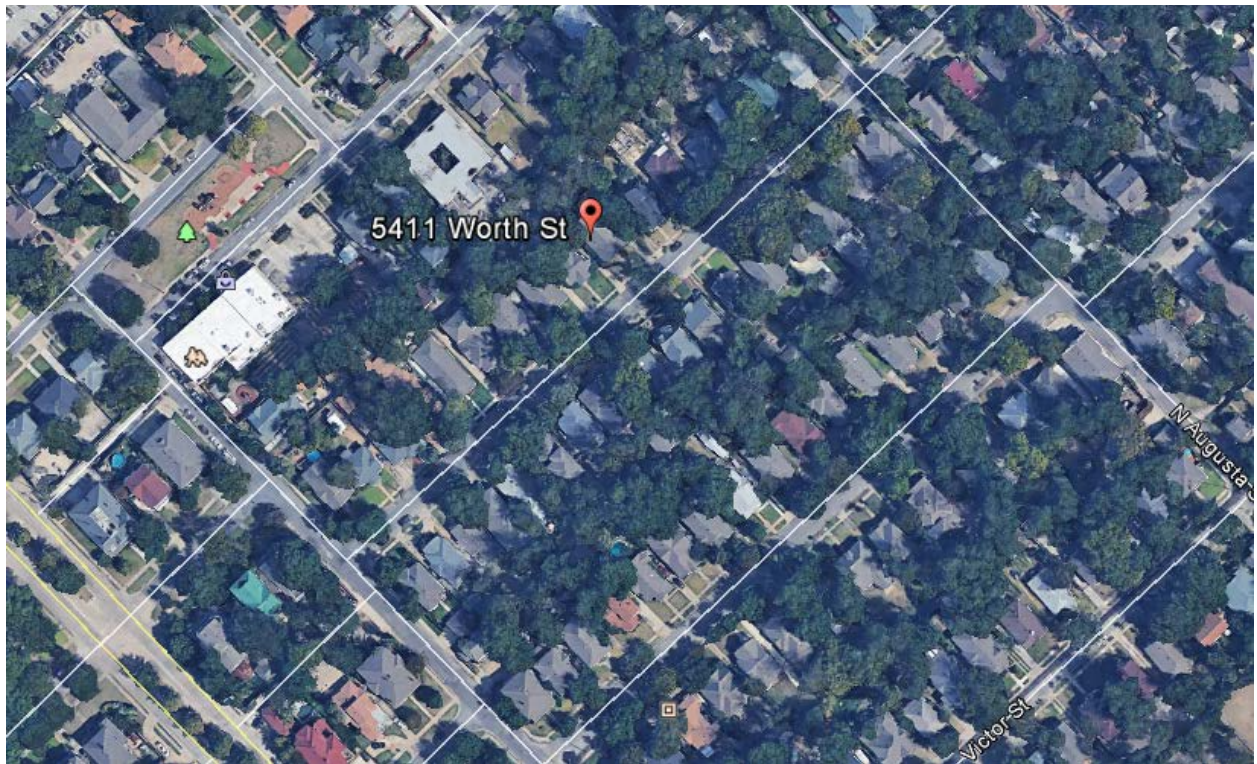
Nora Drutz who on his or her oath certifies that the statements contained in the application for a certificate of demolition and removal are true and correct to the best of his or her knowledge and that he or she is the owner, principle, or authorized representative of the subject property.

Nora Drutz  
Affiant's signature

Subscribed and sworn to before me this 12<sup>th</sup> day of January, 2017

Don B.  
Notary Public





Aerial View, 5411 Worth.



Front (South) elevation.





View to left (West) of 5411 Worth.



View to right (East) of 5411 Worth.





View across the street (South) from 5411 Worth.

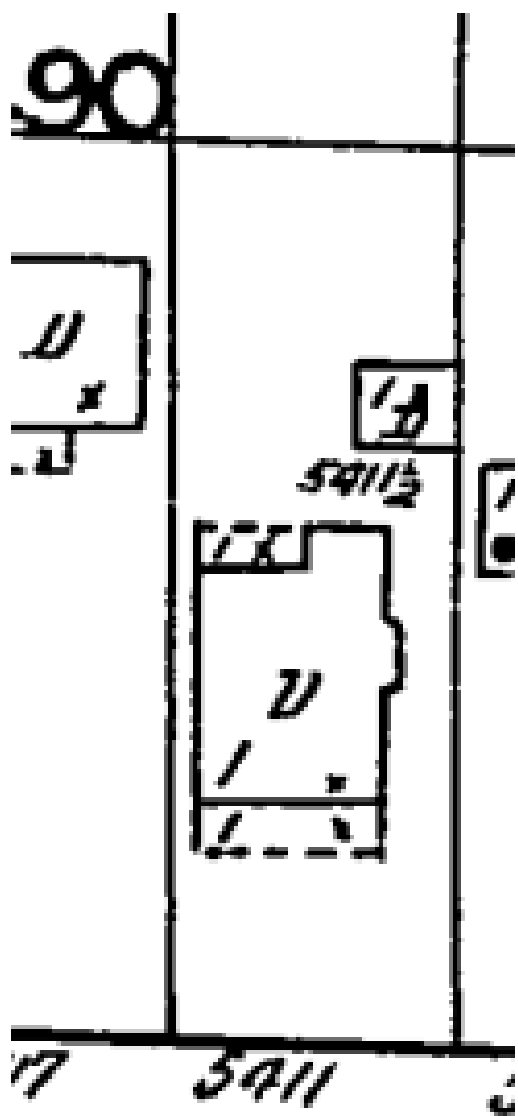


Photo submitted by applicant.

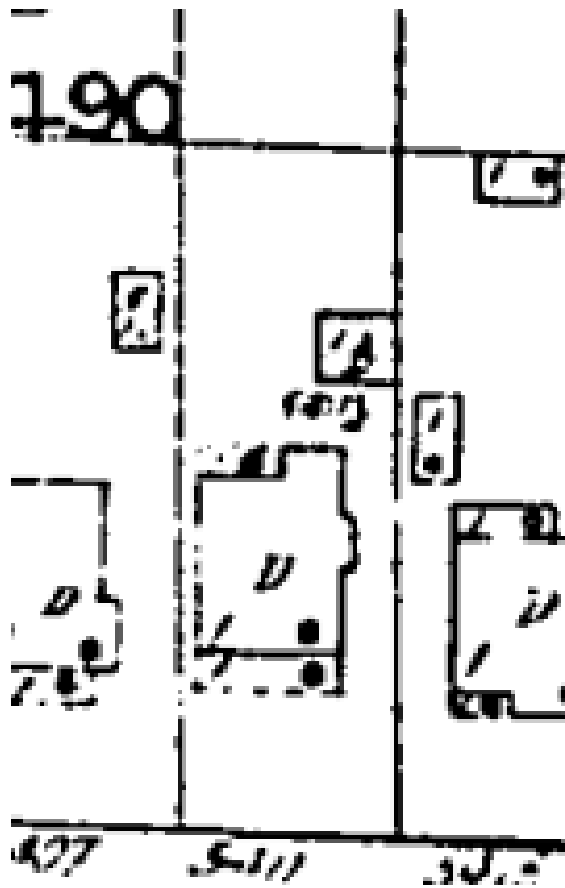




Carport proposed for demolition.



Sanborn map, 1922-1927. No indication of carport.



Sanborn map, 1921-1952. No indication of carport.



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

City Code Section 51A-4.501(h)(4)(D).

The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(D).

- (i) the structure is noncontributing to the historic overlay district;
- (ii) the structure is newer than the period of historic significance for the historic overlay district; and
- (iii) demolition of the structure will not adversely affect the historic character of the property or the integrity of the historic overlay district.

# TASK FORCE RECOMMENDATION REPORT

JUNIUS HEIGHTS

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Jeff & Nora Roney  
Address: 5411 Worth Street

Date of CA/CD Request: 1/5/2017

## RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

CA 1. Approve moving two windows on left side down  
(90°) forward to allow bedroom to have windows.  
Measurements to be submitted.

Approve removal of three back window 15-16-17  
& replaced with lower 1 window over toilet.

CD 2. Yes to removal.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Ferri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

Jan. 12, 2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-161(JKA)  
LOCATION: 400 E. 5<sup>th</sup> Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD-468

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Lake Cliff  
MAPSCO: 54-D  
CENSUS TRACT: 0020.00

**APPLICANT:** Sonya Eudaley

**OWNER:** EMRON E & ANNIE H PRATT

**REQUEST:** Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown."

**BACKGROUND/HISTORY:**

11/11/2011 – A carport and landscaping plan was approved by Landmark Commission ((CA112-001(CH)).

The structure is considered to be contributing to the Lake Cliff historic district.

**ANALYSIS:** The applicant originally proposed two body colors for the main structure. The Lake Cliff preservation criteria specifies that only one body color is allowed, so following the Task Force the applicant chose one color for the body. Locations of the paint colors were also clarified. Staff believes that the paint colors are appropriate to the Lake Cliff historic district and is recommending approval of the work.

**STAFF RECOMMENDATION:** Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown" – Approve – Approve paint specifications dated 1-17-17 with the finding that the proposed work is consistent with preservation criteria Section 4.8(c) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:** Paint main structure using Behr paint. Body: PPU9-02 "Lucky Bamboo;" Trim: MQ3-44 "Ancient Scroll;" Accent: PPU7-25 "Clove Brown" – None – No quorum, comments only. Need paint chips and clarification of paint placement. Need more info.



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 161 (JKA)  
Office Use Only

Name of Applicant: SONYA EUDALEY  
Mailing Address: 400 E. 5th St. #  
City, State and Zip Code: DALLAS, TX 75203  
Daytime Phone: 917-240-6015 Fax: N/A  
Relationship of Applicant to Owner: TENANT

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes ☐ No ☐  
Historic Planner's  
Initials:

PROPERTY ADDRESS: 400 E. 5th St. DALLAS  
Historic District: Lake Cliff

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

REPLACE WOOD THAT HAS ROTTED ON ROOF & PORCH.  
REPAINT WHERE PAINT HAS CHIPPED /  
PAINT ENTIRE HOUSE  
MINOR REPAIRS USING SAME MATERIAL & DESIGN AS ORIGINAL  
REPLACING & PAINTING & STABILIZING DETERIORATED ARCHITECTURAL FEATURES.

Signature of Applicant: [Signature] Date: October 2017  
Signature of Owner: [Signature] Date: Dec 1, 2018  
(IF NOT APPLICANT)

RECEIVED BY

JAN 05 2017

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla SBN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial image





Main structure

CA167-161(JKA)

C9-4





To the left of main structure



To the right of main structure





Across street from main structure



Main structure

CA167-161(JKA)

C9-7





Main structure



BODY COLOR



TRIM COLOR



ACCENT COLOR



Paint specifications



Paint locations for body color





Paint locations for trim color





Paint locations for accent color

**Anderson, Jennifer**

---

**From:** Sonya Eudaley [REDACTED]  
**Sent:** Friday, January 20, 2017 9:52 PM  
**To:** Anderson, Jennifer  
**Subject:** RE: 400 E 5th CA Application INFO REQUIRED and TIMELINE

OK we are to do the one paint color; "Lucky Bamboo" for the entire body of the house. No other changes.

Is this all we need?

Thanks again,  
Sonya Eudaley



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### Section 4.8(c)

- c. All structures must have a dominant color and no more than three trim colors, including any accent colors. Proper location of dominant, trim and accent colors is shown in Exhibit D. The colors of a structure must be complimentary to each other and the overall character of this district. Complimenting color schemes are encouraged through the blockface.

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017  
TIME: 5:30pm  
MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Sonya Eudaley  
PROPERTY ADDRESS: 400 E 5<sup>th</sup> St  
DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*Needs Paint Chips and Clarification of  
paint placement  
Needs More Info*

**Task force members present**

<input type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Heidi Maher	<input checked="" type="checkbox"/> Rachel Hoehn	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Harry Nicholls	<input type="checkbox"/> VACANT (Alt)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☐ no

Maker:  
2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE *1-11-17*

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-177(EH)  
LOCATION: 1015 N. Carroll Ave  
STRUCTURE: Main, Non-Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-298

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-A  
CENSUS TRACT: 0015.04

**APPLICANT:** PHP Carroll MOB Partners, LP

**REPRESENTATIVE:** Kathy Delavergne

**OWNER:** PHP Carroll MOB Partners, LP

**REQUEST:**

Install 4 signs on main structure.

**BACKGROUND / HISTORY:**

12-11-2015: Landmark Commission approved the installation of two signs on the front façade of the main structure. CA156-081(JKA).

The structure is listed as non-contributing to the Peak's Suburban historic district.

**ANALYSIS:**

Staff is recommending approval of the installation of 4 more signs on the structure. Since the structure is non-contributing, Staff believes that the installation of front-lit signs will not have a negative impact on the future preservation of the Historic Overlay District. The applicant told Staff and the Task Force that after these added signs, there would be no more tenants and thus, no need for more signage.

**STAFF RECOMMENDATION:**

Install 4 signs on main structure – Approve with conditions - Approve sign specifications dated 01-21-2017 with the condition that the signs are front-lit. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**TASK FORCE RECOMMENDATION:**

Install 4 signs on main structure – Approve - With finding this is a non-contributing property.



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 177 (EH)  
Office Use Only

Name of Applicant: PHP Carroll MOB Partners, LP

Mailing Address : 8214 Westchester Drive, Suite 600

City, State and Zip Code: Dallas, TX 75225

Daytime Phone: 214-736-7002

Fax: kdelavergne@prevarian.com

Relationship of Applicant to Owner : Applicant is Owner; contact Kathy delaVergne

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes ☐ No ☐

Historic Planner's  
Initials:

PROPERTY ADDRESS: 1015 N. Carroll Avenue, Dallas, TX 75204

Historic District: Peak's Suburban Addition

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Install Sports Medicine Clinic of North Texas sign on two sides of the building.

Install Texas Pain Physicians sign on three sides of the building, if approved. Otherwise, install sign on two sides of the building.

Signature of Applicant:

PHP Carroll MOB Partners, LP - by GP Prevorian Hospital Partners, LLC  
Kathy delaVergne Date: 1-4-16

Signature of Owner:

(IF NOT APPLICANT)

Date:

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (**see exceptions**). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

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☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

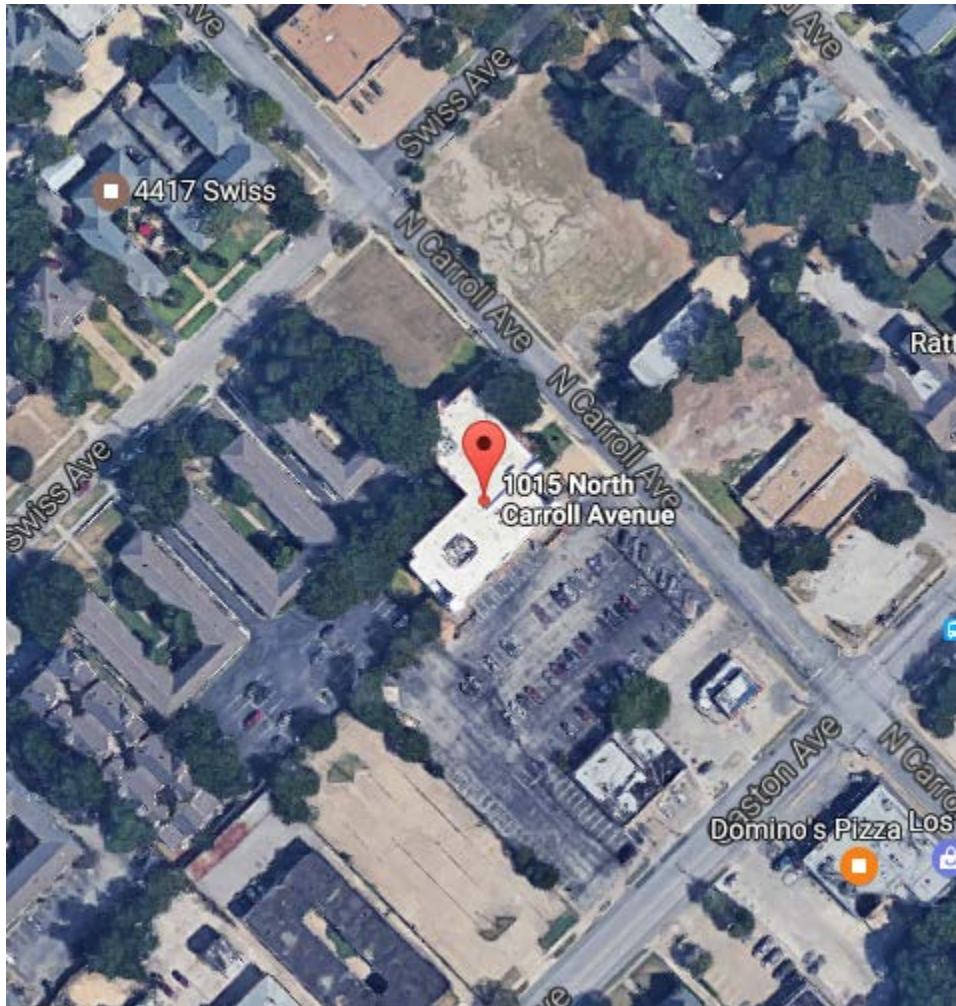
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 1015 N. Carroll.



Front (northeast) elevation.





Front elevation from N. Carroll sidewalk (facing south).



Parking lot adjacent (facing southeast).



View across the street (east) is the former Brinks Coffee shop.

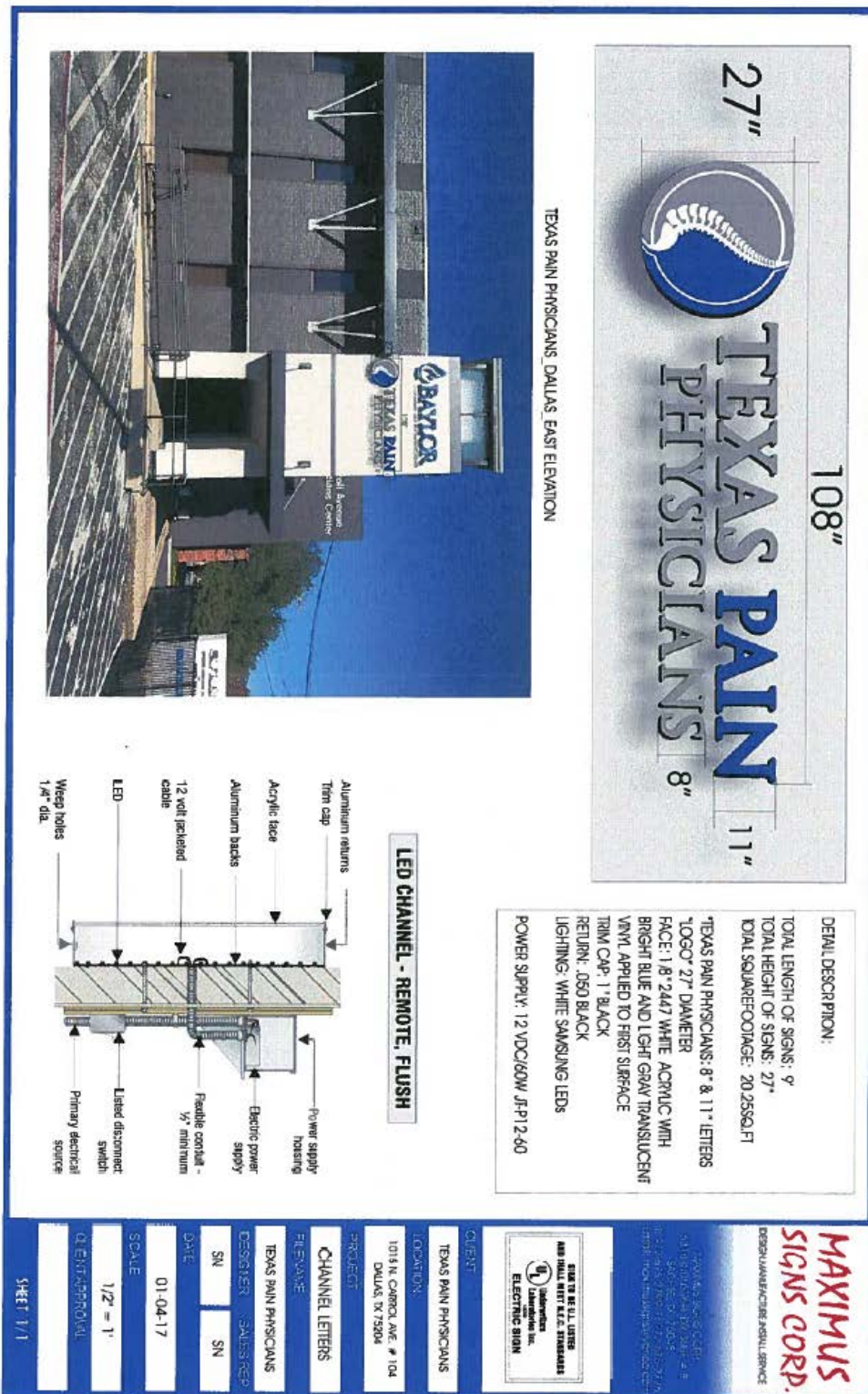




Only other property across street (along with Brinks).

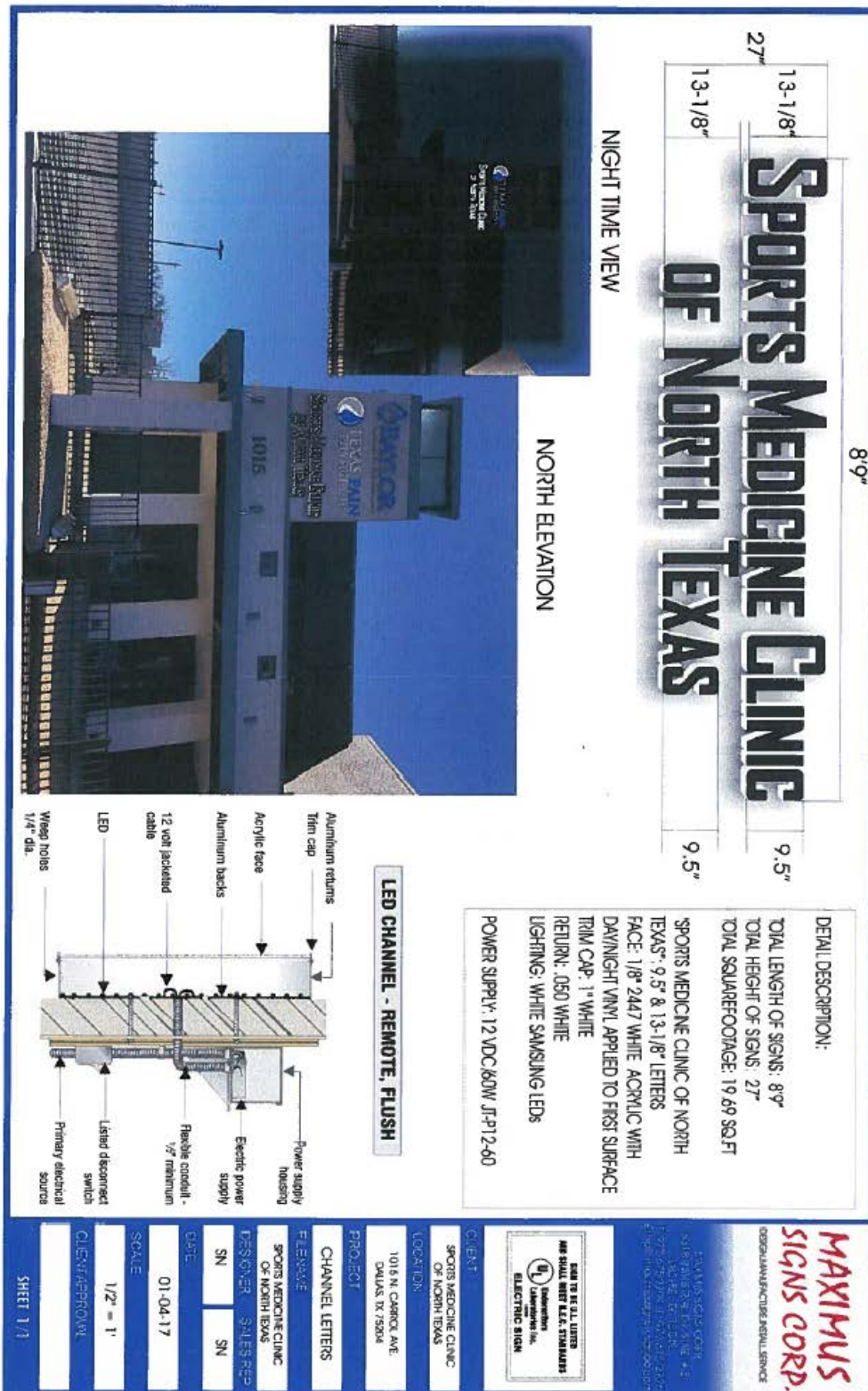


Proposed "Texas Pain Physicians" sign (north elevation).

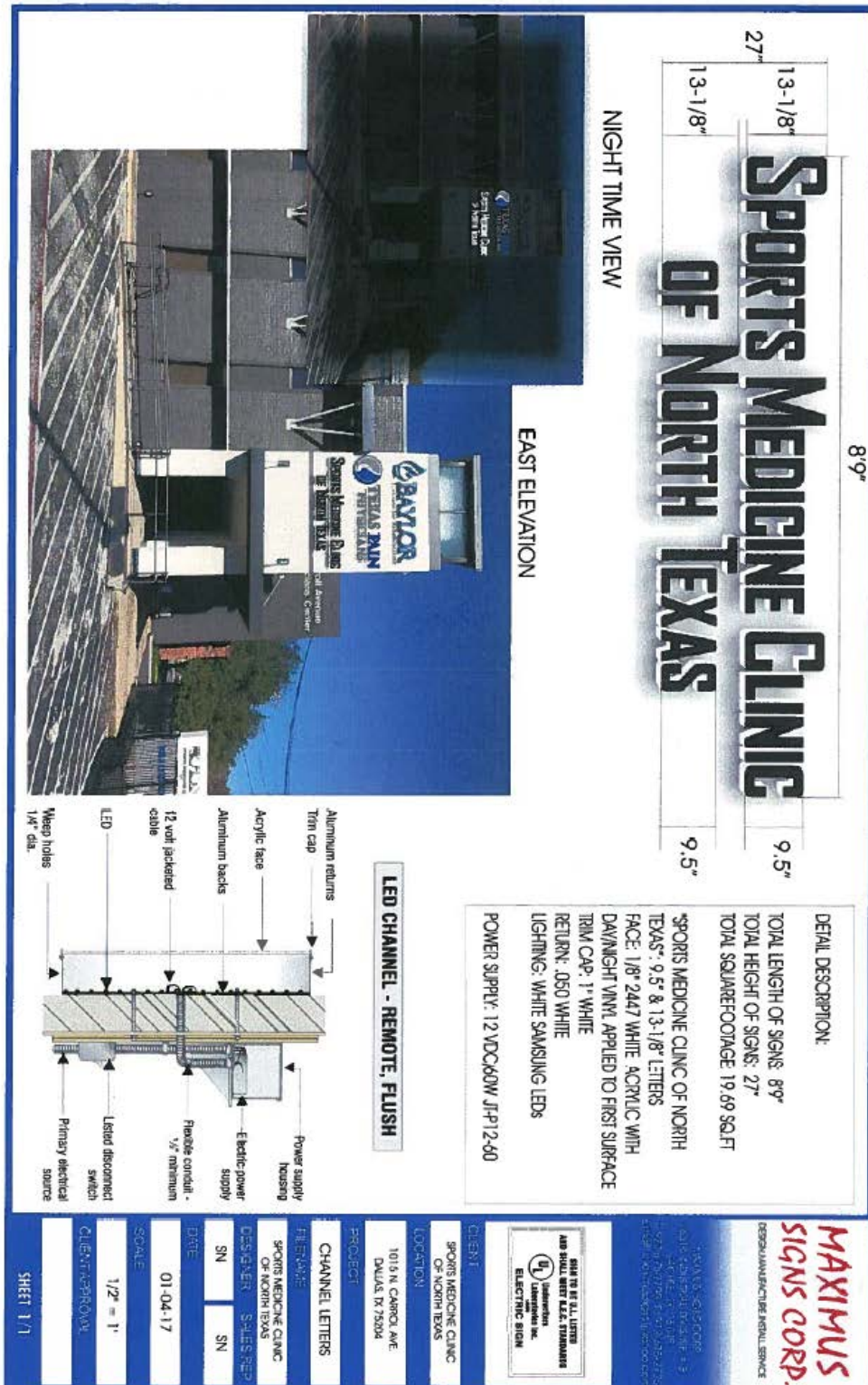


Proposed "Texas Pain Physicians" sign (east elevation).





Proposed "Sports Medicine Clinic of North Texas" sign (north elevation).



Proposed "Sports Medicine Clinic of North Texas" sign (east elevation).

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

- (C) Standard for approval. The landmark commission must grant the application if it determines that:
- (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: PHP Carroll MOB Partners, LP

Address: 1015 N. Carroll Avenue

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☒ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*as the finding this is a non-contributing building.*

**Task force members present**

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *ANDERSON*

2<sup>nd</sup>: *HERSCH*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*UNANIMOUS APPROVAL*

CHAIR, Task Force *[Signature]*

DATE

*1/12/2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-172(EH)  
LOCATION: 4300 Junius Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-98

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-E  
CENSUS TRACT: 0015.04

**APPLICANT:** David Malekan

**REPRESENTATIVE:** None.

**OWNER:** 4300 JUNIUS LLC

**REQUEST:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White".
- 2) Construct pent roof over rear entry on main structure.
- 3) Install iron fence along rear property line.

**BACKGROUND / HISTORY:**

11-11-2016: The Landmark Commission approved the replacement of all 48 aluminum and vinyl windows on the structure to wood, the replacement of two sets of patio doors on the rear elevation, the replacement of a rear pedestrian door on the rear elevation, and the installation of nine light fixtures on the property. CA167-027(EH).

06-09-2016: Staff approved the repair of the soffits and fascia boards on the structure and the painting of the trim of the structure "Decorator's White". CA156-598(EH).

The structure is listed as contributing to the Peak's Suburban historic district.

**ANALYSIS:**

The applicant is proposing to replace the non-original wood balconies on the rear of the structure with metal balconies of the same dimensions and profile. Staff believes this is appropriate as per the Peak's Suburban Historic District Ordinance, the rear façade is not a protected façade and the balconies are not original to the structure. Therefore staff is recommending approval with conditions that the new metal balconies match exactly the current in dimensions and profile.

Staff is recommending approval on the construction of the rear metal fence. The fence design appears appropriate to the style of the structure and neighborhood and it meets

the requirements of location and size per the Peak's Suburban Historic District Ordinance.

Staff is recommending approval with conditions of the construction of a new pent roof over the rear first floor pedestrian door. The pent roof is proposed for the non-protected façade of the structure and will match the design elements of that seen on the front of the main structure. We are recommending approval with the condition that the tile matches that seen on the structure.

**STAFF RECOMMENDATION:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". – Approve with conditions - Approve proposed work dated 01-05-2017 with the condition that the new balconies match the existing in profile and dimensions. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Construct pent roof over rear entry on main structure – Approve with conditions - Approve proposed work dated 01-05-2017 with the condition that the tile material matches the existing on the main structure.. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Install iron fence along rear property line –Approve - Approve site plan and fence specifications dated 01-05-2017 with the finding that the proposed work is consistent with the Preservation Criteria Sections 2.9 and 2.13 and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". – Approve - With finding the balconies are on the rear elevation.
- 2) Construct pent roof over rear entry on main structure – Approve with conditions - Specifications or sample of roof tile to be presented.
- 3) Install iron fence along rear property line – Approve.



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 172 (EH)  
Office Use Only

Name of Applicant: David Malekan  
Mailing Address: 4125 Swiss Ave Ste 100  
City, State and Zip Code: Dallas, TX 75204  
Daytime Phone: 214-824-5500 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Managing member

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_ No \_\_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 4300, 4304, 4310 Junius St, Dallas, TX 75246  
Historic District: Peak's Suburban

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Replace second floor balcony in rear of building with steel balcony and paint with Benjamin Moore  
Decorator's White (PM-3)

Install Fence

Signature of Applicant: David Malekan Date: 1/4/2017

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

**Please use the enclosed criteria checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

**In the event of a denial, you have the right to an appeal within 30 days** after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

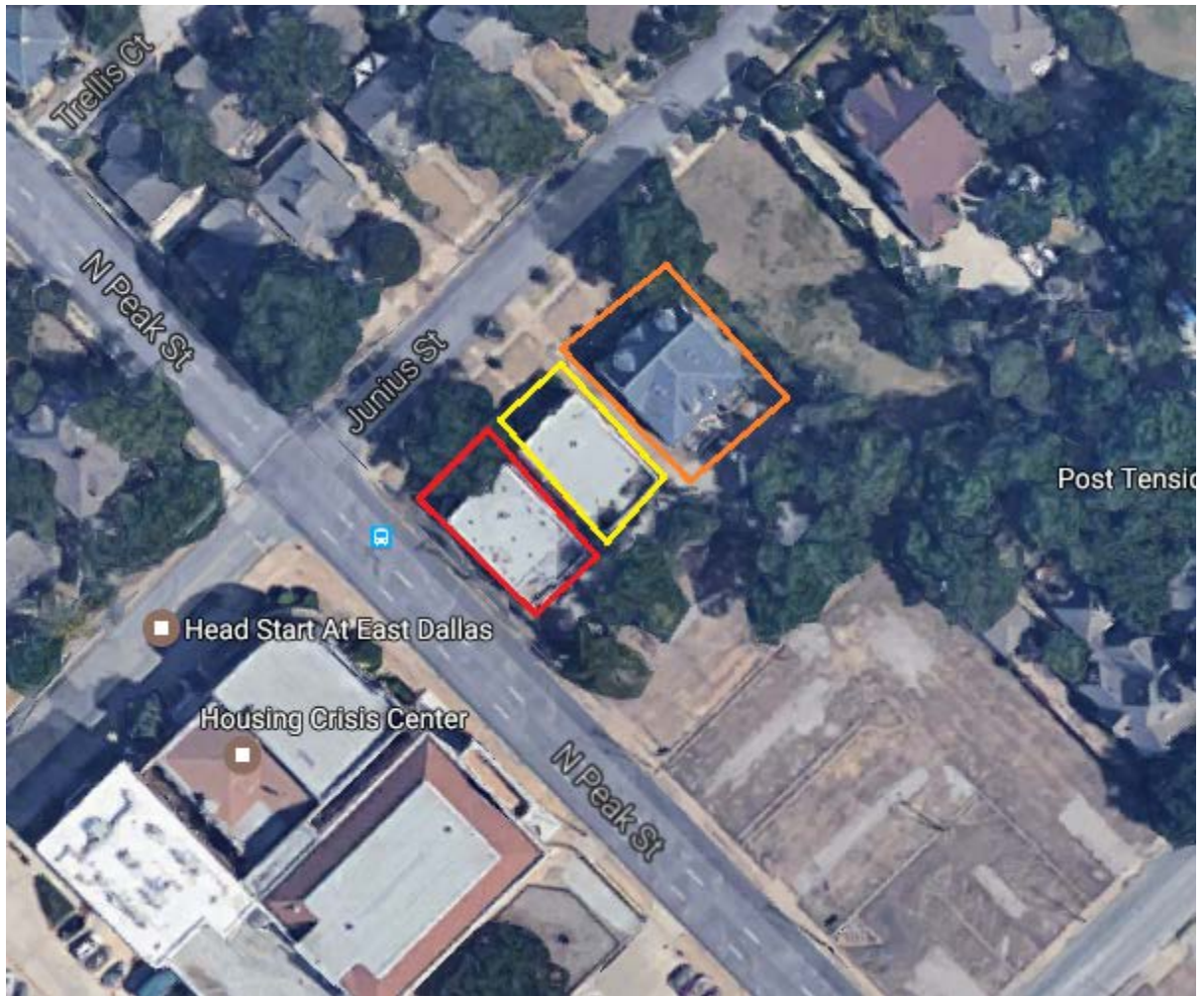
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 4300 (Red) 4304 (Yellow) and 4310 (Orange) Junius Street.



Front elevation.





Front elevation pent roof feature.



Properties across Junius Street from 4300 Junius.



East Dallas Christian Church (across N Peak) from 4300 Junius.

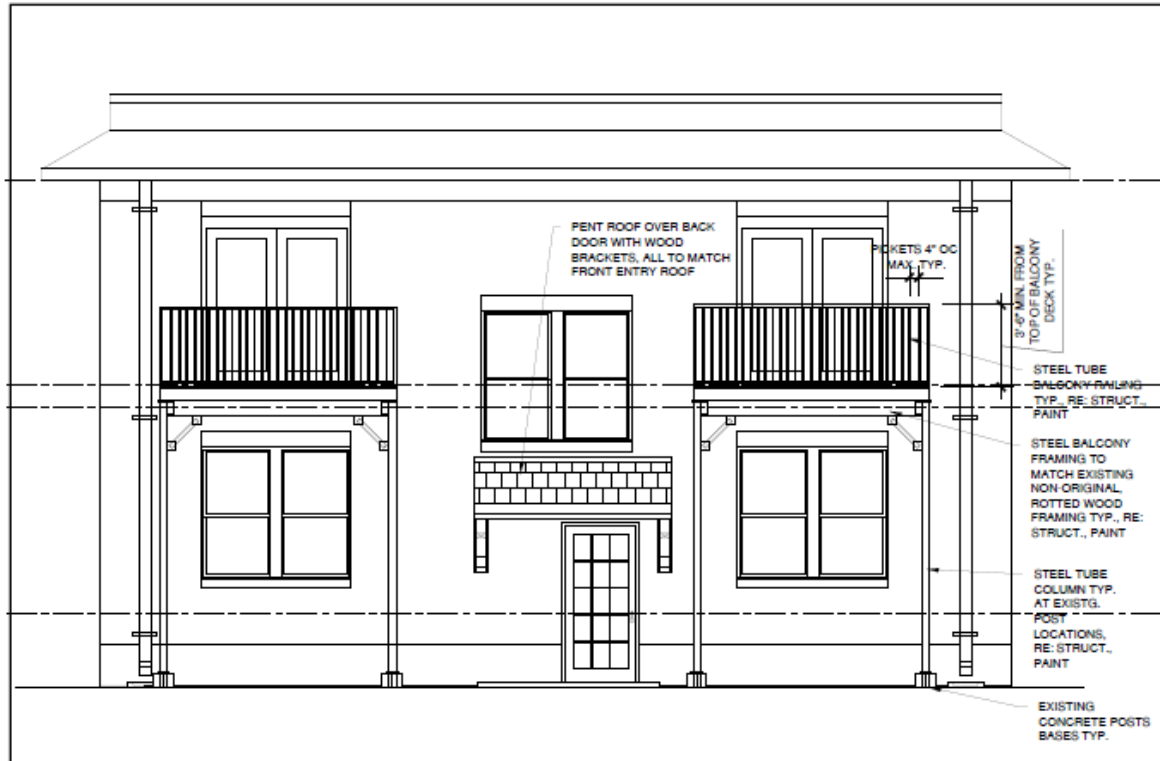




Surface parking lot for EDCC adjacent to rear elevation of 4300, 4304 and 4310 Junius.

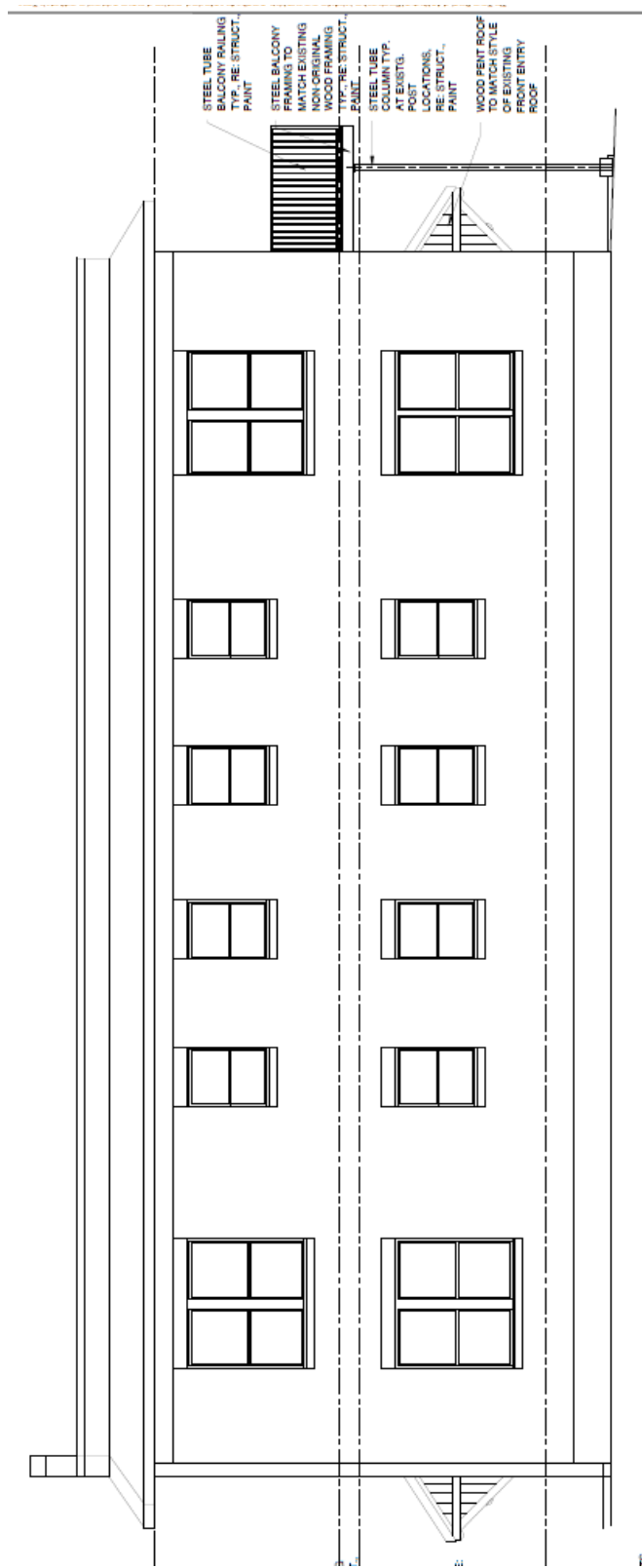


Items 1 & 2: Rear façade of 4300 Junius.

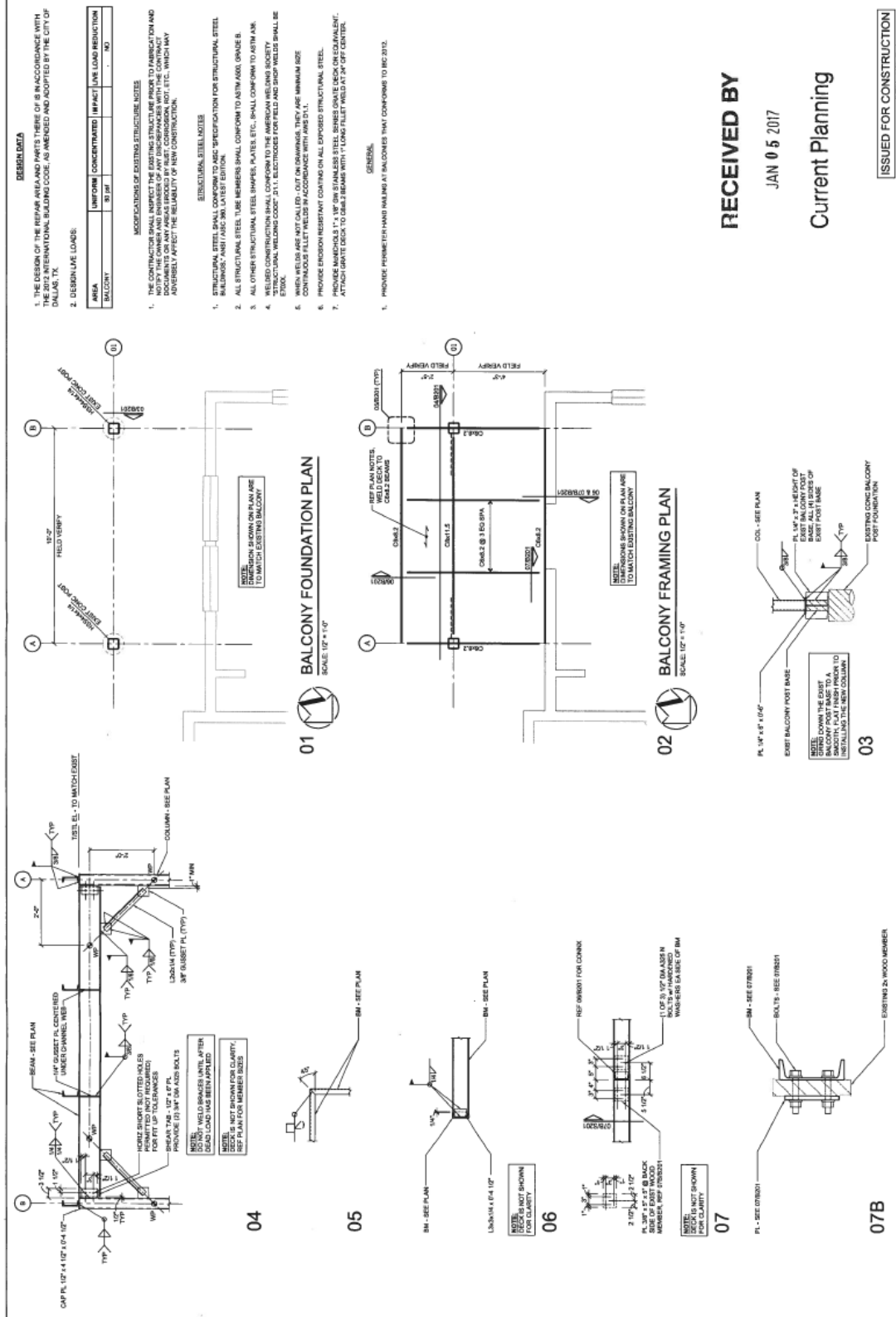


Items 1 & 2: Proposed steel tube rear balconies and rear pent roof.





Items 1 & 2: Side elevation showing proposed rear balconies and pent roof.

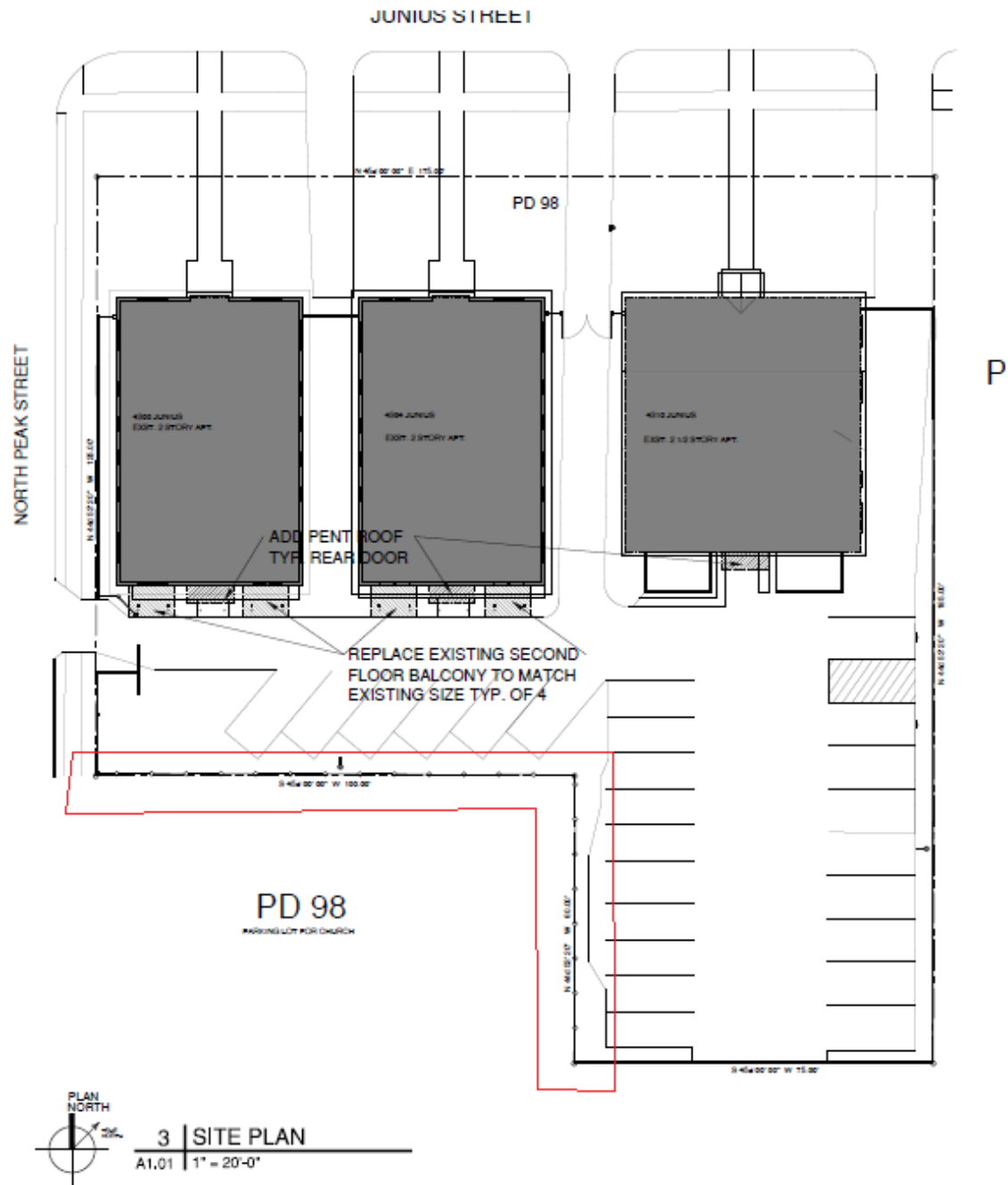


Item 1: Proposed balcony foundation and framing plans.

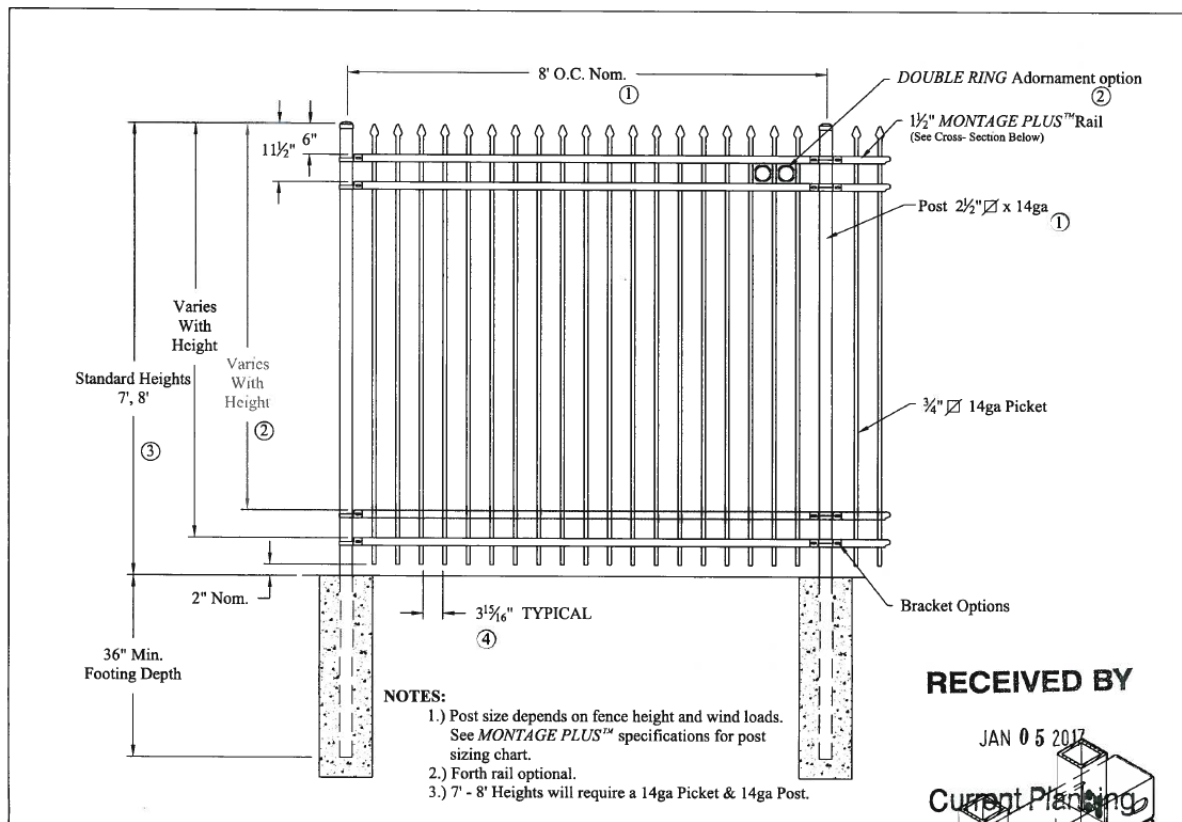


Item 3: Existing fence and gate on property.





Item 3: Site plan showing proposed new fence location



Item 3: Proposed fence specifications.

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

**3.1 The front and side facades are protected facades.**

**2.9 Fences in the rear yard and rear 50% of the side yard may not exceed 9 feet in height. (See Addendum B) *See Addendum B.***

**2.13 Fences in side, rear or comerside yards must be constructed of one or more of the following materials: wood, brick, stone, wrought iron, chain link (as noted below), a combination of these materials, or other materials deemed appropriate. Fence locations are illustrated in Addendum B.**

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: David Malekan

Address: 4300 Junius Street

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*1) Approve as submitted w/ finding that the balconies are on the rear of the structure*  
*2) Approve as submitted*  
*3) Approve w/ condition that specifications or sample of roof tile is provided*

**Task force members present**

☒ Norman Alston (Chair)

☒ Michael Karnowski

☒ Jennifer Hidden

☒ Jim Anderson

☒ Kathy Finch

☒ William Hersch

☐ VACANT (Edison/LaVista Res)

☒ Patricia Simon (Peak's Alt.)

☐ VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *HERSCH*  
2<sup>nd</sup>: *HIDDEN*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

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FILE NUMBER: CA167-173(EH)  
LOCATION: 4304 Junius Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-98

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-E  
CENSUS TRACT: 0015.04

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**APPLICANT:** David Malekan

**REPRESENTATIVE:** None.

**OWNER:** 4300 JUNIUS LLC

**REQUEST:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White".
- 2) Construct pent roof over rear entry on main structure.

**BACKGROUND / HISTORY:**

11-11-2016: The Landmark Commission approved the replacement of all 48 aluminum and vinyl windows on the structure to wood, the replacement of two sets of patio doors on the rear elevation, the replacement of a rear pedestrian door on the rear elevation, and the installation of nine light fixtures on the property. CA167-026(EH).

The structure is listed as contributing to the Peak's Suburban historic district.

**ANALYSIS:**

The applicant is proposing to replace the non-original wood balconies on the rear of the structure with metal balconies of the same dimensions and profile. Staff believes this is appropriate as per the Peak's Suburban Historic District Ordinance, the rear façade is not a protected façade and the balconies are not original to the structure. Therefore staff is recommending approval with conditions that the new metal balconies match exactly the current in dimensions and profile.

Staff is recommending approval with conditions of the construction of a new pent roof over the rear first floor pedestrian door. The pent roof is proposed for the non-protected façade of the structure and will match the design elements of that seen on the front of the main structure. We are recommending approval with the condition that the tile matches that seen on the structure.

**STAFF RECOMMENDATION:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". – Approve with conditions - Approve proposed work dated 01-05-2017 with the condition that the new balconies match the existing in profile and dimensions. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Construct pent roof over rear entry on main structure – Approve with conditions - Approve proposed work dated 01-05-2017 with the condition that the tile material matches the existing on the main structure.. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Remove and replace second story balcony on rear of main structure with steel and paint. Brand: Benjamin Moore. Color: PM-3 "Decorator's White". – Approve - With finding the balconies are on the rear elevation.
- 2) Construct pent roof over rear entry on main structure – Approve with conditions - Specifications or sample of roof tile to be presented.



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 173 (EH)  
Office Use Only

Name of Applicant: David Malekan  
Mailing Address: 4125 Swiss Ave Ste 100  
City, State and Zip Code: Dallas, TX 75204  
Daytime Phone: 214-824-5500 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Managing member

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_\_ No \_\_\_\_

Historic Planner's  
Initials:

PROPERTY ADDRESS: 4300, 4304, 4310 Junius St, Dallas, TX 75246  
Historic District: Peak's Suburban

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Replace second floor balcony in rear of building with steel balcony and paint with Benjamin Moore  
Decorator's White (PM-3)

Signature of Applicant: David Malekan Date: 1/4/2017  
Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

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**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
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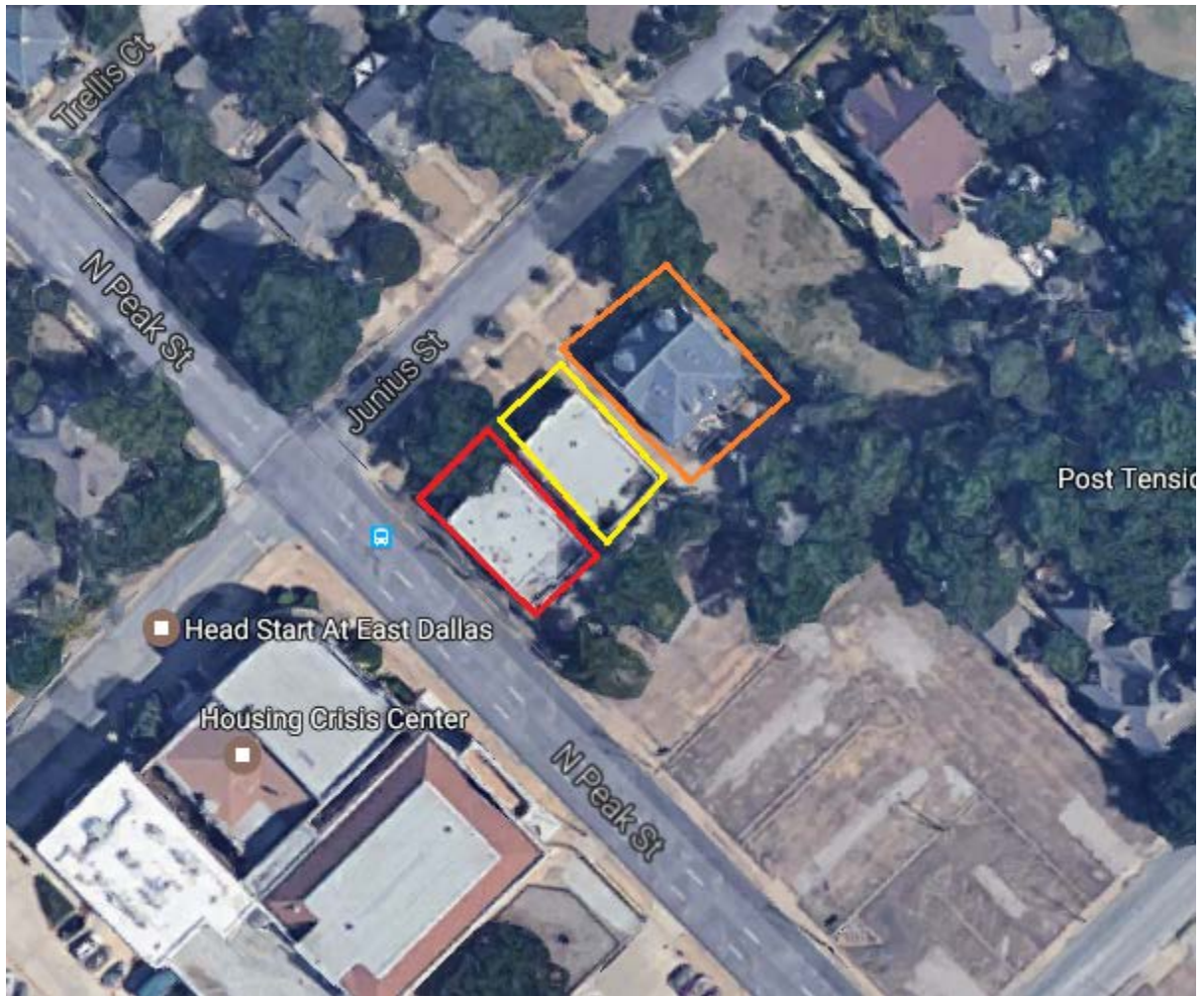
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 4300 (Red) 4304 (Yellow) and 4310 (Orange) Junius Street.



Front elevation.





Front elevation existing pent roof feature.



Properties across Junius Street from 4304 Junius.



East Dallas Christian Church (across N Peak) from 4300 Junius.

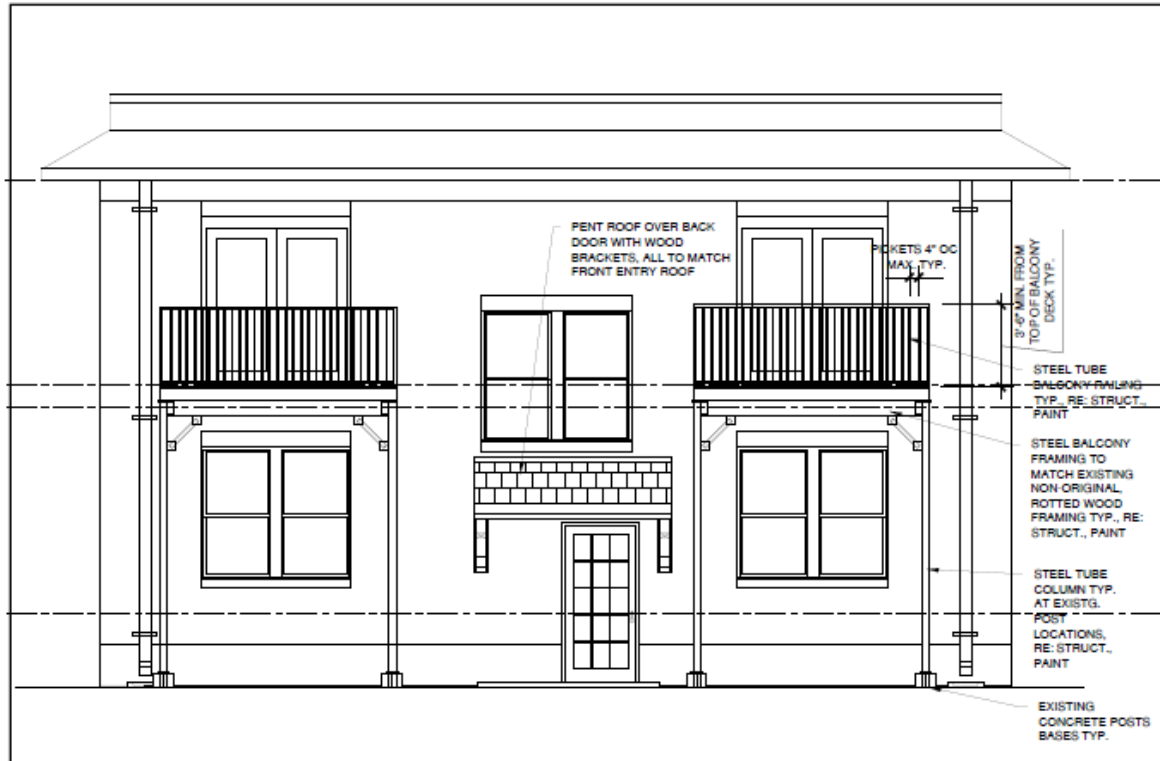




Surface parking lot for EDCC adjacent to rear elevation of 4300, 4304 and 4310 Junius.

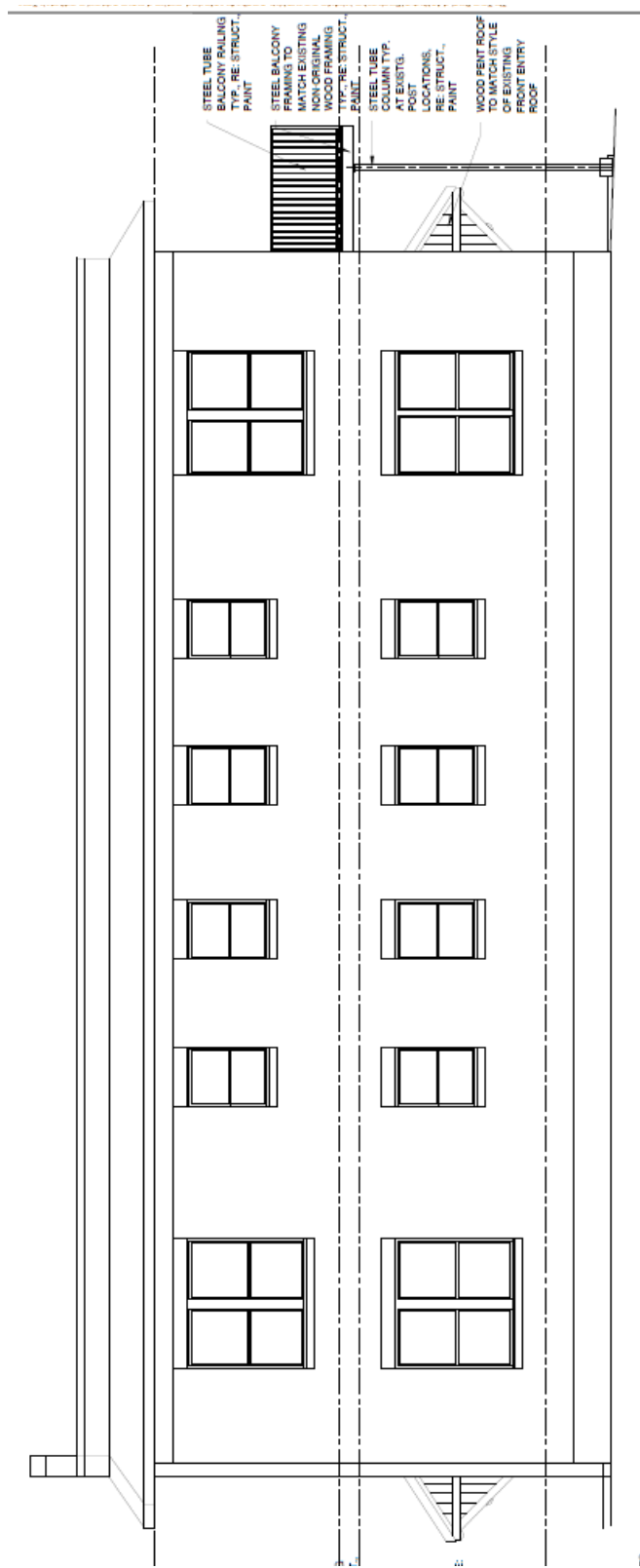


Items 1 & 2: Rear façade of 4304 Junius.

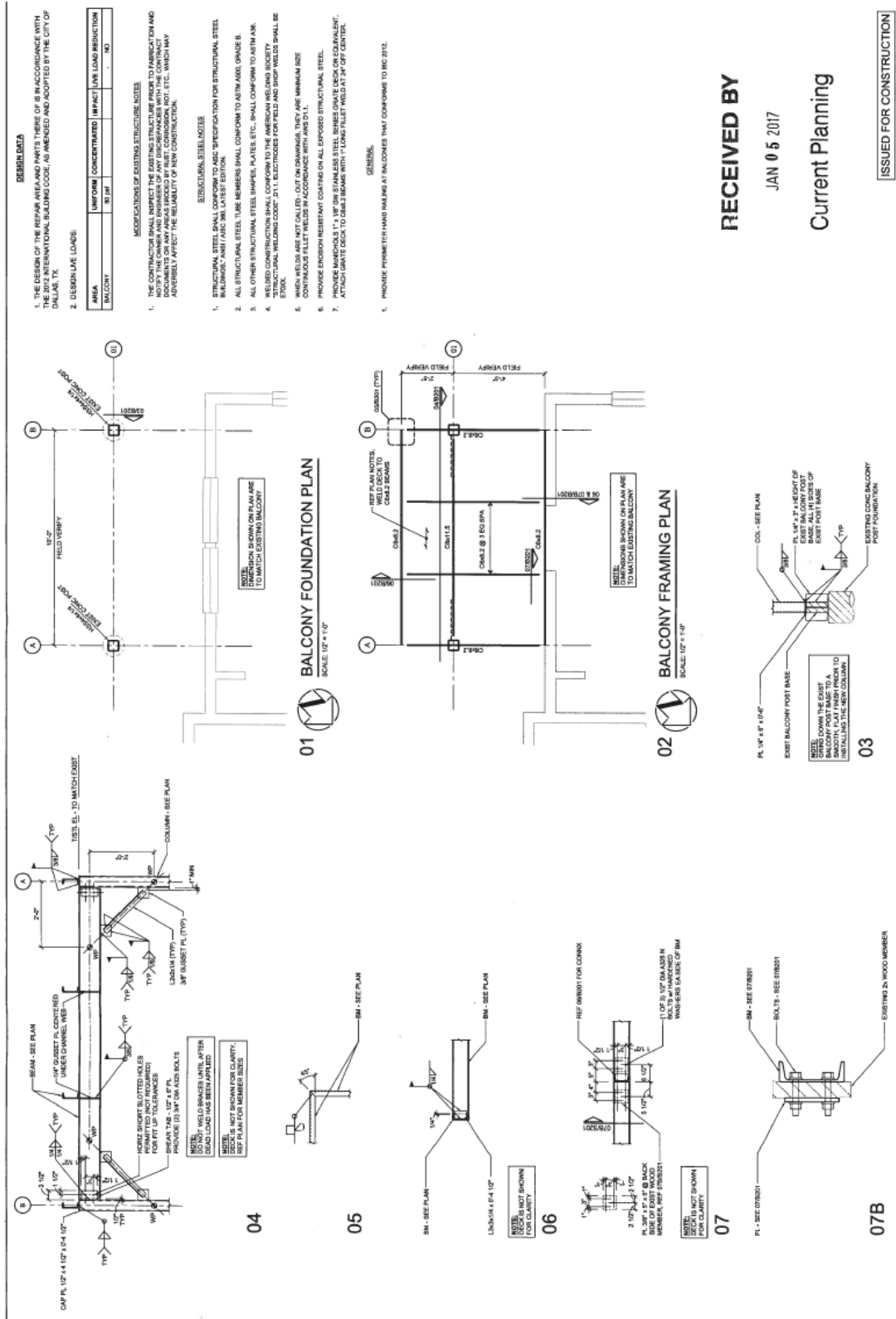


Items 1 & 2: Proposed steel tube rear balconies and rear pent roof.





Items 1 & 2: Side elevation showing proposed rear balconies and pent roof.



Item 1: Proposed balcony foundation and framing plans.

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

**3.1 The front and side facades are protected facades.**

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(i) for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay district ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: David Malekan

Address: 4304 Junius Street

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

- 1) Approve as submitted with the finding that the balconies are on the rear
- 2) Approve w/ condition that specifications or sample of roof tile is provided

**Task force members present**

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *HIDDEN*

2<sup>nd</sup>: *Alston*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*Unanimous approval*

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

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FILE NUMBER: CA167-182(EH)  
LOCATION: 4422 Swiss Avenue  
STRUCTURE: Main, Non-Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-298

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-A  
CENSUS TRACT: 0015.04

---

**APPLICANT:** Miguel A. Ramirez

**REPRESENTATIVE:** None.

**OWNER:** PHP CARROLL MOB PARTNERS LP

**REQUEST:**

- 1) Construct four semi-detached residences.
- 2) Install landscape and hardscape in front and side yards.

**BACKGROUND / HISTORY:**

10-12-2016: The Landmark Commission approved plans for four semi-detached residences for the vacant parcel of land shared by the neighboring medical facility at 1015 N. Carroll. The Landmark Commission stated to the applicant at the meeting that a completed landscape plan must be submitted additionally. CA156-789(EH).

The structure is listed as non-contributing to the Peak's Suburban historic district.

**ANALYSIS:**

The new proposal for the design offers one difference from the previously proposed designs. The current proposed design has a 2<sup>nd</sup> story balcony located on each unit. The original proposal included only windows along the balcony, and the Task Force recommended that the applicant alter the plan to allow for a 15-lite door to open up to the balcony as this would complement the neighborhood better. The current plans show the Task Force recommendation and staff believes that this addition is appropriate to the block-face and will not detract from the historic integrity of the Historic Overlay District.

The applicant is also proposing a landscape plan for the property. There are no current foundation plantings on the lot so removal is not a part of this application.

**STAFF RECOMMENDATION:**

- 1) Construct four semi-detached residences – Approve - Approve updated plans dated 01-19-2017 with the finding that the work meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Install landscape and hardscape in front and side yards – Approve with conditions - Approve landscaping plan dated 01-19-2017 with the condition that the front yard fence is 50% open. The proposed landscaping and hardscaping meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**TASK FORCE RECOMMENDATION:**

- 1) Construct four semi-detached residences – Approve with conditions - Approve with condition a window is replaced with a door to the balcony. Door to be 15-lite door or other compatible style.
- 2) Install landscape and hardscape in front and side yards – Approve.



Certificate of Appropriateness (CA)  
City of Dallas Landmark Commission

CA 167-182 (EH)  
Office Use Only

Name of Applicant: MIGUEL A. RAMIREZ  
Mailing Address: 1110 S. AKARD ST.  
City, State and Zip Code: DALLAS, TX 75235  
Daytime Phone: 214.695.8006 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: OWNER'S REP.

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_\_ No \_\_\_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 4422 SWISS AVE.  
Historic District: PEAK SUBURBAN

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

- 1) NEW CONSTRUCTION 2 SETS OF TOWN HOMES. 3 FLOORS.  
FOLLOWING HISTORIC ASPECT TO FIT THE AREA.
- 2) Install Landscape / hardscape in front + Side yards.

Signature of Applicant: Miguel A. Ramirez Date: 1.5.2017  
Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

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**OTHER:**

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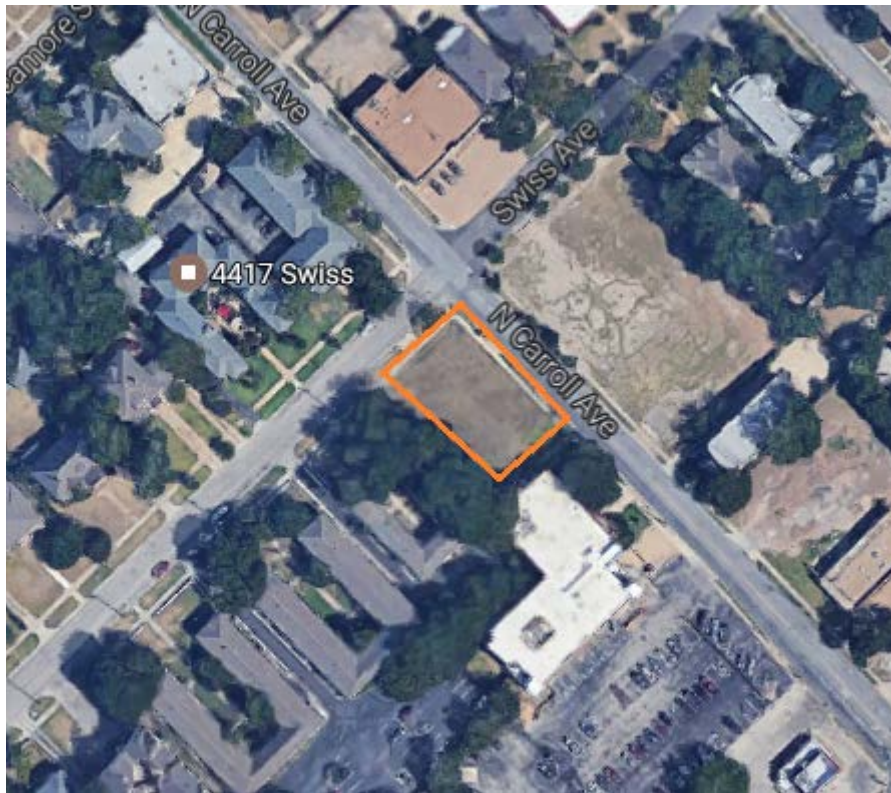
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, proposed location of 4422 Swiss Avenue.





Existing parcel from street.





Property as seen from N. Carroll Avenue.

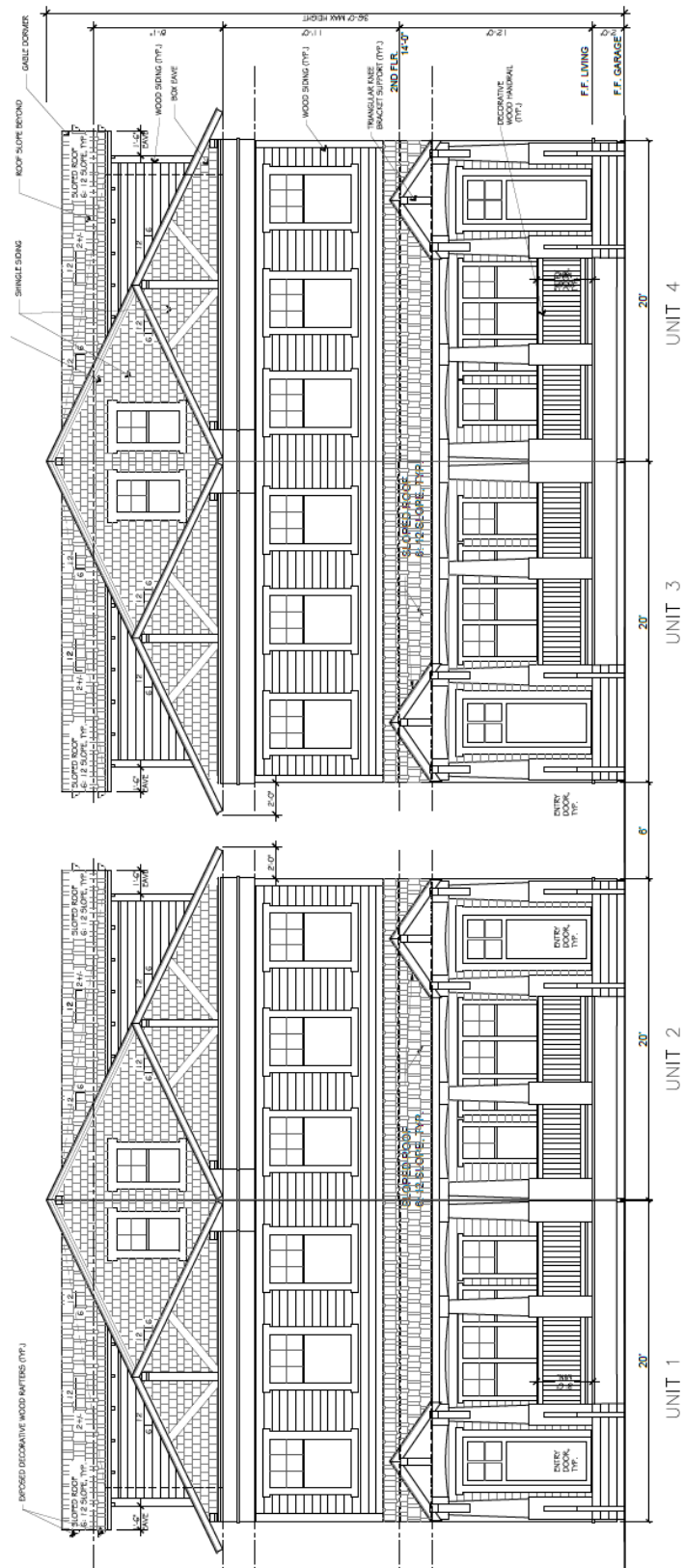


Adjacent vacant parcel located across N. Carroll.



Multi-family properties located across Swiss Avenue

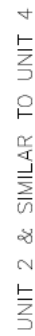




# 1 NORTH ELEVATION



Item 1) New proposed north elevation, dated 01-19-2017

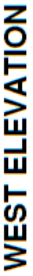


## EAST ELEVATION

C13-11







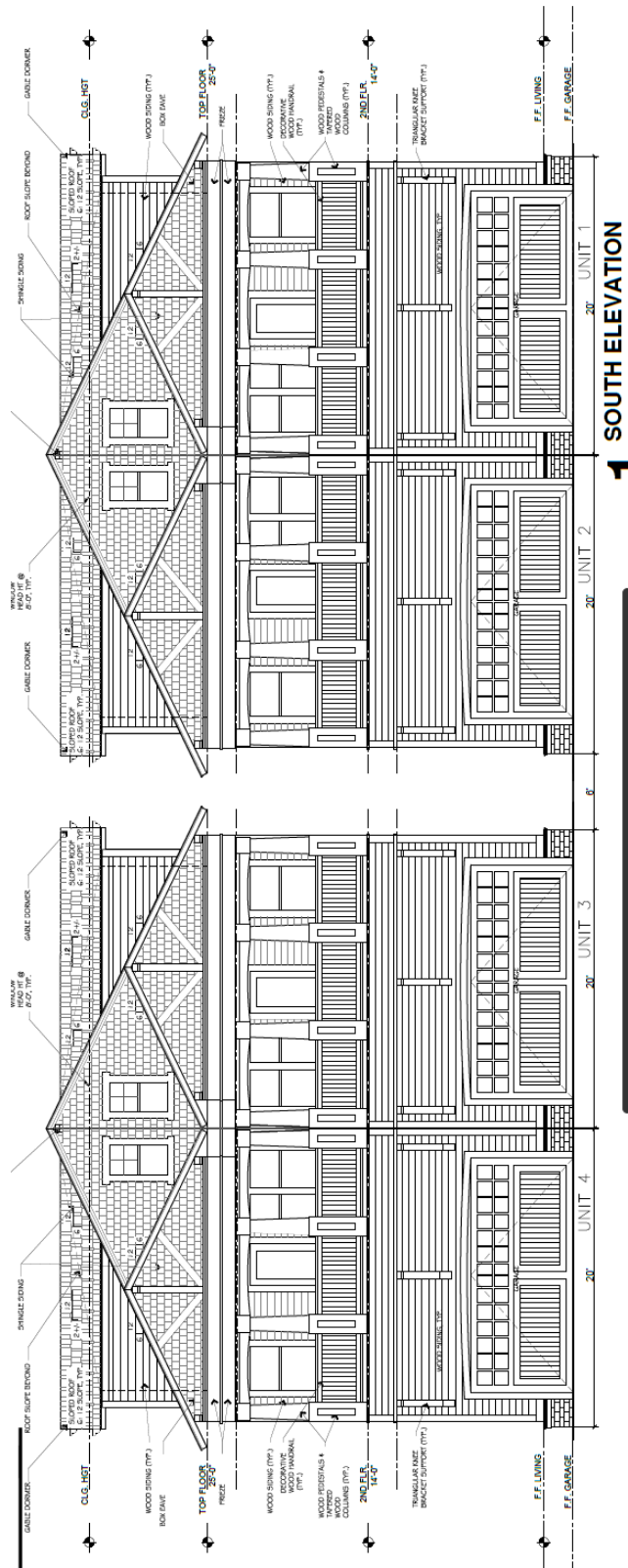
UNIT 1 &amp; SIMILAR TO UNIT 3

SCALE: 1/4" = 1'-0"

Previously approved west elevation, October 2016





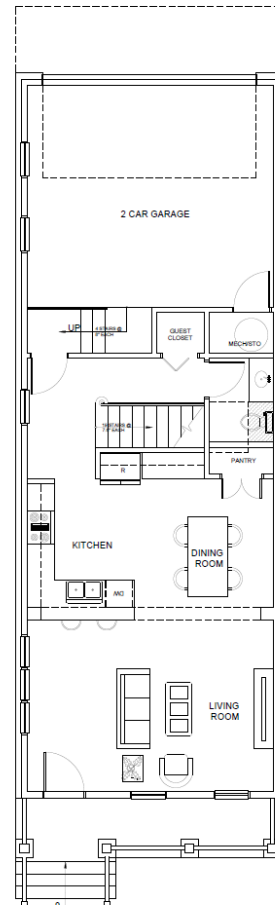
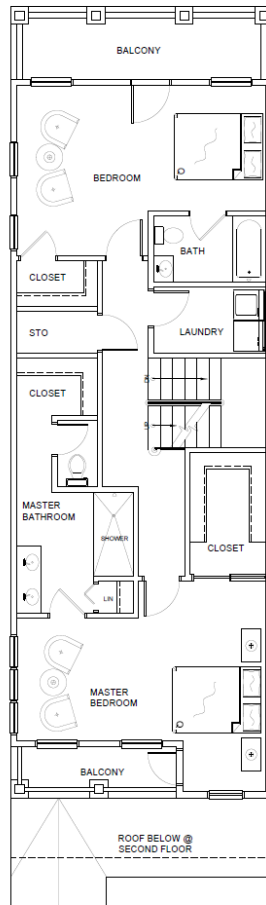
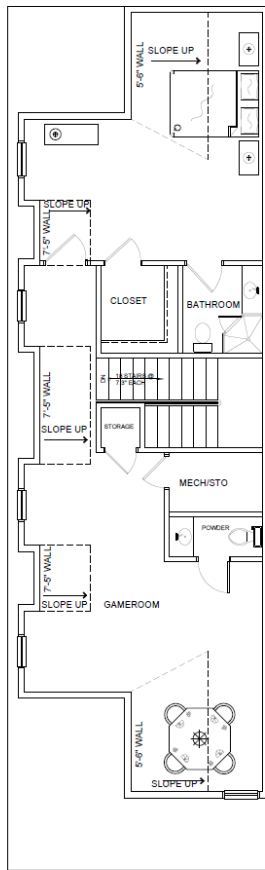


Item 1) Previously approved and proposed south elevation (unchanged from before)

dated 01-19-2017

CA167-182(EH)

C13-15



Item 1) Proposed floor plans

Item 1

1/18/2017 Milliken Millwork 31.5 in. x 81.75 in. Classic Clear Glass 15 Lite Primed White Fiberglass Smooth Exterior Door-Z000514R - The Home Depot

[Home](#) / [Doors & Windows](#) / [Exterior Doors](#) / [Front Doors](#) / [Fiberglass Doors](#) / [Doors With Glass](#)

Model # Z000514R Internet #205891323



**Milliken Millwork**

31.5 in. x 81.75 in. Classic Clear Glass 15 Lite Primed White Fiberglass Smooth Exterior Door

★★★★★

[Write the first Review](#)

[Questions & Answers \(1\)](#)

**\$567.64** /each

**RECEIVED BY**

JAN 19 2017

Quantity

-

1

+

**Current Planning**

**Not in Your Store - We'll Ship It There**

**We'll Ship It to You**

Item 1) Proposed 2<sup>nd</sup> story balcony door





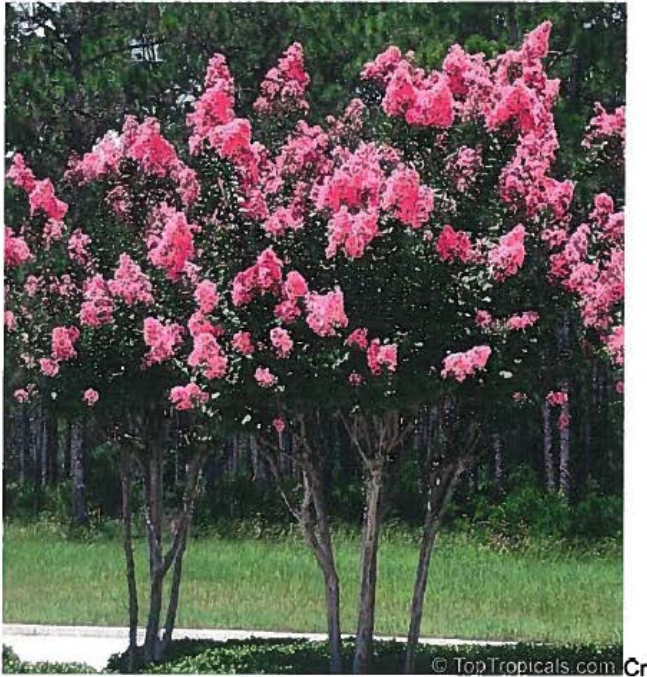
## **Flirt™** *Nandina domestica* 'MURASAKI'



**Description:** Flirt™ Nandina was bred from Harbour Dwarf and retains its low growing, spreading characteristics, but with the added bonus of masses of red new growth. When other Nandinas are red in winter, Flirt™ Nandina is green, but when other Nandinas are green in spring, autumn and summer, Flirt™ Nandina is red. Research has shown it will not spread from seed, making it a safer choice around bushland.

- Red new growth in spring and autumn, more red in summer
- Ground cover, low hedge or feature
- Low growing, spreading

Item 2) Example of proposed plantings



**CREPE MYRTLE**



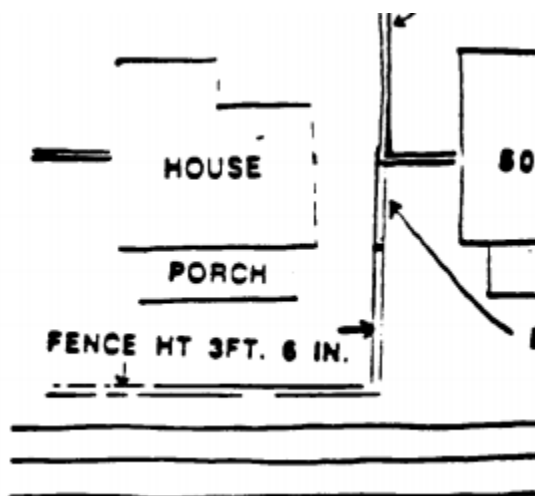
**REDBUD**

Item 2) Example of proposed trees



PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

- 4.2 New construction, additions to historic structures, accessory buildings, porches, and balconies must be of appropriate massing, roof form, shape, materials, detailing and color, and must have fenestration patterns and solids-to-voids ratios that are typical of the historic structure.
- 2.3 New sidewalks, walkways, steps, and driveways must be of brush finish concrete, brick, stone, or other material deemed appropriate. No exposed aggregate, artificial grass, carpet, asphalt or artificially-colored monolithic concrete paving is permitted.
- 2.6 Landscaping must be appropriate and compatible, must enhance the structure and surroundings, and must not obscure significant views of or from the main building. It is recommended that landscaping modifications reflect the original historic landscaping design when appropriate.
- 2.10 Historically appropriate fences are permitted in the front yard and must be constructed of one or more of the following materials: wood, stone, brick, wrought iron, a combination of those materials, or other materials deemed appropriate. These fences may not exceed 3'6" in height and must be 50% open (See Addendum B).



**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: Miguel A. Ramirez

Address: 4422 Swiss Avenue

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

1) Approval provided ~~a door~~ a window is replaced with a door to the balcony. ~~Door~~ Door should be 15 light door or other style compatible with Craftsman styling.  
2) Approval as submitted

**Task force members present**

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker: HERSCH  
2<sup>nd</sup>: HIDDEN

Task Force members in favor: ALSTON, HIDDEN, ANDERSON, FINCH, SIMON, HERCH

Task Force members opposed: KARLOWSKI

Basis for opposition:

CHAIR, Task Force [Signature]

DATE 1/12/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-175(EH)  
LOCATION: 4602 Swiss Avenue  
STRUCTURE: Main, Non-Contributing  
COUNCIL DISTRICT: District 2  
ZONING: R-7.5(A)

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-A  
CENSUS TRACT: 0015.04

**APPLICANT:** Jessica Hale

**REPRESENTATIVE:** None.

**OWNER:** MAK'S PROPERTY SWISS AVE LLC.

**REQUEST:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut.

**BACKGROUND / HISTORY:**

11-11-2016: Staff approved several landscape requests including: the replacement of two sections of parking in the rear yard, repair of the concrete walkway in the front and side yards, and the replacement of the existing wood perimeter board-on-board fence. CA167-105(EH).

The structure is listed as non-contributing to the Peak's Suburban historic district.

**ANALYSIS:**

Staff is recommending approval of the staining of the wood fence as the color is appropriate to the district and the shade is seen on other fences in the neighborhood.

**STAFF RECOMMENDATION:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut. – Approve - Approve proposed stain specifications dated 01-05-2017 with the finding that the proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**TASK FORCE RECOMMENDATION:**

Stain existing wood fence. Brand: Ready Seal. Color: Dark Walnut – Approve.



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 175 (EH)  
Office Use Only

Name of Applicant: Jessica Hale  
Mailing Address: 5701 E Northwood Suite 750  
City, State and Zip Code: Dallas TX 75206  
Daytime Phone: 214-823-7883 Fax: cell 214-790-1784  
Relationship of Applicant to Owner: Property Manager

PROPERTY ADDRESS: 4602 Swiss Ave  
Historic District: 105 PS

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes ☐ No ☐  
Planner's Initials

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

stain fence dark walnut. color and picture attached

Signature of Applicant: 

Date: 12/2/10

Signature of Owner:

(IF NOT APPLICANT)

Date:

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla BBN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4218. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in BBN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

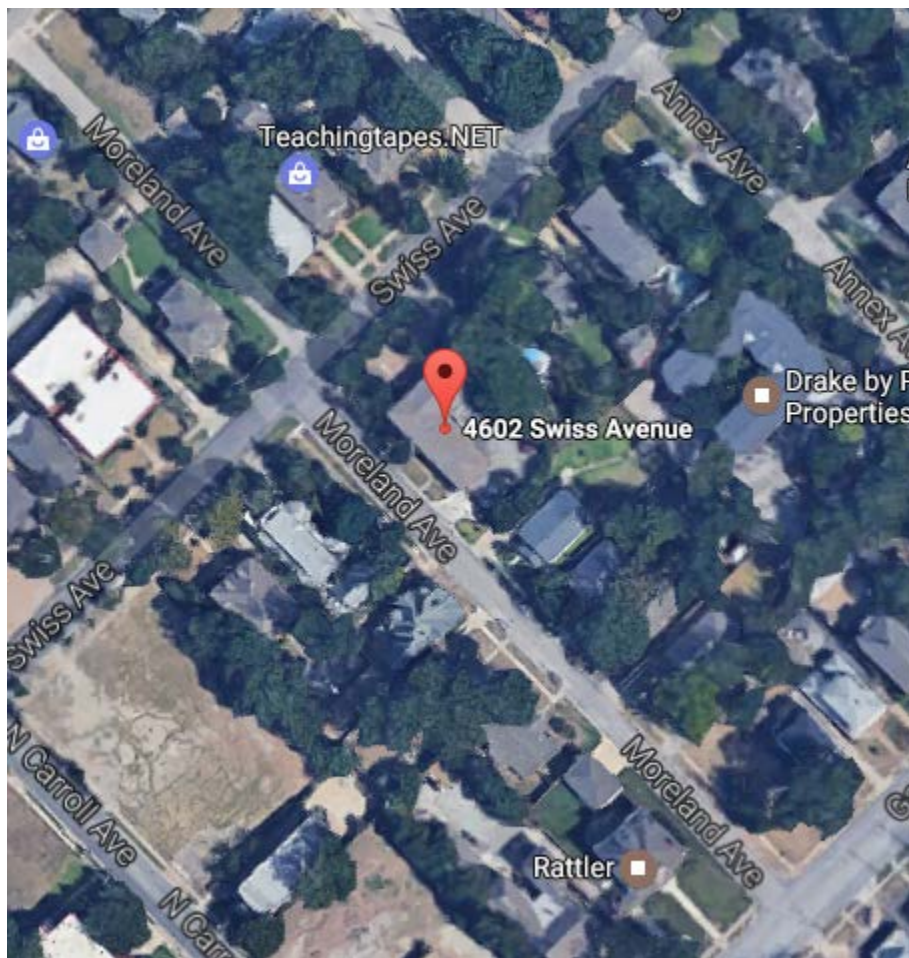
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 4602 Swiss.



Front (northwest) elevation.





Side elevation of property from Moreland Street (facing southeast).



Adjacent property and fence detail.









Rear parking lot and fencing around waste facilities.



Adjacent property (southeast) of 4602 Swiss.





Property across Moreland Street.



Home / Paint / Exterior Paint, Stain & Waterproofing / Exterior Stain

Model # 525 Internet #204675331 Store SKU #1000051116



### READY SEAL

## 5 gal. Dark Walnut Exterior Wood Stain and Sealer

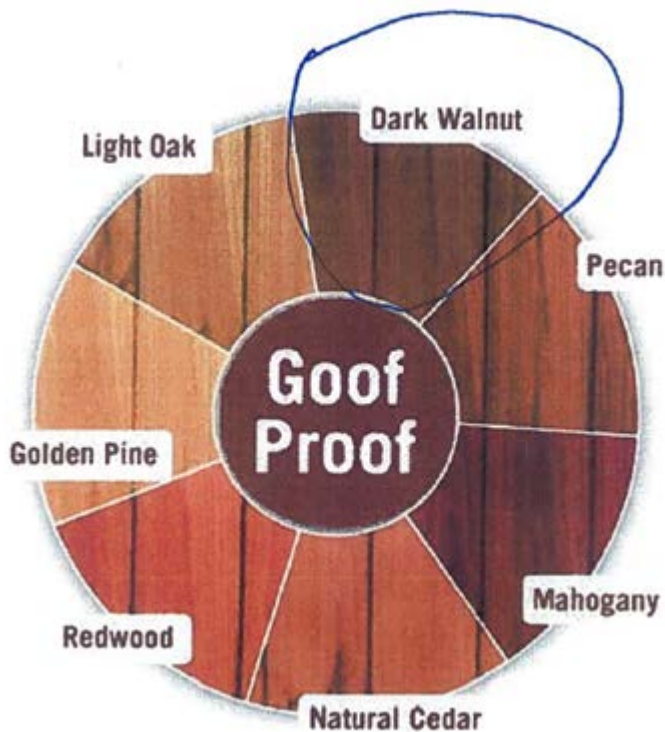
★★★★★ (50) [Write a Review](#) [Questions & Answers](#)

- Richly enhances the natural beauty of wood<sup>(11)</sup>
- Ideal for protecting wood from mold, mildew, and UV rays
- Perfect for use in exterior wood projects

**\$149.00** /each

January 5, 2017

Quantity



Proposed fence stain.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

- (C) Standard for approval. The landmark commission must grant the application if it determines that:
  - (ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON – LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: Jessica Hale

Address: 4602 Swiss Avenue

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☒ Approve      ☐ Approve with conditions      ☐ Deny      ☐ Deny without prejudice

Recommendation / comments/ basis:

**Task force members present**

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes      ☐ no (four makes a quorum)

Maker: *KARNOWSKI*

2<sup>nd</sup>: *HERSCH*

Task Force members in favor: *UNANIMOUS APPROVAL*

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE *1/12/2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## **LANDMARK COMMISSION**

**FEBRUARY 6, 2017**

FILE NUMBER: CA167-169(LC)  
LOCATION: 311 N Market Street  
STRUCTURE: Accessory & Non-Contributing  
COUNCIL DISTRICT: 14  
ZONING: CA-1(A)

PLANNER: Liz Casso  
DATE FILED: January 6, 2017  
DISTRICT: West End (H-2)  
MAPSCO: 45-J  
CENSUS TRACT: 0021.01

**APPLICANT:** Dallas Innovation Alliance

**REPRESENTATIVE:** Jennifer Sanders

**OWNER:** City of Dallas

**REQUEST:**

Replace acorn street light toppers along N Market Street.

**BACKGROUND / HISTORY:**

9/6/2016 – Landmark Commission conceptually approved the replacement of three existing kiosks and the installation of three additional digital kiosks along N. Market Street (CR156-009(MD)).

12/5/2016 – Landmark Commission approved the installation of a digital kiosk, trash can replacements, installation of an air and public health sensor kit, and installation of educational signage along N Market (CA166-078(LC)).

**ANALYSIS:**

At their December 2016 meeting, the Landmark Commission approved several Smart City improvements (digital kiosk, trash can replacements, health sensor kit) as part of a test pilot program for potential future improvements in the West End historic district and throughout downtown. As part of that same test pilot program, the applicant would like to replace the acorn light toppers along N Market Street. They have been working with City Staff in the Mobility and Street Services Department.

The applicant would like to test/compare two different light toppers from different manufacturers for a year in order to determine the most efficient of the two. At the end of the year, the better functioning light topper will be installed on all the acorn lights on N Market Street. The light toppers would be installed on existing acorn street light poles. The following will be the street topper locations:

- Phillips light toppers to be located on the blocks between Munger Ave and Corbin St, and between Pacific Ave and Elm Street.
- GE light toppers to be located on the blocks between Corbin St and Pacific Ave.

Staff is supportive of the project and agrees with the Task Force recommendation that the decorative cage feature should not be included for the proposed GE light topper. The applicant has indicated that it is not their intention to use the decorative cage or finial.

**STAFF RECOMMENDATION:**

Replace acorn street light toppers along N Market Street. – Approve with Condition – Approve with the condition that the light fixtures will not include a decorative cage, and with the finding the proposed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

Replace acorn street light toppers along N Market Street. – No quorum – Generally ok with all options; don't use the decorative cage in 3<sup>rd</sup> option.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-169 (LC)  
Office Use Only

Name of Applicant: Jennifer Sanders  
Mailing Address: 311 N. Market St. #200  
City, State and Zip Code: Dallas, TX 75202  
Daytime Phone: 214 865 6358 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: \_\_\_\_\_

PROPERTY ADDRESS: 311 N. Market St.  
Historic District: West End

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes ☒ No ☐  
Historic Planner's  
Initials: J

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached". Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Replace light fixtures (acorn lights) on Market Street with LED, intelligent light fixtures. One block will be GE post top, one block with Phillips post tops. For 12 month period, efficiency, usage, safety + financial results will be measured + delivered to the City with recommendations for scaled deployment. Fixtures not

Signature of Applicant: Jennifer Sanders Date: 1/5/16

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

**RECEIVED BY**

Certificate of Appropriateness

City of Dallas

Historic Preservation

Rev. 111408

Current Planning





## **Dallas Innovation Alliance: Landmark Task Force Brief**

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**Overview:** In the West End as a component of the Living Lab, DIA is pilot testing smart LED streetlights along Market Street. The goal of the pilot is to test and compare two types of vendor technology, for the duration of the pilot (12 months) and then choose the vendor to utilize for the long term, at which point the other fixtures will be changed out to the 'winning fixture'. Half of the pilot will be Philips light fixtures [see appendix A], for the full block between Elm Street and Pacific Avenue [11 lights]; and half will be GE light fixtures [see appendix B], for the full block from Pacific Avenue to Ross Avenue [12 lights]. The first installation will encompass these two blocks; with the other two blocks [Ross to Munger] to be installed later in 2017 [currently in midst of acquiring supplemental funds]. Both fixtures are consistent with glass and black iron decorative lamps, but they are not identical in design, hence our application here today.

**Timeline:** Fixtures will be installed February 2017, with a pilot duration of 12 months. After results are evaluated, the lights not chosen will be replaced with the 'winning' light fixtures; and thus have consistent fixtures throughout the Living Lab. This application is meant to be for consideration of temporary (12 month) installation of two lighting solutions.

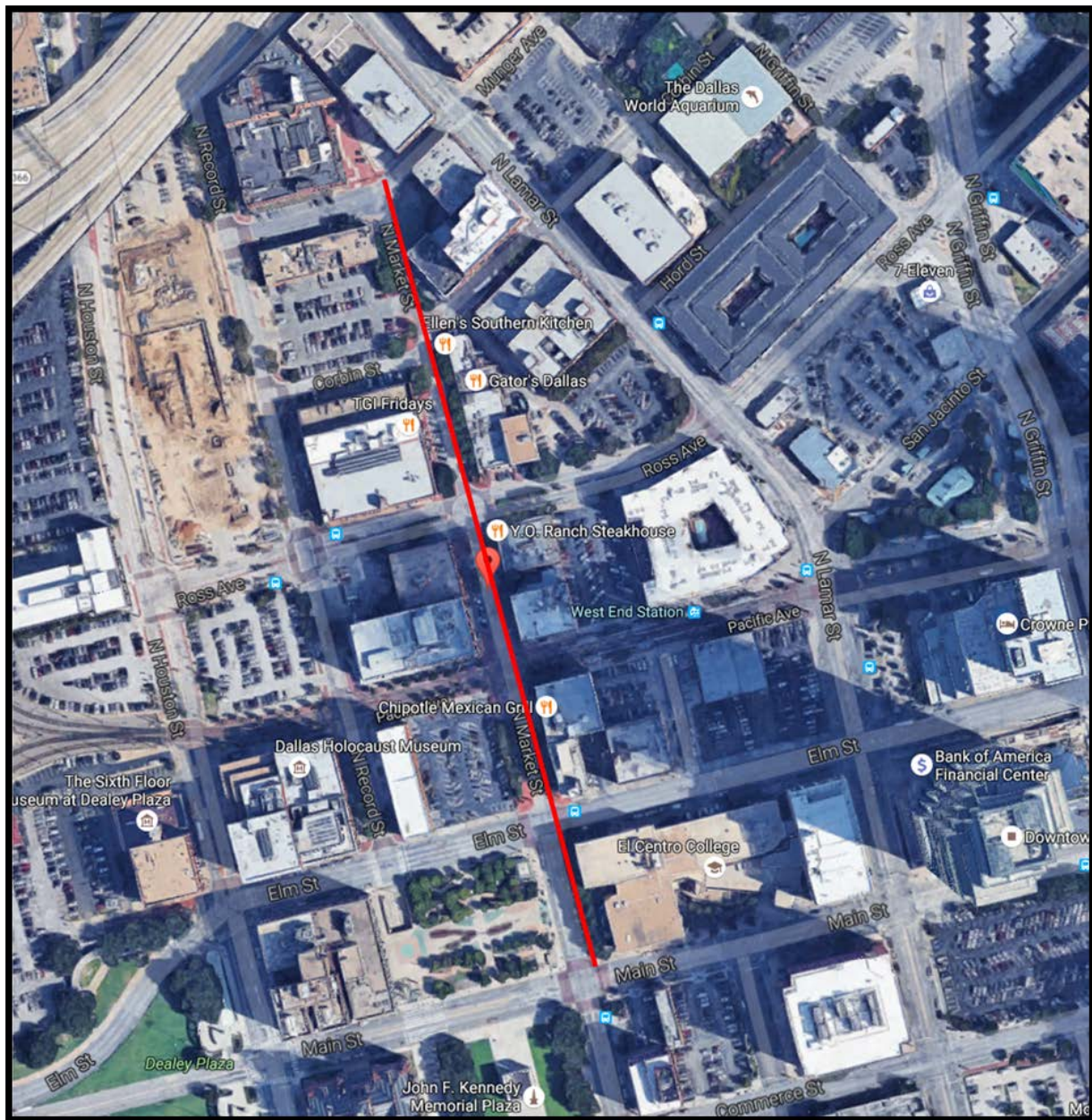
**Objectives:** The reasoning behind comparative testing – unique opportunity to compare solution results across a number of factors impacting the public good and quality of life, including:

- Energy usage and cost
- Quality of the light output [public safety and citizen experience impacts]
- Perception of safety sentiments from residents and visitors [qualitative studies prior to and during the pilot being conducted]. This has been a stated concern amongst key stakeholders.
- Financial sustainability and modeling: these solutions have very different financial/funding models, and we seek to measure financial viability to make sustainable recommendations to the City for a scaled deployment across the city.
- Operational improvements/usability: software and remote monitoring capabilities will aid in operational efforts and expenditures, including alerts when light is out or is approaching end of life, service, output and inventory automation, etc.

**Considerations in Design:** The project was designed to be divided by block, to provide aesthetic consistency, and ability to 'fence' and segment measurement and results. The division at Pacific Avenue also provides a natural division point given the DART rail and related fixture differences along the track line. Though the fixtures are not identical, we believe it will not be visually distracting or obvious to pedestrians or other visitors.

**Dependencies:** The purpose of the Living Lab and pilot testing is to provide informed, data-driven recommendations for larger strategic rollout; and is meant to be temporary. In a 'worst case scenario' at the close of the pilot, all lights would be replaced back with the lights currently installed.

January 11, 2017



Site Aerial





Streetscape – Facing Northwest on N Market from Elm



Streetscape – Facing Southwest on N Market from Pacific





Streetscape – Facing Northwest on N Market from Pacific

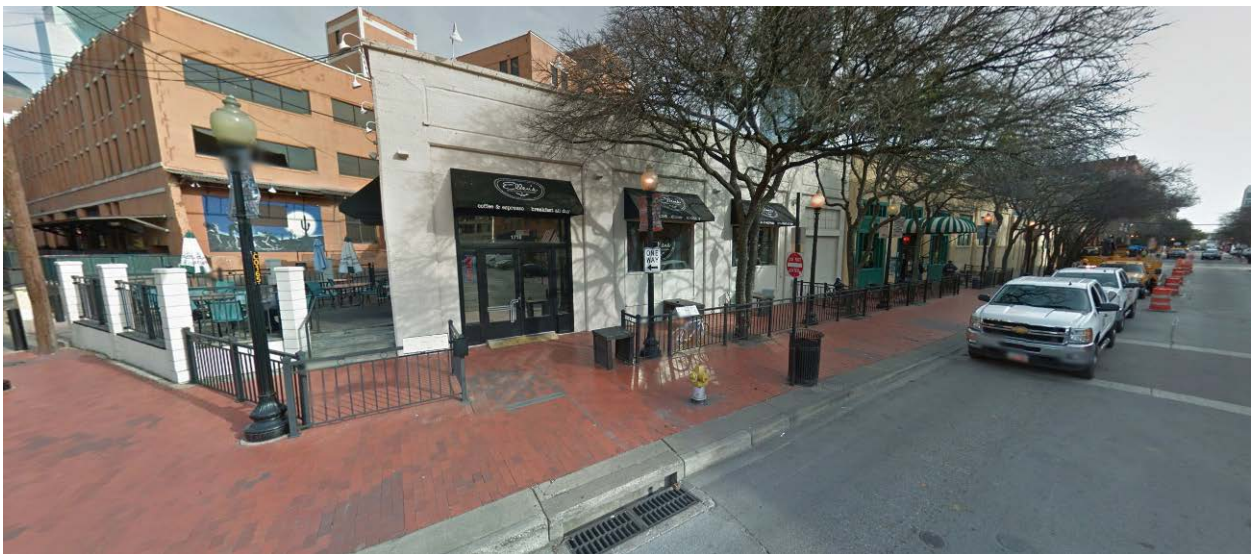


Streetscape – Facing Northeast on N Market from Pacific





Streetscape – Facing Southwest on N Market from Ross

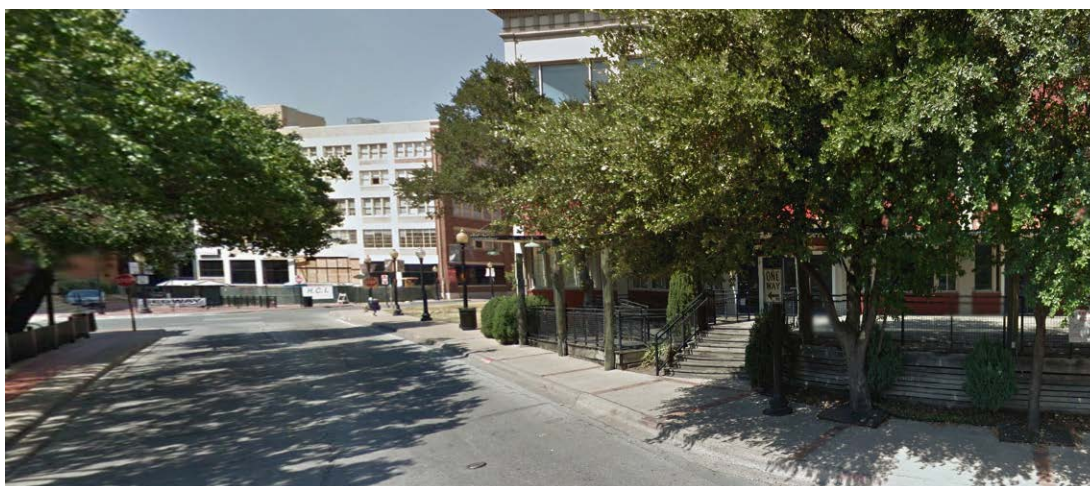


Streetscape – Facing Southeast on N Market from Ross





Streetscape – Facing Northwest on N Market from Ross

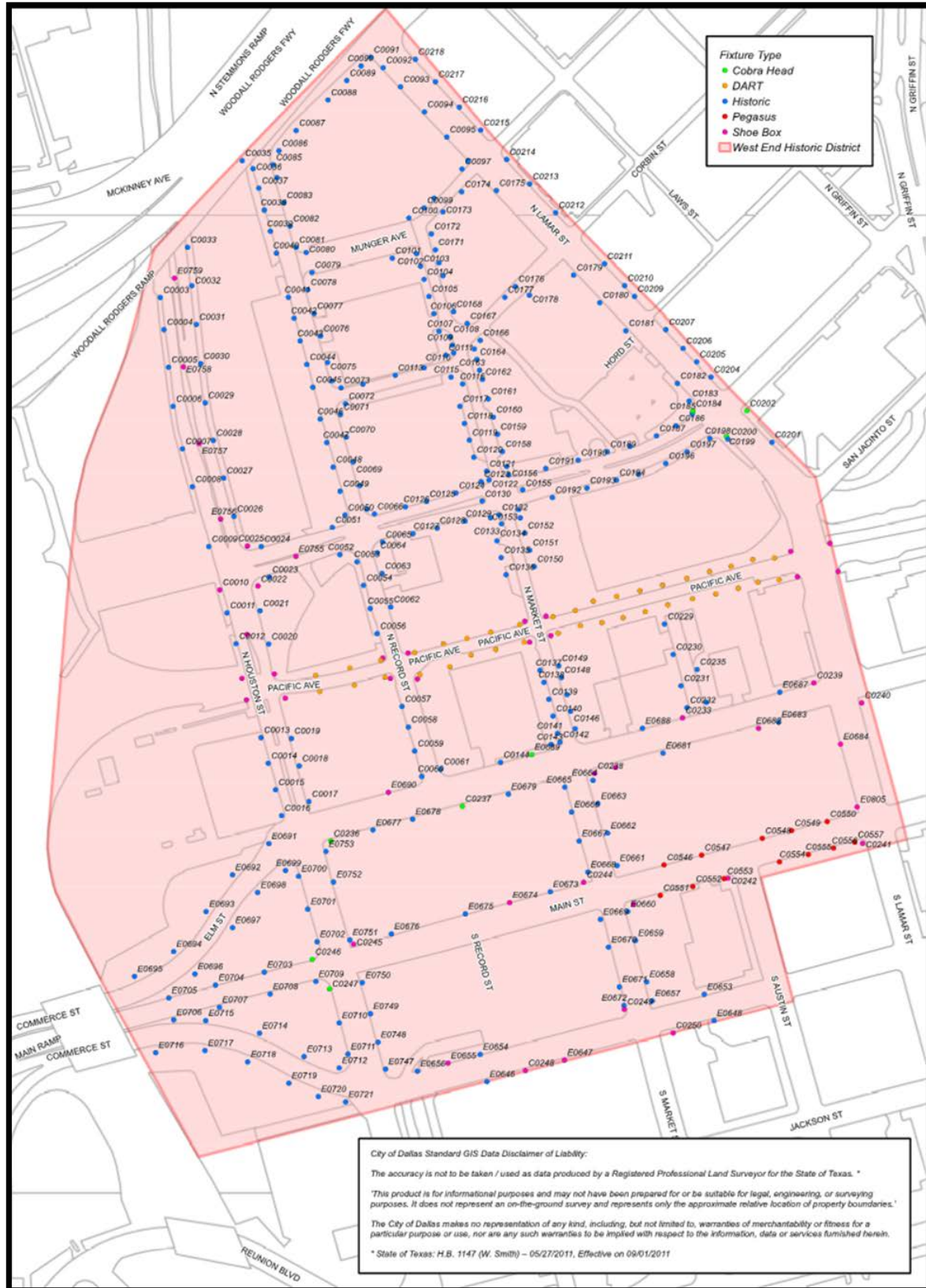


Streetscape – Facing Northeast on N Market from Ross



Streetscape – Facing Southwest on No Market at Munger



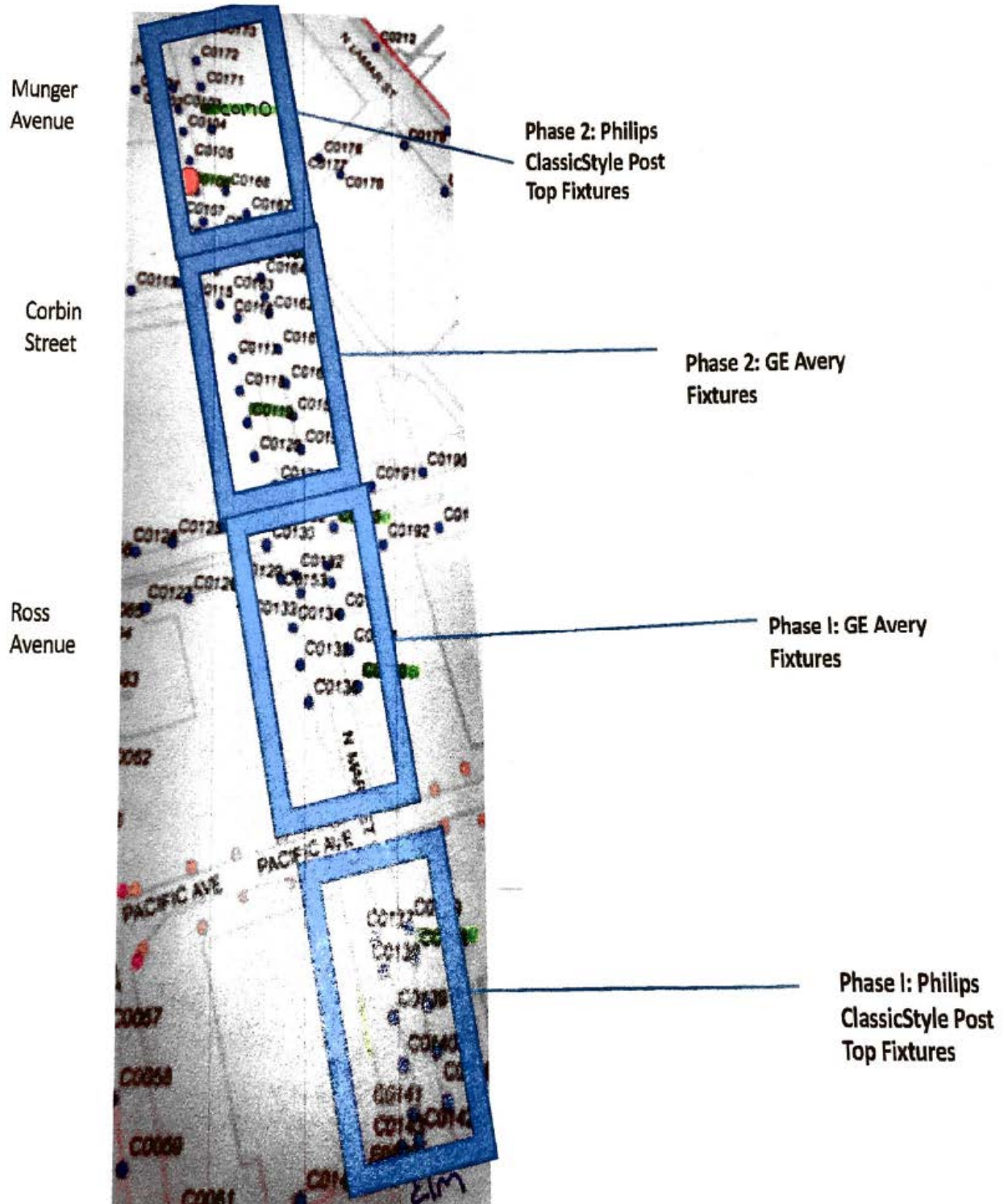


## Existing Street Light Locations in the West End Historic District.

Note: The acorn light fixtures are labeled as “historic” on the map. However, they are not historic street light poles.

CA167-169(LC)

C15-10



Proposed Light Topper Replacement Locations on N Market Street

- Phillips light toppers to be located between Munger Ave and Corbin St, and between Pacific Ave and Elm Street.
- GE light toppers to be located between Corbin St and Pacific Ave.





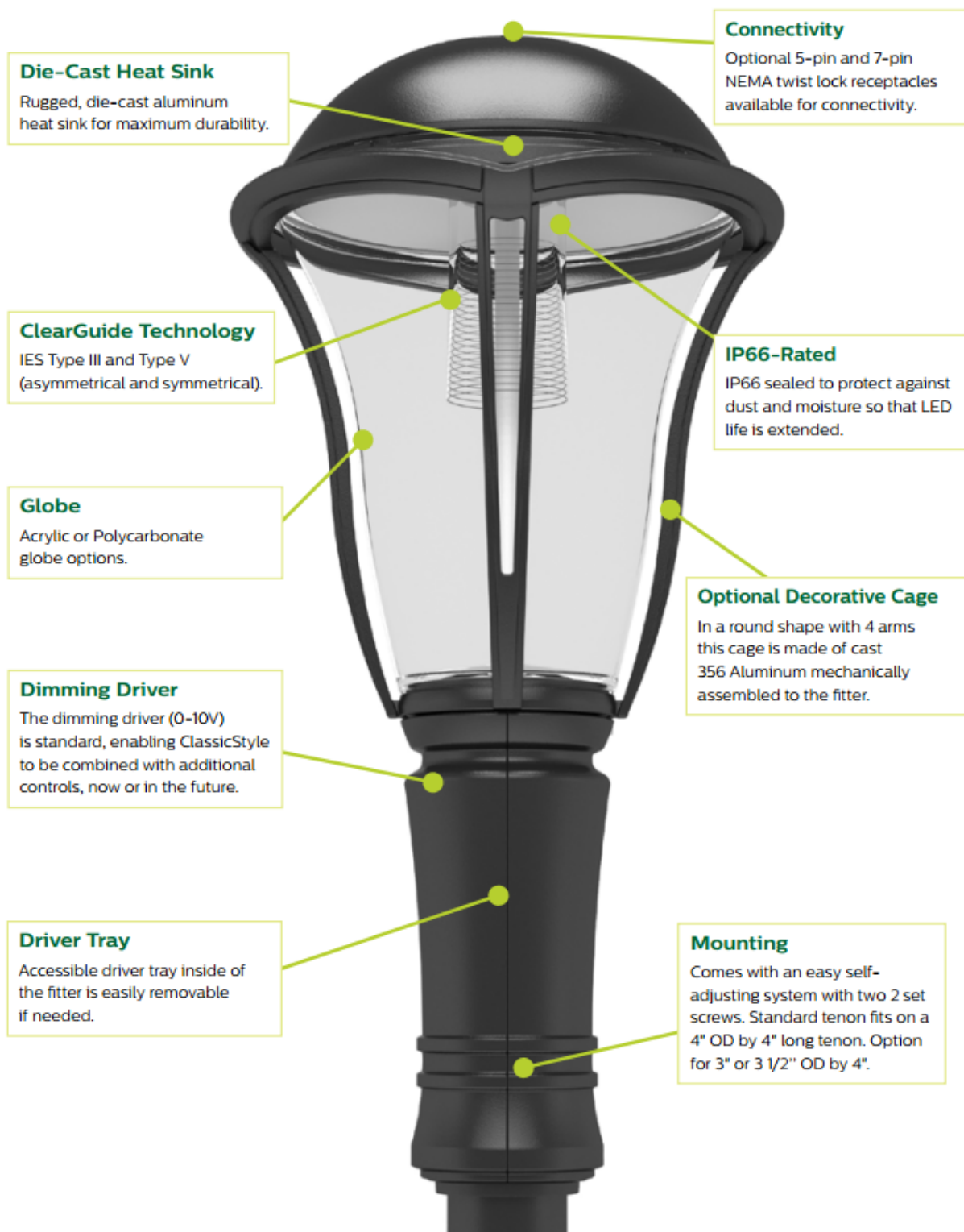
Proposed Phillips Classic Style Light Topper



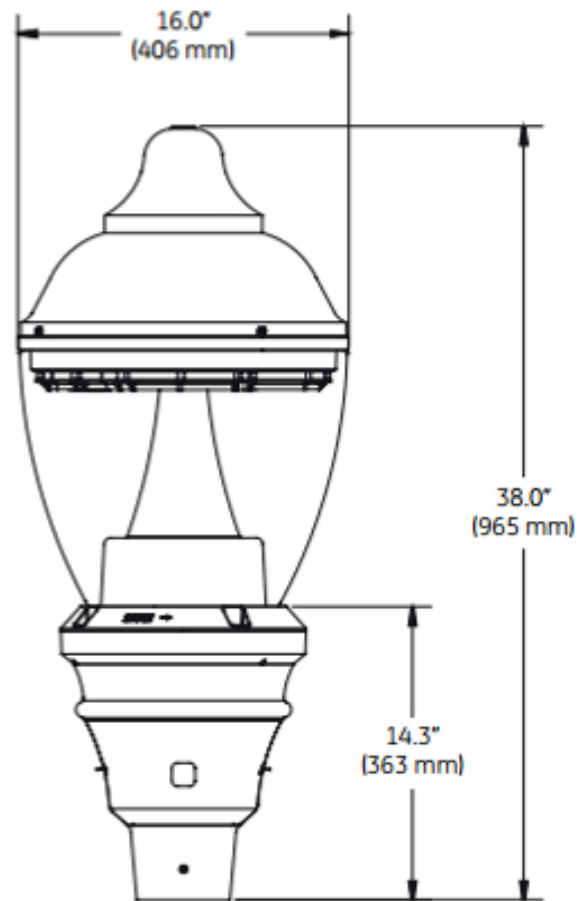
Proposed Philips Classic Style Light Topper with cage







Proposed Phillips Classic Style Light Topper Features



**POD C  
WITH COLONY TOP**

## Features

- 3,300 – 6,800 lumens
- 120-277V and 347-480V
- Type III and Type V distributions
- 70CRI typical at 3000K and 4000K
- L85 at 50,000 hours
- Dimming available with 120-277V only
- UL/cUL listed

Proposed GE Evolve LED Light Topper (without decorative cage and finial) & Features

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name:	Jennifer Sanders – Dallas Innovation Alliance
Address:	311 N Market Street (H-2; West End)
Date of CA/CD/CR Request:	1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Generally OK with all options, don't use the decorative page in 3rd option*

**Task force members present**

<input type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Joseph Piwetz	<input type="checkbox"/> Cathy Dawson (Alternate)
<input type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Anne Stimmel (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	

Ex Officio staff members Present ☐ Liz Casso

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CD167-007(MP)  
LOCATION: 3628 Dunbar Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-595

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Wheatley Place  
MAPSCO: 46-U  
CENSUS TRACT: 37.00

**APPLICANT:** Andrew Gilbert, City Attorney

**REPRESENTATIVE:** None

**OWNER:** Arzalia Mitchell

**REQUEST:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code.

**BACKGROUND / HISTORY:**

The main structure is listed as contributing to the Wheatley Place historic district.

**ANALYSIS:**

Task Force placed a condition that undamaged historic siding, details, or features be salvaged. Due to extensive damage caused by fire, and the fact that the Applicant has met all the requirements for the demolition standard, Staff is recommending approval of the request to demolish.

**STAFF RECOMMENDATION:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code – Approve – The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the Applicant has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

**TASK FORCE RECOMMENDATION:**

Demolish a residential structure, 3000 square feet or less pursuant to a court order 51A-4.501(i) of the Dallas City Code – Approve with conditions – Approve with condition – salvage siding or wood trim features and any other architectural elements.

**Certificate for Demolition and Removal (CD)**  
**City of Dallas Landmark Commission**

CD 167 - 007 [ MP ]  
Office Use Only

1. Name of Applicant: Andrew M. Gilbert, Dallas City Attorney's Office

MAILING Address: 1500 Marilla St., 7DN City Dallas State Texas Zip 75201

Daytime Phone: 214-671-8273 Fax: 214-670-0622

Relationship of Applicant to Owner: N/A

**ADDRESS OF PROPERTY TO BE DEMOLISHED:** 3628 Dunbar St Zip 75215

**Historic District:** Wheatley Place

**Proposed Work:**

2. Indicate which 'demolition standard(s) you are applying:

☐ Replace with more appropriate/compatible structure

☐ No economically viable use

☐ Imminent threat to public health / safety

☐ Demolition noncontributing structure because newer than period of significance

☒ Intent to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;

Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:  
(please see attached checklist)

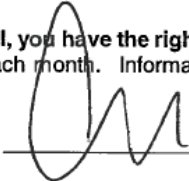
Demolition of a structure pursuant to 51-A-4.501 (i)

**Application Deadline:**

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation **must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month**, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210, **DO NOT FAX PHOTOGRAPHS.**

**Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application.** Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**Other:** In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: 

Date: 11/23/16

5. Signature of Owner: \_\_\_\_\_

Date: \_\_\_\_\_

(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

☐ **APPROVED.** Please release the building permit.

☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.

☐ **DENIED.** Please do not release the building permit or allow work.

☐ **DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

Sustainable Development and Construction

Date

Certificate for Demolition & Removal

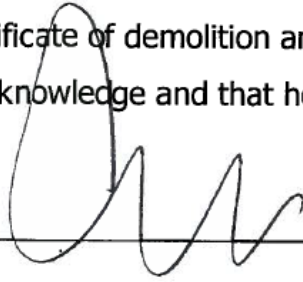
City of Dallas

Historic Preservation

Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05

## Affidavit

Before me the undersigned on this day personally appeared Andrew Gilbert who on his or her oath certifies that the statements contained in the application for a certificate of demolition and removal are true and correct to the best of his or her knowledge and that he or she is the representative of the City of Dallas.

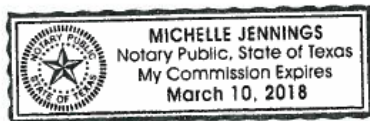


Affiant's signature

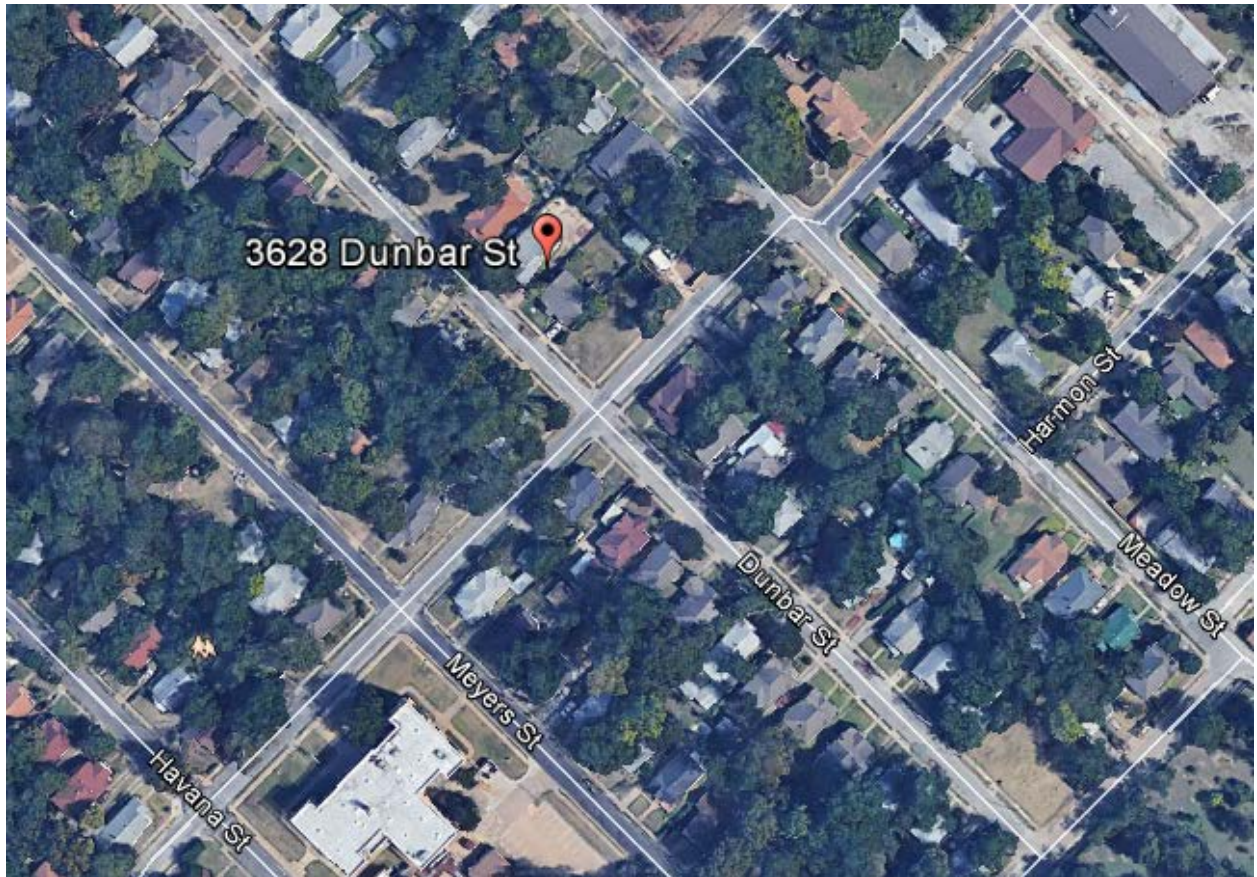
Subscribed and sworn to before me this 23 day of November, 2016



Notary Public







Aerial View, 3628 Dunbar.



Front (West) elevation.





View to left (North) of 3628 Dunbar.



View to right (South) of 3628 Dunbar.





View across the street (West) from 3628 Dunbar.



Recent photo taken 01/23/2017.



Recent photo taken 01/23/2017.





Recent photo taken 01/23/2017.



Recent photo taken 01/23/2017.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.





Photo submitted by applicant.



Photo submitted by applicant.



Photo submitted by applicant.





DATE: November 1, 2016

TO: Landmark Commission

FROM: Andrew Gilbert, Sr. Assistant City Attorney

CC: David Cossum, Director  
Neva Dean, Interim Assistant Director  
Laura Morrison, Assistant City Attorney  
Mark Doty, Chief Planner  
Trena Law, Landmark Commission Coordinator

SUBJECT: Notice of Intent to Apply for Certificate of Demolition

---

Pursuant to 51A-4.501(i)(5)(D) of the Dallas City Code, please be advised that the following property is located within a City of Dallas Historic District, and this serves as the 30-day written notice of the City's intent to apply for a certificate of demolition:

(1) 3628 Dunbar St.: Owner of Record per DCAD: Mitchell Arzalia, 3628 Dunbar St, Dallas, Texas 75215-3023

If you have any questions with regard to these matters, please feel free to contact me at 214-671-8273.

Thank you.





DATE: October 27, 2016

TO: Landmark Commission

FROM: Andrew Gilbert, Sr. Assistant City Attorney

CC: David Cossum, Director  
Neva Dean, Interim Assistant Director  
Laura Morrison, Assistant City Attorney  
Mark Doty, Chief Planner  
Trena Law, Landmark Commission Coordinator

SUBJECT: Notice of Intent to Apply for Certificates of Demolition

---

Pursuant to 51A-4.501(i)(5)(D) of the Dallas City Code, please be advised that the following properties are located within a City of Dallas Historic District, and this serves as the 30-day written notice of the City's intent to apply for certificates of demolition:

- (1) 3628 Dunbar St.: Owner of Record per DCAD: Mitchell Arzalia, 3628 Dunbar St, Dallas, Texas 75215-3023

If you have any questions with regard to these matters, please feel free to contact me at 214-671-8273.

Thank you.



DATE: October 24,2016

TO: Landmark Commission

FROM: Andrew M. Gilbert  
Assistant City Attorney

CC: Theresa O'Donnell, Director  
Neva Dean, Planning Manager  
Laura Morrison, Assistant City Attorney  
Mark Doty, Senior Planner  
Jennifer Anderson, Senior Planner  
Trena Law, Landmark Commission Coordinator

SUBJECT: Notice of court order for demolition

---

Pursuant to 51A-4.501(i)(4), please be advised that the following properties are located within a City of Dallas Historic District and a court has issued an order for demolition of the structure(s) on these properties:

(1) 3628 Dunbar Street: Owner of Record per DCAD, Mitchell Arzalia, 3628 Dunbar Street, Dallas, Texas 75215

If you have any questions with regard to these matters, please feel free to contact me at 214-671-9569.

Thank you.

No. S50-003806-01

CITY OF DALLAS,  
Plaintiff,

VS.

3628 DUNBAR STREET,  
Defendant,

§  
§  
§  
§  
§  
§  
§  
§

IN THE MUNICIPAL COURT OF

THE CITY OF DALLAS

DALLAS COUNTY, TEXAS

**ORDER TO EXERCISE REMEDIES AND TO AUTHORIZE  
CITY OF DALLAS TO DEMOLISH STRUCTURE ON PROPERTY**

On May 9, 2016, the Court entered into an Agreed Order between the Plaintiff and property owner, **Arzalia Mitchell**, allowing the structure(s) on the property located in **Lot 34 Block 1/1960 commonly referred to 3628 Dunbar Street**, to be repaired by the owner(s), mortgagee(s), lienholder(s) or other persons having an interest in the property within 90 days.

Following the lapse of 90 days from the May 9, 2016, Court Order, the above referenced property was reinspected and the structure was found to be vacant and in its same condition. Further, the structure(s) remain dilapidated, substandard, unfit for human habitation, a hazard to the public safety and welfare, and constitutes an urban nuisance.

Upon these findings and pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code it is the intention of the City of Dallas to proceed with and act upon the Court's May 9, 2016 order.

It is therefore ORDERED that the City of Dallas, is authorized to: (1) remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property; (2) enter the Property to inspect, photograph, and measure for purposes of documentation; (3) demolish the Structure and any accessory structure(s) on the Property; (4) remove all components and personalty; (5) and place a lien on the Property where allowed by law for the City's incurred expenses.

Signed this 13<sup>th</sup> day of September 2016.

Presiding Judge



**NOTICE TO SUBSEQUENT GRANTEEES, LIENHOLDERS OR TRANSFEREES**

Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, notice is hereby given that the filing of this order is binding on subsequent grantees, lienholders, or other transferees of an interest in the property who acquire such interest after the filing of this order, and constitutes notice of the order on any subsequent recipient of any interest in the property who acquires such an interest after the filing of this order.





CITY OF DALLAS,  
Plaintiff,

VS.

3628 DUNBAR STREET,  
Defendant,

§  
§  
§  
§  
§  
§  
§

IN THE MUNICIPAL COURT  
OF DALLAS, TEXAS  
AUG 09 2016  
FILED  
BY *Lesley R. [Signature]*  
DALLAS COUNTY, TEXAS

NOTICE OF NONCOMPLIANCE AND MOTION TO EXERCISE REMEDIES  
AND TO AUTHORIZE CITY OF DALLAS TO DEMOLISH STRUCTURE ON PROPERTY

On May 9, 2016, the Court entered into an Agreed Order between the Plaintiff and property owner, **Arzalia Mitchell**, allowing the structure(s) on the property located in **Lot 34 Block 1/1960** commonly referred to **3628 Dunbar Street**, to be repaired by the owner(s), mortgagee(s), lienholder(s) or other persons having an interest in the property within 90 days.

Following the lapse of 90 days from the May 9, 2016, Court Order, the above referenced property was reinspected and the structure was found to be vacant and in its same condition. Further, the structure(s) remain dilapidated, substandard, unfit for human habitation, a hazard to the public safety and welfare, and constitutes an urban nuisance.

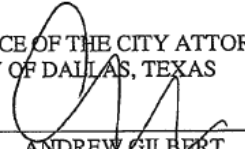
It is therefore requested that the City of Dallas, through its agents and contractors, be authorized to: (1) remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property; (2) enter the Property to inspect, photograph, and measure for purposes of documentation; (3) demolish the Structure and any accessory structure(s) on the Property; (4) remove all components and personalty; (5) and place a lien on the Property where allowed by law for the City's incurred expenses.

Upon these findings and pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code it is the intention of the City of Dallas to proceed with and act upon the Court's May 9, 2016 order.

A public hearing will be held in the Municipal Court Number 11, located on the fourth floor of the courthouse at 2014 Main St., Dallas, Dallas County, Texas on the **13<sup>th</sup> day of September 2016, at 9:00 o'clock a.m.** to determine whether the aforementioned structure and any accessory structure(s) on the property identified above should be repaired, removed or demolished. At this hearing, each owner, lienholder or mortgagee will be required to submit proof of the scope of any work that may be required to comply with the ordinances mentioned in this petition and the time it will take to reasonably perform the work.

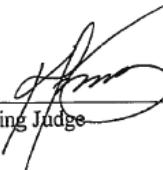
Respectfully submitted,

OFFICE OF THE CITY ATTORNEY  
CITY OF DALLAS, TEXAS

By:   
ANDREW GILBERT  
Assistant City Attorney  
State Bar No. 24012696  
JUSTIN ROY  
Assistant City Attorney  
State Bar No. 24013428  
WESLEY NUTE JR.,  
Assistant City Attorney  
State Bar No. 24085728  
1500 Marilla 7CN  
Dallas, Texas 75201  
Tel. 214-670-3519  
Fax 214-670-0622

A public hearing will be held in the Municipal Court Number 11, located on the fourth floor of the courthouse at 2014 Main St., Dallas, Dallas County, Texas on the 13<sup>th</sup> day of September 2016, at 9:00 o'clock a.m. to determine whether the aforementioned structure and any accessory structure(s) on the property identified above should be demolished by the City.

Signed this 9<sup>th</sup> day of August 2016

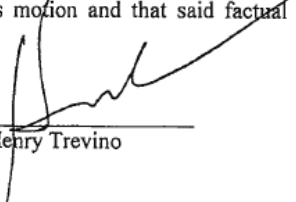
  
Presiding Judge



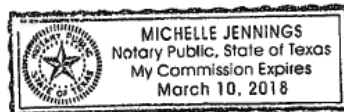
VERIFICATION

STATE OF TEXAS  
COUNTY OF DALLAS

I, Henry Trevino, a code inspector of the City of Dallas, after being duly sworn, hereby certify that I am qualified and authorized to make this affidavit, and that I have read each and every factual allegation regarding the condition of the property contained within this motion and that said factual allegations are within my personal knowledge and are true and correct.

  
Henry Trevino

Subscribed and sworn to before me this 9<sup>th</sup> day of August 2016.



  
Notary Public



No. S50-003806-01

CITY OF DALLAS,  
Plaintiff,

VS.

3628 DUNBAR STREET,  
Defendant,

§  
§  
§  
§  
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§  
§

IN THE MUNICIPAL COURT OF

THE CITY OF DALLAS

DALLAS COUNTY, TEXAS

**AGREED ORDER**

On the 9<sup>th</sup> day of May 2016 came on for public hearing the above-styled and numbered cause. Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, this Court has jurisdiction and makes the following findings:

Vacant structures intended for human occupancy exists on the property located at **3628 Dunbar Street Dallas, Texas** City of Dallas, Dallas County, Texas (hereinafter "structure"). The structure violates numerous minimum housing standards in Chapter 27 of the Dallas City Code as specifically set forth in Plaintiff's Petition and Notice of Public Hearing.

The structure is dilapidated, substandard, unfit for human habitation, a hazard to the public health, safety and welfare, constitutes an urban nuisance, and cannot be repaired without substantial reconstruction. Each owner, mortgagee or lienholder identified was given at least 10 days advanced notice of this public hearing by certified mail, return receipt requested. Azalia Mitchem appeared regarding the property and agreed to the entry of this order. No other interested persons appeared for the public hearing regarding the property.

It is therefore ORDERED that the structure and any accessory structure(s) be **repaired**, such that the interior and exterior meet the minimum housing standards in Chapter 27 of the Dallas City Code, by the owner(s), mortgagee(s), lienholder(s) and other persons having an interest in the structure within **90 days**. All persons having an interest in the structure are to appear before the Municipal Court Number 11, located in the courthouse at 2014 Main Street, Dallas, Dallas County, Texas on **June 14, and August 9, 2016 at 9:00 a.m.** to provide a progress report.

It is further ORDERED and AGREED that all persons having an interest in the structure shall ensure that all necessary permits are obtained prior to performing the work described above, that the work is performed in a good and workmanlike manner, and that the repairs are conducted and the Property is maintained in accordance with the Dallas City Code and all applicable codes and statutes.

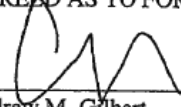
It is further ORDERED that if said persons fail to abide by the order of this Court within the allotted time, the City of Dallas, through its agents and contractors, is authorized to: (1) remove doors, gates, windows, locks, walls, boards and other barriers preventing entry onto the Property; (2) enter the Property to inspect, photograph, and measure the Property for purposes of documentation; (3) demolish the Structure and any accessory structure(s) on the Property; (4) remove all components and personalty; (5) and place a lien on the Property where allowed by law for the City's incurred expenses. The demolition is to include the foundation of the structure and all debris is to be fully and completely removed.

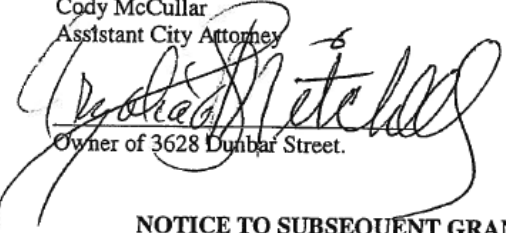
Signed this 9th day of May 2016.

Presiding Judge



AGREED AS TO FORM AND SUBSTANCE:

  
\_\_\_\_\_  
Andrew M. Gilbert  
Assistant City Attorney  
Justin Roy  
Assistant City Attorney  
Cody McCullar  
Assistant City Attorney

  
\_\_\_\_\_  
Owner of 3628 Dunbar Street.

**NOTICE TO SUBSEQUENT GRANTEEES, LIENHOLDERS OR TRANSFEREES**

Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, notice is hereby given that the filing of this order is binding on subsequent grantees, lienholders, or other transferees of an interest in the property who acquire such interest after the filing of this order, and constitutes notice of the order on any subsequent recipient of any interest in the property who acquires such an interest after the filing of this order.

ORDER - PAGE 3



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

City Code Section 51A-4.501(i)(7).

The landmark commission shall approve the certificate for demolition if it finds that:

- (A) a court or other tribunal has issued a final order requiring that the demolition of the structure pursuant to Texas Local Government Code Chapters 54 or 214; as amended; and
- (B) suspension of the certificate for demolition is not a feasible option to alleviate the nuisance in a timely manner.

**TASK FORCE RECOMMENDATION REPORT**  
WHEATLEY PLACE / TENTH STREET

DATE: **1/10/2017**

TIME: **4:00 pm**

MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Andrew Gilbert

Address: 3628 Dunbar St. (Wheatley Place HD)

Date of CA/CD Request: 11/23/2016

**RECOMMENDATION:**

☒ Approve    ☐ Approve with conditions    ☐ Deny    ☐ Deny without prejudice

Recommendation / comments/ basis:

SALVAGE SIDING OR WOOD TRIM  
FEATURES AND ANY OTHER  
ARCHITECTURAL ELEMENTS

**Task force members present**

☐ Kathleen Lenihan    ☒ Alonzo Harris  
☐ Patricia Williams    ☐  
☒ Alicia Quintans    ☐

Ex Officio staff members Present ☒ Marsha Prior ☐

Simply Majority Quorum: ☒ yes    ☐ no (two makes a quorum)

Maker: Alonzo

2<sup>nd</sup>: Alicia

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force [Signature] DATE 1.10.17

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-163(JKA)  
LOCATION: 223 S Montclair Avenue  
STRUCTURE: Main, Accessory, Non-Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-E  
CENSUS TRACT: 0052.00

**APPLICANT:** Tom Perkins and Patricia Lyons

**OWNER:** Tom Perkins and Patricia Lyons

**REQUEST:** Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate."

### **BACKGROUND / HISTORY:**

The structure is listed as compatible and therefore non-contributing to the Winnetka Heights historic district.

### **ANALYSIS:**

The applicant specified that the Colonial Revival Gray color will replace the existing taupe, the white will replace the existing white color, and the Downing Slate accent color will be used on the interior face of the trim and on window sashes. Staff believes that the colors chosen are appropriate to the historic overlay district and meets City Code. Therefore, staff is recommending approval of the proposed work.

**STAFF RECOMMENDATION:** Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate" –

**TASK FORCE RECOMMENDATION:** Paint main and accessory structure using Sherwin Williams paint. Body: SW2832 "Colonial Revival Gray;" Trim: SW7005 "Pure White;" Accent: SW2819 "Downing Slate" –



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-163 (JKA)  
Office Use Only

Name of Applicant: Tom Perkins and Patricia Lyons  
Mailing Address: 223 South Montclair Avenue  
City, State and Zip Code: Dallas, TX 75208  
Daytime Phone: 214-908-1856/214-794-5531 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Same/ Owners

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_\_ No \_\_\_\_

Historic Planner's  
Initials:

PROPERTY ADDRESS: 223 South Montclair Avenue, Dallas, TX 75208

Historic District: Winnelka Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Paint house and garage exterior and trim. Minor repairs to weathered exterior boards.

Proposed paint colors (all Sherwin-Williams): Exterior House and Garage (Colonial Revival Gray -SW 2832);

Trim House and Garage (Pure White - SW 7005); Accent Trim House (Downing Slate - SW 2819); Chimney - no change;

Minor Trim replacement material: < 5%, as close to original material as possible; House/Garage photos attached

Signature of Applicant: Thomas E. Perkins/Patricia Lyons Date: January 4, 2017

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

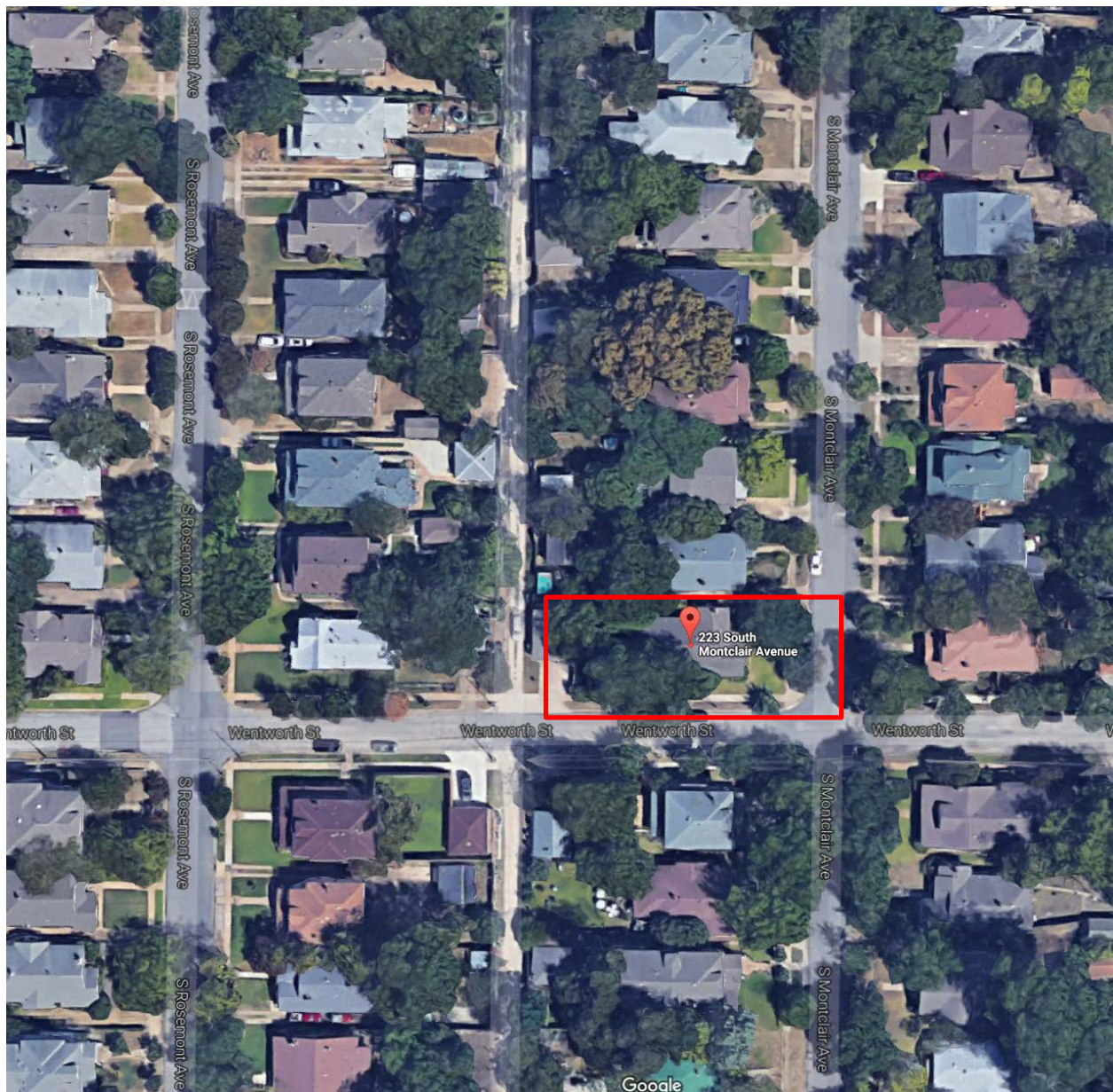
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial image





Main structure





To right of main structure



To left of main structure





Across street from main structure





Main structure

CA167-163(JKA)

C17-7





Main structure

CA167-163(JKA)

C17-8



Accessory structure





Accessory structure



SW 2832  
Colonial Revival Gray  
Interior / Exterior

**BODY**

SW 7005  
Pure White  
Interior / Exterior  
Locator Number: 255-C1

**TRIM**

SW 2819  
Downing Slate  
Interior / Exterior

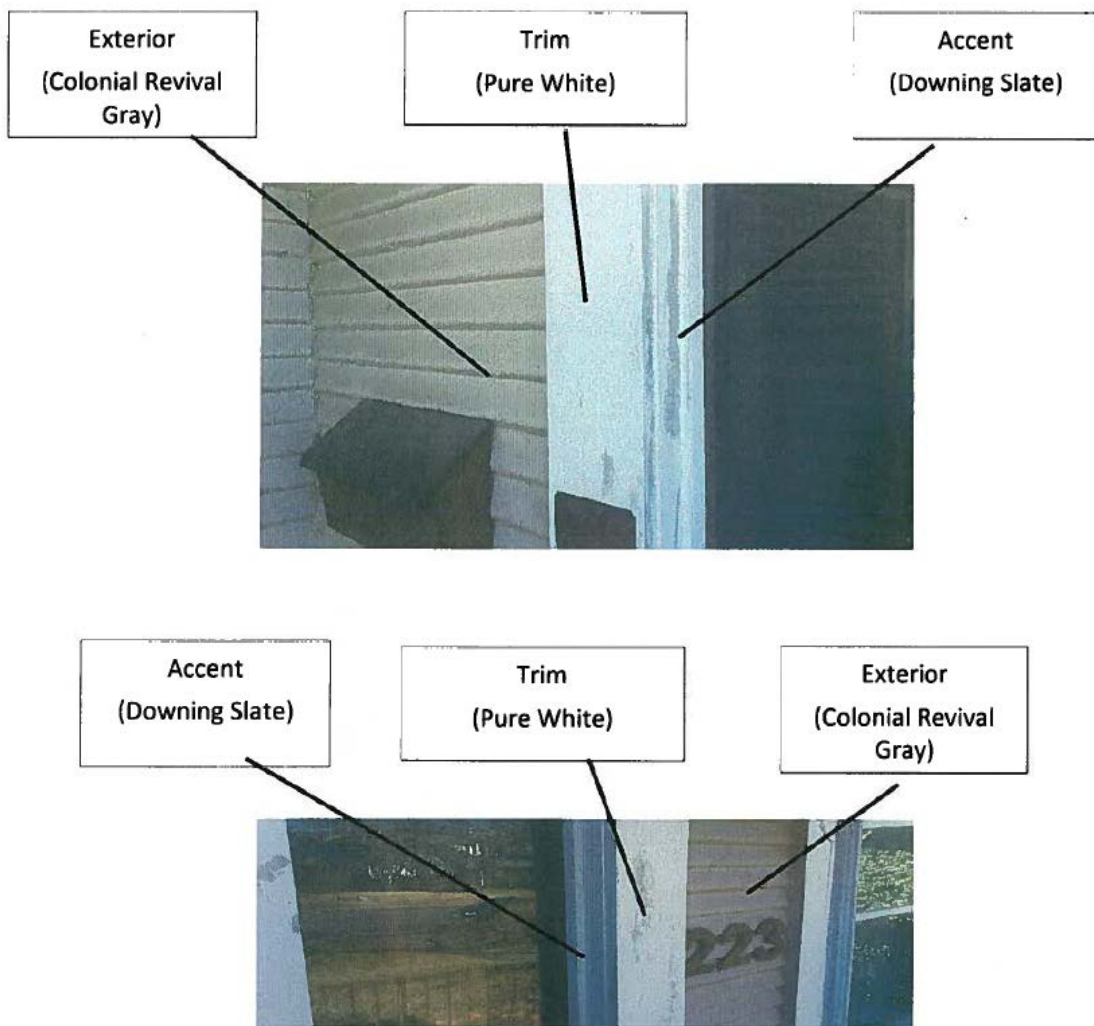
**ACCENT**

1-17-17

Paint specifications

CA167-163(JKA)

C17-11



Paint color locations illustrated by the applicant.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Standards for noncontributing structures: Dallas Development Code: No. 19455,  
Section 51A-4.501(g)(6)(C)(ii)

The landmark commission must approve the application if it determines that:

(ii) for non-contributing structures:

The proposed work is compatible with the historic overlay district.



**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017  
TIME: 5:30pm  
MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Tom Perkins and Patricia Lyons  
PROPERTY ADDRESS: 223 S Montclair Ave  
DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*Supports Removing Access*

**Task force members present**

<input type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Barbara Roy (Alternate)
<input type="checkbox"/> Heidi Maher	<input checked="" type="checkbox"/> Rachel Hoehn	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Harry Nicholls	<input type="checkbox"/> VACANT (Alt)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

*1-11-17*

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-162(JKA)  
LOCATION: 402 S. Montclair Avenue  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-E  
CENSUS TRACT: 0052.00

**APPLICANT:** Stephanie & Jacob Matthews

**OWNER:** VERONICA MAY MCCUIN

**REQUEST:**

Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray."

**BACKGROUND/HISTORY:**

The structure is listed as contributing to the Winnetka Heights historic district.

**ANALYSIS:** The applicant clarified that the proposed accent color will replace the existing red accent color on the house. Staff believes that the colors proposed are appropriate for the structure and meets City Code. Therefore, Staff is recommending approval of the proposed work.

**STAFF RECOMMENDATION:** Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray" – Approve – Approve paint specifications dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 51P-87.111(a)(8)(C) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:** Paint main structure using Sherwin Williams paint. Body: SW6244 "Naval;" Trim: SW7000 "Ibis White;" Accent: SW2850 "Chelsea Gray" – None – No quorum, comments only. Support.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-162 [JKA]  
Office Use Only

Name of Applicant: Jacob and Stephanie Matthews  
Mailing Address: 402 South Montclair Ave.  
City, State and Zip Code: Dallas, TX 75204  
Daytime Phone: 856-430-0746 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Self

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_\_ No \_\_\_\_

Historic Planner's  
Initials:

PROPERTY ADDRESS: 402 South Montclair Ave.  
Historic District: Winnetka Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Re-paint exterior of home; front, sides, and back  
- Body of house: Sherwin Williams, Naval, SW 6244  
- Trim: Sherwin Williams, Ibis White, SW 7000  
- Accent: Sherwin Williams, Chelsea Gray, SW 2850 → this  
color will replace all red on current paint job, including  
red floor on front and back porches

Signature of Applicant: Stephanie Matthews Date: 1/4/2017

Signature of Owner: \_\_\_\_\_ Date: JAN 05 2017  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the FIRST THURSDAY OF EACH MONTH NOON (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla SBN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

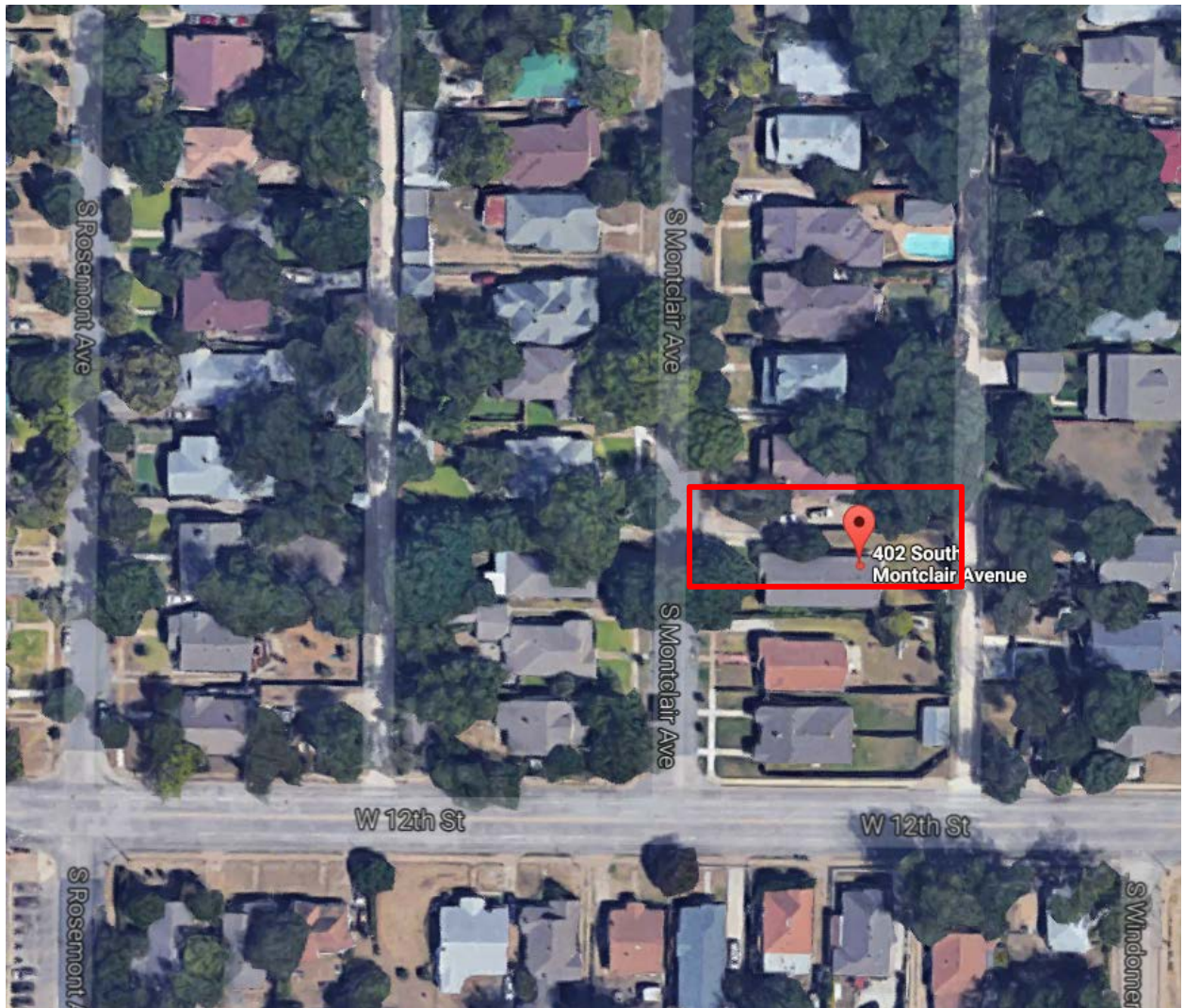
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial image



Main structure





To left of main structure



To right of main structure





Across street from main structure



Across street from main structure





Main structure

CA167-162(JKA)

C18-7



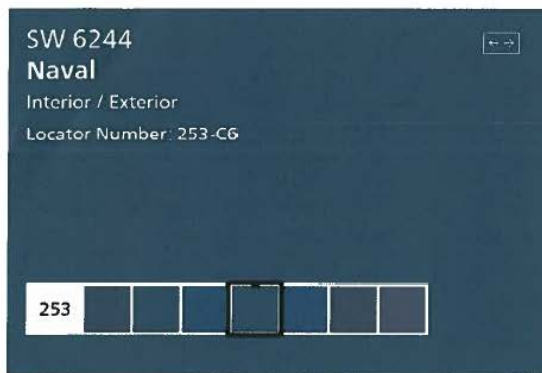


Main structure

CA167-162(JKA)

C18-8

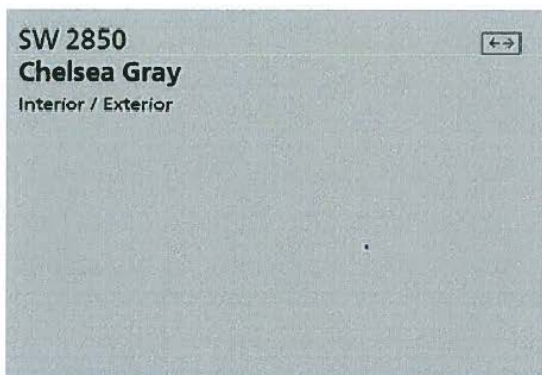




Body



Trim



Accent  
&  
Porch floor

1-17-17

Paint specifications

CA167-162(JKA)

C18-9



Proposed locations for the paint are depicted above. Paint colors are not exact.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### Section 51P-87.111(a)(8)(C)

(C) Dominant and trim colors. All structures must have a dominant color and no more than two trim colors. The colors of a structure must be complementary of each other and the overall character of this district.



**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017

TIME: 5:30pm

MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Stephanie Matthews

PROPERTY ADDRESS: 402 S Montclair Ave

DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*Needs to know color placement  
Support*

**Task force members present**

☐ Christine Escobedo

☐ Jeff Cummings (Chair)

☐ Barbara Roy (Alternate)

☐ Heidi Maher

☒ Rachel Hoehn

☐ VACANT

☒ Alfred Pena

☐ Harry Nicholls

☐ VACANT (Alt)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☐ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1-11-17

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-166(JKA)  
LOCATION: 400 N Willomet Avenue  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-B  
CENSUS TRACT: 0046.00

**APPLICANT:** Gregory Bussey

**OWNER:** Gregory Bussey

**REQUEST:** Install GAF Timberline composition shingles in color "Charcoal" on the main structure.

**BACKGROUND/HISTORY:**

05/02/2012 – A Routine Maintenance CA was issued to repair a retaining wall and to install a wood fence (CA112-255(CH)).

The structure is listed as contributing to the Winnetka Heights historic district.

**ANALYSIS:** The applicant is proposing to change the color of the composition shingles from "Weathered Wood" (brown) to "Charcoal" (black). Staff believes that the color choice is appropriate for the structure and meets City Code. Therefore, Staff is recommending approval of the work.

**STAFF RECOMMENDATION:** Install GAF Timberline composition shingles in color "Charcoal" on the main structure – Approve – Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 51P-87.111(a)(8)(E) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:** Install GAF Timberline composition shingles in color "Charcoal" on the main structure – None – No quorum, comments only. Support.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-166 (JKA)  
Office Use Only

Name of Applicant: Gregory C. Bussey  
Mailing Address: 400 N. Willemet Ave  
City, State and Zip Code: Dallas, TX 75208  
Daytime Phone: 469-835-6499 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Same

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 400 N Willemet Ave Dallas, TX 75208  
Historic District: Winnetka Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Replace existing roof with a new roof. To be installed by American Dream Construction. We will be replacing our single with a GAF Product. Timberline Natural Shadow - Charcoal (change from Gray) Camps on my street located at 408 N Willemet Ave.

Signature of Applicant: Gregory C. Bussey

Date: 12-23-16

Signature of Owner: \_\_\_\_\_

(IF NOT APPLICANT)

Date: \_\_\_\_\_

**RECEIVED BY**

**JAN 05 2017**

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial image



Main structure





Main structure







Across street from main structure



To the left of main structure





Across street from main structure





GAF: Timerline Natural Shadow - Charcoal  
Asphalt Shingle

1-17-17

Shingle specifications



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Section 51P-87.111(a)(8)(E)

(E) Roof colors. Roof colors must complement the style and overall color scheme of the structure.

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017

TIME: 5:30pm

MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Greg Bussey

PROPERTY ADDRESS: 400 N Willomet Ave

DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*Task Force Supports*

**Task force members present**

☐ Christine Escobedo

☐ Jeff Cummings (Chair)

☐ Barbara Roy (Alternate)

☒ Heidi Maher

☒ Rachel Hoehn

☐ VACANT

☒ Alfred Pena

☐ Harry Nicholls

☐ VACANT (Alt)

Ex Officio staff members present ☐ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE *1-11-17*

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-186(JKA)  
LOCATION: 237 S Windomere Avenue  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-E  
CENSUS TRACT: 0052.00

**APPLICANT:** Ty Boland

**OWNER:** TIMOTHY BOLAND

**REQUEST:**

Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure.

**BACKGROUND / HISTORY:**

12/13/2016 – Landmark Commission denied the requests for shingles based on lack of information, and also denied the requests for landscaping in the parkway and yellow neon color for the front door.

07/02/2007 – Landmark approved a 9' fence (CA067-466(MW)).

11/18/2000 – Landmark approved the existing hardy shake shingles that were installed without a Certificate of Appropriateness (No CA numbers issued in 2000).

The structure is listed as contributing to the Winnetka Heights historic district.

**ANALYSIS:** In December 2016, Landmark Commission denied the request to install the proposed shingles without prejudice so that the applicant could resubmit the request with samples of the proposed shingles. The applicant brought the samples to Task Force. Both Staff and Task Force agreed that the profile on the shingles do not look substantially different than standard 3-tab or architectural shingles. Therefore, Staff is supportive of the request and is recommending approval of the work with the finding that it meets the preservation criteria and City Code.

**STAFF RECOMMENDATION:** Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure – Approve – Approve specifications dated 1/17/17 with the finding that the proposed work is consistent with preservation criteria Section 51P-87.111(a)(14)(B) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).



**TASK FORCE RECOMMENDATION:** Install GAF Camelot asphalt shingles in color "Antique Slate" on main structure – None – No quorum, comments only. Support.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 186 (JKA)  
Office Use Only

Name of Applicant: Tim Boland "Ty Boland"  
Mailing Address: 237 S. Windomere Ave  
City, State and Zip Code: Dallas TX 75209  
Daytime Phone: 214 908-1263 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: \_\_\_\_\_

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 237 South Windomere Ave  
Historic District: Winnetka Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

New Roof Install request. Have actual Shingle Sample.  
Color in Swatch: "Antique Slate"

**RECEIVED BY**

Signature of Applicant: [Signature] Date: 1-5-1 JAN 05 2017

Signature of Owner: [Signature] Date: 1-5-17  
(IF NOT APPLICANT)

Current Planning

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

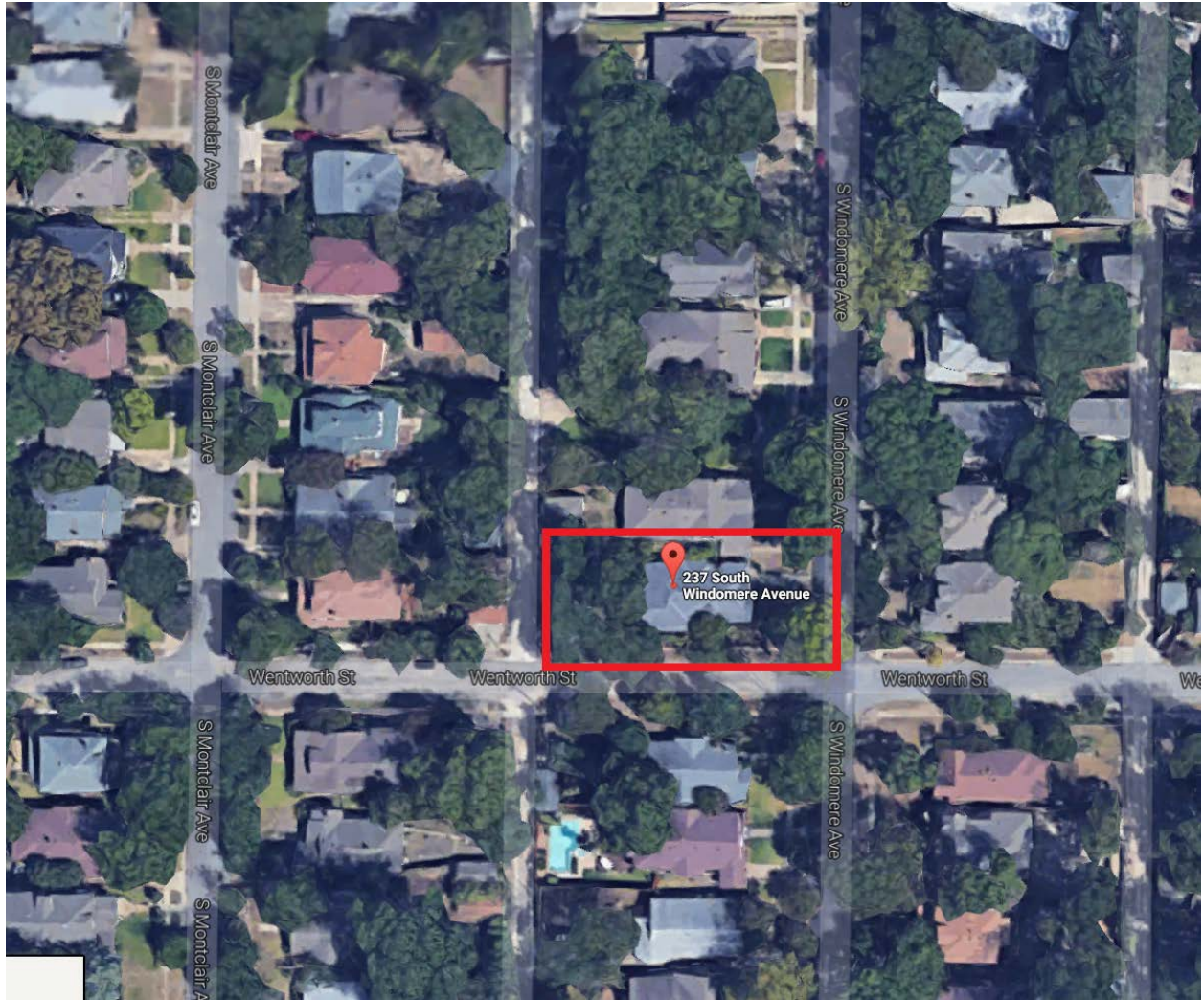
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial image





Main structure





Right of main structure



Left of main structure





Across street from main structure.

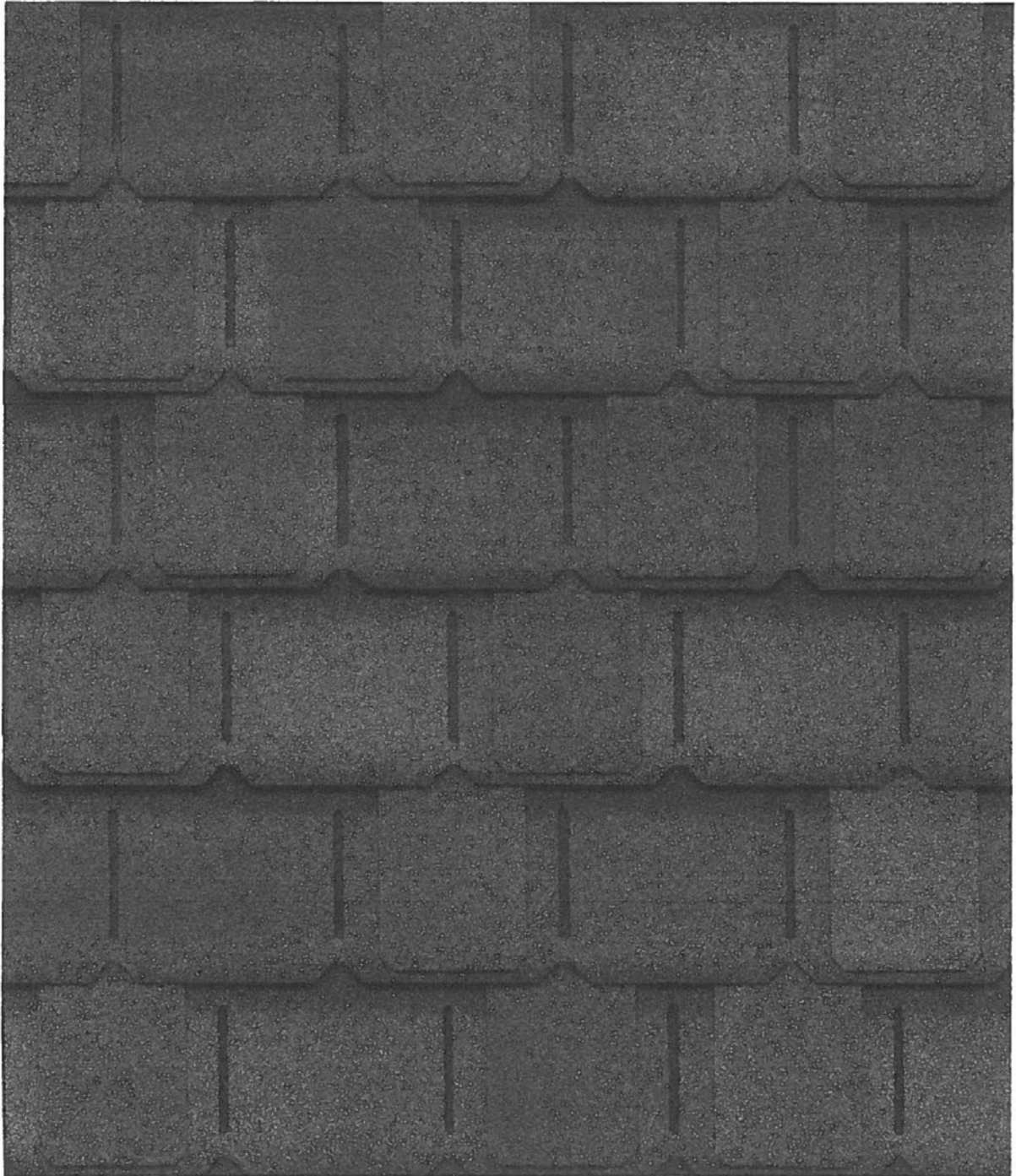
CA167-186(JKA)

C20-7



"Antique Slate"

Page 1 of 1



1-17-17

Shingle specifications

CA167-186(JKA)

C20-8

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### Section 51P-87.111(a)(14)(B)

(B) Materials and colors. Roof materials and colors must complement the style and overall color scheme of the structure. Tar and gravel (built-up) is only permitted as a roof material on covered porches and porte cocheres with flat roofs.

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017

TIME: 5:30pm

MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Tim Boland

PROPERTY ADDRESS: 237 S Windomere Ave

DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*Task Force Supports*

**Task force members present**

☐ Christine Escobedo

☐ Jeff Cummings (Chair)

☐ Barbara Roy (Alternate)

☒ Heidi Maher

☒ Rachel Hoehn

☐ VACANT

☒ Alfred Pena

☐ Harry Nicholls

☐ VACANT (Alt)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE *1-11-17*

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## **LANDMARK COMMISSION**

**FEBRUARY 6, 2017**

FILE NUMBER: CR167-007(LC)  
LOCATION: 1907 Elm Street (1900 Pacific Ave)  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 14  
ZONING: PD-619

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: West End (H-2)  
MAPSCO: 45-L  
CENSUS TRACT: 0031.01

**APPLICANT:** Merriman Anderson Architects

**REPRESENTATIVE:** Patrick Hazard

**OWNER:** Petrocorrigan Towers LP

**REQUEST:**

Courtesy Review – Install a blade sign.

**BACKGROUND / HISTORY:**

1/9/2006 – Landmark Commission approved restoration of exterior façade (CA056-057(JA)).

12/1/2008 – Landmark Commission conceptually approved building restoration (CA089-109(MD)).

6/6/2016 – Landmark Commission approved installation of new storefront systems, construction of an addition, installation of exterior lighting, and denied without prejudice the installation of a canopy and awnings along Elm St (CA156-525(MD)).

**ANALYSIS:**

The applicant is considering the construction and installation of a 38ft tall blade sign, similar in size and style to the original Tower Theater sign. The sign would be installed in the same location as the original sign and will use the original support mounts if possible. The name on the sign would be that of the hotel tenant.

Staff is supportive of the proposed sign and agrees with the Task Force recommendation that the sign should not be a plastic or metal can sign. Staff also agrees that the use of exposed neon lighting should be considered.

**STAFF RECOMMENDATION:**

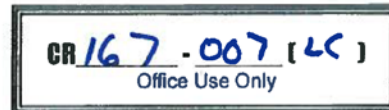
Courtesy Review – Install a blade sign. – Approve conceptually with the condition that the sign not be a plastic or metal can sign, that the use of exposed neon lighting be

considered, and that final plans, elevations, and details are submitted for final Landmark Commission review.

**TASK FORCE RECOMMENDATION:**

Courtesy Review - Install a blade sign. – Task Force supports concept of blade sign. Use configuration of original sign and support plate location. Do not use plastic or metal can sign. Suggest using exposed neon lighting.

# Courtesy Review Form (CR) City of Dallas Landmark Commission



This review is a courtesy review only and not permission to alter the site or any structure on the site. To alter a site within a historic overlay district or alter, place, construct, maintain, or expand any structure on a site within a historic overlay district, a certificate of appropriateness must be obtained in accordance with Dallas Development Code § 51A-4.501(g) and the preservation criteria in the historic overlay district ordinance.

Name of Applicant: Patrick Hazard, Merriman Anderson Architects

Mailing Address: 300 N. Field Street

City, State and Zip Code: Dallas, Texas 75202

Daytime Phone: 214.347.7075 Fax: 214.987.2138

Relationship of Applicant to Owner: Architect

PROPERTY ADDRESS: 1907 Elm Street Dallas, Texas 75201

Historic District: Harwood Historic District

RECEIVED BY

JAN 05 2017

Current Planning

## PROPOSED WORK:

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Recreation of previous blade sign that was located on Elm St facade of building for the old Tower Theatre. This courtesy review is to discuss shape, size and location of the proposed blade sign. Formal application to be submitted once the graphic of the sign have been finalized by owner for hotel

Signature of Applicant: [Signature]

Date: 2017.01.04

Signature of Owner: [Signature]

Date: 01.05.2017

(IF NOT APPLICANT)

## APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, by NOON** before the Dallas Landmark Commission may consider the courtesy review of any change affecting the site or the exterior of any structure. This CR form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

\*Information regarding past courtesy reviews for individual addresses is available for review in 5CN of City Hall.

**Memorandum to the Building Official: This review is a Courtesy Review only, do not issue building permits based on this CR form.**

- ☐ COURTESY APPROVAL (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY APPROVAL WITH COMMENTS (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY DISAPPROVAL (Certificate of Appropriateness may be considered without a waiver)

Department of Sustainable Development and Construction Date

Courtesy Review Form

City of Dallas

Historic Preservation

**THIS CR FORM IS NOT A CERTIFICATE OF APPROPRIATENESS OR PERMISSION TO ALTER THE SITE OR ANY STRUCTURES ON THE SITE**

10-10-2016





Site Aerial

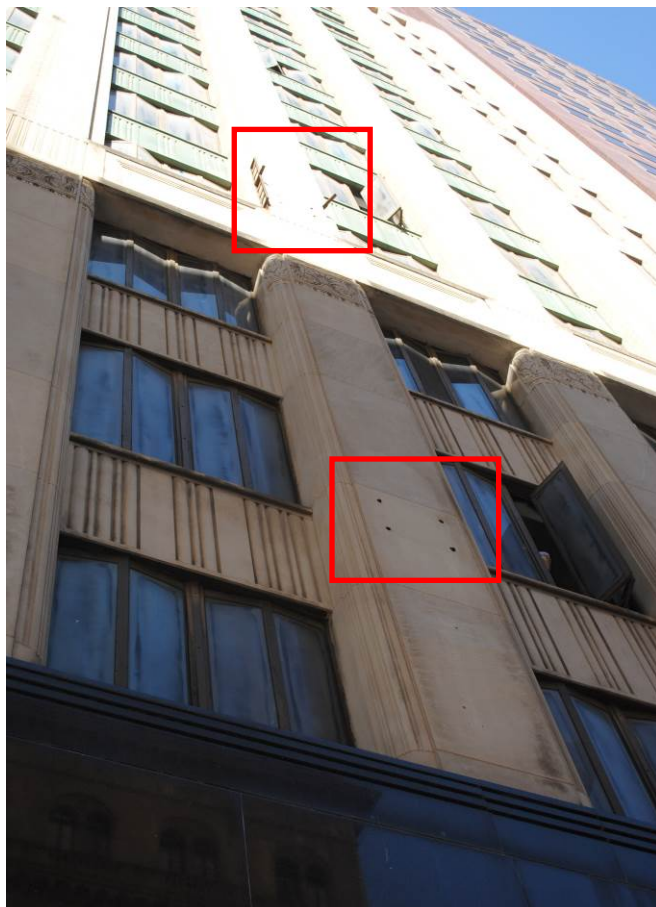


Existing West & South (Front) Elevations





South (Front) Elevation – Original Sign Location Highlighted Above



Location of Original Tower Sign Support Mount





Streetscape – Facing Northwest from Elm St



Streetscape – Facing Northeast from Elm St



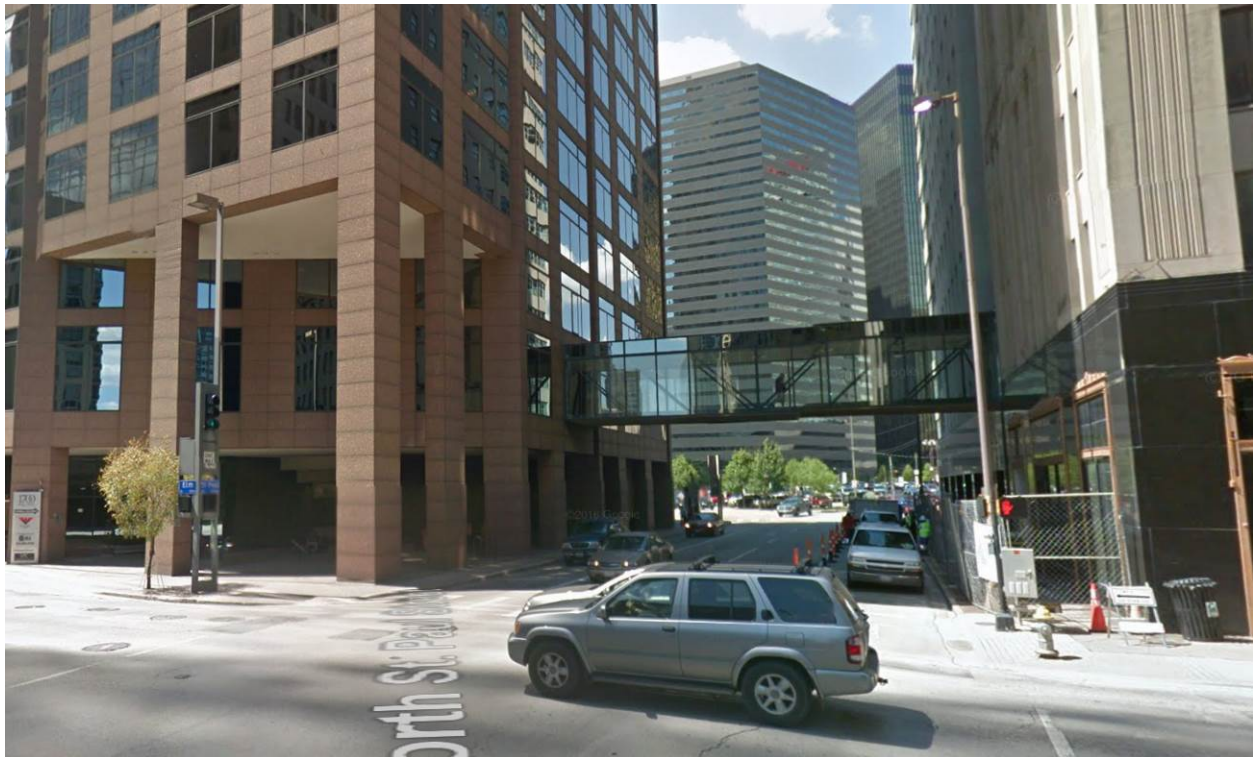


Streetscape – Facing Southeast from Elm St (across street)



Streetscape – Facing Southwest from Elm St (across street)





Streetscape – Facing Northwest (across street)



Streetscape – Facing Northeast from St. Paul St





Streetscape – Facing Southeast from St. Paul St.



Streetscape – Facing Southwest (across street)

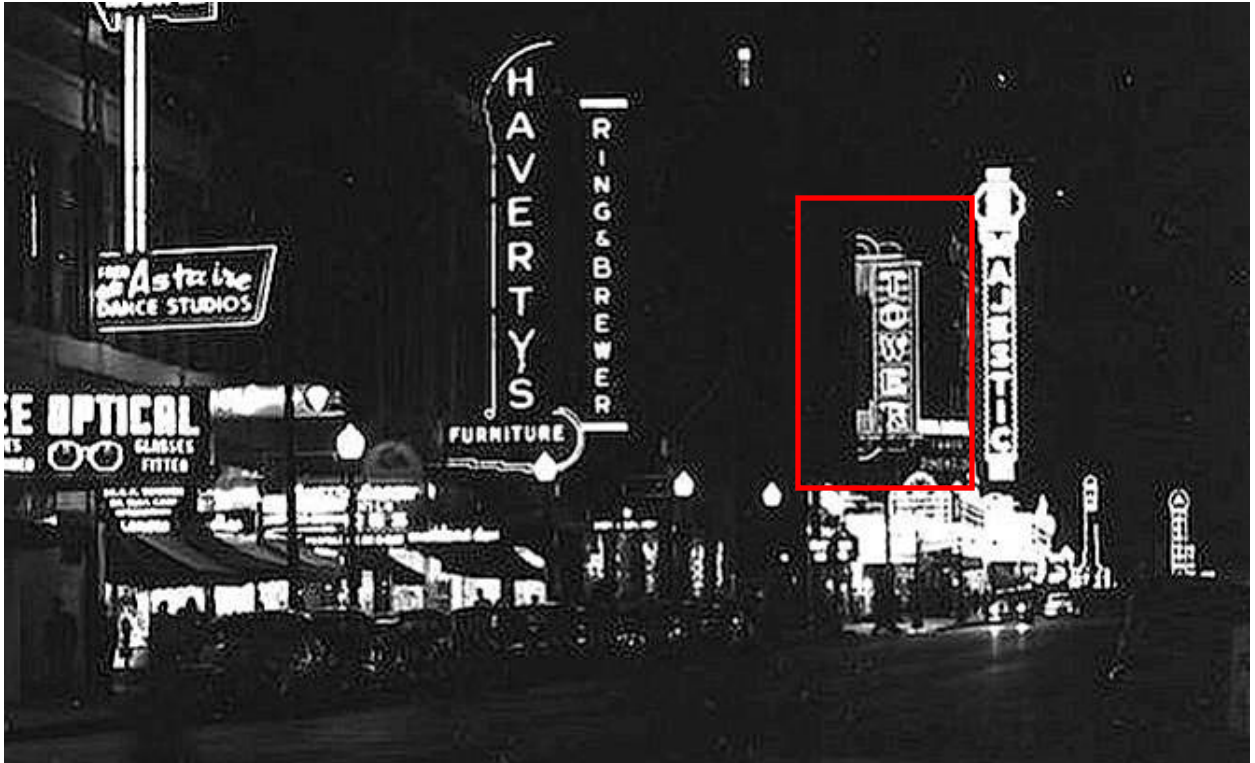




Historic Photo – Date Unknown



Historic Photo – Date Unknown



Historic Photo - 1953



Historic Photo – 1954



Historic Photo – 1956



Historic Photo - 1957





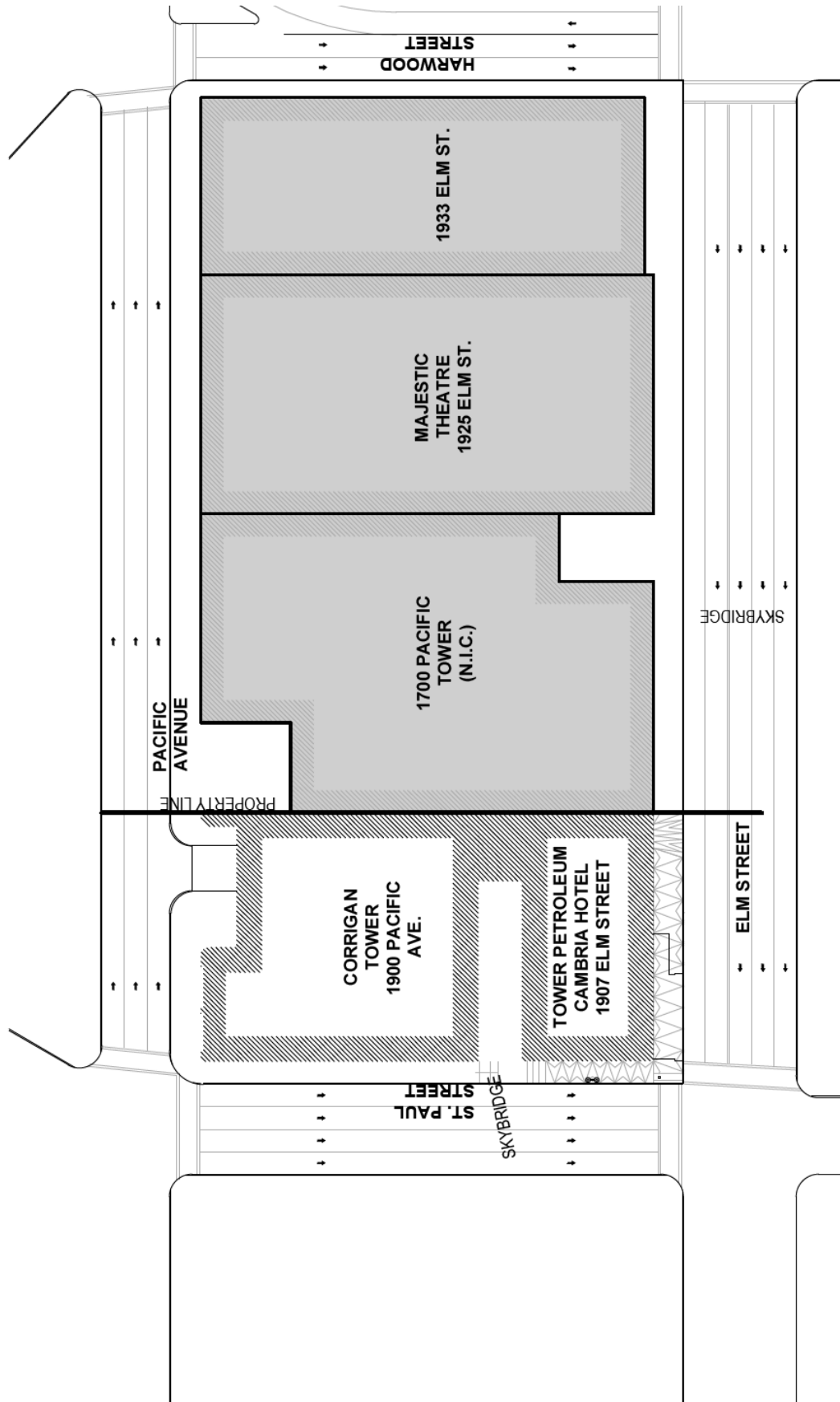
Historic Photo – 1963



Historic Photo – 1965



Historic Photo – 1967

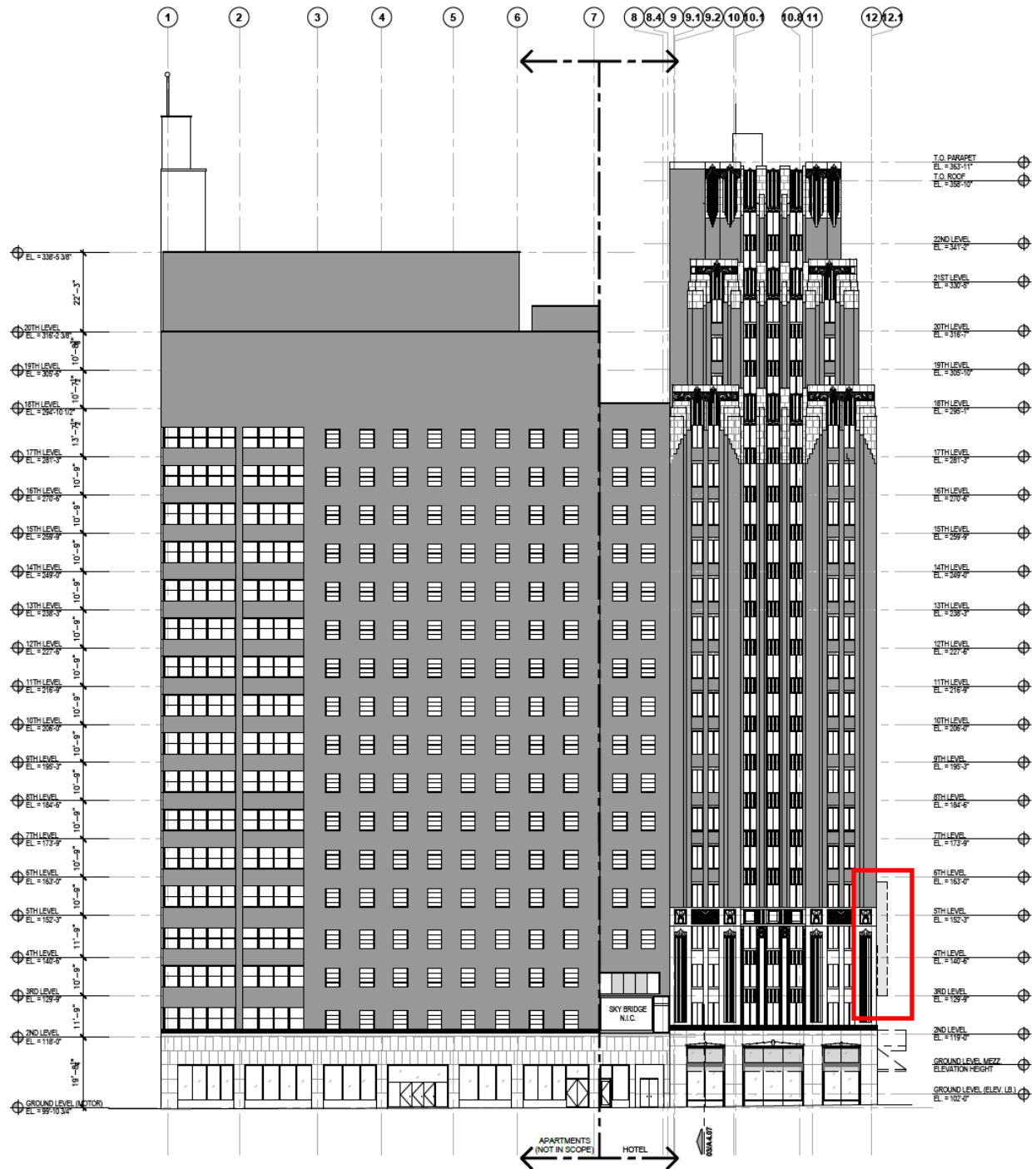


## OVERALL SITE PLAN

SCALE: 1" = 50'-0"

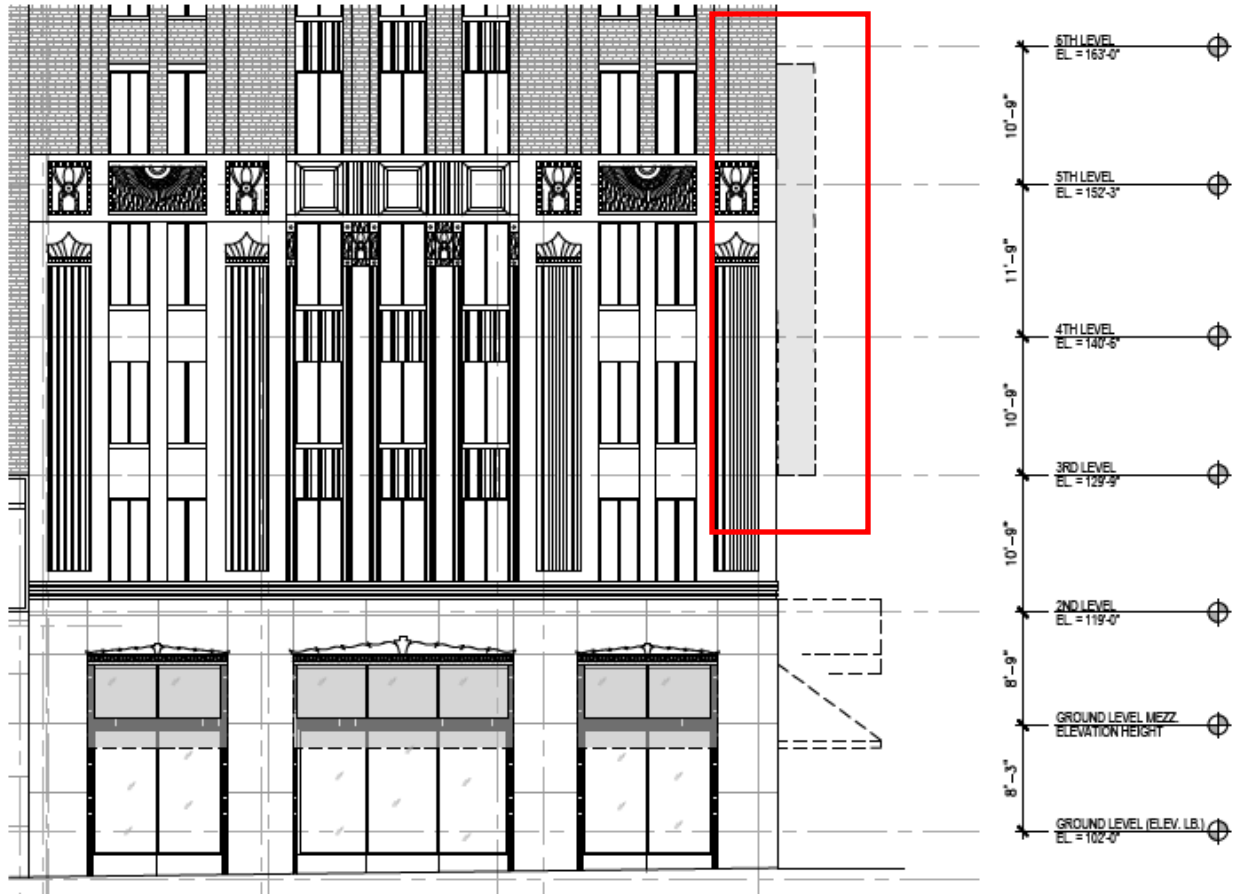
# Site Renovation Plan





# **COMBINED WEST ELEVATION**

West Elevation – Proposed sign highlighted above in red box

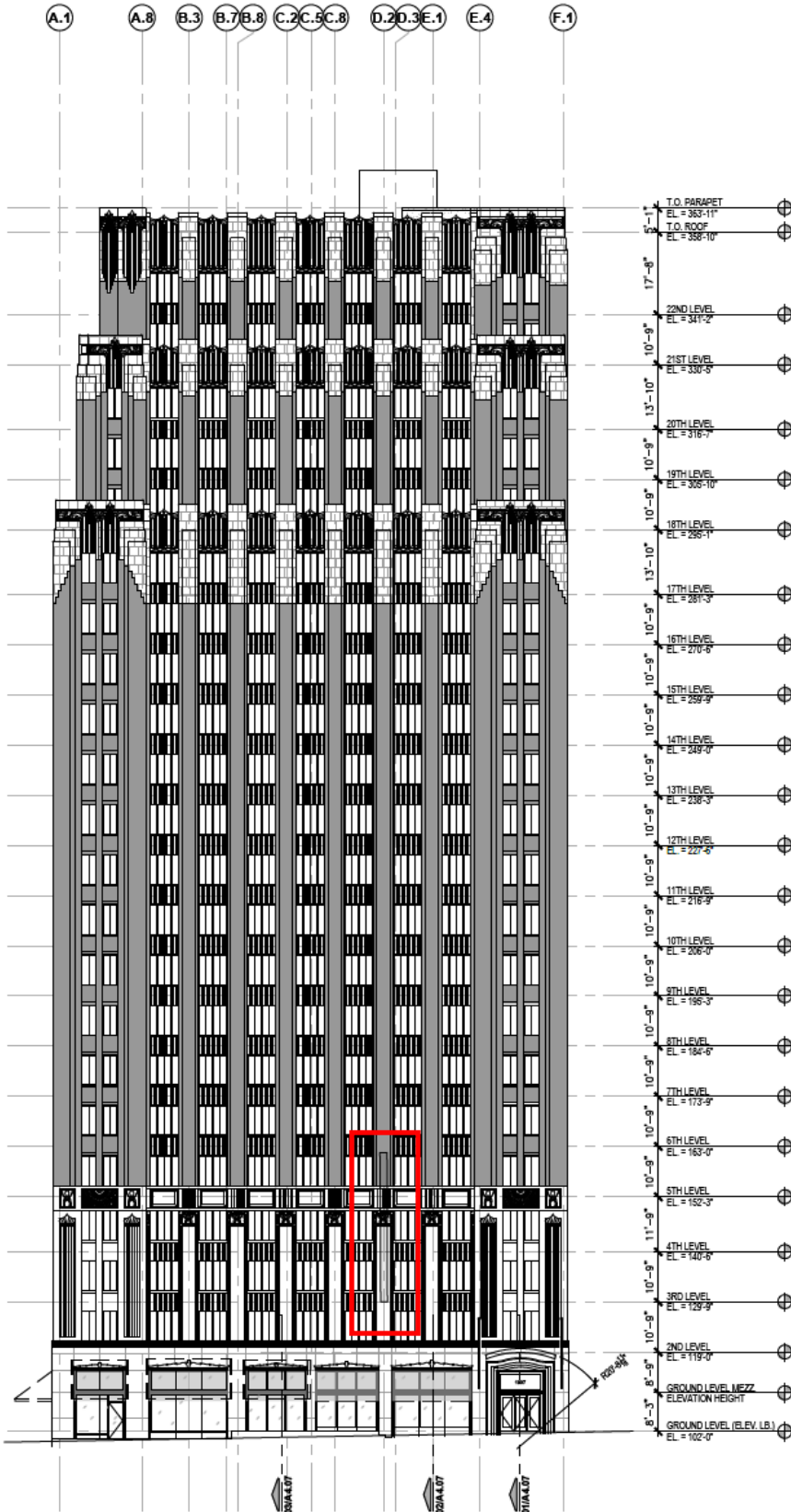


02

## ENLARGED WEST ELEVATION

SCALE: 1/8" = 1'-0"

West Elevation Close-Up – Proposed sign highlighted above in red box



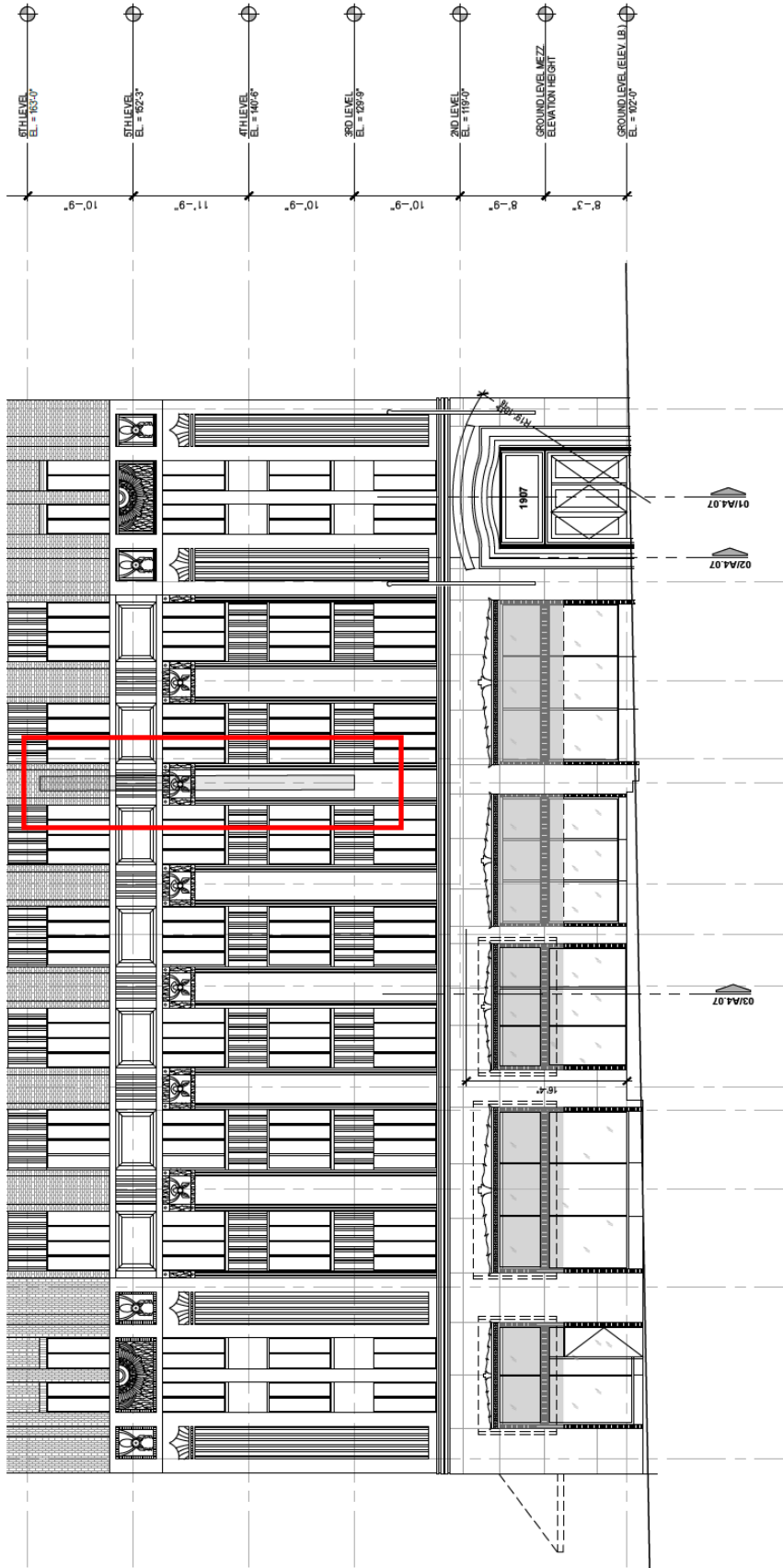
# **CAMBRIA SOUTH ELEVATION**

South Elevation – Proposed sign highlighted above in red box

CR167-007(LC)

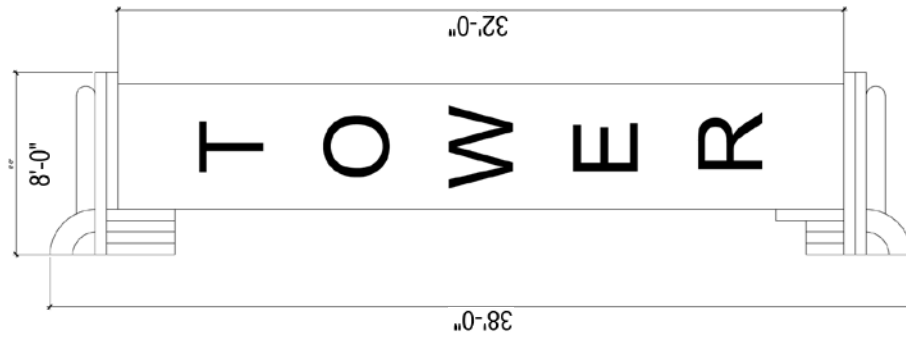
CR1-18



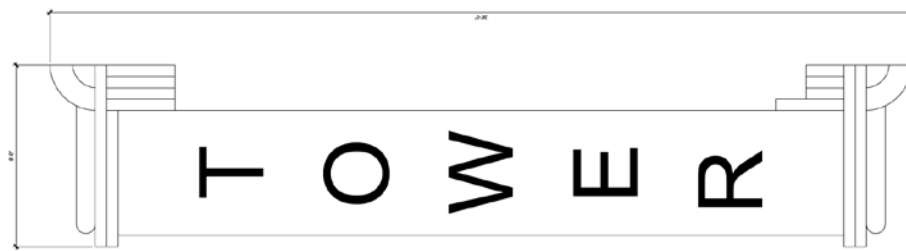


ENLARGED SOUTH ELEVATION

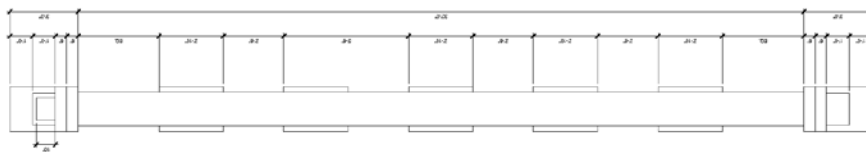
South Elevation Close-Up – Proposed sign highlighted above in red box



02 BLADE SIGN ELEVATION  
SCALE: 1/2" = 1'-0"



03 BLADE SIGN ELEVATION  
SCALE: 1/2" = 1'-0"

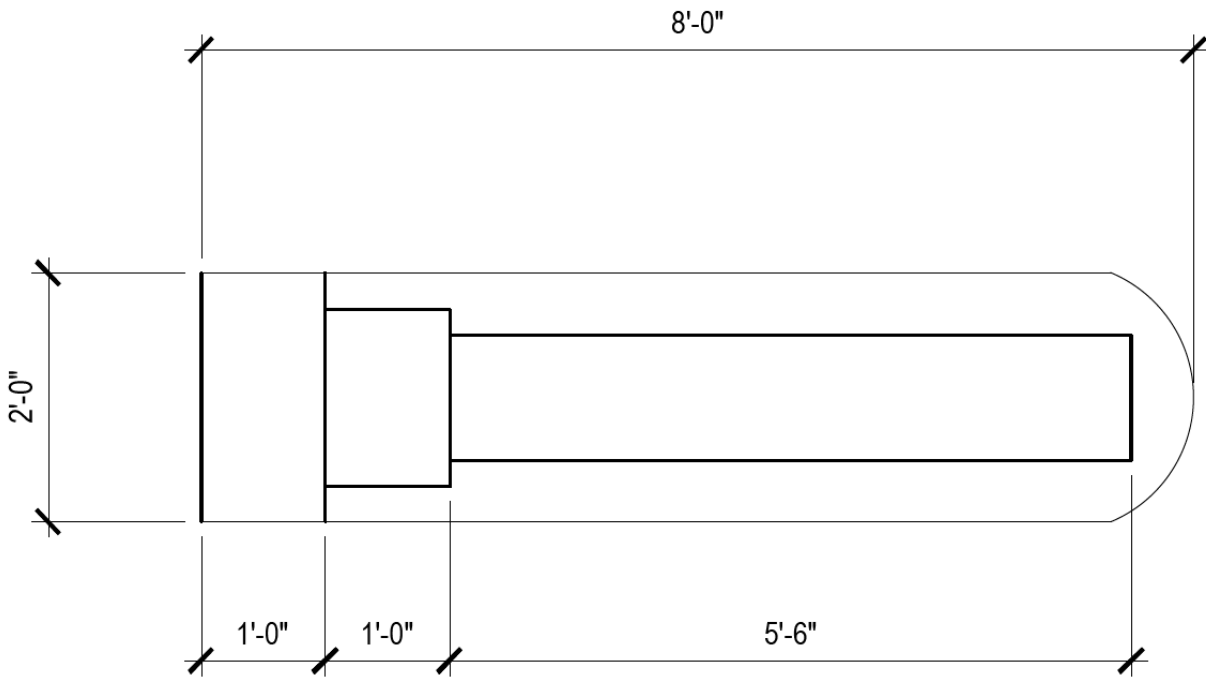


04 BLADE SIGN ELEVATION  
SCALE: 1/2" = 1'-0"



05 BLADE SIGN SECTION  
SCALE: 1/2" = 1'-0"

Proposed Sign



Blade Sign Plan



Perspective Rendering – Street level, Facing Northeast





Perspective Rendering – Facing Northeast



Perpsective Rendering – Facing Northwest



Perspective Rendering – Facing Northeast

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Patrick Hazard - Merriman Anderson Architects

Address: 1907 Elm Street (H-48; Harwood)

Date of CA/CD/CR Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Task Forces supports concept of blade sign.  
Use configuration of Original Sign & support  
plate location. Do not use plastic &/or metal  
can sign. Suggest using exposed neon  
lighting.

**Task force members present**

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input type="checkbox"/> Joseph Piwetz	<input type="checkbox"/>
<input checked="" type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	<input type="checkbox"/> Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

**CHAIR, Task Force**

**DATE 1/11/2017**

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

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FILE NUMBER: CR167-004(MP)  
LOCATION: 6019 Worth St  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 36-Y  
CENSUS TRACT: 13.01

---

**APPLICANT:** Quentin Hartley

**REPRESENTATIVE:** None

**OWNER:** Quentin Hartley

**REQUEST:**

- 1) Add second story addition.
- 2) Construct new porch with brick and wood columns.
- 3) Add brick chimney.
- 4) Remove vinyl siding and restore original wood siding.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Request #1 – Overall, staff is supportive of the conceptual design for the second floor addition, but would like to see it scaled back to the rear 50% mark. Elevation drawings differ from the second story floor plans in the number of windows on front and side elevations. Staff is supportive of the elevation drawings. Both Staff and Task Force believe that the proposed glass blocks are not historically appropriate.

Request #2 – Staff is supportive of the conceptual design, but would like more information on original style of columns and railings if possible. Task Force is supportive of the proposed style.

Request #3 – Staff and Task Force are supportive of adding a brick chimney as it appears the original chimney was removed sometime prior to ca. 2003. What remains of chimney wall on left side elevation has been covered in same stone as that used on porch columns.

Request #4 – Staff and Task Force are supportive of removal of the vinyl siding and restoring wood siding. In addition, applicant does not believe that the zig zag cutout on

the front gable is original, thus, Staff is supportive of the proposed straight line and wood shake shingles on front gable.

**STAFF RECOMMENDATION:**

- 1) Add second story addition – Approve conceptually with conditions – Approve conceptually with condition that one-over-one windows on addition follow that shown in *elevation* drawings, that no glass block windows are installed and that the windows are true divided light, that the addition is moved back to the rear 50% mark, and that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
- 2) Construct new porch with brick and wood columns – Approve conceptually with conditions – Approve conceptually with condition that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
- 3) Add brick chimney – Approve conceptually with conditions – Approve conceptually with condition that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.
- 4) Remove vinyl siding and restore original wood siding – Approve conceptually with conditions – Approve conceptually with condition that front gable follow *elevation* drawings with wood shake shingles, and that final plans, elevations, details, and specifications are submitted for final Landmark Commission review.

**TASK FORCE RECOMMENDATION:**

- 1) Add second story addition – No quorum, comments only. Suggest (a) working on windows on 2<sup>nd</sup> story – void to solid ratio; (b) avoid frosted glass blocks on 2<sup>nd</sup> floor; (c) Add windows on side of 2<sup>nd</sup> floor.
- 2) Construct new porch with brick and wood columns – No quorum, comments only. Porch construction as proposed.
- 3) Add brick chimney – No quorum, comments only. Chimney constructed as proposed – height to be later submitted.
- 4) Remove vinyl siding and restore original wood siding – No quorum, comments only. Removal of vinyl approved.

# Courtesy Review Form (CR) City of Dallas Landmark Commission

CR 167 - 004 (MP)  
Office Use Only

This review is a courtesy review only and not permission to alter the site or any structure on the site. To alter a site within a historic overlay district or alter, place, construct, maintain, or expand any structure on a site within a historic overlay district, a certificate of appropriateness must be obtained in accordance with Dallas Development Code § 51A-4.501(g) and the preservation criteria in the historic overlay district ordinance.

Name of Applicant: Quentin Hartley  
Mailing Address: 6019 Worth St.  
City, State and Zip Code: Dallas, TX 75214  
Daytime Phone: 214-680-6967 Fax:         
Relationship of Applicant to Owner: Same  
PROPERTY ADDRESS: 6019 Worth St. Dallas, TX 75214  
Historic District: Junius Heights

## PROPOSED WORK:

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

2nd story addition, new porch, remove vinyl siding & Restore original.  
New brick chimney & columns.

Signature of Applicant: Quentin Hartley Date: Jan. 3, 2017  
Signature of Owner:        Date:         
(IF NOT APPLICANT)

## APPLICATION DEADLINE:

Application material must be completed and submitted by the FIRST THURSDAY OF EACH MONTH, by NOON before the Dallas Landmark Commission may consider the courtesy review of any change affecting the site or the exterior of any structure. This CR form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

\*Information regarding past courtesy reviews for individual addresses is available for review in 5CN of City Hall.

**Memorandum to the Building Official: This review is a Courtesy Review only, do not issue building permits based on this CR form.**

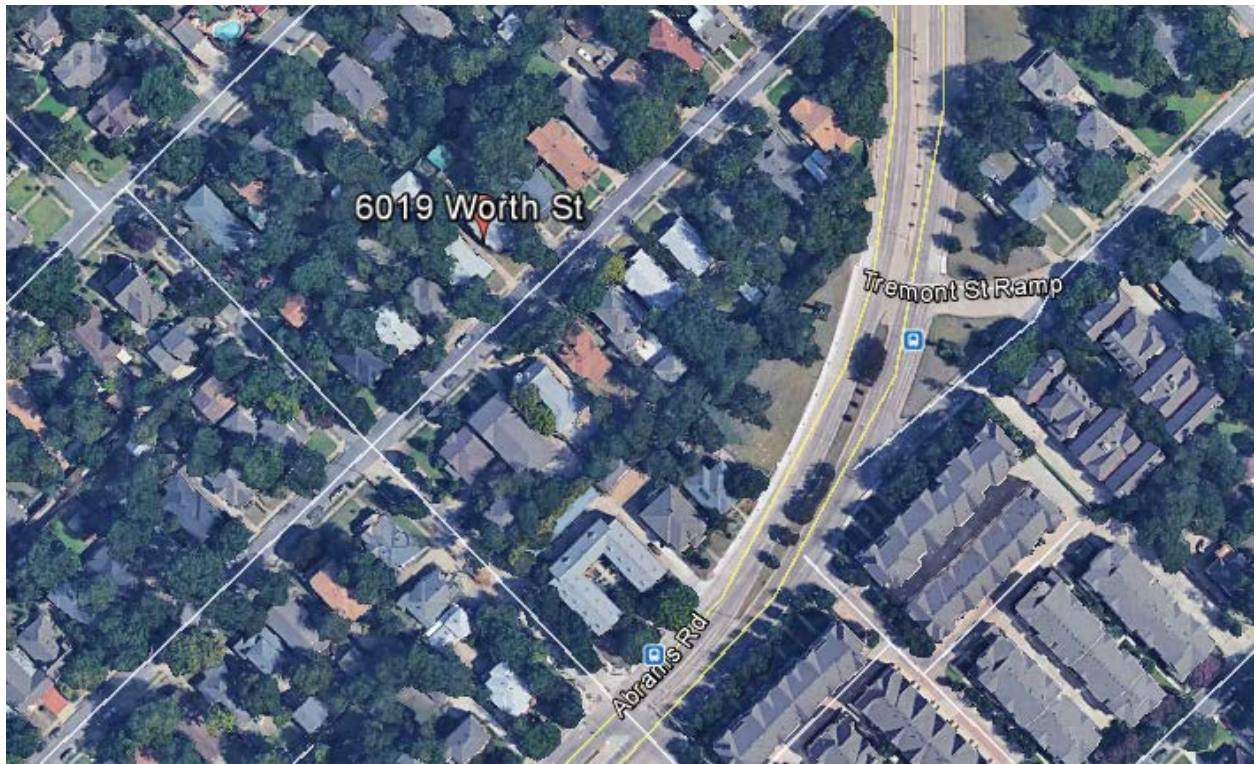
- ☐ COURTESY APPROVAL (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY APPROVAL WITH COMMENTS (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY DISAPPROVAL (Certificate of Appropriateness may be considered without a waiver)

Department of Sustainable Development and Construction      Date

Courtesy Review Form      City of Dallas      Historic Preservation  
**THIS CR FORM IS NOT A CERTIFICATE OF APPROPRIATENESS OR PERMISSION TO ALTER THE SITE OR ANY STRUCTURES ON THE SITE**

10-10-2016





Aerial view, 6019 Worth.



Front (South) elevation.





View to left (West) of 6019 Worth.



View to right (East) of 6019 Worth.





View across the street (South) from 6019 Worth.



Photo showing left (West) side elevation with partial chimney in stone.



Photo showing right (East) side elevation.

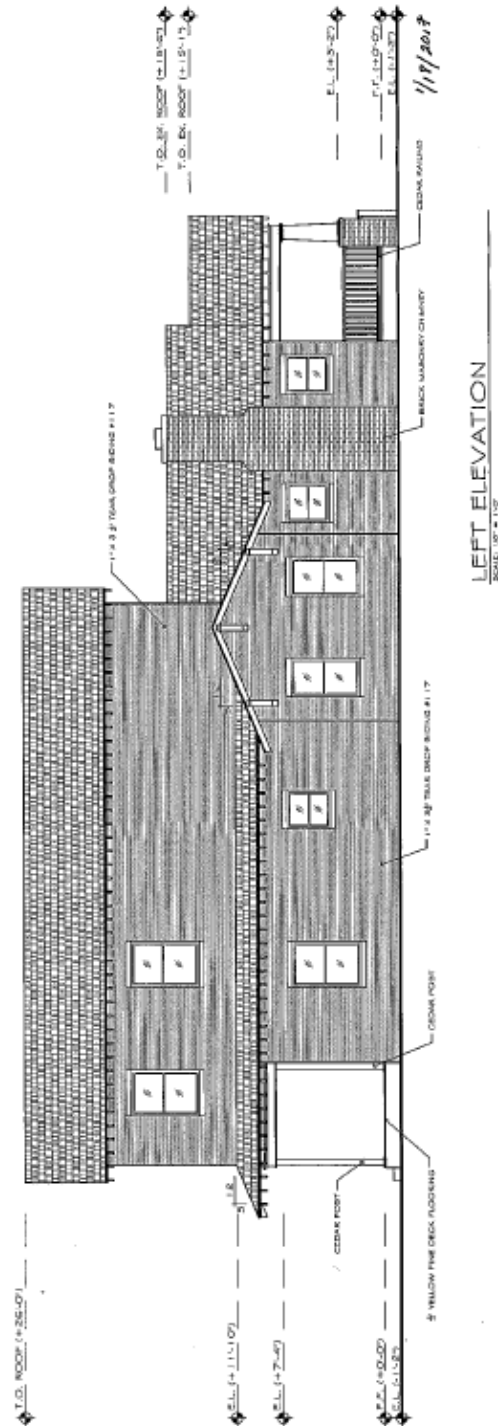
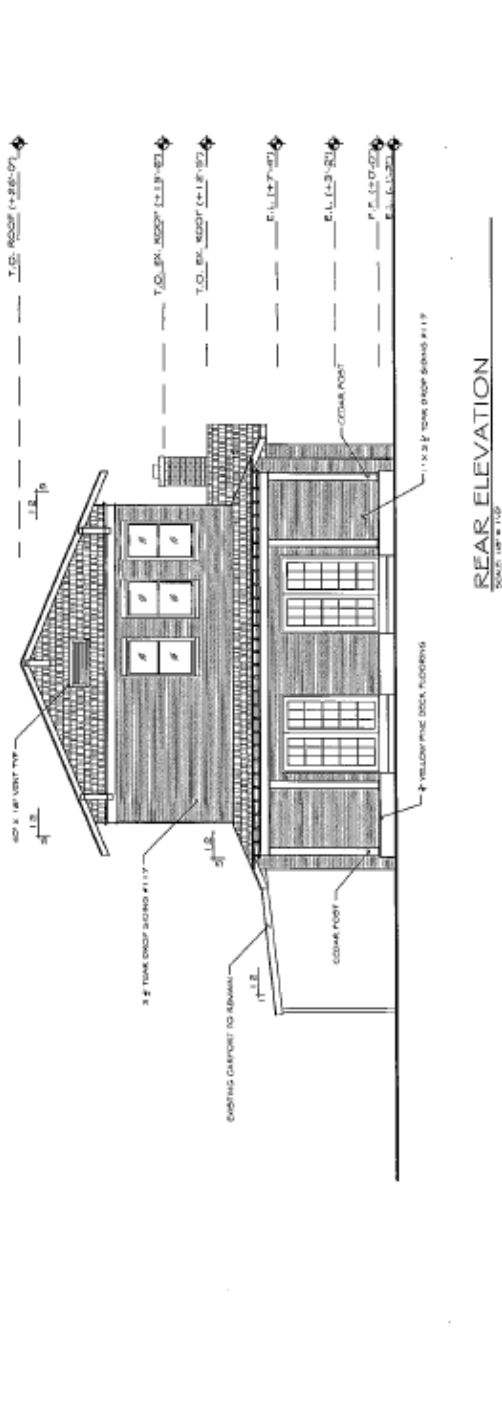




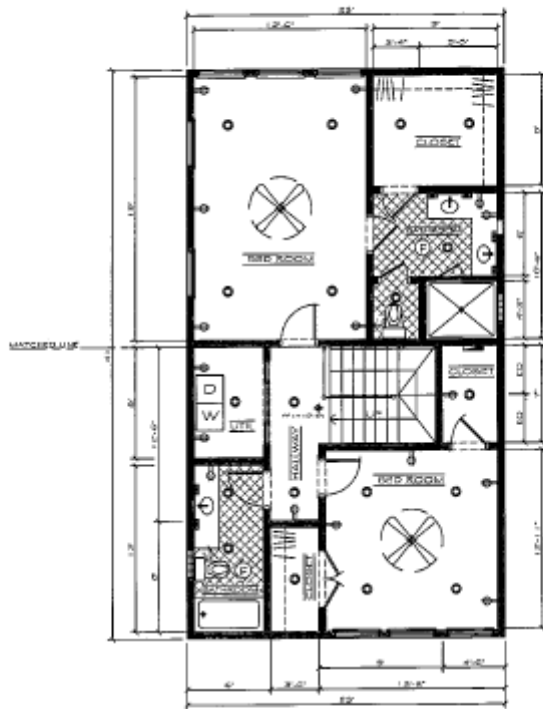
Photo submitted by applicant, showing two-story house in Junius Heights.







Proposed rear and left elevation. Note: proposed windows on *elevation* drawings do not match proposed windows on *floor plan*. Staff and Task Force are supportive of window pattern on elevation drawings.



**A3 FLOOR PLAN-UPPER**  
 01  
 SCALE: 1/8" = 1'-0"

4/18/2017

AREA SUMMARY  
UPPER FLOOR AREA = 943 S.F.

Proposed floor plan for addition. Note: proposed windows on *elevation* drawings do not match proposed windows on *floor plan*. Staff and Task Force are supportive of window pattern on elevation drawings.



**TASK FORCE RECOMMENDATION REPORT**  
**JUNIUS HEIGHTS**

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Quentin Hartley  
Address: 6019 Worth Street

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

1. <sup>working on</sup> Suggest windows on 2<sup>nd</sup> story, void to solid radic.
- b. Avoid frosted glass blocks on 2<sup>nd</sup> floor.
- c. Add windows on <sup>side</sup> ~~back~~ of 2<sup>nd</sup> ~~nd~~ floor.
2. Porch construct as proposed.
3. Chimney construct as proposed. (Height to be later submitted)
4. Removal of vinyl approved. -

**Task force members present**

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:  
2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## **LANDMARK COMMISSION**

**FEBRUARY 6, 2017**

FILE NUMBER: CR167-005(LC)  
LOCATION: 1801 N Lamar Street  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 14  
ZONING: CA-1(A)

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: West End (H-2)  
MAPSCO: 45-K  
CENSUS TRACT: 0021.01

**APPLICANT:** Architexas

**REPRESENTATIVE:** Craig Melde

**OWNER:** 1801 Landmark Dallas LP

**REQUEST:**

Courtesy Review – Construct a three-story addition.

**BACKGROUND / HISTORY:**

9/8/2015 – Landmark Commission approved the replacement of double doors and glass in existing storefront frame. (CA145-603(MD)).

11/2/2015 – Landmark Commission approved the installation of a new railing on the rear façade (CA156-012(MD)).

1/5/2016 – Landmark Commission denied the installation of a 7'-0" fence on rear façade (CA156-160(MD)).

7/5/2016 – Landmark Commission approved the installation of a 5'-0" fence and gates on rear façade (CA156-586(MD)).

8/1/2016 – Landmark Commission conceptually approved the installation of rooftop, attached, and canopy signage (CR156-008(MD)); and conditionally approved the construction of an entry structure on the south façade (CA156-641(MD)).

10/3/2016 – Landmark Commission approved the installation of an attached sign in the building entryway (CA156-776(LC)).

**ANALYSIS:**

The structure at 1801 N Lamar was constructed in 1913, and was three-stories tall. A three floor vertical addition was constructed on top of the original structure in 1922. In 1937, a three-story addition was constructed on the north side of the structure. The

1937 addition was designed to support a future vertical addition that never was constructed.

The applicant is proposing to construct a three-story vertical addition on top of the 1937 addition. The design will be similar to the 1922 vertical addition, with subtle differences such as simplified design elements (sills, stone belt course, etc.) and a slight difference in brick color. The existing brick on the structure has been painted. The proposed brick for the addition would likely also be painted.

The Task Force was supportive of the concept with simplified details. Staff agrees and recommends the stone detailing on the parapet be simplified further.

**STAFF RECOMMENDATION:**

Courtesy Review – Construct a three-story addition – Approve conceptually with the condition that the stone detailing on the parapet be simplified, and that final plans, elevations, and details are submitted for final Landmark Commission review.

**TASK FORCE RECOMMENDATION:**

Courtesy Review - Construct a three-story addition – Task Force supports concept of vertical addition.



Courtesy Review Form (CR)  
City of Dallas Landmark Commission

CR <u>167</u> - <u>005</u> (LC)
Office Use Only

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Name of Applicant: Craig Melde - Architexas  
Mailing Address: 1907 Marilla, 2nd Floor  
City, State and Zip Code: Dallas, TX 75201  
Daytime Phone: 214-748-4561 Fax: 214-748-4241  
Relationship of Applicant to Owner: Consultant  
PROPERTY ADDRESS: 1801 Lamar  
Historic District: West End Historic District

RECEIVED BY

JAN 05 2017

Current Planning

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

The owner of Landmark Center at 1801 Lamar seeks to construct a three story vertical addition on the building's north side. The addition would add approximately 40,000s/f of additional space. (continued)

Signature of Applicant: [Signature]

Date: 1/5/17

Signature of Owner: [Signature]

Date: January 4, 2017

(IF NOT APPLICANT)

Susan L. Baker, Vice President

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, by NOON** before the Dallas Landmark Commission may consider the courtesy review of any change affecting the site or the exterior of any structure. This CR form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201.

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\*Information regarding past courtesy reviews for individual addresses is available for review in 5CN of City Hall.

**Memorandum to the Building Official:** This review is a Courtesy Review only, do not issue building permits based on this CR form.

- ☐ COURTESY APPROVAL (Certificate of Appropriateness must still be obtained)  
☐ COURTESY APPROVAL WITH COMMENTS (Certificate of Appropriateness must still be obtained)  
☐ COURTESY DISAPPROVAL (Certificate of Appropriateness may be considered without a waiver)

Department of Sustainable Development and Construction

Date

Courtesy Review Form

City of Dallas

Historic Preservation

**THIS CR FORM IS NOT A CERTIFICATE OF APPROPRIATENESS OR PERMISSION TO ALTER THE SITE OR ANY STRUCTURES ON THE SITE**

10-10-2016

**Landmark Center – 1801 Lamar Street**  
**Courtesy Review**

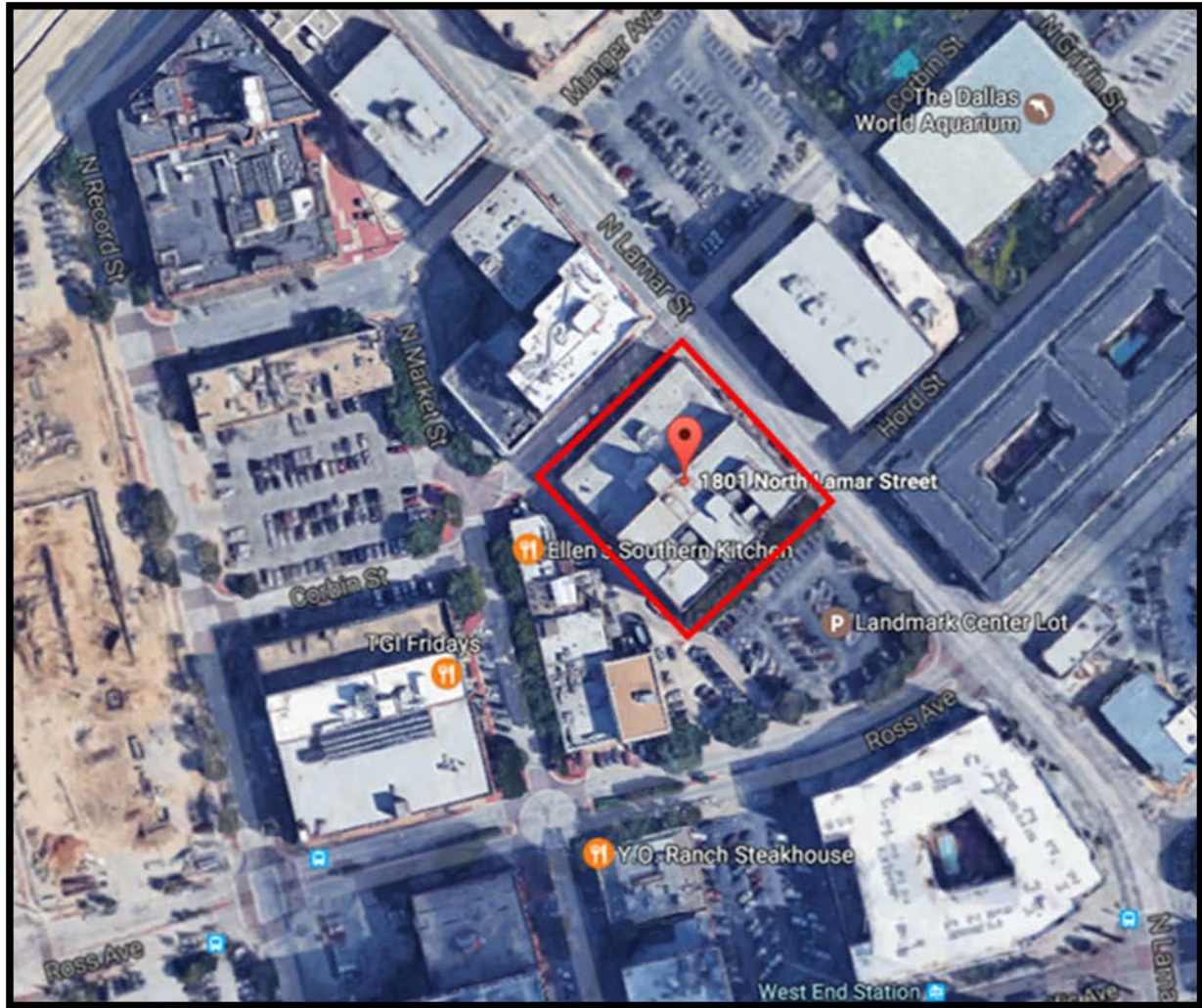
**Design Approach**

The Landmark Center Building was constructed in three phases. The first phase, constructed for Boren and Stewart Wholesale Grocers, was completed in late 1913 and included three stories and a basement. Designed by Lang and Witchell, the new facility was considered quite advanced for its time and included gravity conveyances, and wagon docks fully enclosed within the building interior.

Boren and Stewart sold the building to Southwest General Electric Company in 1922. GE immediately contracted with Lang and Witchell for the construction of a three story addition on the building. GE constructed another addition, 3 stories and a basement, at the north side of the building in 1937. This addition was designed to support an additional vertical expansion.

The design for the proposed addition is to be compatible with the existing construction of Landmark Center, but feature subtle design differences that illustrate it is clearly new. This may include a slight difference in brick color, and simplification of major design elements. The design is in conformance with all of the explicit requirements of the West End ordinance. As such, it is complimentary to the district overall.





Site Aerial





Existing South & East (Front) Elevations



Existing East (Front) & North Elevations



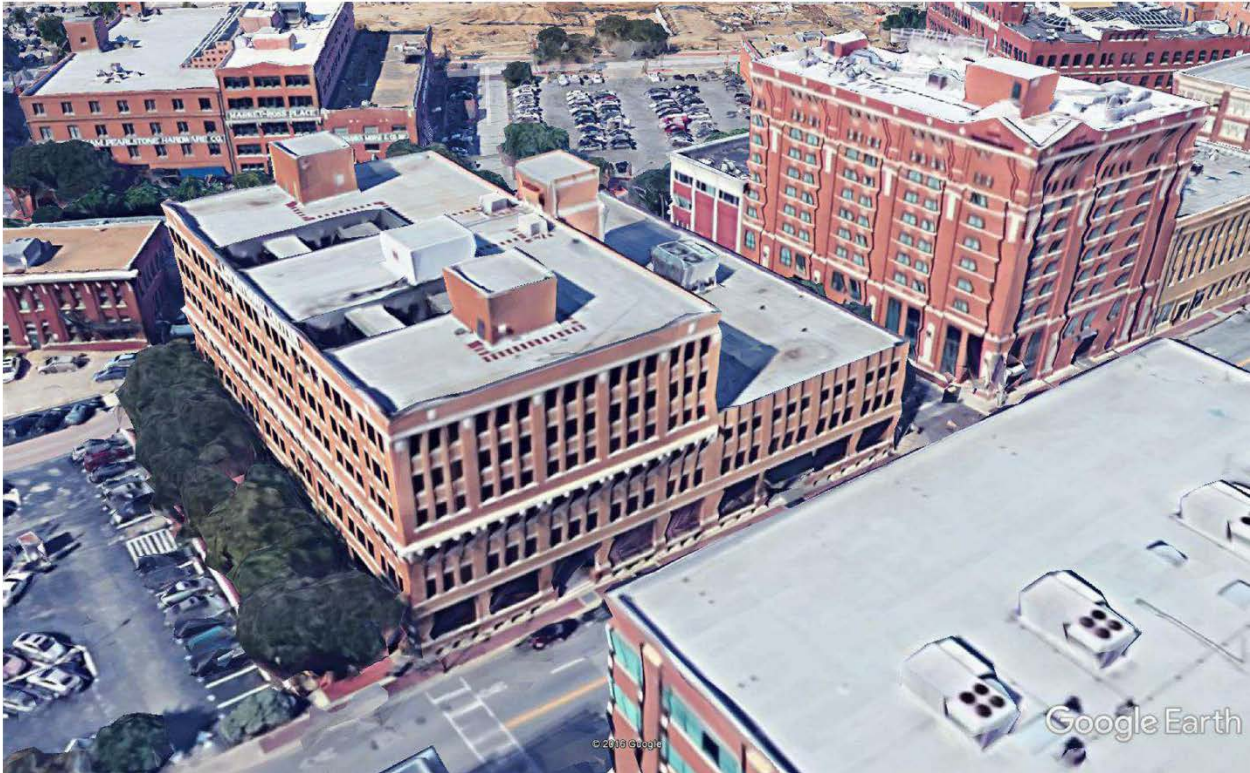


Existing North & West Elevations



Existing South Elevation





Aerial View – South & East (Front) Elevations



Aerial View – West & South Elevations





Aerial View – North & West Elevations



Streetscape – Facing Northwest from N Lamar  
 CR167-005(LC) CR3-9

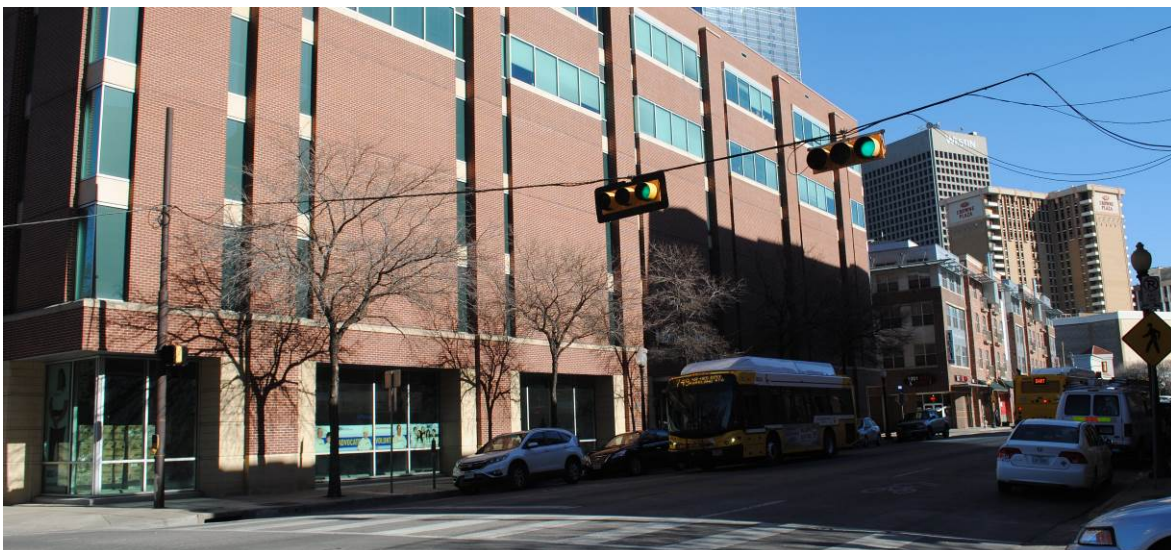




Streetscape – Facing Southwest from N Lamar



Streetscape – Facing Northeast from N Lamar (across street)



Streetscape – Facing Southeast from N Lamar (across street)





Streetscape – Facing Northwest from Corbin & N Lamar (across street to the north)



Streetscape – Facing Southwest from Corbin & N Lamar





Streetscape – Facing Southeast from Corbin



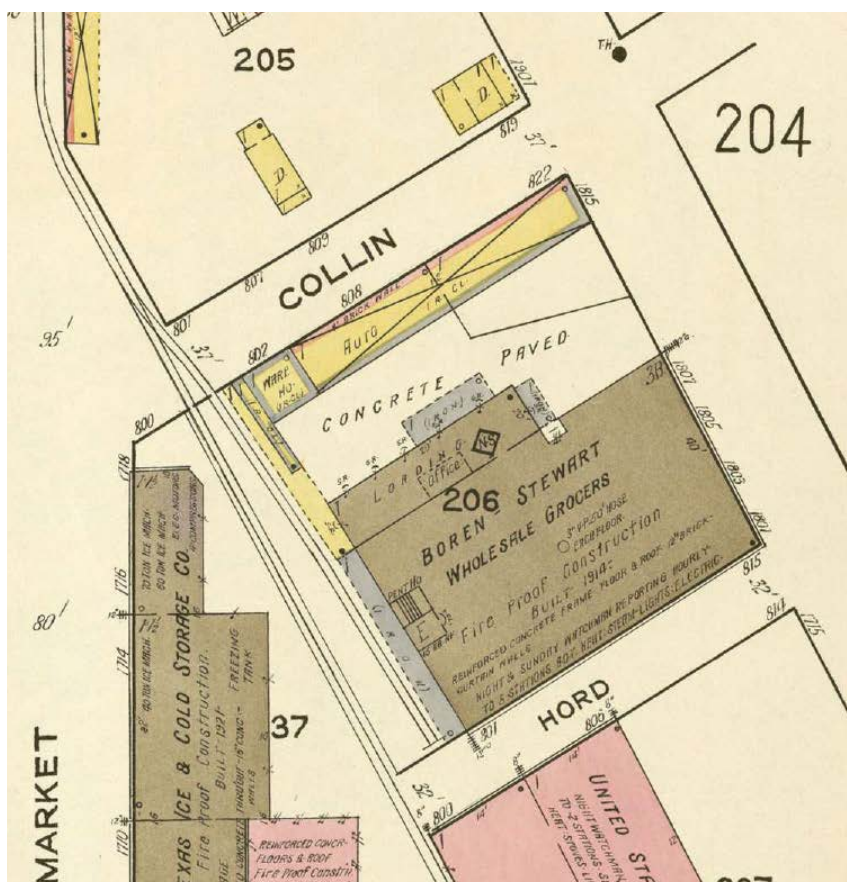
Streetscape – Facing Southeast from N Market



# **New \$100,000 Fireproof Building Being Erected On North Lamar Street by Boren & Stewart**



Lang and Witchell Illustration of 1801 N Lamar, Dallas Morning News, 1913



1921 Sanborn Map

# **CONTRACT AWARDED FOR ADDITION TO BUILDING.**

Contract for the construction of three additional stories to the three-story building of the Southwest General Electric Company, located at 801 North Lamar street, has been awarded to the Fred A. Jones Construction Company, and work on the building will start immediately. It was announced Tuesday by Lang & Witchell, architects, who drew the plans for the addition. The cost of the improvements will be approximately \$92,000, it was said.

The top floor of the building will be fitted up for general offices of the company, which will move from its present quarters in the Interurban Building when its own building is completed. The plans call for the offices to be finished in oak and furnished to make them among the most commodious and best equipped offices in the city.

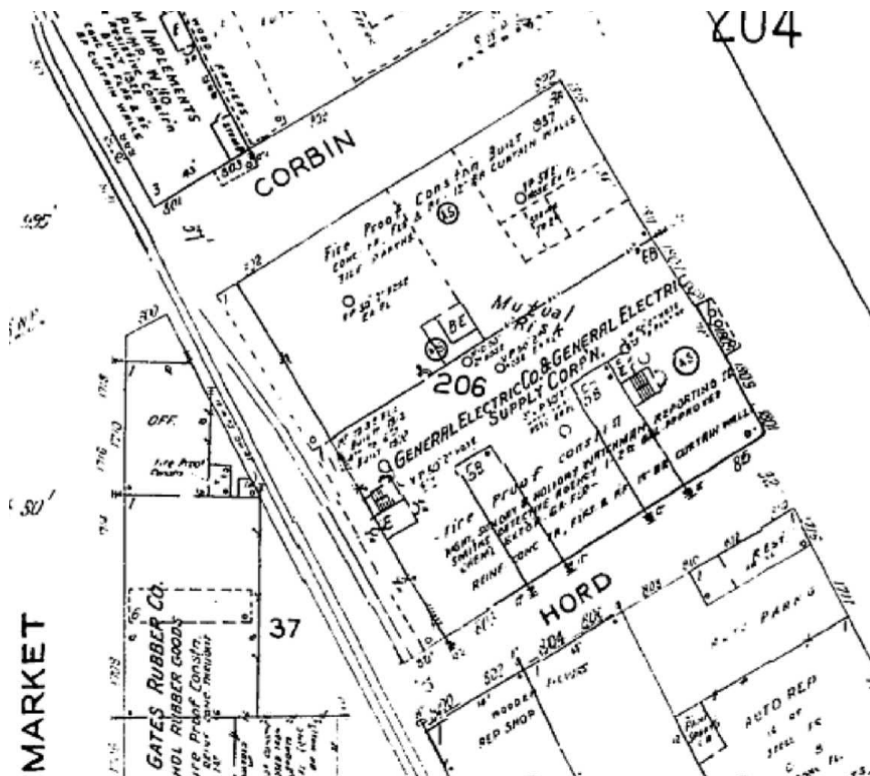
Three light and air courts to be provided in the building will afford an outside opening for windows in every office or room in the addition. Passenger elevators will be installed for use of the employees.

The building will be finished in brick with stone trimmings and will be of fireproof construction throughout.

Plans for abandoning the old ware-

house on Market street when the new building is completed are included in the company's general improvement program, the three floors and basement of the present building and the first two floors of the addition to be used for storage purposes.

Dallas Morning News Article Regarding Addition Construction (6/28/1922)



1952 Sanborn Map





Existing East (Front) Elevation



Proposed East (Front) Elevation



Existing North Elevation



Proposed North Elevation



Existing West Elevation



Proposed West Elevation





1 South Elevation  
1/8" = 1'-0"

Existing South Elevation



Perspective Rendering – Existing East (Front) & North Elevations



Perspective Rendering – Proposed East (Front) & North Elevations





Perspective Rendering – Existing West & South Elevations



Perspective Rendering – Proposed West & South Elevations



**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Craig Melde - Architexas

Address: 1801 N Lamar Drive (H-2; West End)

Date of CA/CD/CR Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

*Task Force supports concept of vertical addition*

**Task force members present**

☒ Gary C. Coffman (Chair)

☒ Jay Firsching (Vice-Chair)

☒ Carolina Pace

☒ Joseph Piwetz

☒ Charles Neel

☒ Justin Curtsinger

☐ Cathy Dawson (Alternate)

☐ Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*Jay Firsching Recused  
Employed by Architexas*

CHAIR, Task Force

DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CR167-008(LC)  
LOCATION: 515 Ross Avenue  
STRUCTURE: Non-Contributing  
COUNCIL DISTRICT: 14  
ZONING: CA-1(A)

PLANNER: Liz Casso  
DATE FILED: January 5, 2017  
DISTRICT: West End (H-2)  
MAPSCO: 45-J  
CENSUS TRACT: 0031.01

**APPLICANT:** OMNIPLAN Architects

**REPRESENTATIVE:** Mark Holsinger

**OWNER:** Dallas Holocaust Museum Center for Education & Tolerance

**REQUEST:**

Courtesy Review – Construct a three-story museum.

**BACKGROUND / HISTORY:**

4/4/2016 – Landmark Commission reviewed a Courtesy Review for construction of a three story museum (CR156-004(MD)).

**ANALYSIS:**

The Landmark Commission conducted a courtesy review for the proposed museum at their April 2016 meeting. During the previous courtesy review, concern was expressed by the Landmark Commission, the Task Force and Staff regarding the pedestrian experience along Ross Ave and Record Street. The Task force suggested softening the street level façade along Record Street.

In addition to minor changes to the storefront system details and exterior door opening locations, the applicant has made the following design changes:

- Overall Height of the structure has increased by approximately one foot.

West

- Increased fenestration on the first and second floors
- Increased landscape

South

- Increased fenestration on the second floor on the mezzanine
- Increased landscape

East (Record St)

- Increased landscape

North (Ross Ave)

- Increased fenestration on the first and second floors

After the Task Force meeting, the applicant submitted a façade opening analysis (attached), per the recommendation of the Task Force. Its purpose is to determine if the structure meets the preservation criteria for façade openings which requires façade openings to be between 30%-50% of the façade area. The analysis found the following:

- West Elevation – 13% Overall façade opening
- South Elevation – 32% Overall façade opening
- East Elevation – 3% Overall façade opening
- North Elevation – 12% Overall façade opening

During the Task Force meeting, the applicant indicated the sidewalks would be sandblasted scored concrete. The Task Force requested Staff verify if the proposed sidewalk material was used in the West End. Staff has found that majority of sidewalks in the West end, and around this site are paved with a combination of red brick pavers and scored concrete.

**STAFF RECOMMENDATION:**

Courtesy Review – Construct a three-story museum – Approve conceptually with the condition that final plans, elevations, and details are submitted for final Landmark Commission review.

**TASK FORCE RECOMMENDATION:**

Courtesy Review - Construct a three-story museum – Task Force's previous concerns have been addressed. Calculate solid to void ratio. Provide surface treatment of exterior horizontal surfaces. Task Force supports design.



# Courtesy Review Form (CR)

## City of Dallas Landmark Commission

CR 167-008 (LC)  
Office Use Only

This review is a courtesy review only and not permission to alter the site or any structure on the site. To alter a site within a historic overlay district or alter, place, construct, maintain, or expand any structure on a site within a historic overlay district, a certificate of appropriateness must be obtained in accordance with Dallas Development Code § 51A-4.501(g) and the preservation criteria in the historic overlay district ordinance.

Name of Applicant: OMNIPLAN  
Mailing Address: 1845 WOODALL RODGERS FREEWAY, SUITE 1500  
City, State and Zip Code: DALLAS, TX 75201  
Daytime Phone: 214-345-1734 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: ARCHTIECT  
**PROPERTY ADDRESS:** ROSS & N HOUSTON ST (515 ROSS AVENUE)  
**Historic District:** HISTORIC WEST END DISTRICT

RECEIVED BY

JAN 05 2017

Current Planning

### PROPOSED WORK:

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

THE DALLAS HOLOCAUST MUSEUM IS A UNIQUE INSTITUTION REQUIRING A BUILDING TO SUPPORT THE MISSION OF PRESERVING THE MEMORY OF THE HOLOCAUST AND EDUCATION OF CURRENT ISSUES RELATED TO PREJUDICE, HATRED AND INDIFFERENCE. THE NEW BUILDING AND NEW EXHIBITS WILL BE USED TO REACH A WIDER AUDIENCE. THE 3 STOREY MUSEUM WILL ENCOMPASS A LARGE OPEN ENTRY LOBBY WITH NATURAL LIGHT, AN OUTDOOR COURTYARD, THE IMMERSIVE EXHIBITS ON THE HOLOCAUST AND HUMAN RIGHTS, AS WELL AS A SPECIAL EXHIBIT SPACE, A 250 SEAT AUDITORIUM, CLASSROOMS, AND ADMINISTRATION & SUPPORT SPACES. THE DESIGN OF THE MUSEUM IS A RATIONAL ORGANIZATION OF THE PROGRAM ELEMENTS: EXHIBIT, LOBBY, COURTYARD AND SUPPORT SPACE REINFORCING THE MUSEUM NARRATIVE OF AN EXPERIENTIAL JOURNEY THAT WILL ENGAGE THE VISITOR EVERY TIME THEY VISIT THE MUSEUM. THE EXHIBIT SPACE IS ELEVATED ABOVE THE SUPPORT SPACES AND CLAD IN METAL SKIN. THE FORM SHAPED IN A "U" CREATES THE SHELTERED INTERIOR COURTYARD. THE COMMON AREA LOBBY IS CENTRALIZED IN PLAN AND SECTION, CONNECTING ALL SPACES.

Signature of Applicant: [Signature] Date: 1/5/2017  
Signature of Owner: [Signature] Date: 1/4/2017  
(IF NOT APPLICANT)

### APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, by NOON** before the Dallas Landmark Commission may consider the courtesy review of any change affecting the site or the exterior of any structure. This CR form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5CN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

\*Information regarding past courtesy reviews for individual addresses is available for review in 5CN of City Hall.

**Memorandum to the Building Official: This review is a Courtesy Review only, do not issue building permits based on this CR form.**

- ☐ COURTESY APPROVAL (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY APPROVAL WITH COMMENTS (Certificate of Appropriateness must still be obtained)
- ☐ COURTESY DISAPPROVAL (Certificate of Appropriateness may be considered without a waiver)

Department of Sustainable Development and Construction \_\_\_\_\_ Date \_\_\_\_\_

Courtesy Review Form

City of Dallas

Historic Preservation

**THIS CR FORM IS NOT A CERTIFICATE OF APPROPRIATENESS OR PERMISSION TO ALTER THE SITE OR ANY STRUCTURES ON THE SITE**

10-10-2016



Site Aerial





Existing Site – from Houston Street facing East



Existing Site - Corner of N. Houston and Pacific Avenue facing Northeast





Existing Site – from Pacific Avenue facing North



Existing Site – from Record Street facing West

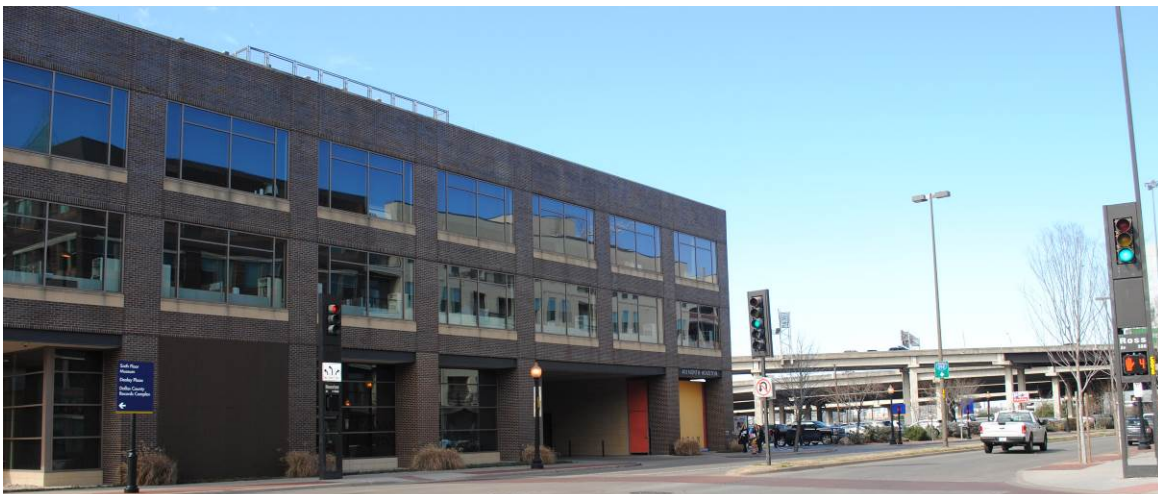




Streetscape – Facing Northeast from Houston Street (left/north of proposed museum)



Streetscape – Facing Southeast from Houston Street (right/south of proposed museum)



Streetscape – Facing Northwest from Houston Street (across street)





Streetscape – Facing Southwest from Houston Street (across street)

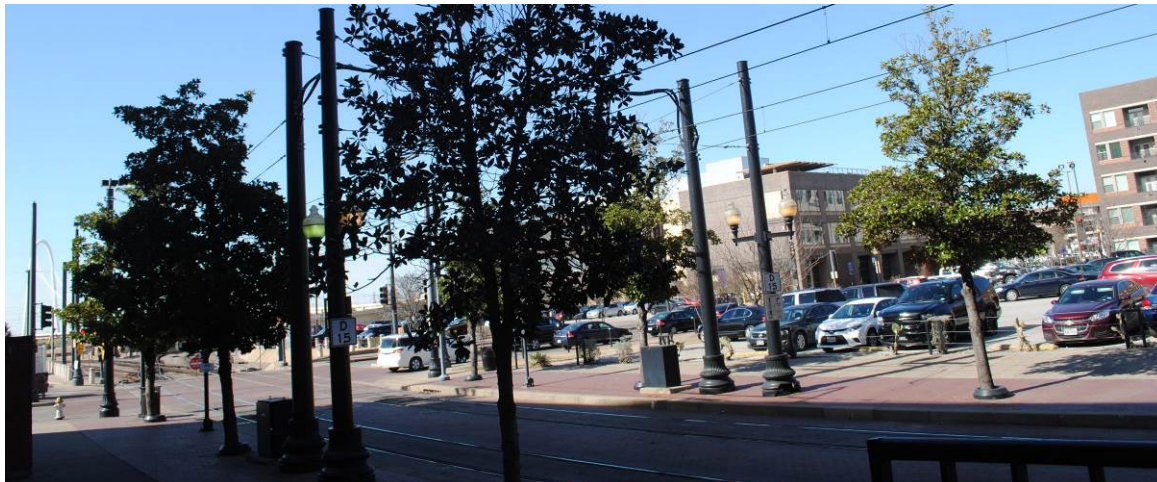


Streetscape – Facing Southeast from Pacific Ave



Streetscape – Facing Southwest from Pacific Ave





Streetscape – Facing Northwest from Pacific Ave

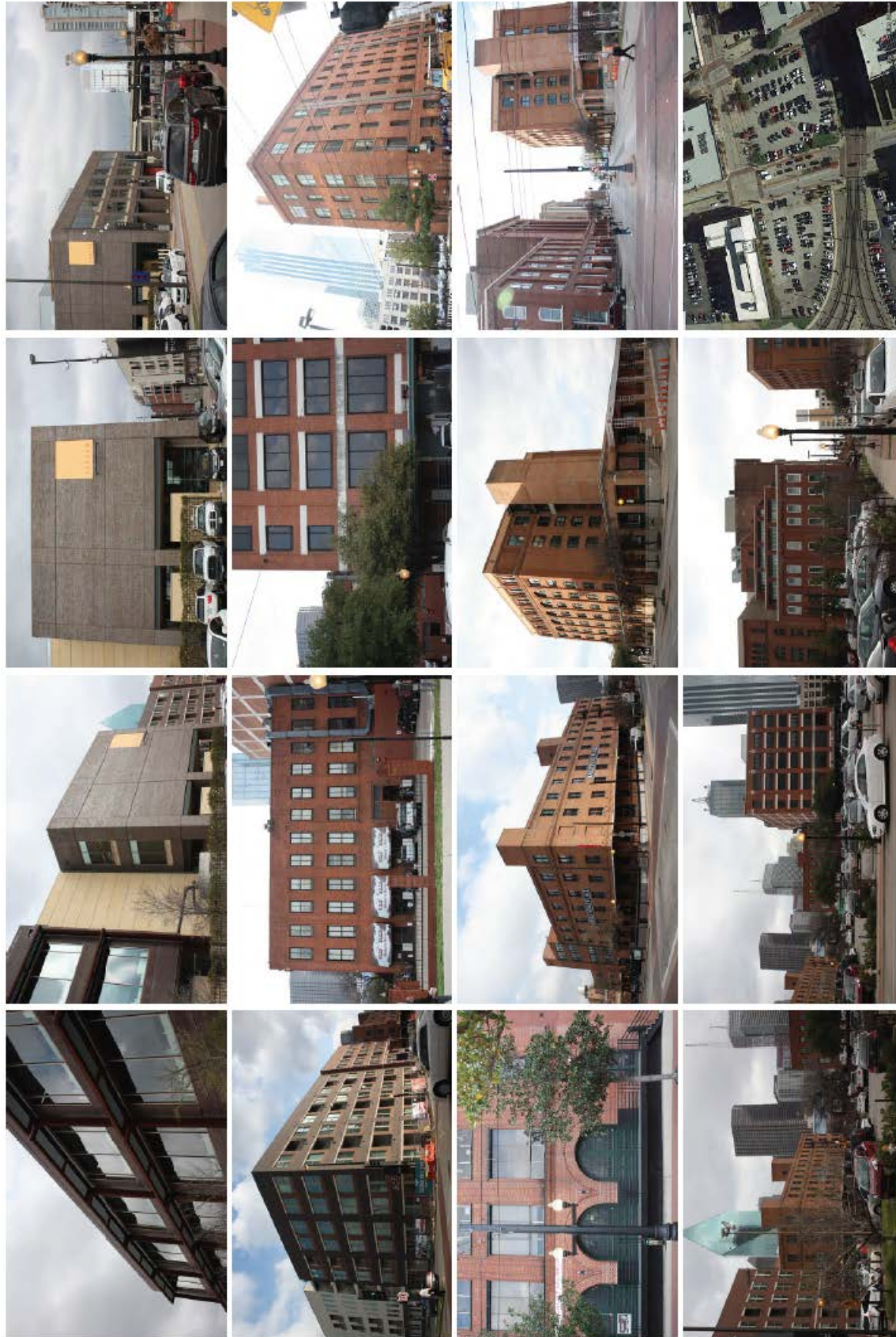


Streetscape – Facing Northeast from Pacific Ave



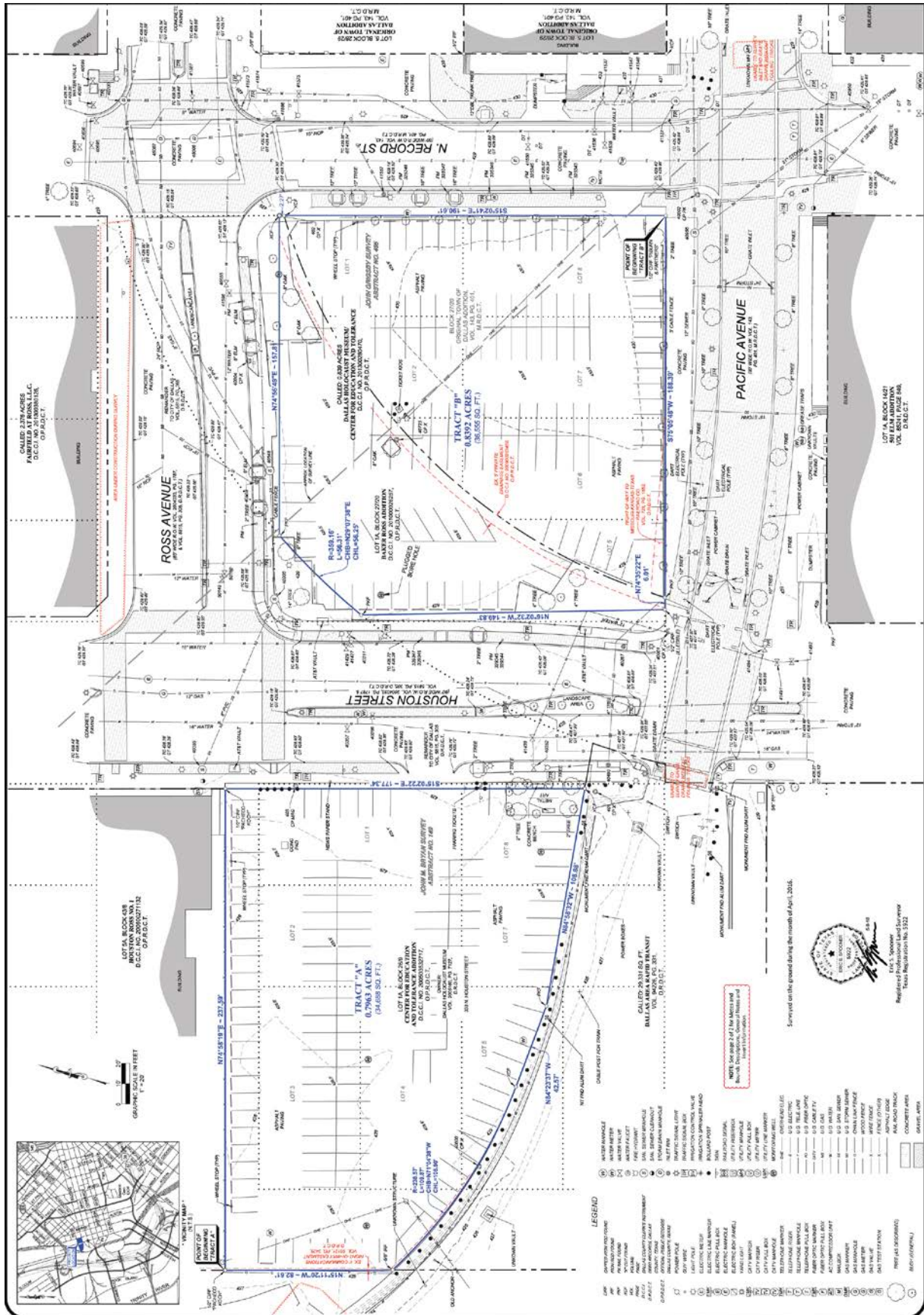
Streetscape – Facing Northeast from Record St (across street)



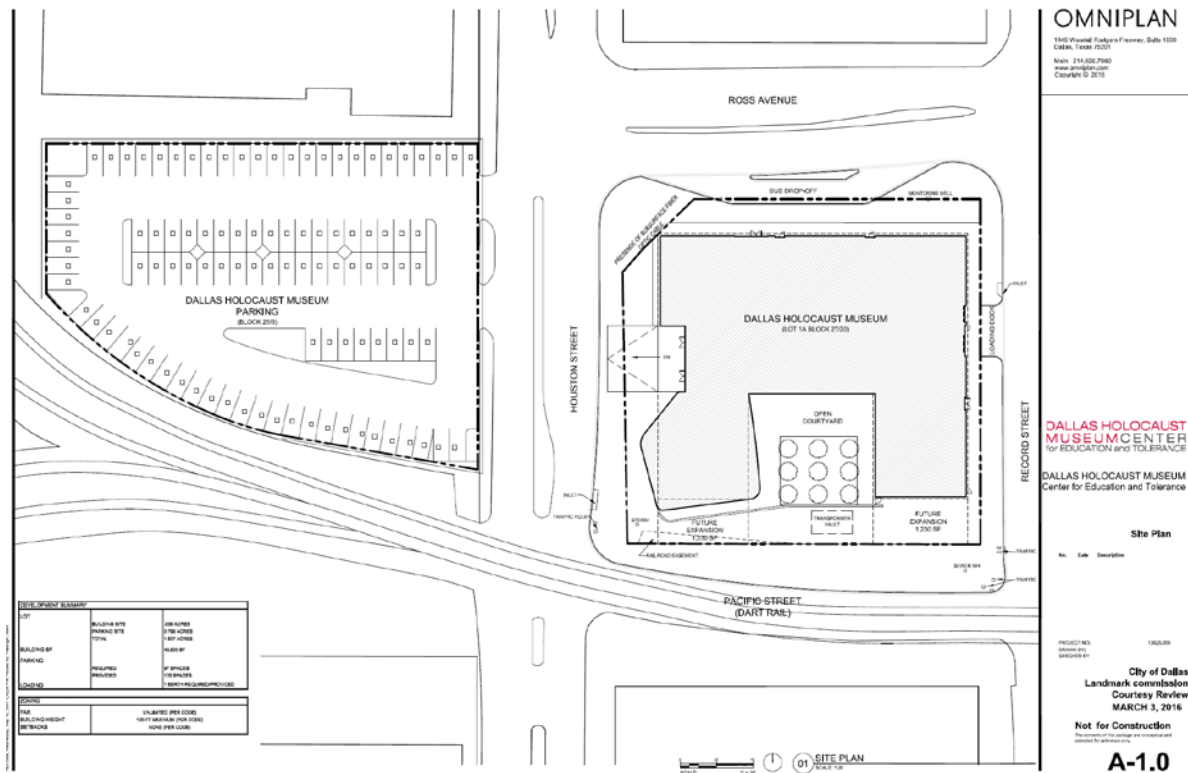


Adjacent Buildings

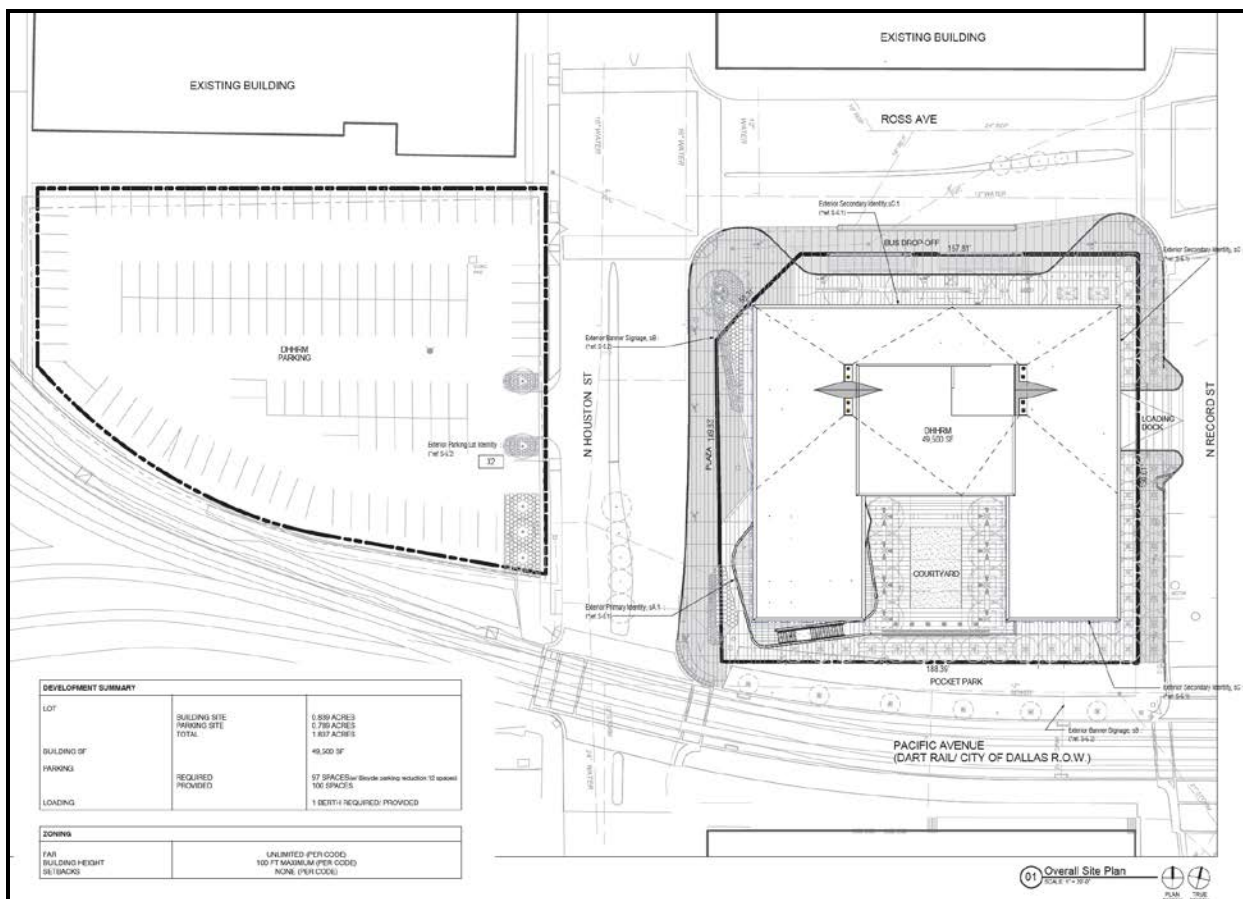








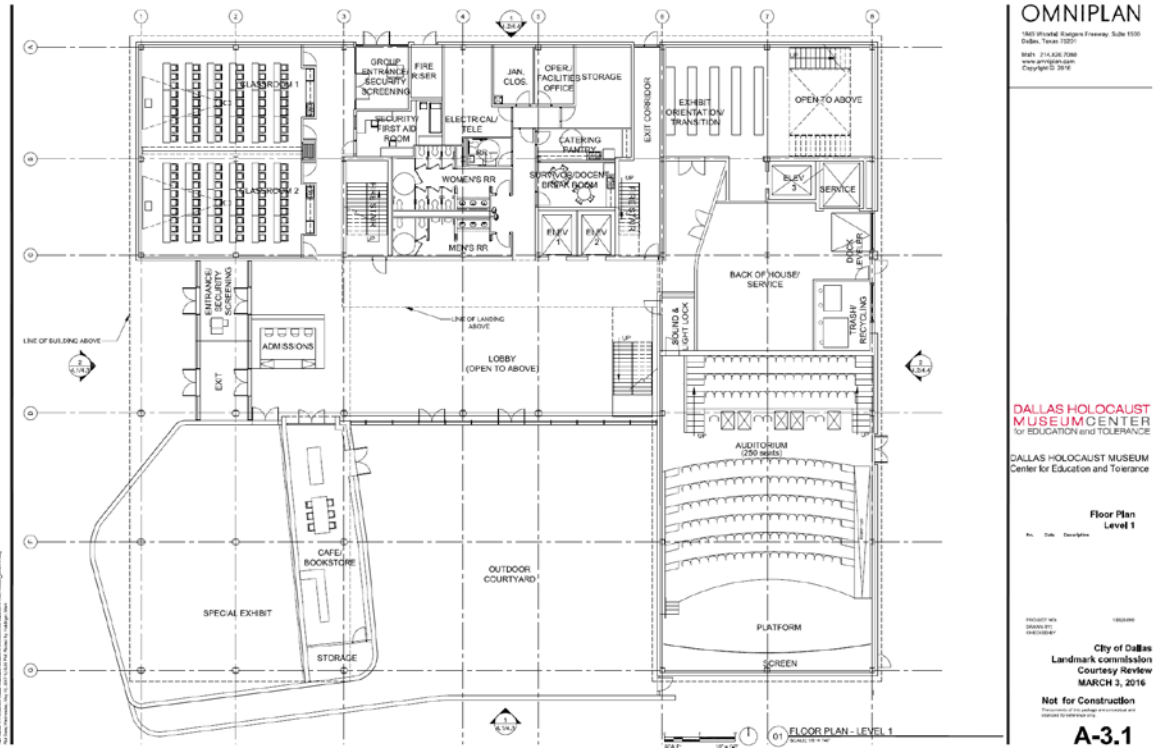
Previously Reviewed Site Plan (4/4/16)



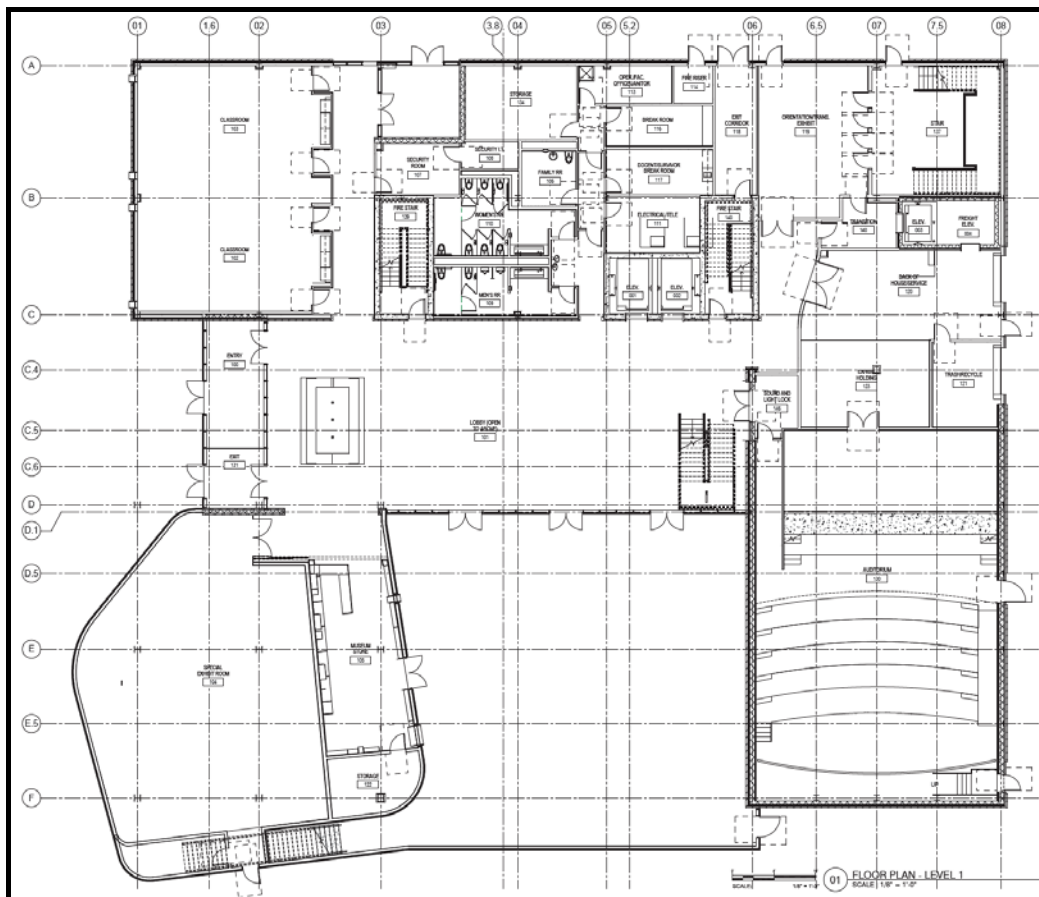
## Proposed Site Plan

CR167-008(LC)

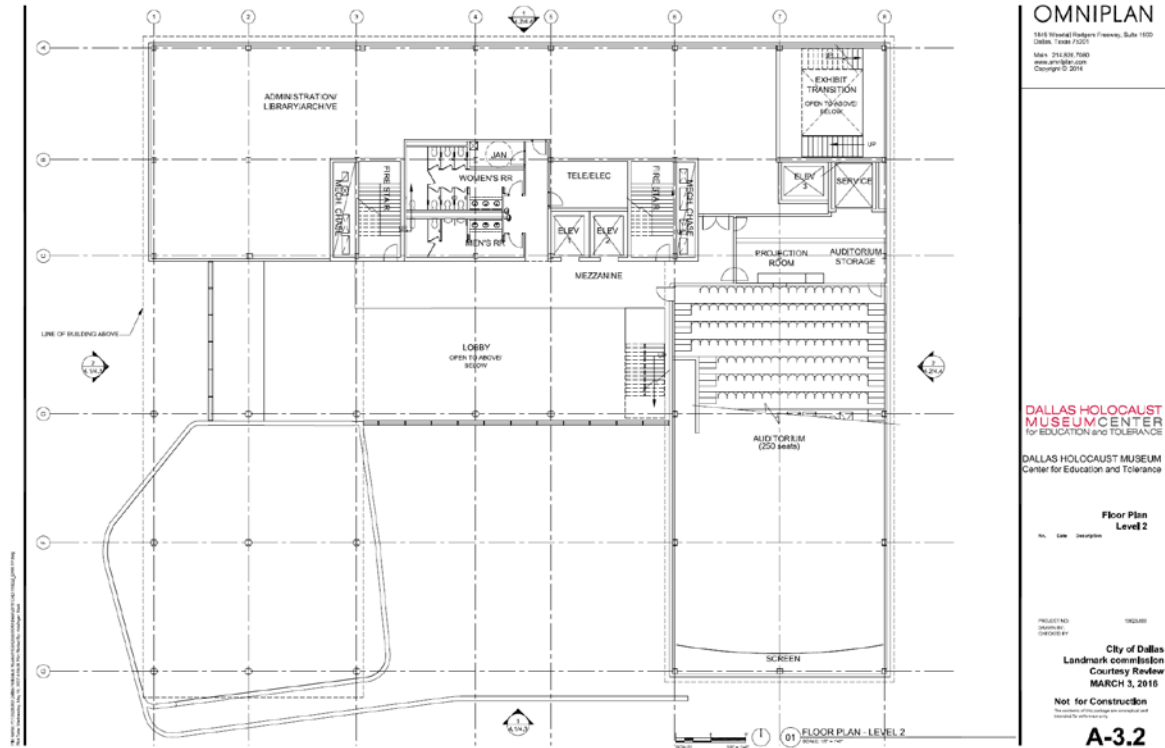
CR4-12



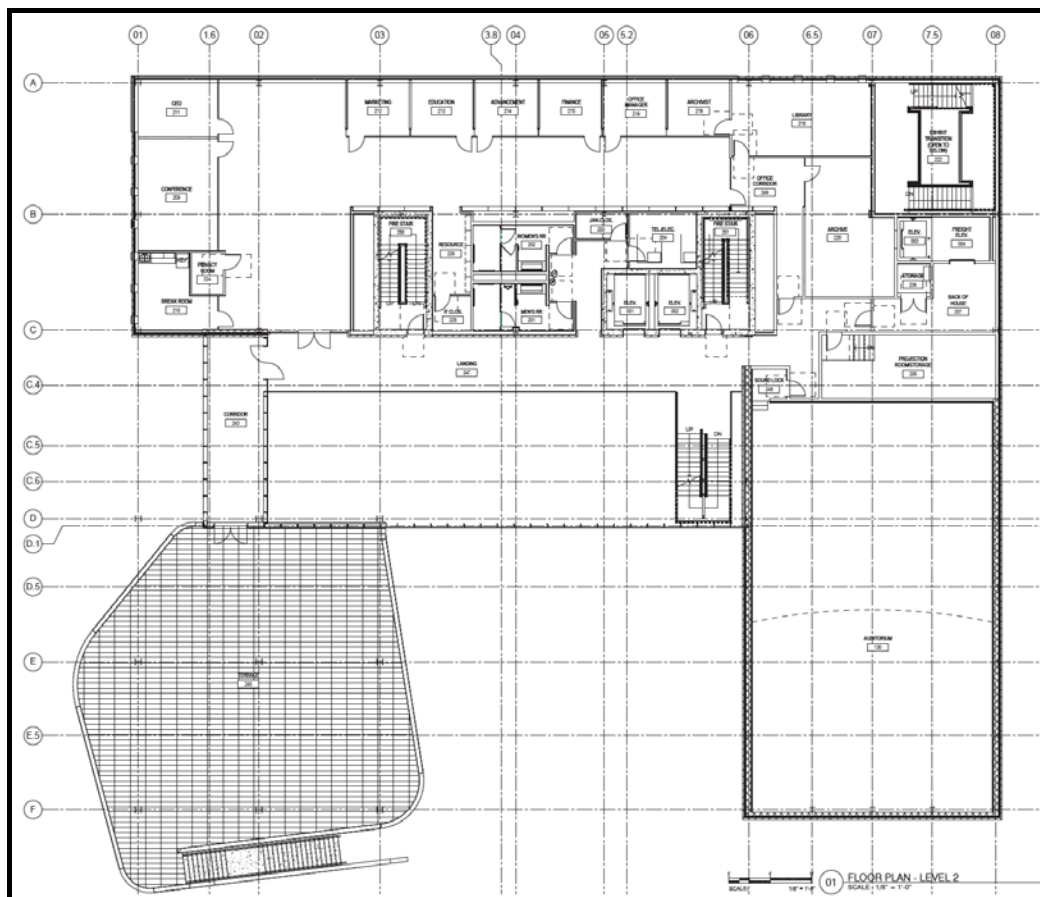
Previously Reviewed First Floor Plan (4/4/16)



Proposed First Floor Plan



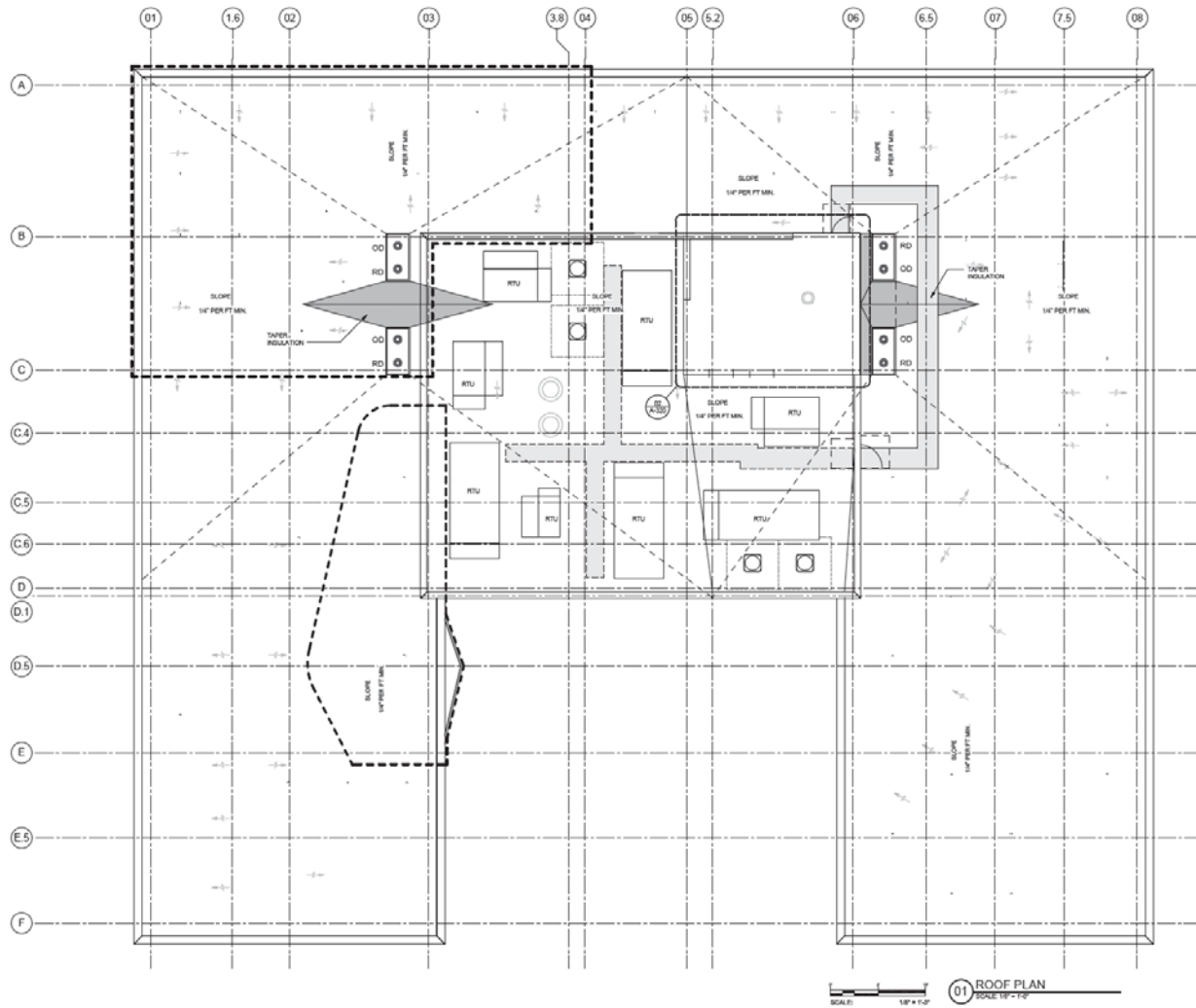
Previously Reviewed Second Floor Plan (4/4/16)



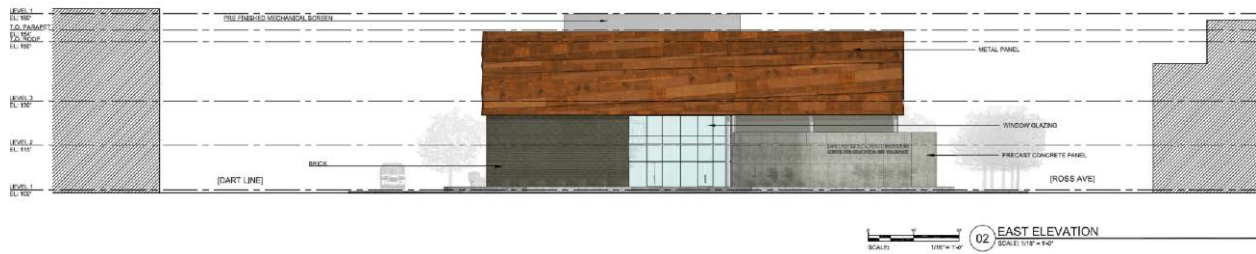
Proposed Second Floor Plan







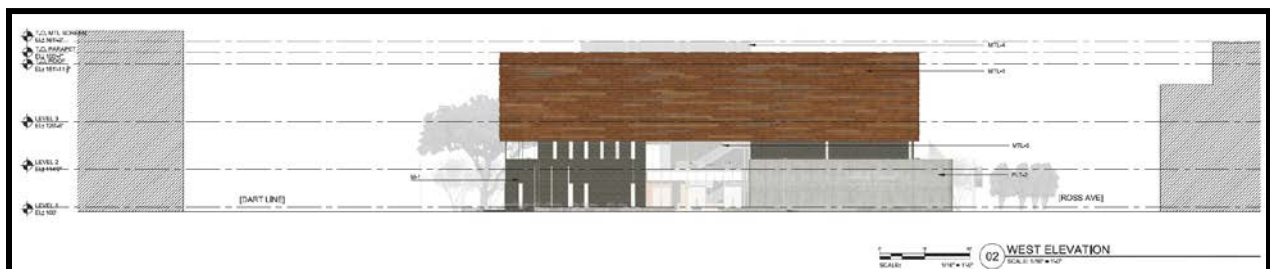
Roof plan



Previously Reviewed West (Front) Context Elevation (4/4/16)



Previously Reviewed West (Front) Elevation (4/4/16)



Proposed West (Front) Context Elevation



Proposed West (Front) Elevation

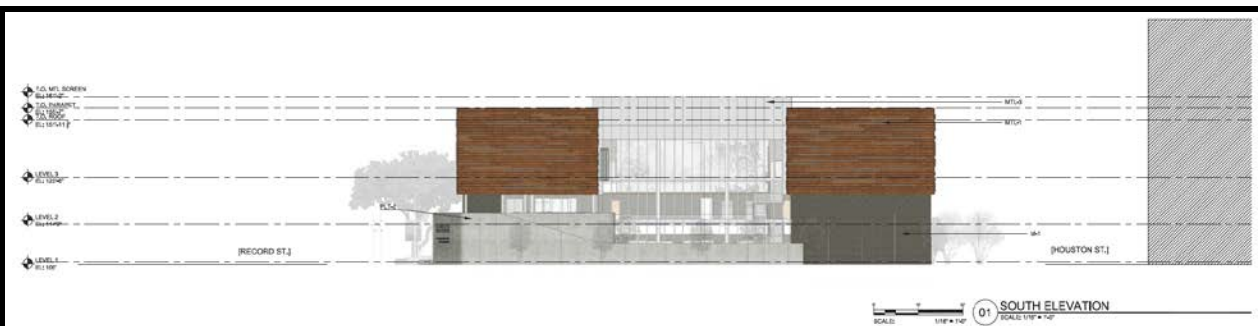




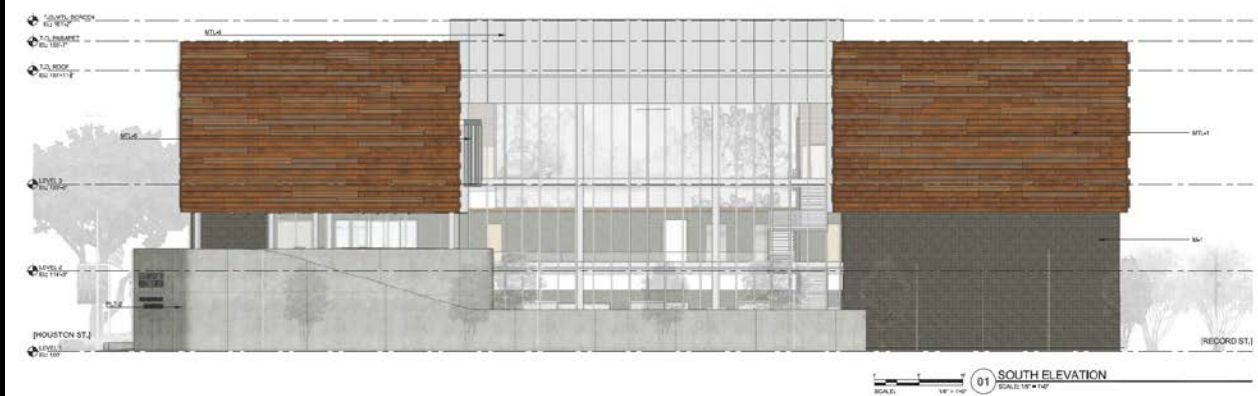
Previously Reviewed South Context Elevation (4/4/16)



Previously Reviewed South Elevation (4/4/16)



Proposed South Context Elevation



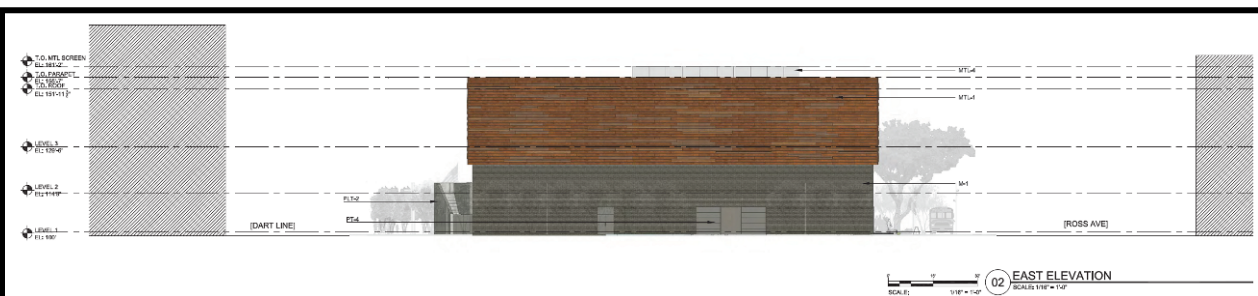
Proposed South Elevation



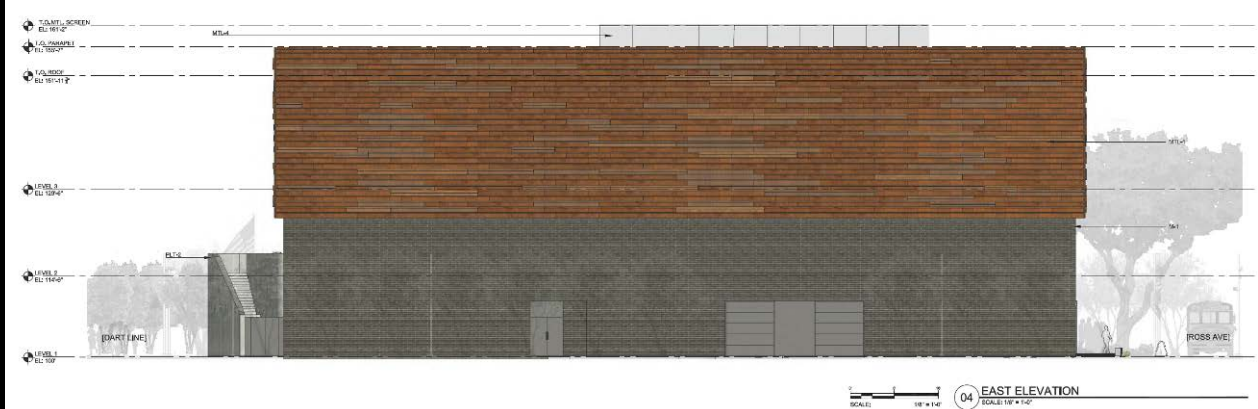
Previously Reviewed East Context Elevation (4/4/16)



Previously Reviewed East Elevation (4/4/16)

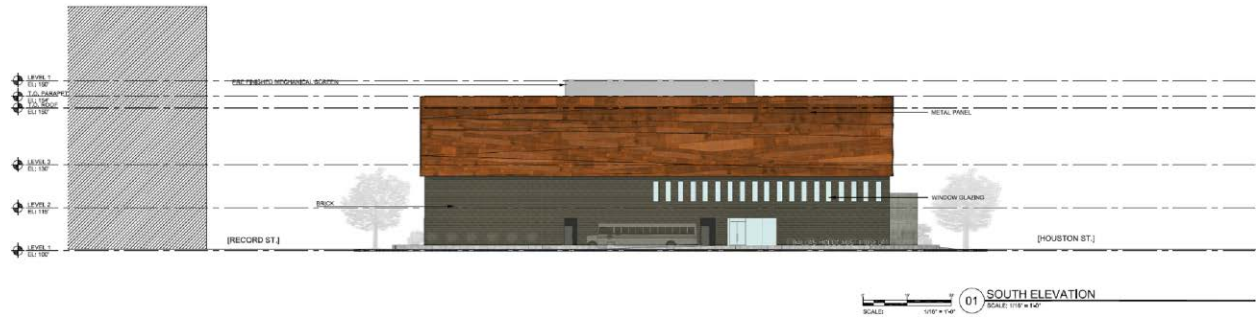


Proposed East Context Elevation



Proposed East Elevation





Previously Reviewed North Context Elevation (4/4/16)



Previously Reviewed North Elevation (4/4/16)



Proposed North Context Elevation



Proposed North Elevation





Previously Reviewed Perspective Rendering – From N Houston St and Pacific Ave



Updated Perspective Rendering – From N Houston St and Pacific Ave



Previously Reviewed Perspective Rendering – Southwest Aerial



Updated Perspective Rendering – Southwest Aerial





Previously Reviewed Perspective Rendering – Southeast Aerial



Updated Perspective Rendering – Southeast Aerial





Previously Reviewed Perspective Rendering – Northeast Aerial



Updated Perspective Rendering – Northeast Aerial



Previously Reviewed Perspective Rendering – Northwest Aerial



Updated Perspective Rendering – Northwest Aerial





Perspective Renderings – Additional Views

CR167-008(LC)

CR4-26

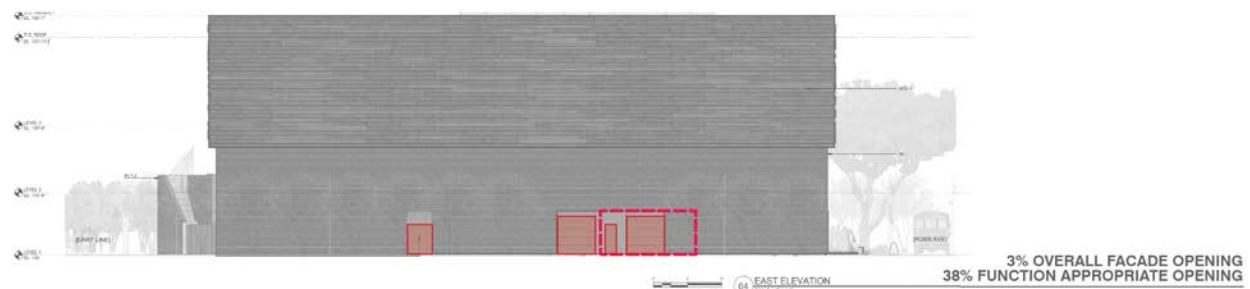




**FACADE OPENING** **AREA OF FACADE IN WHICH OPENINGS ARE PROGRAMMATICALLY/FUNCTIONALLY APPROPRIATE**  
**FACADE OPENING** - ANY PENETRATION OF THE SOLID MATERIAL COMPRISING THE BUILDING FACADE INCLUDING BUT NOT LIMITED TO WINDOW OPENINGS, DOORS, AND ARCHWAYS (SECTION 1.10 WEST END ORDINANCE)  
**SECTION 5.3 FACADE OPENING** - THE ALLOWABLE AREA OF FACADE OPENINGS SHALL NOT BE GREATER THAN 50 PERCENT NOR LESS THAN 30 PERCENT OF THE FACADE AREA

INIPLAN CHARTERS BJA echelon DALLAS HOLOCAUST AND HUMAN RIGHTS MUSEUM FACADE OPENING ANALYSIS JANUARY 20, 2017

## Façade Opening Analysis – West & South Elevations



**FACADE OPENING** **AREA OF FACADE IN WHICH OPENINGS ARE PROGRAMMATICALLY/FUNCTIONALLY APPROPRIATE**  
**FACADE OPENING** - ANY PENETRATION OF THE SOLID MATERIAL COMPRISING THE BUILDING FACADE INCLUDING BUT NOT LIMITED TO WINDOW OPENINGS, DOORS, AND ARCHWAYS (SECTION 1.10 WEST END ORDINANCE)  
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INIPLAN CHARTERS BJA echelon DALLAS HOLOCAUST AND HUMAN RIGHTS MUSEUM FACADE OPENING ANALYSIS JANUARY 20, 2017

**TOTAL OVERALL BUILDING = 15% OPENING**  
**TOTAL FUNCTION APPROPRIATE BUILDING = 70.7% OPENING**

## Façade Opening Analysis – East & North Elevations

CODE	INFO/DISTRIBUTOR	NO.	COLOR	SIZE	FINISH	LOCATION	CONTACT INFO	NOTES
<b>METALS</b>								
MTL-1	KOVACH	KWALL	20% COPPER	5'1/2" x 12'	NATURAL	LEVEL 3	Tim DeMonte 854-625-9802 tim@kovach.net	Ref. AS101 for Powder Coating to be used on the panels. We will be treated to avoid the patina doors
MTL-2	ACM PANEL		ALUMINUM DARK BRONZE MICA		GLOSS LEVEL 30	EXTERIOR / ADJACENT COURTYARD GATE		
MTL-3	ACM PANEL		ALUMINUM SILVER METALLIC		GLOSS LEVEL 30	MECHANICAL SCREEN WALL @ COURTAINWALL CURTAIN WALL		
MTL-4	BENCHMARK BY KINGS PAN	DESIGNWALL 3000	ALUMINUM WITH VANADIUM SILVER METALLIC		SATIN	MECHANICAL SCREEN WALL @ ROOF	James Penning	
MTL-5	ARCOLA FRAME SYSTEMS - CURTAIN WALL	11 BEAM (3'-3000 - TSM-7	MATHEW MP1818 VANADIUM SILVER METALLIC		SATIN	CURTAIN WALL / BUS DROP OFF	Jeremy Gustafson	
<b>MASONRY</b>								
MT1	YANKEE FULL BRICK & TILE	CAPITAL IRON SPOT		NORMAN	SMOOTH	LEVEL 1 & 2	Matthew P. Papp 813-448-6441 / 715-302-0877 mtp.papp@trisk.com	
<b>PLASTER</b>								
PLT-2	CEMENT PLASTER- ANY APPROVED		NATURAL		SMOOTH TEXTURE	SPECIAL EXHIBIT EXTERIOR	BOON TUCCO	
<b>PAINT</b>								
PT-4	MA THEW'S PAINT	MP2008	ANCIENT BRONZE METALLIC		SATIN	EXTERIOR SERVICE DOOR / SOCH DOORS	www.matthewspaint.com	TO MATCH ADJACENT ACM PANEL
PT-5	MA THEW'S PAINT	MP1818-6	LEAD GREY METALLIC		SATIN	STRUCTURE	www.matthewspaint.com	

Proposed Materials

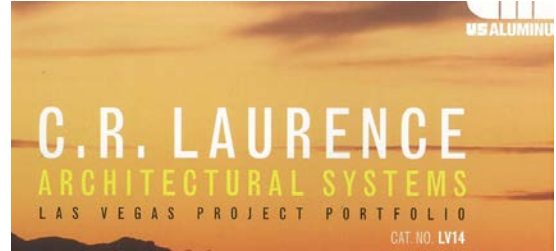




CRL ARCHITECTURAL SYSTEMS |

**A** 'All Glass' Entrance System With CRL Wedge-Lock™ 4" Square Bottom Door Rails, Patch Fittings at Top, and 24" Straight Style Back-to-Back Ladder Pull Handles in Brushed Stainless Finish

**B** CRL DRS Door Rail System With 4" Square Door Rails at Top and Bottom, Matching Sidelite Rails, and Locking Ladder Pulls



Aria Resort & Casino



Las Vegas Convention Center

CRL ARCHITECTURAL SYSTEMS |

**E** CRL-U.S. Aluminum Series 400 Medium Stile Entrance Doors and Series 3250 Curtain Wall System

**F** CRL-U.S. Aluminum Series 800 Durafront Entrance Doors and Series 3250 Curtain Wall System

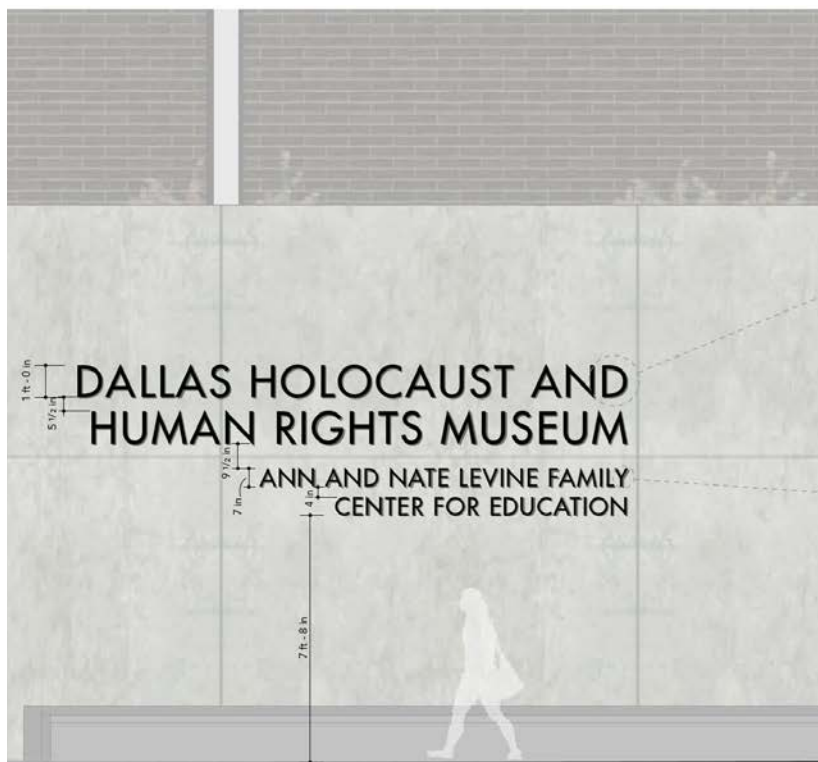
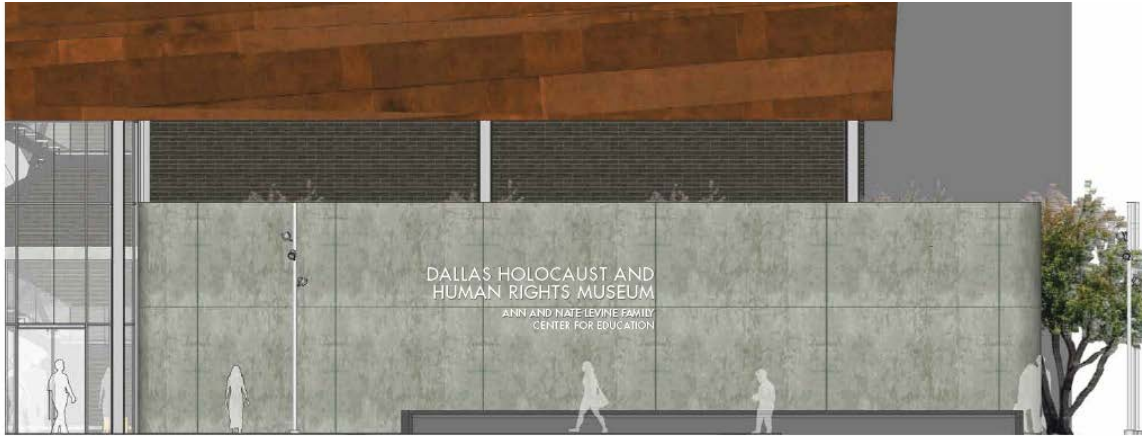
**G** 'All Glass' Entrance System With CRL Low Profile Door Rail Low Profile Sidelite Rails, and CRL-Blumcraft® PA100 F Series Panic Handle

Proposed Storefront System

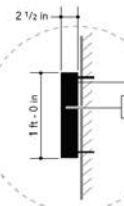
CR167-008(LC)

CR4-29

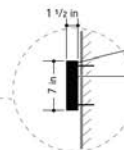




1 Front Elevation  
Scale: 3/8" = 1'-0"



3 Side View  
Scale: 1" = 1'-0"



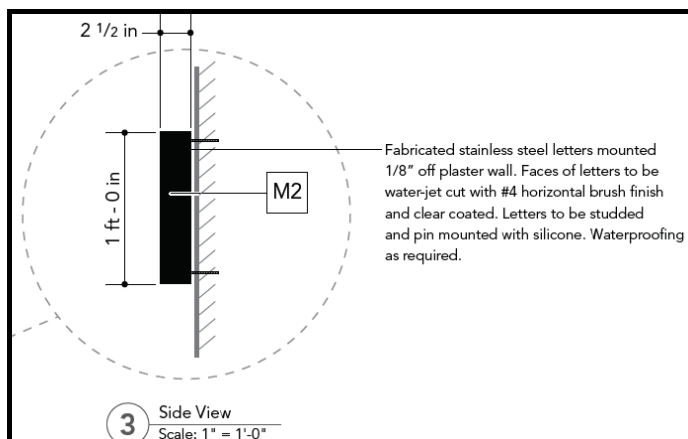
2 Side View  
Scale: 1" = 1'-0"

NOTE:  
Sign fabricator to price letters as:  
A. Fabricated stainless steel  
B. Fabricated painted aluminum

Fabricated stainless steel letters mounted 1/8" off plaster wall. Faces of letters to be water-jet cut with #4 horizontal brush finish and clear coated. Letters to be studded and pin mounted with silicone. Waterproofing as required.

Fabricated stainless steel letters mounted 1/8" off plaster wall. Faces of letters to be water-jet cut with #4 horizontal brush finish and clear coated. Letters to be studded and pin mounted with silicone. Waterproofing as required.

NOTE:  
Sign to be spot illuminated from nearby light poles (to be coordinated with Omniplan and lighting designer)  
3/4" plywood backing (if any needed)  
CG to coordinate with selected sign fabricator prior to installation.



3 Side View  
Scale: 1" = 1'-0"

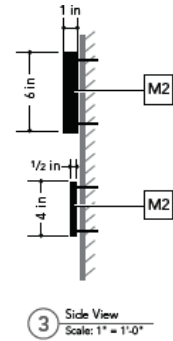
Fabricated stainless steel letters mounted 1/8" off plaster wall. Faces of letters to be water-jet cut with #4 horizontal brush finish and clear coated. Letters to be studded and pin mounted with silicone. Waterproofing as required.

#### NOTE:

Sign to be spot illuminated from nearby light poles (to be coordinated with Omniplan and lighting designer)

3/4" plywood backing (if any needed)  
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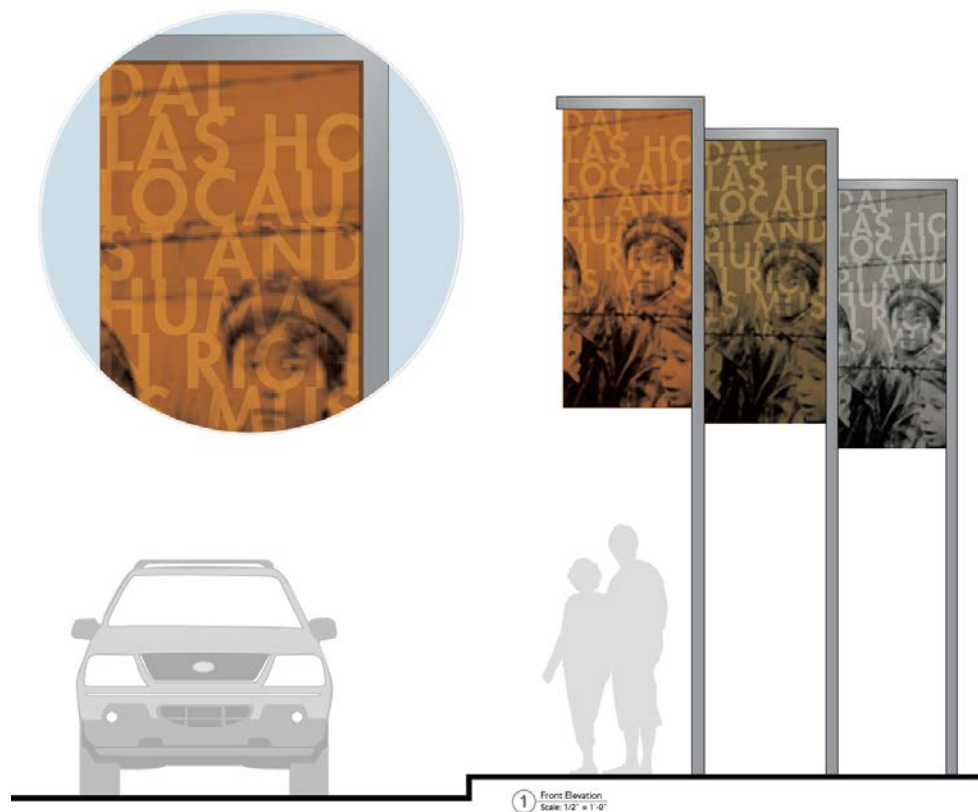
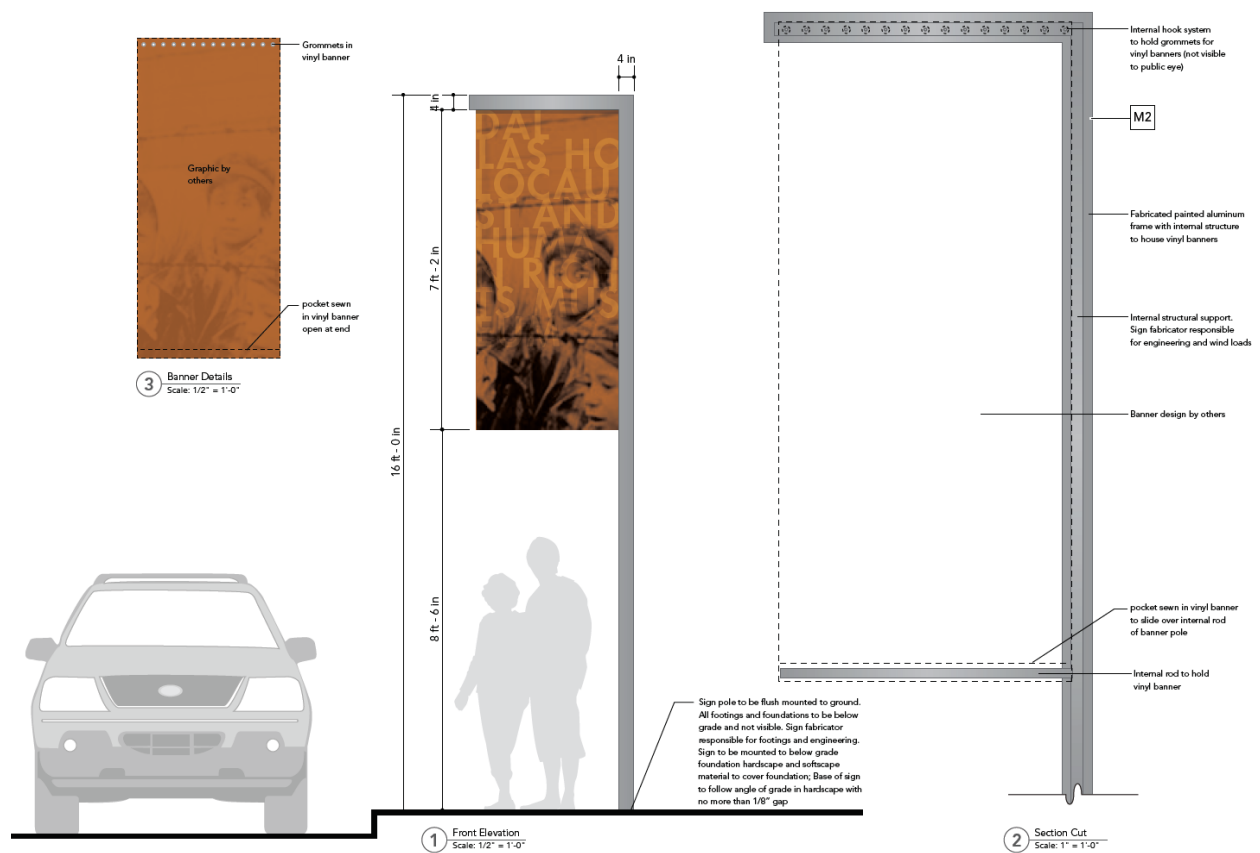
## Proposed Main Entrance Signage



Proposed Group Entrance Signage





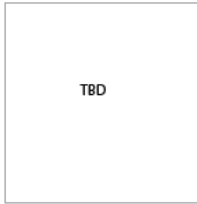


Proposed Banner Signs

CR167-008(LC)

CR4-33

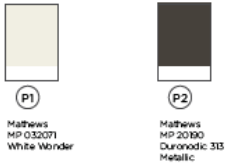
## PROJECT LOGO:



## VINYL PALETTE:



## PAINT PALETTE:



## MATERIAL PALETTE:



DRAWING FOR DESIGN INTENT ONLY; NOT INTENDED FOR CONSTRUCTION.  
ALL SIGNS TO BE FABRICATED AND INSTALLED PER APPROVED FABRICATOR SHOP DRAWINGS.

Materials and Colors

## Font & Icons

### Futura

Futura is the fully developed prototype of the twentieth century Geometric Sanserif. Paul Renner sketched a set of Bauhaus forms, based on strokes of even weight, perfect circles and isosceles triangles. Futura became the most popular sanserif of the middle years of the twentieth century. Functional yet friendly, logical yet not over intellectual.

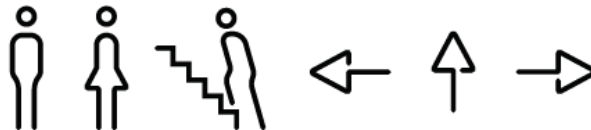
Primary Project Font: Futura Medium

Secondary Project Font: Futura Bold

ABC

ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890

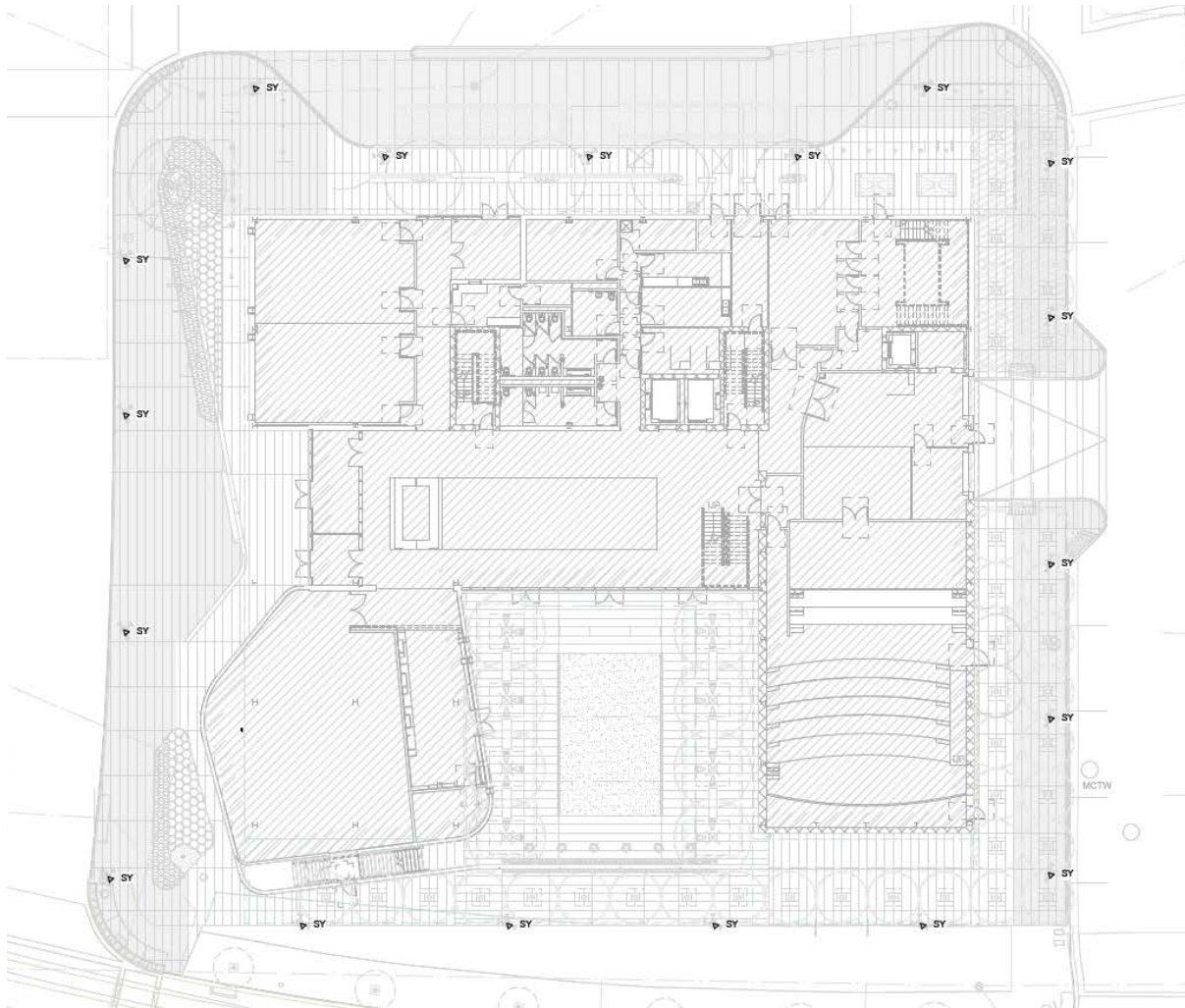
ABCDEFGHIJKLMNOPQRSTUVWXYZ  
abcdefghijklmnopqrstuvwxyz  
1234567890



DRAWING FOR DESIGN INTENT ONLY; NOT INTENDED FOR CONSTRUCTION.  
ALL SIGNS TO BE FABRICATED AND INSTALLED PER APPROVED FABRICATOR SHOP DRAWINGS.

Fonts and Icons

## Proposed Signage Materials and Font



Proposed Lighting – Site Plan

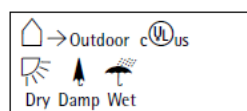
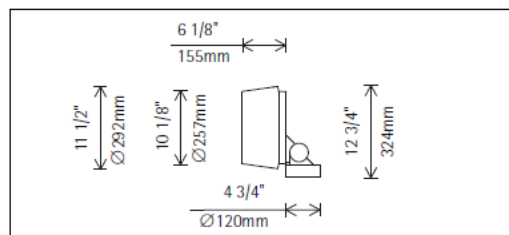
ERCO

Kona Floodlight

FIXTURE TYPE SY

SCHULER SHOOK

PROJECT: DALLAS HOLOCAUST MUSEUM

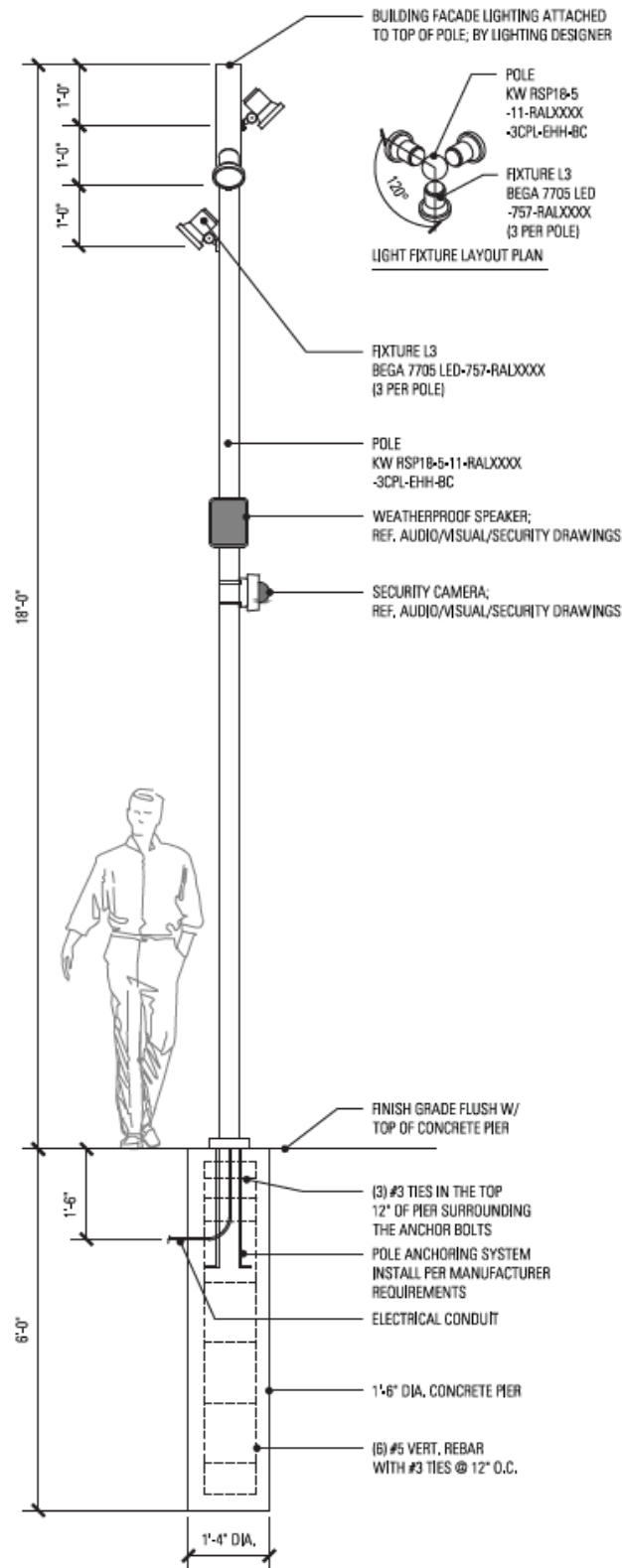


Proposed Lighting Fixture

CR167-008(LC)

CR4-35





# 1 LIGHT FIXTURE TYPE L1 - LIGHT POLE

Scale: 1/2" = 1'-0"

Proposed Light Pole

**TASK FORCE RECOMMENDATION REPORT**  
**CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL**

DATE: 1/11/2017

TIME: 3:00 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Mark Holsinger - OMNIPLAN

Address: 515 Ross Avenue (H-2; West End)

Date of CA/CD/CR Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

Task Force's previous concerns have been addressed. Calculate Solid to void ratio. Provide surface treatment of exterior horizontal surfaces. Task Force supports design

**Task force members present**

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input checked="" type="checkbox"/> Joseph Piwetz	<input type="checkbox"/>
<input checked="" type="checkbox"/> Jay Firsching (Vice-Chair)	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> Cathy Dawson (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Justin Curtsinger	<input type="checkbox"/> Anne Stimmel (Alternate)

Ex Officio staff members Present ☒ Liz Casso

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1/11/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

---

FILE NUMBER: CA167-183(MP)  
LOCATION: 5728 Junius St  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 36-Y  
CENSUS TRACT: 13.01

---

**APPLICANT:** Bernard Ford

**REPRESENTATIVE:** None

**OWNER:** Bernard Ford

**REQUEST:**

Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

The proposed location for the right side yard fence is within the rear 50% mark of the side yard. The proposed location for the left side yard fence is within the front 50% of the side yard. This fence is to meet up to a chain link fence that was grandfathered in at approximately 11 feet from the front of the house. A daycare is located next door to the applicant (on the left-hand side). The proposed location for the left side yard fence is to prohibit applicant's dogs from getting in back yard of daycare where children play. Task Force prefers that fence on left side yard not exceed the rear 50% mark, but Staff is supportive if Landmark Commission believes the additional security is warranted.

**STAFF RECOMMENDATION:**

Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard – Approve with conditions – Approve survey plat and photo dated 1/18/2017 with the condition that the finished side faces out if visible from the street with the finding the work is consistent with preservation criteria Section 3.6(a)(2) which allows Landmark Commission to approve fences beyond the 50% rear mark in side yards for security reasons and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**



Extend 8ft wood fence on right side yard and extend 6ft wood fence on left side yard –  
No quorum, comments only. Approve to 50% mark.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 183 (MP)  
Office Use Only

Name of Applicant: Bernard Ford  
Mailing Address: 5728 Junius Street  
City, State and Zip Code: Dallas TX 75214  
Daytime Phone: 229-938-1607 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: owner

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes \_\_\_\_ No \_\_\_\_

Planner's Initials

**PROPERTY ADDRESS:** 5728 Junius Street Dallas, TX 75214

**Historic District:** Junius Street

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Item 1) Move fence on west side of property forward 12 ft. Fence encloses backyard. Please see survey for further illustration.

Item 2) Extend fence separating lot 8 and 9 approx 31 feet to meet current fencing. Height and type of fence TBD by Landmark Commission, fence would prevent pets from accessing day care at 5734 Junius. Please see survey for further illustration

**RECEIVED BY**

Signature of Applicant: [Signature] Date: JAN 05 2017

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**Current Planning**

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

**Sustainable Construction and Development**

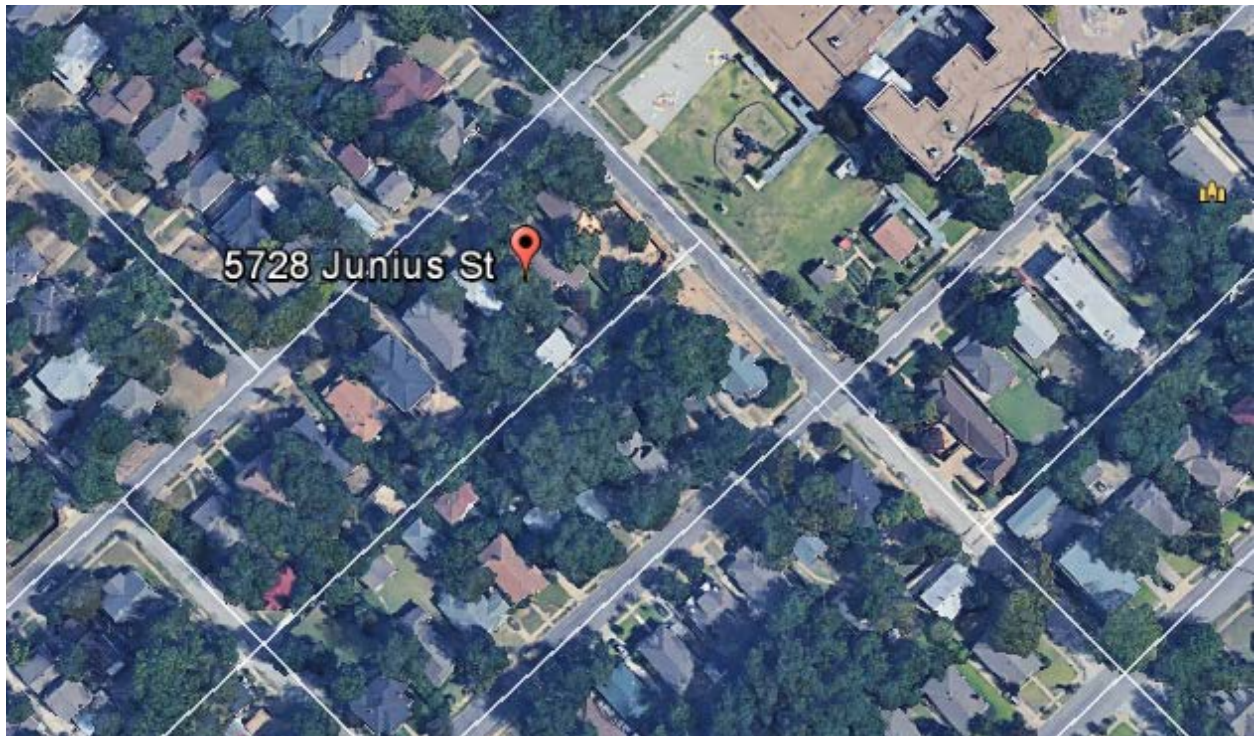
**Date**

**Certificate of Appropriateness**

**City of Dallas**

**Historic Preservation**

Rev. 111408



Aerial View, 5728 Junius.





Front (North) elevation.





View to left (East) of 5728 Junius.



View to right (West) of 5728 Junius.





View across the street (North) from 5728 Junius.

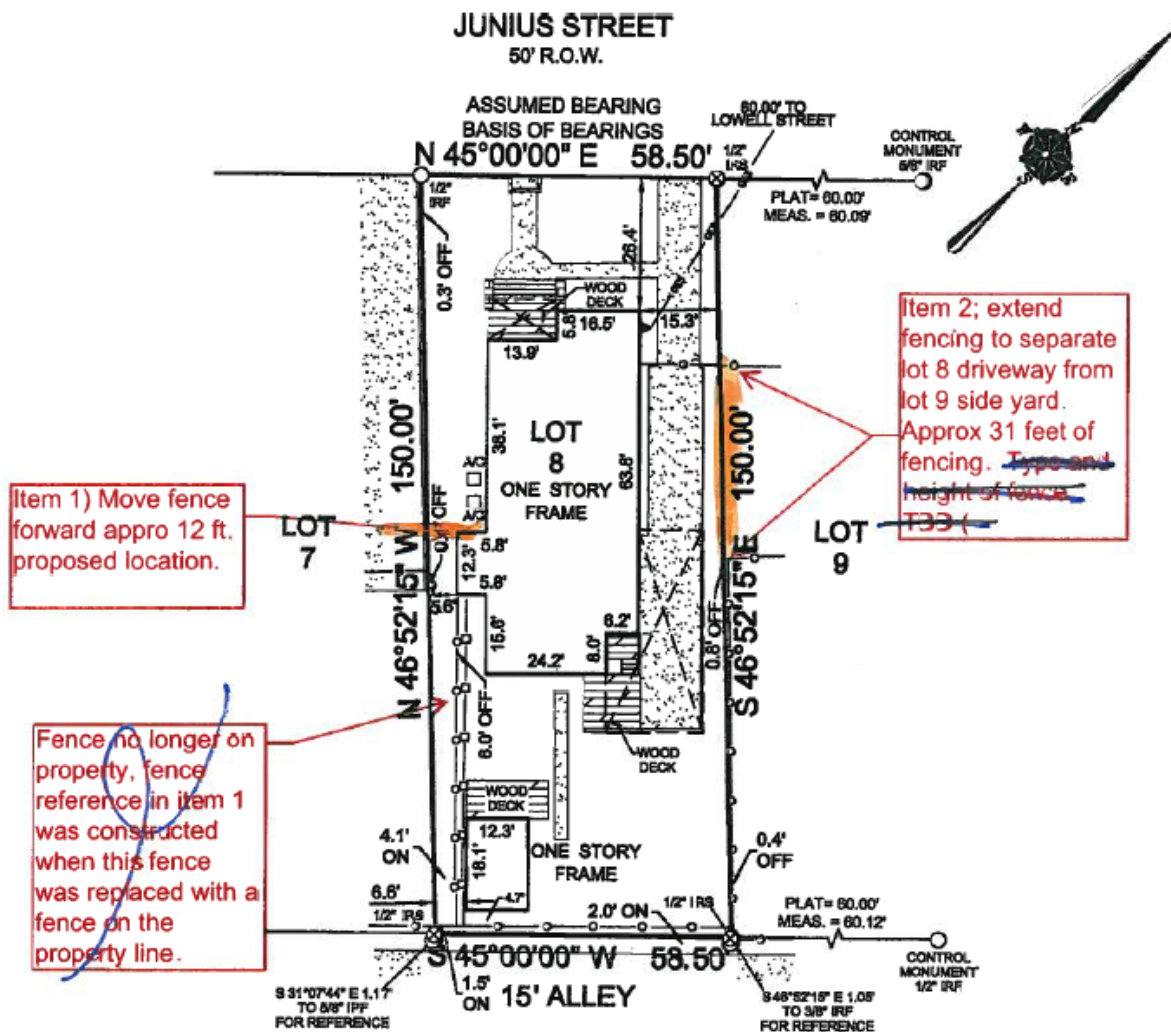




Left side yard looking toward front. Note chain link gate. Proposed 6ft wood fence to meet up with gate.

# FINAL SURVEY

This is to certify that persons under my direction have, this date, made an on-the-ground survey of property located at  
 5728 JUNIUS STREET, in the City of DALLAS, Texas,  
 Lot 8 Block 3/1647  
 of JUNIUS HEIGHTS, an addition  
 to the City of DALLAS, DALLAS COUNTY, Texas, according to the MAP THEREOF  
 recorded in VOLUME 1, PAGE 114 of the MAP Records of DALLAS County, Texas.



BOUNDARY LINE AGREEMENT RECORDED  
 IN THE FOLLOWING VOLUMES AND PAGES  
 DO NOT AFFECT THE ABOVE DESCRIBED  
 PROPERTY: VOL. 78012, PG. 2341

1/18/2017  
 NOTE: PROPERTY SUBJECT TO TERMS,  
 CONDITIONS AND EASEMENTS  
 CONTAINED IN INSTRUMENT RECORDED IN  
 CLERK'S FILE NO. 2007-334245

Survey plat with proposed fence locations highlighted.



Proposed fencing to match portion of existing cedar wood, board-on-board, unstained fence.



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### 3.6 Fences

#### 3.6(a) Location

3.6(a)(2) Except as provided in Item 3.6(a)(4), fences in interior side yards must be located in the rear 50 percent of the side yard and behind the open front porch of an adjacent house as shown in Exhibit E. If more screening is required for additional security or privacy, the Landmark Commission may allow a fence that is located five feet behind the porch of the house requesting the fence.

**TASK FORCE RECOMMENDATION REPORT**  
**JUNIUS HEIGHTS**

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Bernard Ford  
Address: 5728 Junius Street

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

1. Approve <sup>to</sup> the 50% mark.

**Task force members present**

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

Jan. 12, 2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

**LANDMARK COMMISSION****FEBRUARY 6, 2017**

FILE NUMBER: CA167-159(MP)  
LOCATION: 5540 Victor St  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 46-C  
CENSUS TRACT: 13.02

**APPLICANT:** Doug Hathcock

**REPRESENTATIVE:** None

**OWNER:** Mark Halmorson

**REQUEST:**

- 1) Remove secondary door on front elevation and fill void with wood siding.
- 2) Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed.
- 3) Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed vinyl window, and infill with wood siding as needed.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Request #1 – Staff is not supportive because the secondary door is on a protected façade. Task Force did not have a quorum, but members commented that the secondary door should not be removed because such doors are common to the Junius Heights neighborhood during its period of significance.

Request #2 – Staff is supportive of the change in size and style because the proposed alteration is on the rear half of the side elevation. Staff, however, is recommending the new windows be wood. Other windows on the house are wood, which is an historically appropriate material compatible with the architectural features of the house and the historic overlay district. Task Force did not have a quorum, but members were opposed to the windows being removed and replaced.



Request #3 – This window is within the front 50% of the side elevation where it would normally be protected, but applicant has noted that the window was installed sideways, which suggests that it is not original. Staff is supportive of the smaller window with the condition that it be wood rather than vinyl. Wood is a more historically accurate material and is compatible with the architectural features of the house and the historic overlay district. Task Force did not have a quorum, but members expressed support for the smaller window provided it is wood and not vinyl.

**STAFF RECOMMENDATION:**

- 1) Remove secondary door on front elevation and fill void with wood siding – Deny without prejudice – The proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with preservation criteria Section 5.1 for historic doors and windows.
- 2) Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed – Approve with conditions – Approve drawings and specifications dated 1/18/2017 with condition that windows are wood rather than vinyl with the finding the work is consistent with preservation criteria Section 5.3 and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed vinyl window, and infill with wood siding as needed – Approve with conditions – Approve drawings and specifications dated 1/18/2017 with condition that windows are wood rather than vinyl with the finding the work is consistent with preservation criteria Section 5.3 and meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Remove secondary door on front elevation and fill void with wood siding – No quorum, comments only. No – many of these homes in J.H. had two front doors.
- 2) Remove two one-over-one windows on rear half of the left (East) side elevation and replace with three, smaller, fixed vinyl windows, and infill wood siding as needed – No quorum, comments only. No to removal.
- 3) Remove one fixed window on front half of the left (East) side elevation and replace with smaller fixed vinyl window, and infill with wood siding as needed – No quorum, comments only. Removal ok as long as it is wood.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-159 (AP)  
Office Use Only

Name of Applicant: Doug Hathcock  
Mailing Address: 21371 Crampton # A  
City, State and Zip Code: Dallas TX 75207  
Daytime Phone: 214 228 7817 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Contractor

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 5540 Victor St  
Historic District: Supins Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Reduce bedroom windows allowing room for bed  
Reduce bath window for closet  
Remove front side door making room safer for children

**RECEIVED BY**

Signature of Applicant: Doug Hathcock Date: JUL 05 2017  
Signature of Owner: Mark Holmerson Date: Current Planning  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

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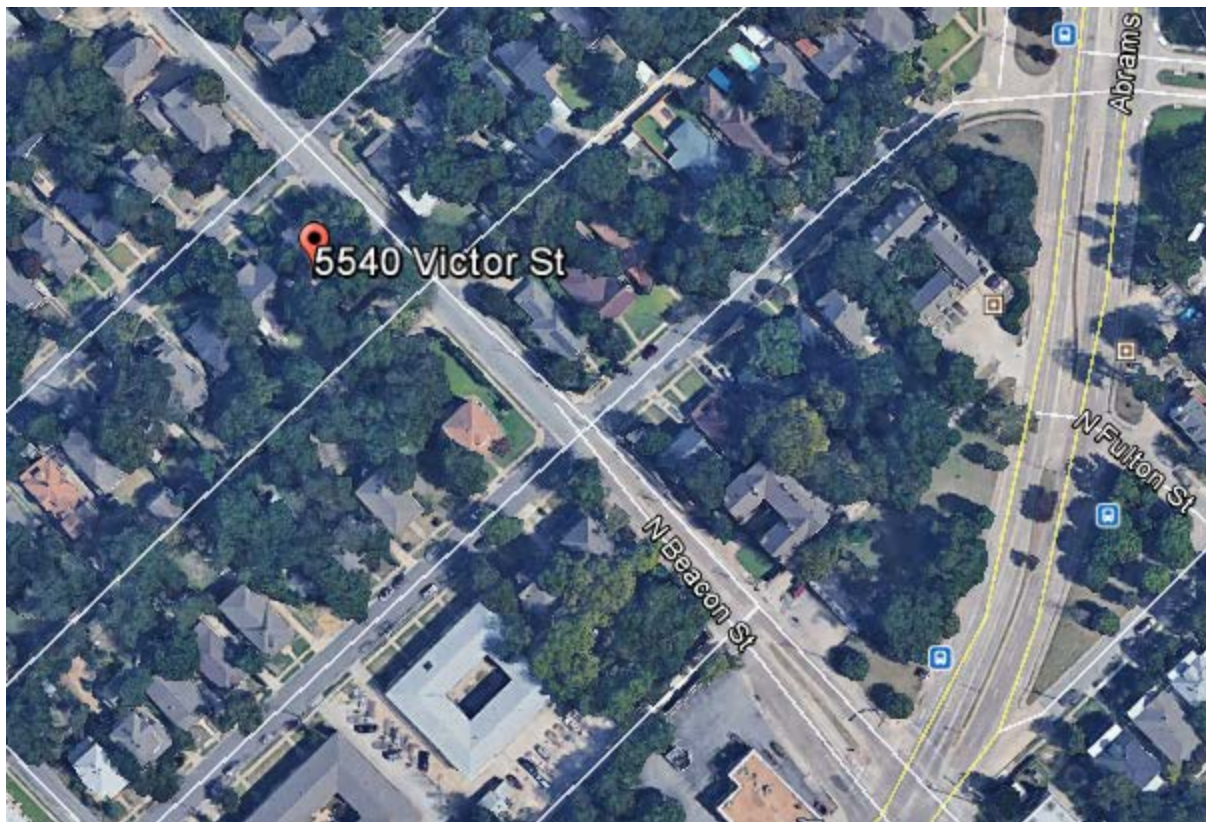
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 5540 Victor.





Front (North) elevation.





View to left (East) of 5540 Victor.



View to right (West) of 5540 Victor.





View across the street (North) from 5540 Victor.

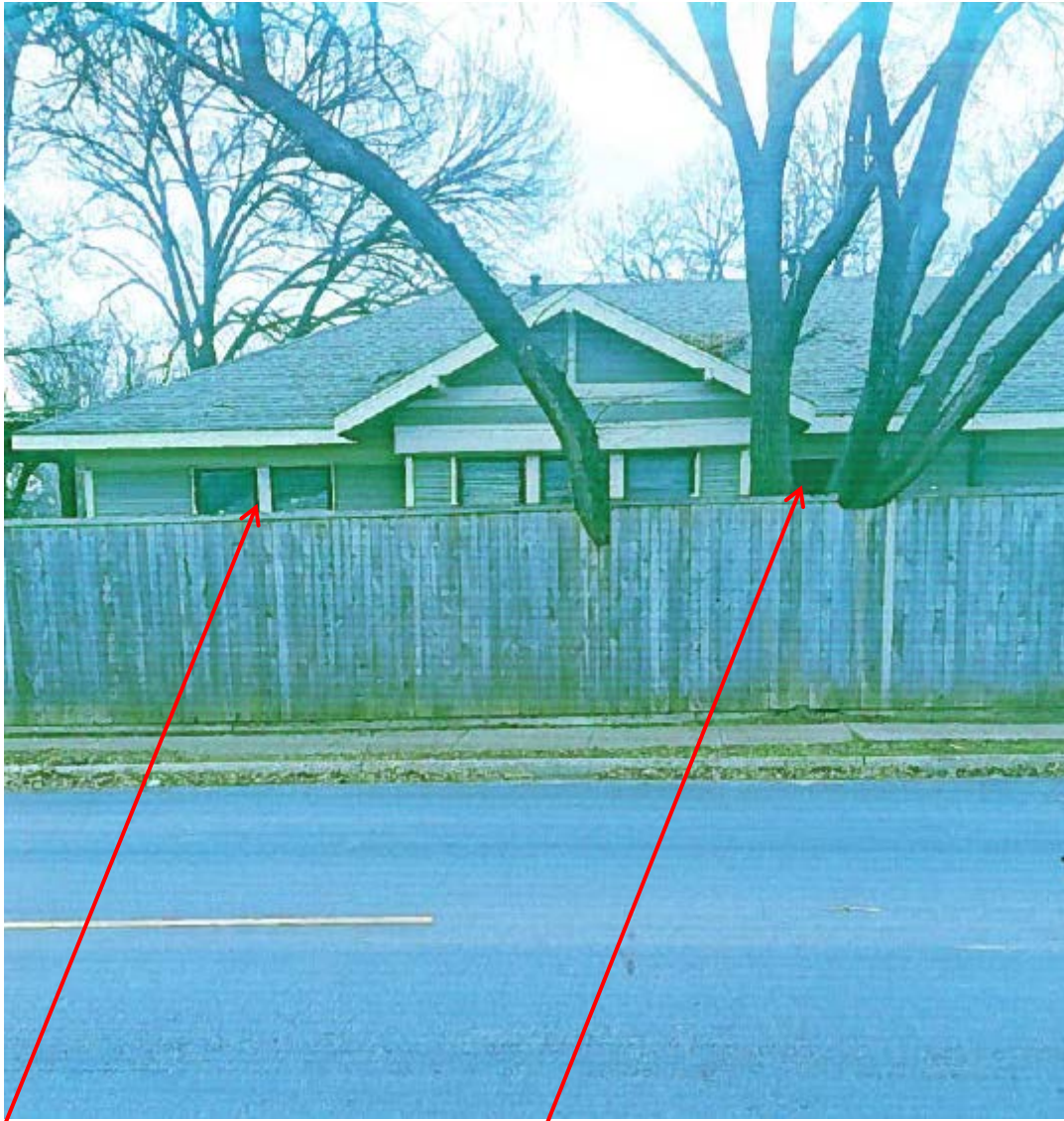




Close up of front porch. Secondary door proposed for removal is on the left.



Request #1 – Secondary door proposed for removal.



Request #s 2 and 3 – existing windows on left (East) side elevation.

Window #s 17 and 18.      Window #21.





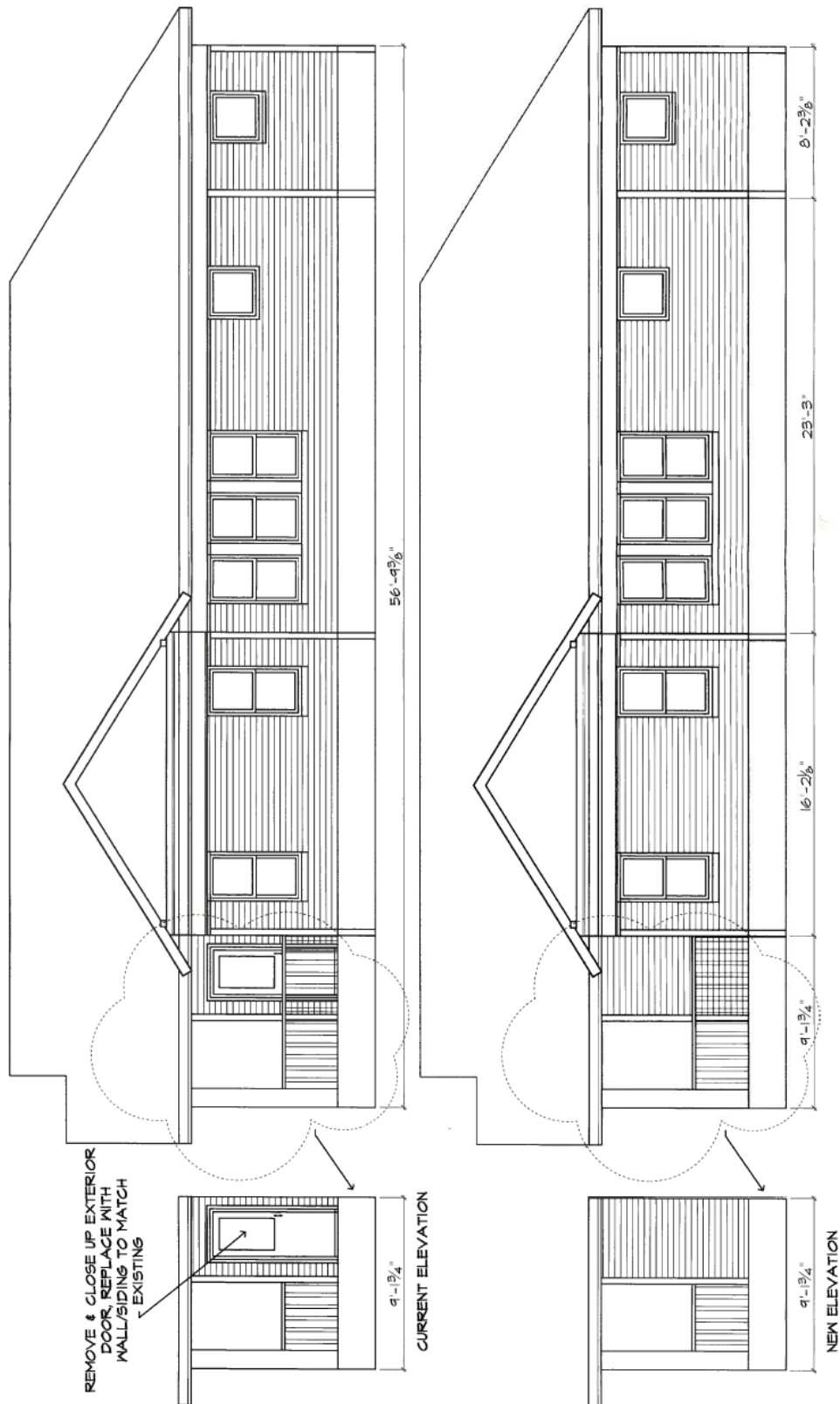
Request # 2 – Existing two windows (#s 16 and 17) at rear of left (East) elevation.



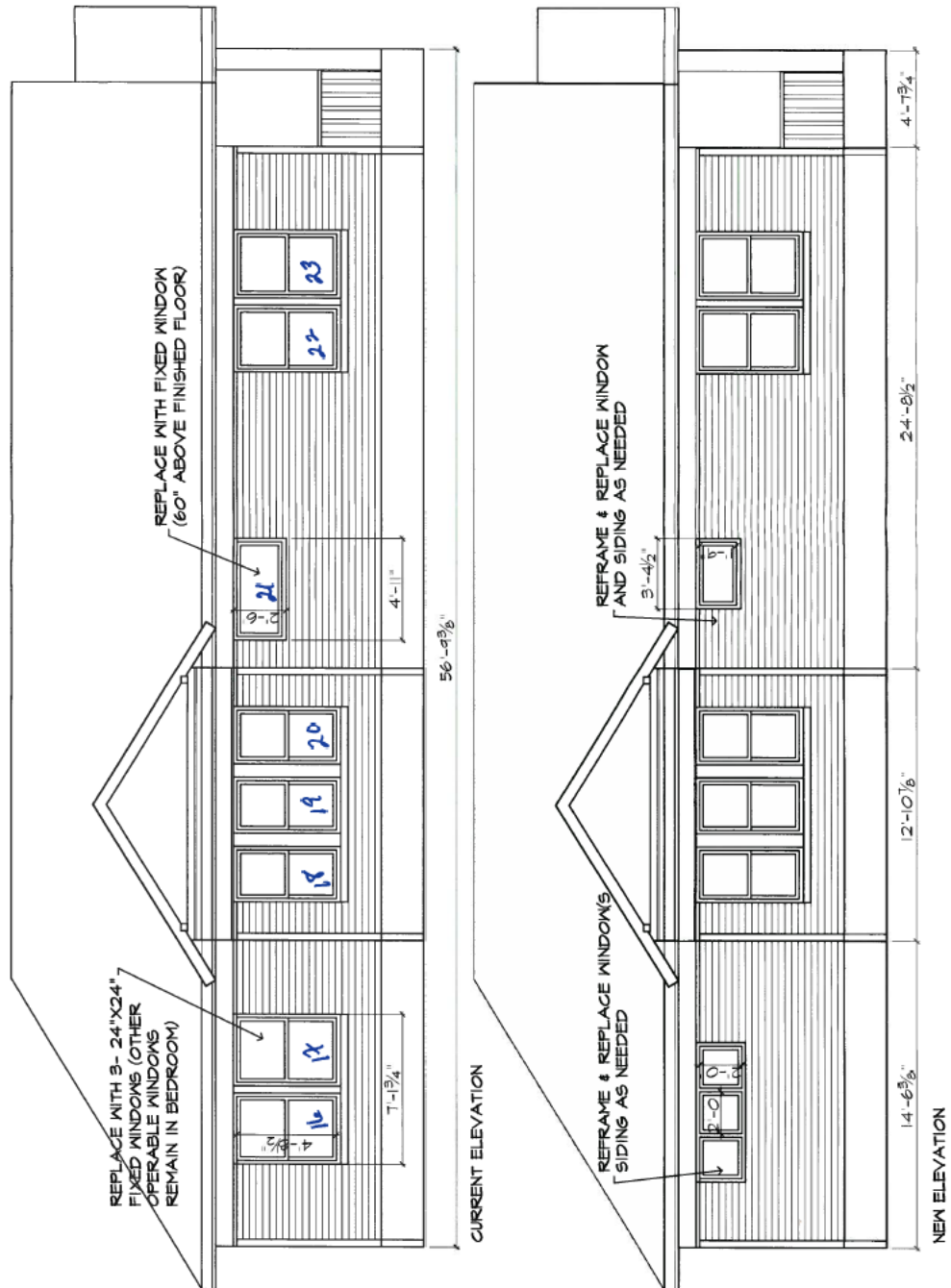
Request #3 – Existing window (#21) at front of left (East) elevation.



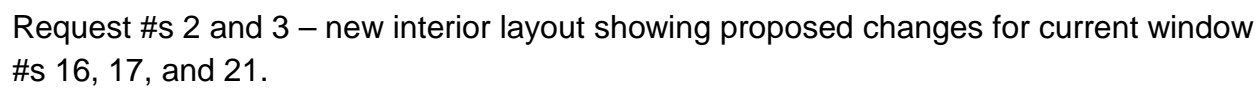




Request #1 – Existing and proposed elevations, showing removal of secondary door.



Request #s 2 and 3 – current and proposed elevations for replacing and resizing Window #s 16, 17, and 21.



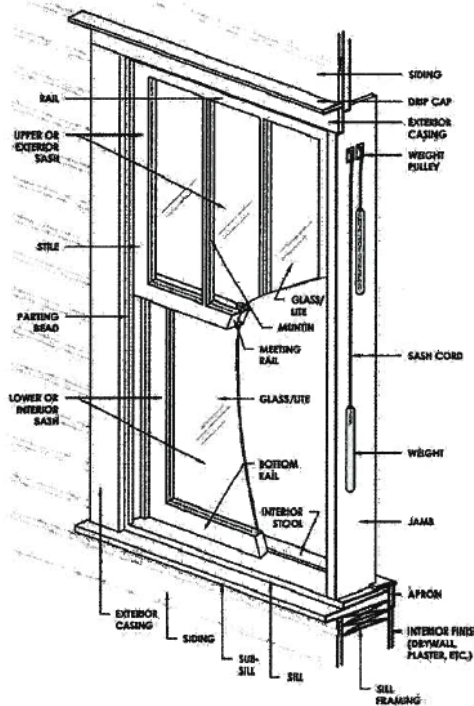


COA— Applicant Name: <u>Doug Hathcock</u>	Date Received: _____ Received by: _____
----------------------------------------------	--------------------------------------------

### Window Survey Form

Have	Basic Requirements
<input checked="" type="checkbox"/>	1. Photographs or drawing of each elevation of the structure, with all the window openings on each elevation numbered.
<input checked="" type="checkbox"/>	2. Photographs of each window opening <i>numbered</i> corresponding to the photographs or drawings from #1.
<input checked="" type="checkbox"/>	3. Condition Evaluation of each window (see reverse).
<input checked="" type="checkbox"/>	4. Proposed window design (casement, fixed, etc.), pattern (3/1, 6/6, 1/1, etc.), materials (wood, vinyl, clad, etc.), etc. Specify if different for certain openings.
<input checked="" type="checkbox"/>	5. Proposed window product brochure/information that includes the company's depiction or photograph (not wind load information) of actual windows. We need to know what they look like on the exterior.
<input type="checkbox"/>	6. Other _____

**ALL window openings** on the structure should be assigned a **number** and **described** under the same number on the back of this sheet. Even those not being replaced should be assigned a number, however a photograph of those windows is not necessary, note on the second page that you aren't looking to replace that window number.



Windows in **pairs** or **groupings** should be assigned **separate** numbers. Windows in dormers and small fixed windows *should* also be included, but *not* door sidelights or transoms associated with a door.

On the second page, describe the issues and conditions of each window in detail, referring to the specific parts of the window (see diagram to the left). The photographs can be from the interior, exterior, or both. **Additional close-up photographs**, showing evidence of window condition, **MUST** be provided to better document problem areas.

The Planning and Development Department's evaluation and recommendation is based on deterioration/damage to the window unit, and associated trim. Broken glass and windows that are painted shut are not necessarily grounds for approving replacement.

Total Number of Window Openings on the Structure	
Number of Historic Windows on the Structure	
Number of Existing Replacement/Non-Historic Windows	
Number of Windows Completely Missing	
Total Number of Windows to be Replaced	<u>43</u>

Window survey, page 1.

COA—  
Applicant Name: Doug Hathcock

Date Received: \_\_\_\_\_  
Received by: \_\_\_\_\_

### Window Survey Form—Window Condition Report

Window #	Window Condition
1	Fair
2	Fair
3	Fair
4	Fair
5	Fair
6	Fair
7	Fair
8	Fair
9	Fair
10	Fair
11	Fair
12	Fair
13	Fair
14	Fair
15	Fair
16	Fair
17	Fair
18	Fair
19	Fair
20	Fair

Window #	Window Condition
21	installed sideways
22	not original
23	Not original
24	Not original
25	Not original
26	Not original
27	
28	
29	
30	
31	
32	
33	
34	
35	
36	
37	
38	
39	
40	

Window survey, page 2.

100-1 \*\*\* Product \*\*\*

\$102.10

1

\$102.10



Tuscany Direct Set Direct Set 23.5 x 23.5

\*\*\* Dimensions \*\*\*

Call Width = 24

Call Height = 24

Frame Width = 23.5

Frame Height = 23.5

\*\*\* SKU \*\*\*

SKU = 301390

SKU Description = S/O MILGARD VINYL WNDWS

Vendor Name = Milgard Windows and Doors

Vendor Number = 60502414

Plant Location = Milgard, Grand Prairie (TX)

Customer Service = 1-800-645-4273 (800-Milgard)

Catalog Version Date = 10/17/2016

WarrantyInfo = warranty.png

\*\*\* Additional Information \*\*\*

Select Room Location = Unanswered

Is this a Re-make? = Unanswered

\*\*\* Model \*\*\*

Series = 8320T

Model = PW

\*\*\* Ratings \*\*\*

U-Factor = .28

Solar Heat Gain Coefficient = .22

Visible Light Transmittance = .51

CPD = MILA-229-08120-00004

STC = No Rating

\*\*\* Glass \*\*\*

Smallest Glass Area = 2.408963

Largest Glass Area = 2.408963

Glazing Type = Dual Glazed

Glass Strength = Annealed

Energy Package = Energy Star South-Central

Outer Glass Lite = SunCoatMAX

Inner Glass Lite = Clear

Outer Lite Thickness = 3/32"

Inner Lite Thickness = 3/32"

Gas Filled = Argon Gas

Spacer Type = EdgeGardMAX

Double Strength Glass = No

Checkrail = No

\*\*\* T-Bar Mull \*\*\*

Add a T-Bar Mull? = No

\*\*\* Color \*\*\*

Exterior Finish = White

Interior Finish = White

\*\*\* Unit Type \*\*\*

Unit Type = Complete Unit

Material = Vinyl

Operation/Venting = Direct Set

\*\*\* Wrapping - Frame Accessories \*\*\*

Fin Type = 1 3/8" Setback

\*\*\* Wrapping - Interior Accessories \*\*\*

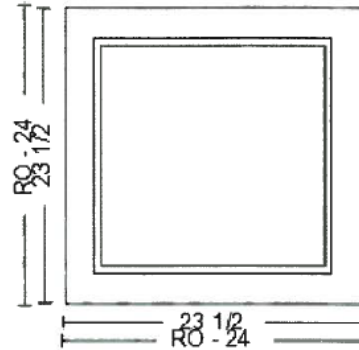
Wall Condition = 4 9/16"

Jamb Material = Douglas Fir

Jamb Liner Application = 4 Sides

\*\*\* Wrapping - Overall Dimensions \*\*\*

Overall Frame Width = 23.5



Proposed window specifications.

CA167-159(MP)

D2-19



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Request #1 –

### 5.0 FENESTRATION AND OPENINGS

- 5.1 Historic doors and windows must remain intact and their openings must be preserved on protected facades except that doors and windows may be replaced if necessary due to damage or deterioration.

Request #2 –

### 5.0 FENESTRATION AND OPENINGS

- 5.3 Replacement doors and windows must express mullion size, light configuration, and material to match the original.

Request #3 –

### 5.0 FENESTRATION AND OPENINGS

- 5.3 Replacement doors and windows must express mullion size, light configuration, and material to match the original.

**TASK FORCE RECOMMENDATION REPORT**  
**JUNIUS HEIGHTS**

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Doug Hathcock  
Address: 5540 Victor St.

Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments / basis:

1. ~~No~~ - May of those homes <sup>in 5th</sup> had two front doors.
2. No to removal
3. Removal ok as long as it is wood.

**Task force members present**

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input type="checkbox"/> Terri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

1/12/17

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-168(MP)  
LOCATION: 5411 Worth Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-397

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: Junius Heights  
MAPSCO: 46-B  
CENSUS TRACT: 13.02

**APPLICANT:** Jeff Rogne and Nora Drutz Rogne

**REPRESENTATIVE:** None

**OWNER:** Jeff Rogne and Nora Drutz Rogne

**REQUEST:**

- 1) Remove three windows at rear of left side elevation, fill voids with siding, and paint.
- 2) Remove two windows at front of left side elevation, fill voids with siding, and paint.
- 3) Install eight vents along skirting on rear and side elevations.
- 4) Remove one tree and vegetation along left side elevation.

**BACKGROUND / HISTORY:**

May 4, 2015 - Landmark Commission denied without prejudice the request to remove the three windows (#s 15, 16, and 17) on the rear left side elevation and the two windows (#s 9 and 10) on the front left side elevation (CA145-323(MP)).

The structure is listed as contributing to the Junius Heights historic district.

**ANALYSIS:**

Request #s1 and 2 – In Spring of 2015, the former property owner removed all historic windows on the house without a Certificate of Appropriateness. When CA145-323(MP) was reviewed, the Landmark Commission denied without prejudice the request to remove the rear three windows and the front two windows on the left side elevation. The applicant replaced the windows with wood one-over-one windows to match the original windows in style, material, and size. Due to the interior configuration of rooms, the applicant was encouraged to leave the windows intact, but put up drywall inside to better preserve the exterior historic integrity.



Upon review of the current request to remove these same windows, Staff is supportive of Request #1. This is inconsistent with Staff recommendation and Landmark Commission's denial without prejudice in the previous CA when emphasis was placed on replacing the windows that had been removed to match the originals. The Junius Heights ordinance allows more flexibility for windows and doors not located within a protected façade. Task Force was also supportive of the removal of the three windows because they are within the rear, but suggested the installation of a small one-over-one window (over the interior toilet) to allow some light.

Staff is not supportive of Request #2 because this is a protected façade. Task Force suggested that applicant relocate the windows more toward the front of the elevation to better accommodate the interior space. Staff is not supportive of this as it would affect the historic solid-to-void ratio.

The applicant is agreeable to both Task Force recommendations, i.e., to install a small window in the rear of left elevation upon removal of the existing three windows (Request #1) and to move the two windows in front of left side elevation even closer to the front corner (Request #2).

Request #3 – Staff and Task Force are recommending approval of the vents as they would not have an adverse effect on the house.

Request #4 – Staff and Task Force are recommending approval of tree and shrub removal. Photos were sent to City Arborist who agreed with Staff recommendation.

#### **STAFF RECOMMENDATION:**

- 1) Remove three windows at rear of left side elevation, fill voids with siding, and paint – Approve – Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Remove two windows at front of left side elevation, fill voids with siding, and paint – Deny without prejudice – The proposed work does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i) because it is inconsistent with preservation criteria Section 5.1 for historic doors and windows.
- 3) Install eight vents along skirting on rear and side elevations – Approve – Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 4) Remove one tree and vegetation along left side elevation – Approve – Approve photos dated 1/18/2017 with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

#### **TASK FORCE RECOMMENDATION:**

- 1) Remove three windows at rear of left side elevation, fill voids with siding, and paint – No quorum, comments only. Approve removal of three back windows (15, 16, 17) and replace with 1/1 window over toilet.

- 2) Remove two windows at front of left side elevation, fill voids with siding, and paint – No quorum, comments only – Approve moving two windows on left side elevation (9 & 10) forward to allow bedroom to have windows. Measurements to be submitted.
- 3) Install eight vents along skirting on rear and side elevations – No quorum, comments only. Vents – yes.
- 4) Remove one tree and vegetation along left side elevation – No quorum, comments only. Tree removal – yes.

Certificate of Appropriateness (CA)  
City of Dallas Landmark Commission

CA 167-168 (MP)  
Office Use Only

Name of Applicant: Jeff and Nora Roney  
Mailing Address: 5411 Worth Street  
City, State and Zip Code: Dallas, TX 75214  
Daytime Phone: 406.208.6068 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Owner

PROPERTY ADDRESS: 5411 Worth Street  
Historic District: Junius Heights

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

- 1) Remove two windows on left side elevation, fill voids with siding, and paint.
- 2) ~~Remove carport~~ CD
- 3) ~~Replace concrete driveway with new concrete driveway~~ ROUTINE
- 4) Install eight vents along skirting on rear and side elevations.
- 5) Remove one tree and vegetation along left side elevation.

~~away and carport are badly aged~~  
~~leak under the home, causing~~  
~~rot and remove / replace the~~  
~~ately the same location as the~~  
~~concrete with a rebar 2-16" EW~~

RECEIVED BY

and will slope slightly away from the property.  
Signature of Applicant: [Signature]

Date: 1/9/2017 JAN 05 2017

Signature of Owner: \_\_\_\_\_

(IF NOT APPLICANT)

Date: \_\_\_\_\_

**APPLICATION DEADLINE:**

Current Planning

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

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**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ APPROVED. Please release the building permit.
- ☐ APPROVED WITH CONDITIONS. Please release the building permit in accordance with any conditions.
- ☐ DENIED. Please do not release the building permit or allow work.
- ☐ DENIED WITHOUT PREJUDICE. Please do not release the building permit or allow work.

Sustainable Construction and Development

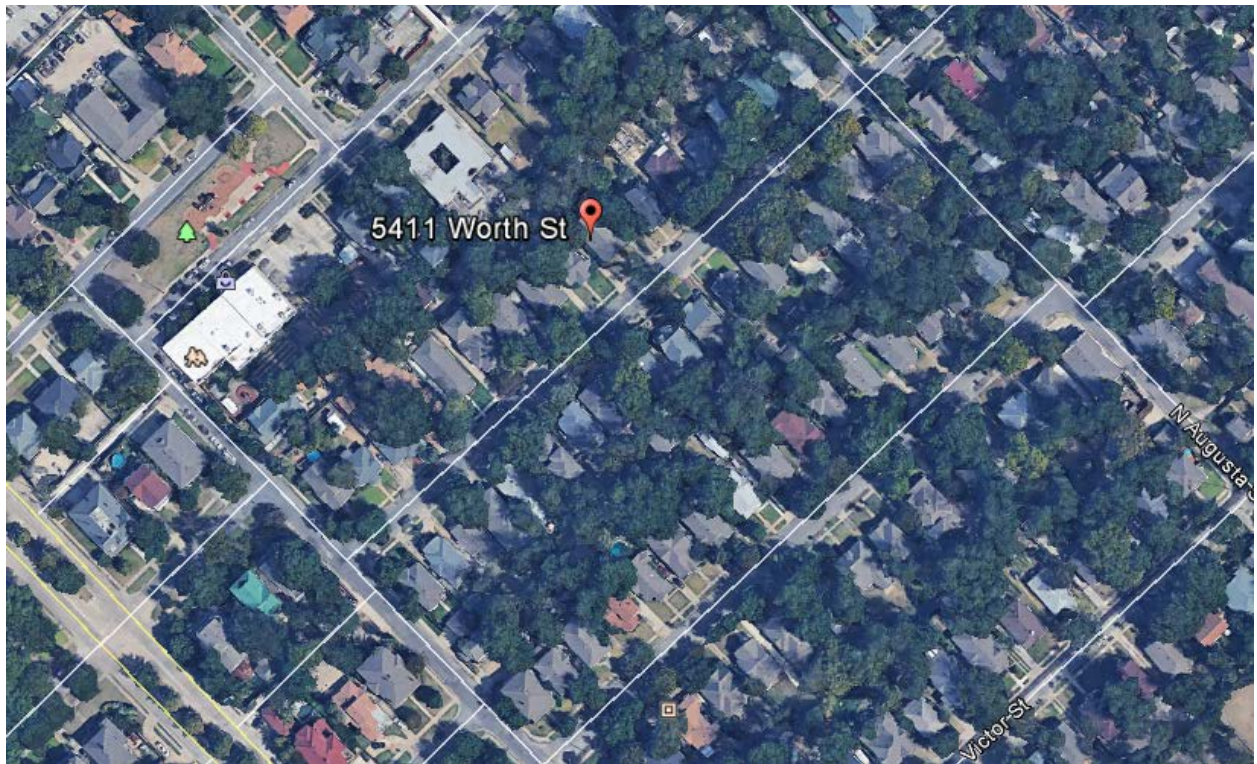
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial View, 5411 Worth.



Front (South) elevation.





View to left (West) of 5411 Worth.



View to right (East) of 5411 Worth.



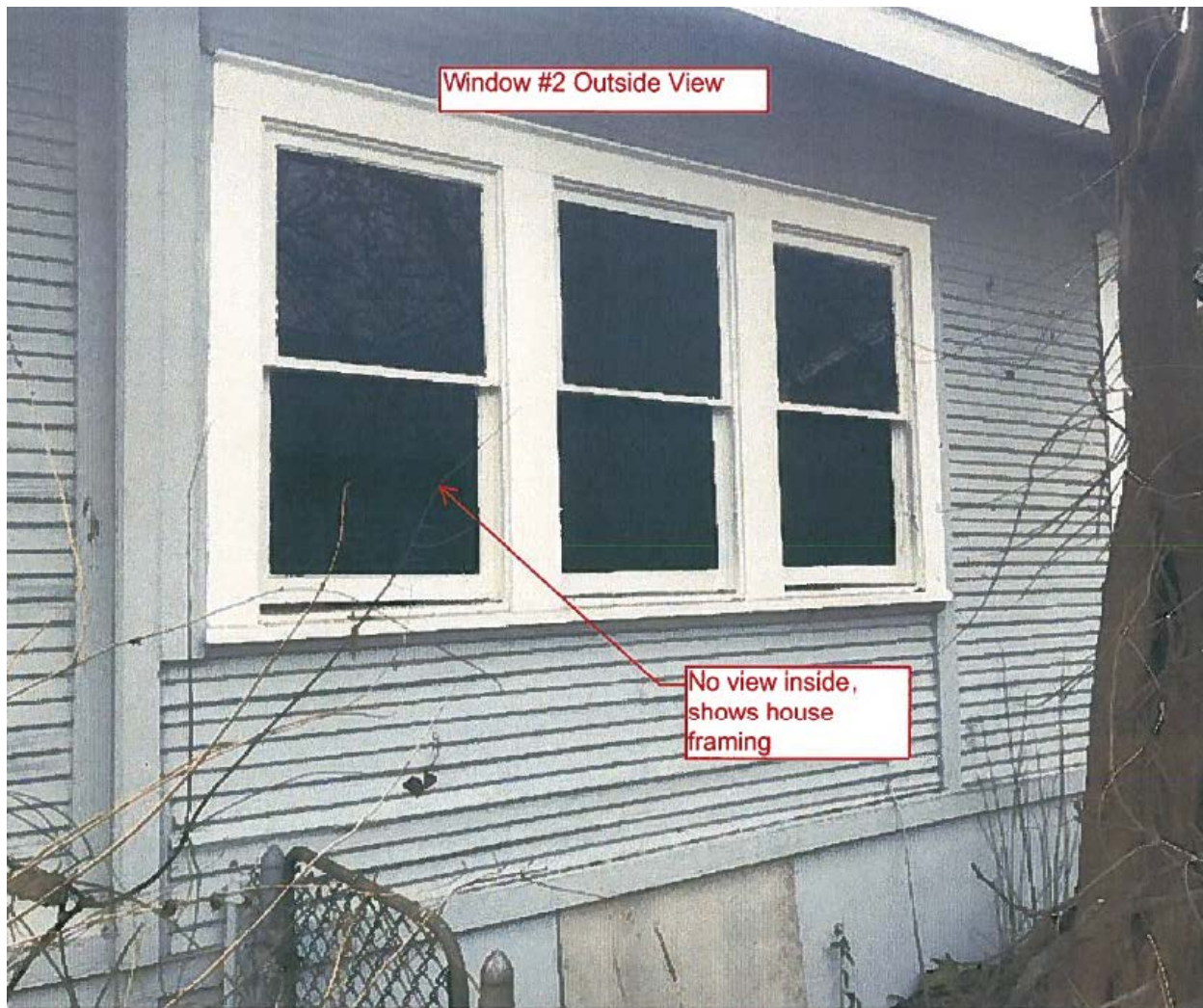


View across the street (South) from 5411 Worth.



Photo submitted by applicant.





1/17/2017

Request #1 –Three windows at rear of left side elevation proposed for removal.





1/18/2017

Request #1 – Interior view where three windows at rear of left side elevation exist.



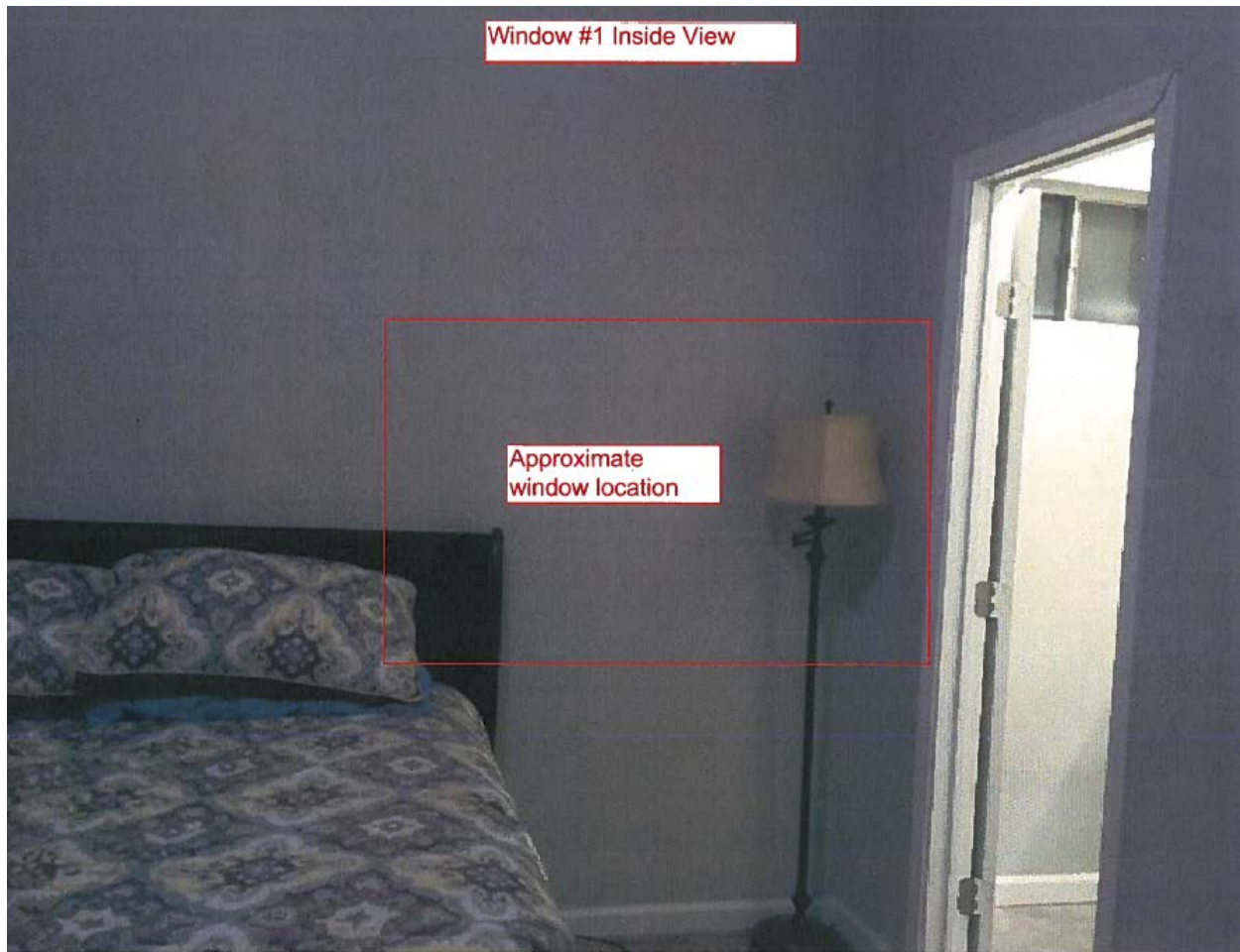
Request #2 – Two windows on front of left side elevation proposed for removal.





Request #2 – Close up photo of windows at front of left side elevation, showing view of framing through the window.





Window #1 Inside View

Approximate  
window location

1/18/2018

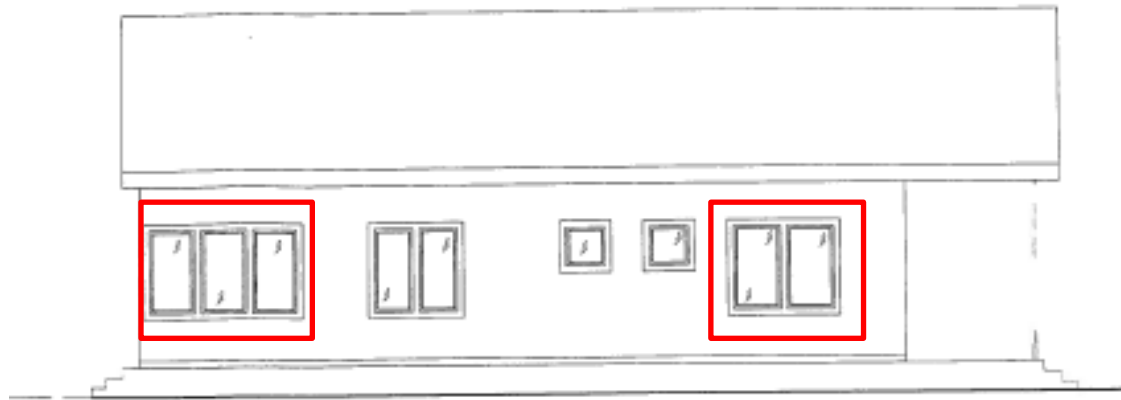
Request #2 – Interior view where two windows at front of left side elevation exist.



(3 windows for Request #1)

(2 windows for Request #2)

Request #s 1 and 2 – Photo from previous CA (CA145-323(MP)), showing location on left side elevation of three windows at rear proposed for removal and two windows at front proposed for removal.



LEFT ELEVATION  
SCALE: 1/4"=1'-0"

Request #s 1 and 2 – Elevation from previous CA (CA145-323(MP)), showing location on left side elevation of windows proposed for removal.



After purchasing the property, it was discovered that, while renovating the existing floor plan, the previous owners framed up two (2) windows on the left (west) side of the house from the inside but let the windows in place on the outside. Therefore, these windows show the home's framing when looked through from the outside. Putting the windows back into place is not an option because they will be in conflict with the walls and shower of the remodeled floor plan installed by the previous owner. For reasons of aesthetics and energy efficiency, we propose to remove these two windows and their frames, install insulation in the voids left behind the windows and over up the areas with siding that matches the look of the existing siding on the home. The siding will then be painted the same color as the rest of the home; upon approval an existing paint chip will be matched at a local vendor to achieve this. A sample can be completed prior to the start of work upon request. Less than 10% of the surface area on the left side of house will be affected.

Request #s 1 and 2 – Applicant's explanation for proposed removal of five windows on left side elevation. Note: applicant refers to ganged windows as a single window, hence the discrepancy in applicant's request to remove 2 windows and Staff's reference to 5 windows.



1/11/2017

Request #3 – One of three locations on right (East) side elevation where vents are proposed.



1/18/2017

Request #3 – One of three locations on right (East) side elevation where vents are proposed.





Request #3 – One of three locations on right (East) side elevation where vents are proposed.



Request #3 – One of three locations on left (West) side elevation where vents are proposed.

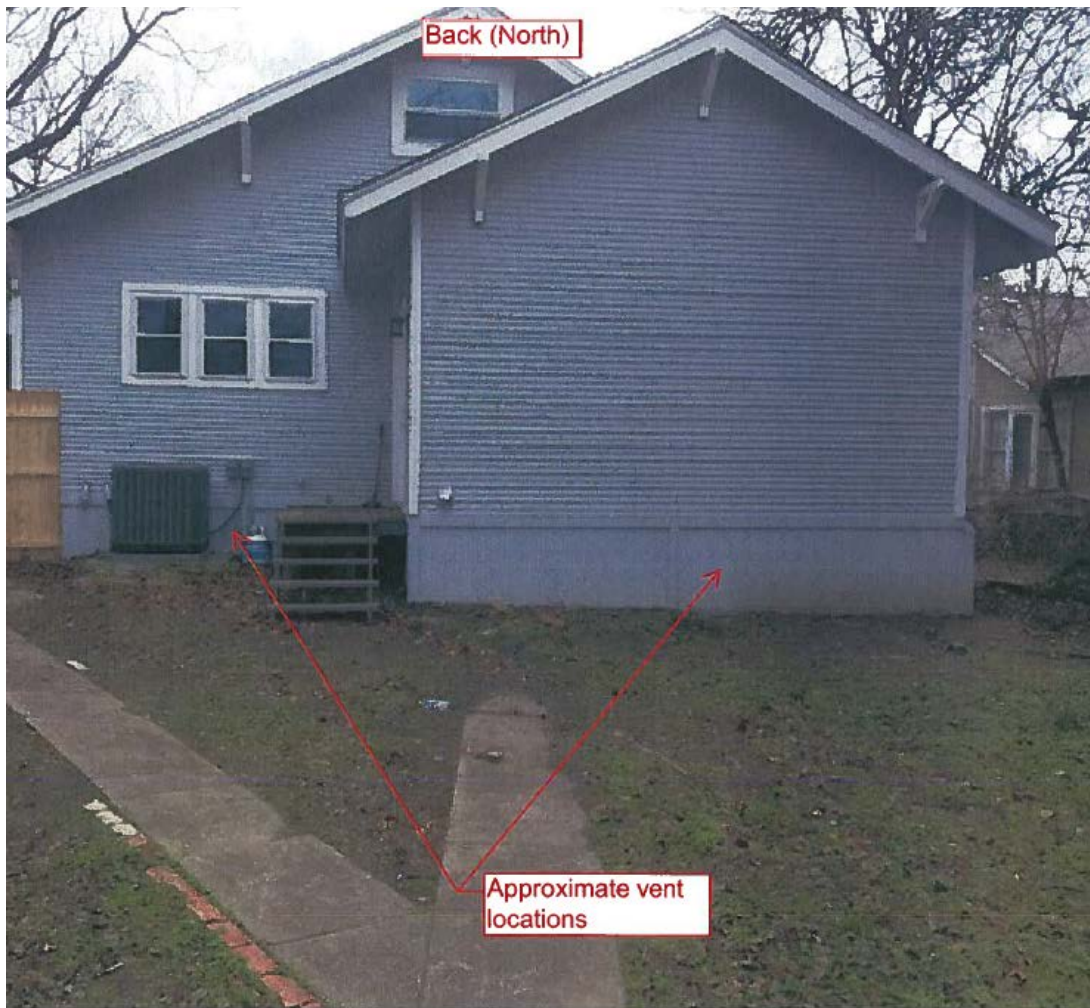




Request #3 – One of three locations on left (West) side elevation where vents are proposed.



Request #3 – One of three locations on left (West) side elevation where vents are proposed.



1/18/2017

Request #3 – Locations on rear elevation where vents are proposed.

To minimize future foundation settling and movement. We propose adding crawl space ventilation at the locations shown on the attached drawing. A specification sheet for the proposed vents is attached. A total of eight (8) EA vents will be installed, three (3) along the right (east), two (2) along the back (north) and three (3) along the left (west). No vents will be installed along the front of the property. Less than 5% of skirting affected.

Request # 3 – Applicant's explanation for proposed installation of vents.



12/25/2016

Ventamatic 17.25 in. x 9.75 in. ABS Plastic Automatic Foundation Vent in Black-FV1000-BL - The Home Depot

[Home](#) / [Heating, Venting & Cooling](#) / [Ventilation](#) / [Roofing & Attic Ventilation](#) / [Foundation Vents](#)



Model # FV1000-BL Internet #206690326



### Ventamatic

17.25 in. x 9.75 in. ABS  
Plastic Automatic  
Foundation Vent in Blac

★★★★★ (2)

[Write a Review](#)

[Questions  
Answers \(](#)

**\$18.00** /each

#### Pick Up In Store

This product isn't currently sold in stores

#### We'll Ship It to You

Out of stock online

Receive an email if this item is back in stock.

Email

[Notify Me](#)

## Product Overview

The Ventamatic Automatic foundation vent is a hassle free way to ensure adequate ventilation and cross breeze in crawl spaces. The automatic vent uses a bi metal coil that causes the shutters on the vent to close at 40°F to prevent cold air from entering the crawl space. This vent automatically opens at 70°F to help keep excess moisture from building up in the crawl space during warmer months.

- Automatically closes at 40°F to keep out cold air
- 18 in. Lintel for new construction or replacement
- Stainless steel and corrosion resistant metal parts
- Heavy duty rodent proof mesh prevents animals from entering crawl space
- 16 in. Wide x 8 in. long rough opening dimensions

### Info & Guides

[Instructions / Assembly](#)

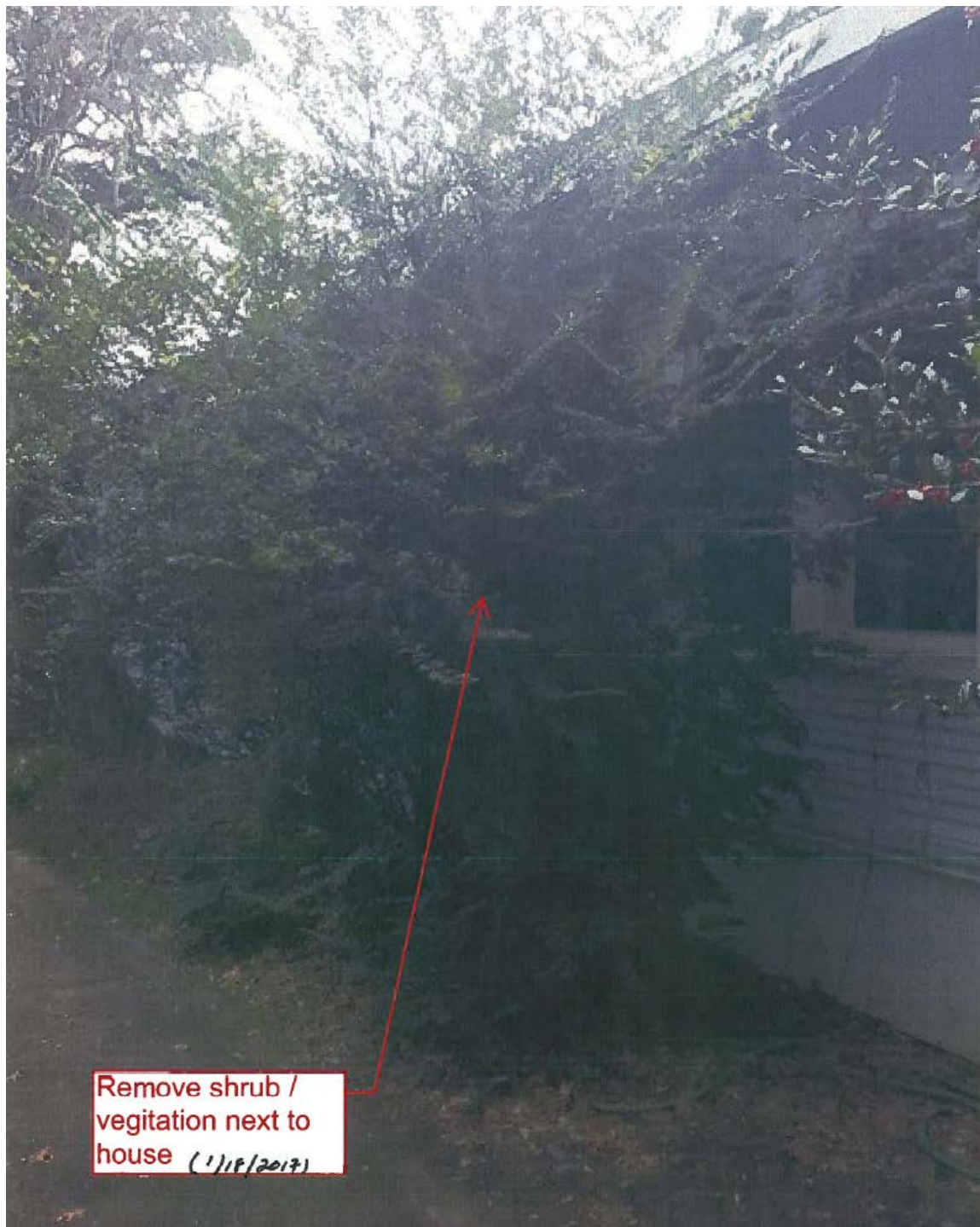
You will need Adobe® Acrobat® Reader to view PDF documents.  
[Download](#) a free copy from the Adobe Web site.

## Specifications

1/11/2017

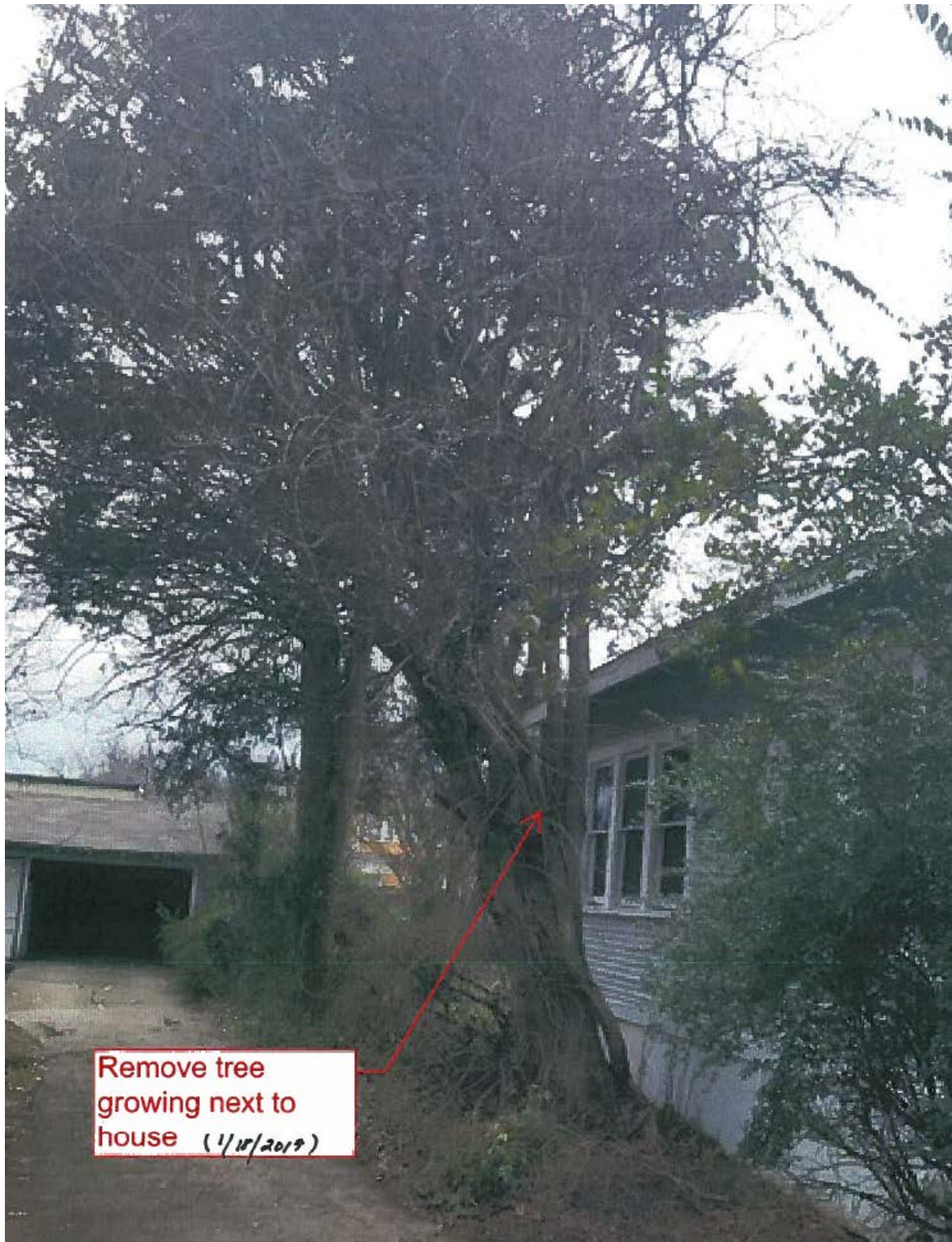
<http://www.homedepot.com/p/Ventamatic-17-25-in-x-9-75-in-ABS-Plastic-Automatic-Foundation-Vent-in-Black-FV1000-BL/206690326>

Request #3 – Specifications for proposed vents.



Request #4 – Shrub on left side elevation proposed for removal.





Request #4 – Shrub on left side elevation proposed for removal.



Along the left (west) side of the property, overgrown vegetation and trees up against the property has resulted in, and will continue to result in, foundation movement. We propose to remove this vegetation and regrade the ground to slope away from the property to avoid future foundation issues. Future replacement landscaping in this area will be included on a future application.

Request # 4 – Applicant's explanation for proposed removal of tree and shrub on left side elevation.

I believe the removal is justified. I have no objections.

Sent via the Samsung Galaxy S® 5 ACTIVE™, an AT&T 4G LTE smartphone

----- Original message -----

From: "Prior, Marsha" <[marsha.prior@dallascityhall.com](mailto:marsha.prior@dallascityhall.com)>

Date: 1/19/2017 8:45 AM (GMT-06:00)

To: "Erwin, Philip" <[philip.erwin@dallascityhall.com](mailto:philip.erwin@dallascityhall.com)>

Subject: 5411 Worth - Tree and shrub removal request

Good morning, Philip.

I have an applicant who wishes to remove a tree and some vegetation growing next to the left side elevation. House is at 5411 Worth in the Junius Heights Historic District. Please note that the document includes two photos (please scroll down). I'm also attaching a photo of the front of the house. Our task force did not have any issue with the removal and I'm leaning toward recommending approval to the Landmark Commission – but will defer to any concerns you have. Do you have time to respond by next Tuesday (Jan 24)?

Any comments?

**Marsha Prior**

**Planner – Historic Preservation**

Request #4 – Email exchange regarding proposed removal of tree and shrub.  
Response from City of Dallas Chief Arborist.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### Request #1 –

There is no specific criteria for this structure in the Junius Heights preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

### Request #2 –

#### 5.0 Fenestration and Openings

5.1 Historic doors and windows must remain intact and their openings must be preserved on protected facades except that doors and windows may be replaced if necessary due to damage or deterioration.

### Request #3 –

There is no specific criteria for this structure in the Junius Heights preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.



Request #4 –

There is no specific criteria for this structure in the Junius Heights preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

# TASK FORCE RECOMMENDATION REPORT

JUNIUS HEIGHTS

DATE: 1/12/2017

TIME: 5:30 P.M.

MEETING PLACE: Lakewood Library, 6121 Worth

Applicant Name: Jeff & Nora Roney  
Address: 5411 Worth Street

Date of CA/CD Request: 1/5/2017

## RECOMMENDATION:

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

CA 1. Approve moving two windows on left side down  
(90°) forward to allow bedroom to have windows.  
Measurements to be submitted.

Approve removal of three back window 15-16-17  
& replaced with lower 1 window over toilet.

CD 2. yes to removal.

Task force members present

<input checked="" type="checkbox"/> Rene Schmidt (Chair)	<input checked="" type="checkbox"/> Laura Koppang	<input type="checkbox"/> VACANT
<input type="checkbox"/> Mary Mesh	<input checked="" type="checkbox"/> Ferri Raith	<input type="checkbox"/> VACANT
<input type="checkbox"/> Barbara Cohen	<input checked="" type="checkbox"/> Morgan Harrison	<input type="checkbox"/> VACANT

Ex Officio staff members present ☒ Marsha Prior

Simply Majority Quorum: ☐ yes ☒ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE Jan. 12, 2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

- §
4. Vents - yes ~~to~~ addition
5. Tree removal - yes.





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**LANDMARK COMMISSION**

FEBRUARY 6, 2017

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FILE NUMBER: CA167-187(JKA)  
LOCATION: 428 E 6<sup>TH</sup> Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 468

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Lake Cliff  
MAPSCO: 54-D  
CENSUS TRACT: 0020.00

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**APPLICANT:** Robert Garza

**OWNER:** MARGARITA R MOLINA

**REQUEST:**

1. Remove carport on east side of the main structure.
2. Remove rear porch cover.
3. Remove west side window roof cover.
4. Replace two front doors.
5. Replace rear door.
6. Remove side door and steps and replace with window.
7. Replace aluminum windows on west side.
8. Replace siding on rear and sides of the main structure with brick to match existing.
9. Install GAF Timberline composition shingles in color "Weathered Wood."

**BACKGROUND / HISTORY:** None.

The structure is listed as contributing to the Winnetka Heights historic district.

**ANALYSIS:**

1. The applicant wishes to remove the carport on the side façade of the main structure. Staff does not believe the carport is original since the design is not typical of an Arts and Crafts style carport or porte-cochere and is supportive of the removal. Staff is recommending approval with the finding that the work meets the preservation criteria and City Code.
2. Staff believes that the historic rear porch was enclosed at one time and the existing rear porch cover was installed to create new porch space. Staff is supportive of the removal of the rear porch cover since it is not original and is recommending approval with the finding that it meets the preservation criteria and City Code.

3. Staff does not believe that the cover over the window is original to the main structure or a defining feature. Staff is recommending approval of the removal of the cover with the finding that it meets the preservation criteria and City Code.
4. The existing front doors are not original to the main structure. Staff believes that the proposed main entry door and the proposed secondary door are both appropriate to the main structure and is recommending approval with the finding that the work meets the preservation criteria and City Code.
5. The existing rear door is not original to the main structure. Staff believes that the proposed door is appropriate to the main structure and is recommending approval with the finding that the work meets the preservation criteria and City Code.
6. The applicant has not submitted sufficient evidence that the side door is not original to the structure, and has also not submitted scaled drawings showing the proposed work. Therefore Staff is recommending Denial without Prejudice so these items can be submitted.
7. The applicant has not submitted scaled drawings showing the proposed work. Therefore Staff is recommending Denial without Prejudice so these items can be submitted.
8. Staff believes that the existing siding on the rear is infill for the historic porch openings. Rear sleeping porches were common on Craftsman style homes and staff is not supportive of removing evidence of this defining feature by infilling the original openings with brick. Staff is recommending Denial without Prejudice of the proposed work.
9. The existing shingles are white. Staff is supportive of the request to change the roof color to brown and is recommending approval of the proposed work with the finding that it meets the preservation criteria and City Code.

**STAFF RECOMMENDATION:**

1. Remove carport on east side of the main structure – Approve – Approve site plan dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 3.5 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
2. Remove rear porch cover – Approve – Approve site plan dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 4.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
3. Remove west side window roof cover – Approve - Approve the photograph dated 01-17-17 with the finding that the work is consistent with preservation criteria Section 6.3 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
4. Replace two front doors – Approve – Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 5.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).
5. Replace rear door – Approve – Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 5.2 and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

6. Remove side door and steps and replace with window – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the applicant has not met the burden of proof required to justify the work and because scaled elevation drawings have not been submitted.
7. Replace aluminum windows on west side – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because the applicant has not met the burden of proof required to justify the work and because scaled elevation drawings have not been submitted.
8. Replace siding on rear and sides of the main structure with brick to match existing – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 8.1 stating that historic architectural features are protected and because Staff considers the original rear porch openings to be important historic architectural features.
9. Install GAF Timberline composition shingles in color "Weathered Wood" – Approve – Approve specifications dated 01-17-17 with the finding that the proposed work is consistent with preservation criteria Section 51P-87.111(a)(8)(E) and meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

1. Remove carport on east side of the main structure – None – No quorum, comments only. Support.
2. Remove rear porch cover – None – No quorum, comments only. Support.
3. Remove west side window roof cover – None – No quorum, comments only. Support.
4. Replace two front doors – None – No quorum, comments only. Support. Needs pictures of doors.
5. Replace rear door – None – No quorum, comments only. Support.
6. Remove side door and steps and replace with window – None – No quorum, comments only. Support. Need brick and window specifications.
7. Replace aluminum windows on west side – None – No quorum, comments only. Support. Need window sizes.
8. Replace siding on rear and sides of the main structure with brick to match existing – None – Not reviewed by Task Force.
9. Install GAF Timberline composition shingles in color "Weathered Wood" – None – No quorum, comments only. Support.



Certificate of Appropriateness (CA)  
City of Dallas Landmark Commission

CA 167-187 [JKA]  
Office Use Only

Name of Applicant: Robert P. Garza  
Mailing Address: 223 E. Sixth Street  
City, State and Zip Code: Dallas, Texas 75203  
Daytime Phone: 817-793-1028 Fax: 817-332-9487  
Relationship of Applicant to Owner: Managing Member - Birnbaum Enterprises LLC

PROPERTY ADDRESS: 428 E. Sixth Street, Dallas, Texas 75203  
Historic District: Lake Cliff

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials:

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

1. Remove non-complying carport.
2. Remove non-complying rear porch cover and west side window roof cover.
3. Remove exist. shingles, install decking & re-roof with GAF Timberline or comparable in Weathered Wood Color.
4. Replace (2) front doors, (1) rear door with historically appropriate doors
5. Remove non-original side door and concrete steps and replace with window matching original windows

Signature of Applicant: [Signature] Date: 01-05-17  
Signature of Owner: [Signature] Date: 01-05-17  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

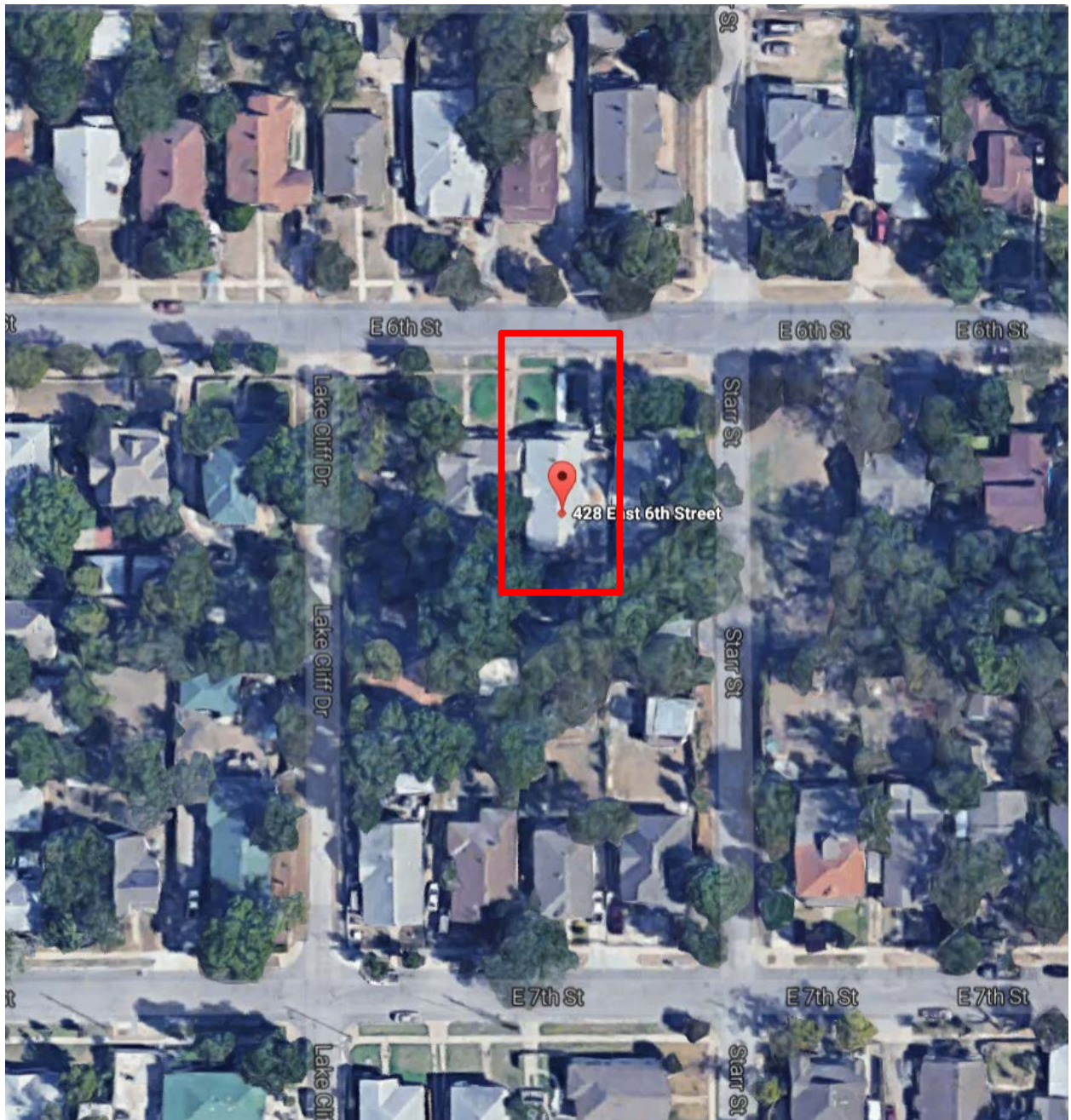
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial image





Main structure





To left of main structure



To right of main structure





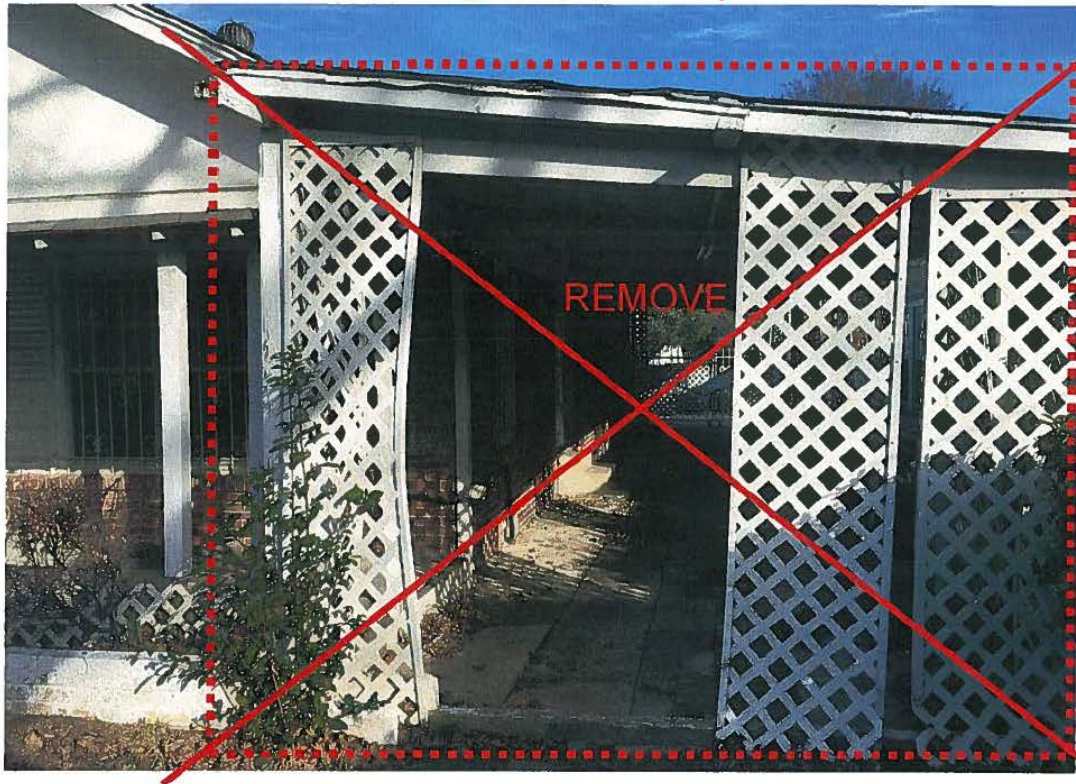
Across street from main structure







428 Existing non-conforming Carport - Proposed removal



Request #1: Carport removal





Request #2: Remove rear porch cover



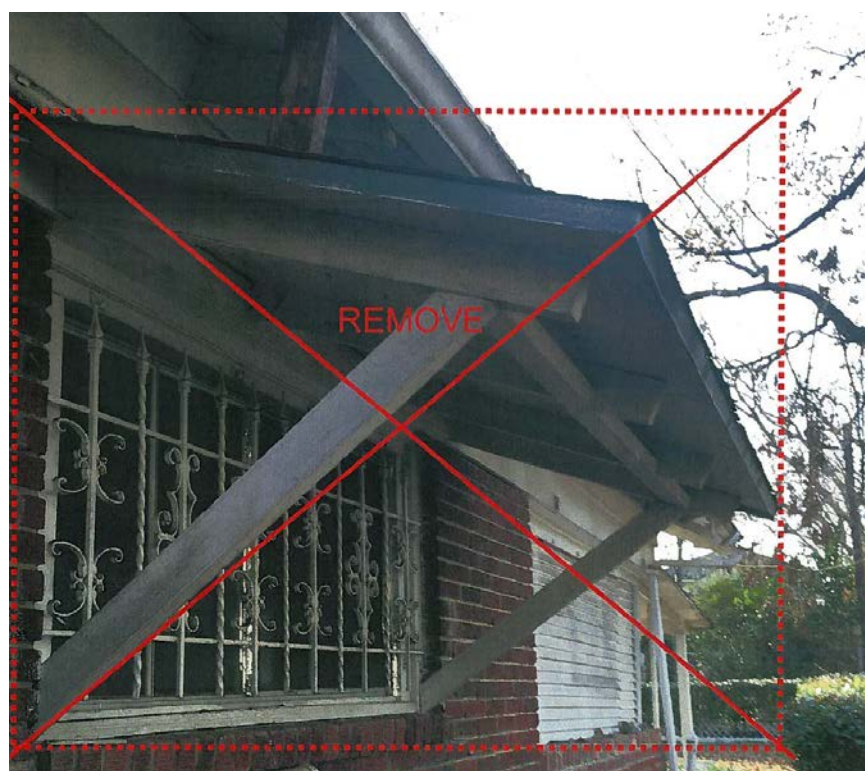
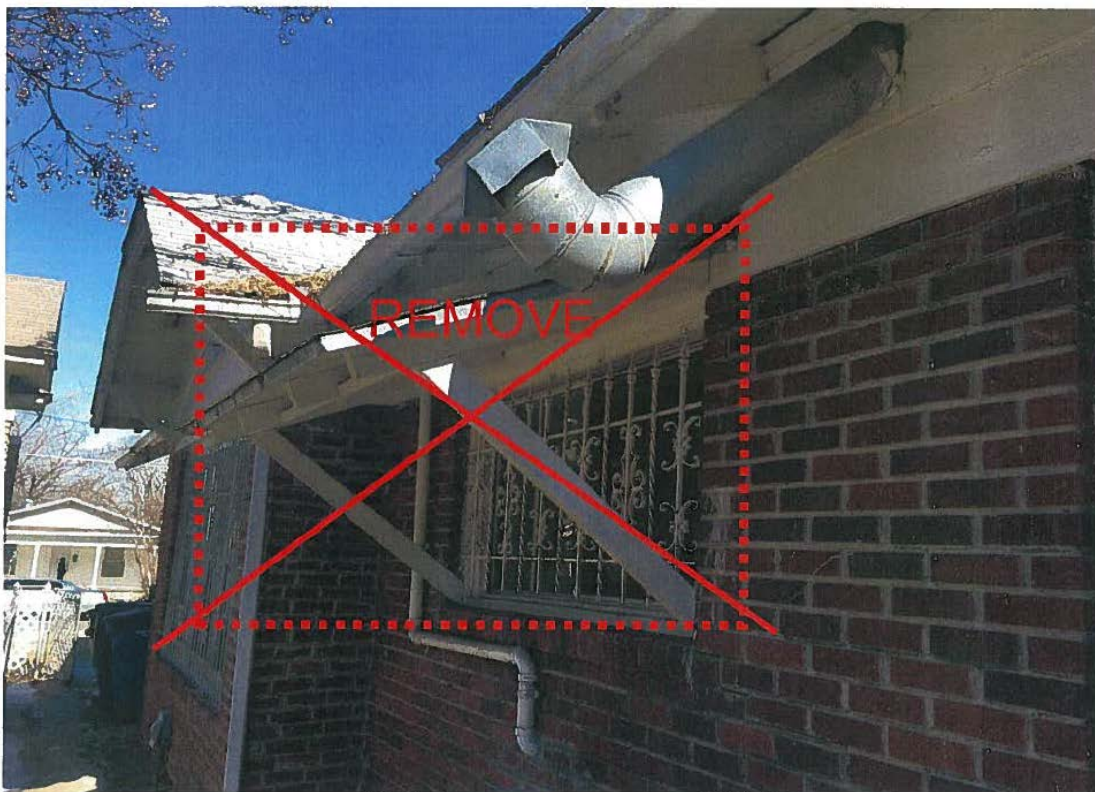


Request #2: Remove rear porch cover





Request #2: Remove rear porch cover



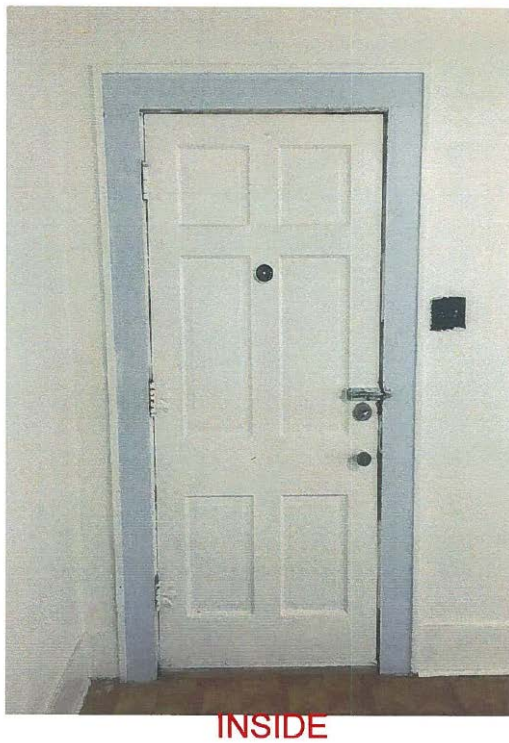
Request #3: Remove window cover



EXISTING FRONT MAIN ENTRY DOOR - 2'-10" X 6'-8"



EXISTING FRONT BEDROOM DOOR - 2'-8" X 6'-8"



Request #4: Replace two front doors





Request #5: Replace rear door



Request #6: replace door with window



EXISTING EAST SIDE BEDROOM DOOR TO WINDOW 2'-8" X 5'-0"



Request #6: Remove side door and replace with window



EXISTING KITCHEN ALUMINUM WINDOW

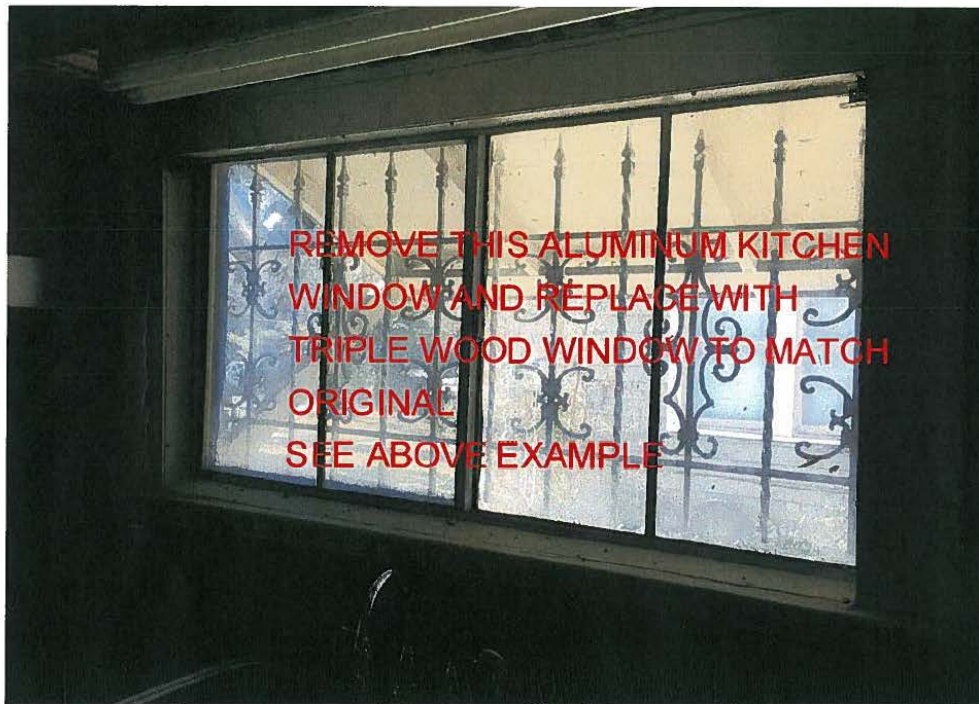
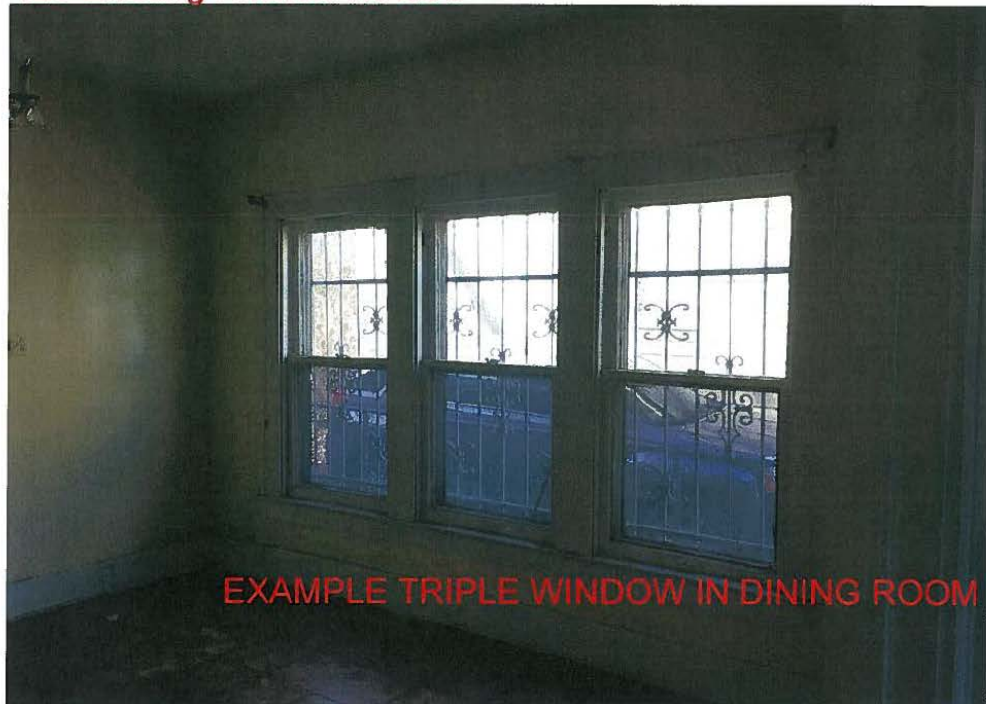


REPLACE WITH PAIR OF 2'-4" X 2'-10" WOOD WINDOWS



Request #7: replace kitchen windows

### 428 Existing Kitchen Window



Request #7: Replace kitchen windows





Request #8: replace siding with brick to match existing



428 - Existing rear where brick was removed

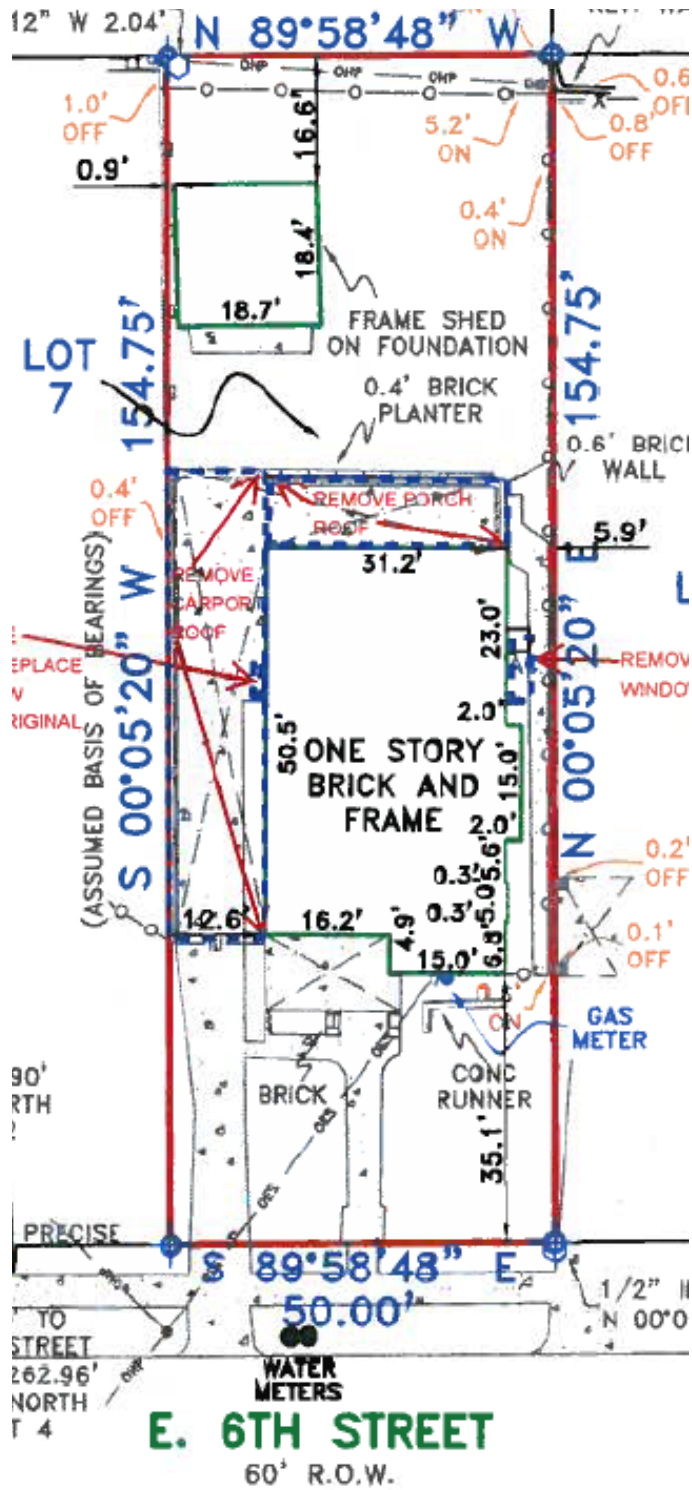


Request #8: replace siding with brick to match existing



Request #9: Replace white shingles with weathered wood.





Site survey



## 37228 — BUNGALOW (SDL)








**SERIES:** Bungalow Series®  
**TYPE:** Exterior Traditional  
**APPLICATIONS:** Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

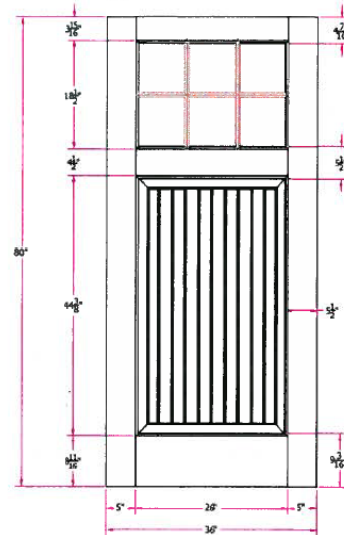
**Construction Type:**  
Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Panels:** 1-7/16" Innerbond® Double Hip-Raised Panel, Beaded V-Groove  
**Glass:** 3/4" Insulated Glazing

### STANDARD FEATURES

-  Any Wood Species
-  Virtually Any Size
-  Glass Options
-  UltraBlock® Technology
-  Privacy Rating: 1

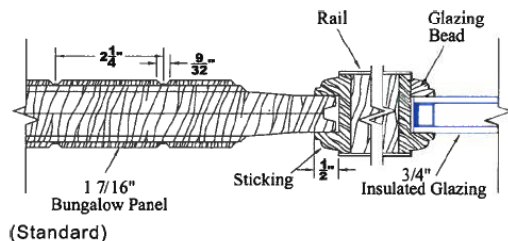
### DETAILED DRAWING



*Main front door*

*1-17-17*

### DETAILS



Request #4: Main entry door proposal

## 7015 — THERMAL FRENCH (TDL)



**SERIES:** Exterior French & Sash Doors

**TYPE:** Exterior French & Sash

**APPLICATIONS:** Can be used for a swing door, with barn track hardware, with pivot hardware, in a patio swing door or slider system and many other applications for the home's exterior.

Construction Type:

Engineered All-Wood Stiles and Rails with Dowel Pinned Stile/Rail Joinery

**Profile: Ovolo Sticking**  
**Glass: 3/4" Insulated Glazing**

## STANDARD FEATURES



**Any Wood Species**



## Virtually Any Size

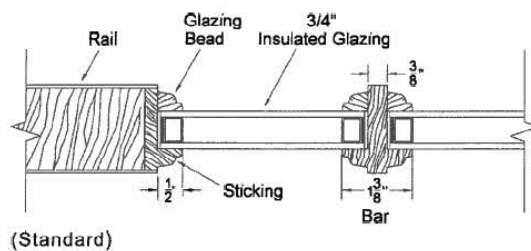


### Glass Options

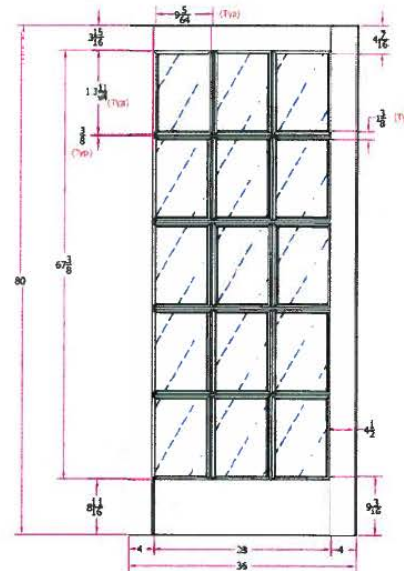


Privacy Rating: 1

## DETAILS



### DETAILED DRAWING



Secondary door  
option 1

and rear door

1-17-17



## GAF TIMBERLINE - WEATHERED WOOD



1-17-17

Request #9: Replace white shingles with Weathered Wood shingles



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Request #1: Section 3.5

**3.5 Carports or garages are permitted only in the rear yard.**

Request #2: Section 4.2

**4.2 Nonprotected facades.**

- a. Reconstruction, renovation, repair, or maintenance of nonprotected facades must be compatible with protected features.**

Request #3: Section 6.3

- 6.3 Historic eaves, coping, cornices, dormers, parapets, and roof trim must be retained, and should be repaired with material matching in size, finish, module and color.**

Request #4-5: Section 5.2

- 5.2 Replacement of doors and windows which have been altered and no longer match the historic appearance is recommended.**

Request #8: Section 8.1

- 8.1 The following architectural elements are considered important features and are protected: porte cocheres, front porches, historic doors and windows, historic architectural features.**

Request #9:Section 6.2

- 6.2 The following roofing materials are allowed: clay tiles, composition shingles, slate tiles, terra-cotta tiles and wood shingles. Built-up, metal, single-ply membrane, synthetic wood shingle, and synthetic clay tile roofs are not permitted.**

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017  
TIME: 5:30pm  
MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Robert Garza  
PROPERTY ADDRESS: 429 E 6<sup>th</sup> Street  
DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

- |                                     |                               |
|-------------------------------------|-------------------------------|
| ① Task Force Supports               | ⑥ Need Brick Window           |
| ② " " "                             | Specs (Supports)              |
| ③ " " "                             | ⑦ —                           |
| ④ Needs Pictures of Doors (Support) | ⑧ Supports                    |
| ⑤ Supports                          | ⑨ Need Window Sizes (Support) |

**Task force members present**

<input type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Heidi Maher	<input checked="" type="checkbox"/> Rachel Hoehn	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Harry Nicholls	<input type="checkbox"/> VACANT (Alt)

Ex Officio staff members present ☐ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1-11-17

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-176(EH)  
LOCATION: 4805 Worth Street  
STRUCTURE: Accessory, Non-Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-98

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-B  
CENSUS TRACT: 0015.02

**APPLICANT:** Jason Riche

**REPRESENTATIVE:** None.

**OWNER:** RICHE JASON S

**REQUEST:**

Replace two garage doors with single automatic garage door on accessory structure.

**BACKGROUND / HISTORY:**

The structure is listed as contributing to the Peak's Suburban historic district and the accessory structure is non-contributing.

**ANALYSIS:**

The applicant is requesting to convert their two-car accessory garage to a single-door garage. The proposed door is similar to that seen on many other similar non-contributing and contributing garages around the Historic Overlay District. The existing garage is not historic, but it appears to be constructed of wood and currently has wood garage doors. Staff is approving the proposed work based on the applicant's submittal of similar examples of garage door styles within the neighborhood and the fact that a majority of the structure will not be visible from the street.

**STAFF RECOMMENDATION:**

Replace two garage doors with single automatic garage door on accessory structure – Approve - Approve proposed door specifications dated 1-21-16 with the finding that the proposed work is compatible with the historic overlay district and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).



**TASK FORCE RECOMMENDATION:**

Replace two garage doors with single automatic garage door on accessory structure –  
Deny without prejudice – submitted door not appropriate.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 176 (EH)  
Office Use Only

Name of Applicant: JASON RICHE  
Mailing Address: 4805 North St.  
City, State and Zip Code: DALLAS, TX 75246  
Daytime Phone: 972.778.0226 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: \_\_\_\_\_

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_\_ No \_\_\_\_\_  
Planner's Initials

PROPERTY ADDRESS: 4805 North St.  
Historic District: PENY SUBURBAN ADDITION

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Replace the two hinged doors on garage with a single automatic garage door

Signature of Applicant: Jason Riche Date: 12/17/16  
Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

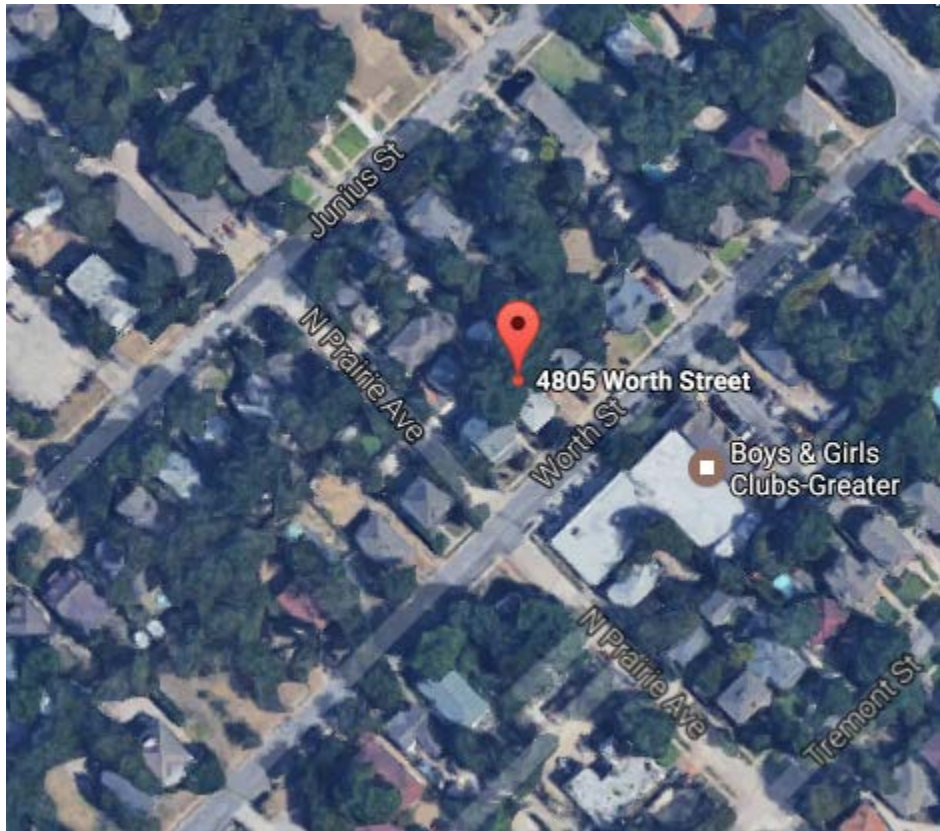
Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408



Aerial View, 4300 (Red) 4304 (Yellow) and 4310 (Orange) Junius Street.





Front elevation.



Garage as seen from Worth Street.





Non-contributing garage seen from side yard.





Adjacent property to right of 4805 Worth.

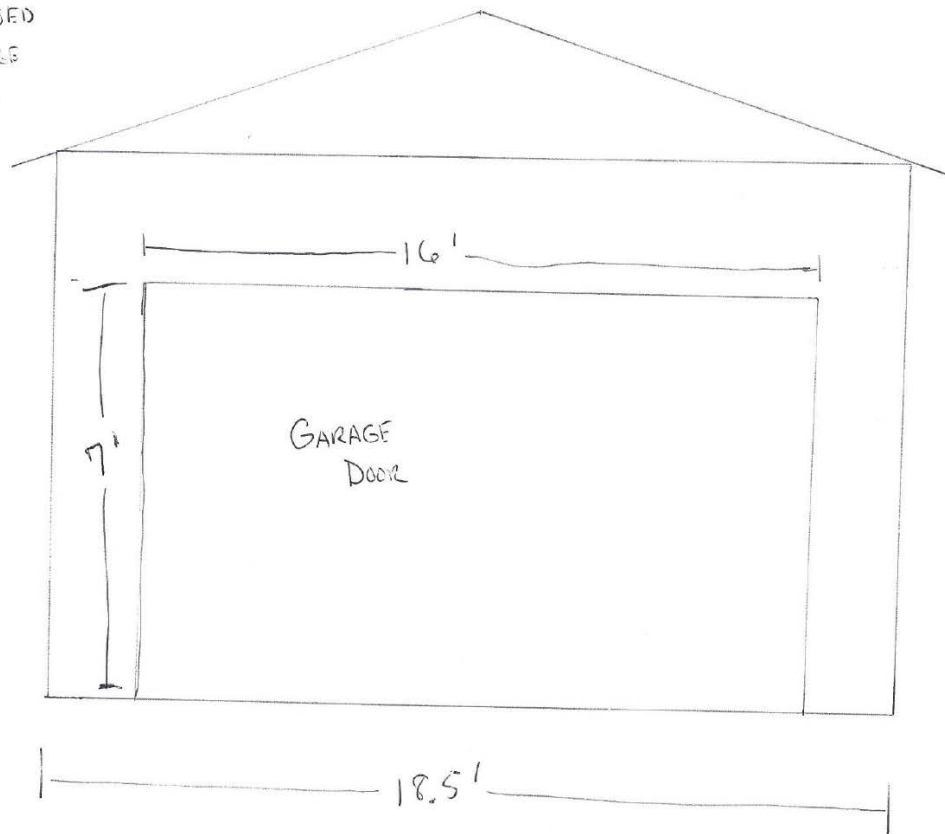


Commercial structure across Worth Street.



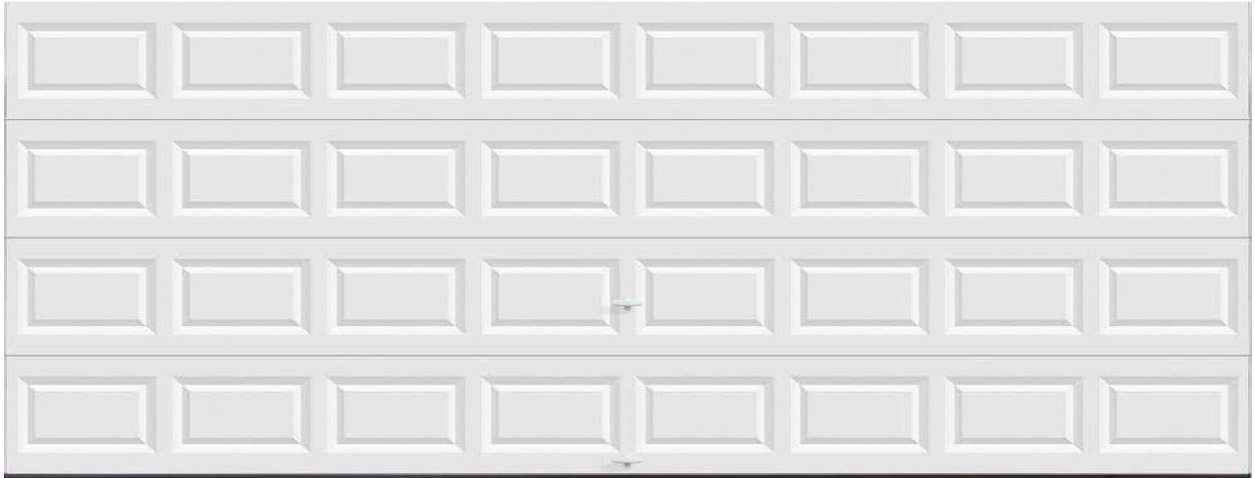
Neighboring property to left of 4805 Worth.

PROPOSED  
GARAGE  
DOOR



Proposed garage door (front elevation).





Proposed single-door garage door.

Example Single-Door Garage Doors Nearby:



4215 Junius Street (PS)





4930 Tremont Street (MP)





4937 Worth Street (MP)

PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

- 6.2 Accessory buildings must be compatible with the scale, shape, roof form, materials, detailing, and color of the main building.

**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: Jason Riche

Address: 4805 Worth Street

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☒ Deny ☒ Deny without prejudice

Recommendation / comments/ basis:

*Submitted door not appropriate*

**Task force members present**

☒ Norman Alston (Chair)

☒ Michael Karnowski

☒ Jennifer Hidden

☒ Jim Anderson

☒ Kathy Finch

☒ William Hersch

☐ VACANT (Edison/LaVista Res)

☒ Patricia Simon (Peak's Alt.)

☐ VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: *KARNOWSKI*

2<sup>nd</sup>: *HERSCH*

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*Unanimous approval*

CHAIR, Task Force *[Signature]*

DATE *1/12/2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

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FILE NUMBER: CA167-179(EH)  
LOCATION: 4406 Sycamore Street  
STRUCTURE: Main, Non-Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-298

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 45-A  
CENSUS TRACT: 0015.04

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**APPLICANT:** Asaf Bitton

**REPRESENTATIVE:** None.

**OWNER:** TALIA BITTON

**REQUEST:**

- 1) Paint main structure. Work completed without Certificate of Appropriateness. Brand: Sherwin Williams. Color: Brick- SW7066 "Gray Matters", Wood siding- SW7064 "Passive", Trim/Fascia- SW7068 "Grizzle Gray".
- 2) Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness.
- 3) Construct 10'x10' shed in rear yard. Work completed without Certificate of Appropriateness.

**BACKGROUND / HISTORY:**

01-18-2017: Staff administratively approved the installation of a small fence in the side yard as well as the repouring of the brushed concrete driveway in the front yard. CA167-202(EH).

09-05-2006: The Landmark Commission denied the request to enclose the attached garage on the property. CA056-483(MD).

The structure is listed as non-contributing to the Peak's Suburban historic district.

**ANALYSIS:**

The applicant completed all of the above requests without a Certificate of Appropriateness. The structure according to DCAD was constructed in 1983 and is considered a "Ranch" style house. The original brick was a multi-toned color which is fairly common with the similar style properties along the blockface. The applicant painted the brick which is why this item cannot be processed as "routine". Staff is

recommending denial on the completed painting of the brick as the work is not compatible with the historic overlay district.

The applicant replaced six of the original aluminum multi-lite windows with 1/1 vinyl windows. The replacement windows are in the protected as well as non-protected facades of the structure. Staff is recommending denial of the window replacements as vinyl windows are not compatible with the historic overlay district and synthetic materials as such detract from the historic and architectural integrity of the historic overlay district.

The applicant also constructed a small 10'x10' accessory structure in the rear yard. The structure appears to meet the setback requirements stated in the Peak's Suburban Ordinance. Staff is recommending approval of the construction of the accessory structure as it meets the setback requirement and although it is has vinyl materials; it is completely screened from the view from the right-of-way. Staff does not believe that the structure will have an adverse effect on the historic overlay district.

**STAFF RECOMMENDATION:**

- 1) Paint main structure. Work completed without Certificate of Appropriateness. – Deny without prejudice - Deny completed work dated 01-21-2017 with the finding that painting of brick that has been previously unpainted is not compatible with the historic overlay district. The completed work does not meet the standard of City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness. – Deny without prejudice - Deny completed work and window survey dated 01-21-2017 with the finding that the completed work is not compatible with the historic overlay district and does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(ii).
- 3) Construct 10'x10' shed in rear yard. Work completed without Certificate of Appropriateness. – Approve - Approve site plan dated 01-23-2017 with the finding that the completed accessory structure meets the standard in City Code Section 51A-4.501(g)(6)(C)(ii).

**TASK FORCE RECOMMENDATION:**

- 1) Paint main structure. Work completed without Certificate of Appropriateness. – Approve - With finding that the original modern three-color brick blend was not appropriate to the neighborhood.
- 2) Replace 6 aluminum windows with vinyl windows of the same size. Work completed without Certificate of Appropriateness. – Deny.
- 3) Construct 10'x10' shed in rear yard. Work completed without Certificate of Appropriateness. – Approve.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-179 (EH)  
Office Use Only

Name of Applicant: ASAF BITTON  
Mailing Address: 5423 RICHMOND AVE  
City, State and Zip Code: DALLAS, TX 75206  
Daytime Phone: 214-693-7162 Fax: 972-503-9608  
Relationship of Applicant to Owner: SON

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes ☐ No ☐  
Historic Planner's  
Initials:

PROPERTY ADDRESS: 4406 SYCAMORE ST. DALLAS, TX 75204  
Historic District: PEAKS SUBURBAN DISTRICT

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

- ~~PAINT SPECS - SHERWIN WILLIAMS - A-100 EXTERIOR ACRYLIC FLAT~~
- ~~SW 7064 - SIDING, SW 7066 - BRICK/STUCCO, SW 7068 - TRIM/FASCIA~~
- ~~INSTALL NEW VINYL WINDOW AT EXISTING METAL WINDOW LOCATIONS~~
- ~~BUILT 10'X10' SHED AT BACK RIGHT CORNER 3' FROM RIGHT & BACK FENCE~~
- ~~EXPAND LEFT SIDE OF FENCE TO COVER HVAC SYSTEM & INSTALL NEW HVAC~~
- ~~LOCATION & SPECS ATTACHED TO SITE MAP~~
- ~~ALSO, DOUBT & INSTALL NEW CONCRETE DRIVEWAY - GAVE MEASUREMENTS~~

Signature of Applicant: [Signature] Date: 12-7-16

Signature of Owner: [Signature] Date: 12-8-16  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.
- ☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- ☐ **DENIED.** Please do not release the building permit or allow work.
- ☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

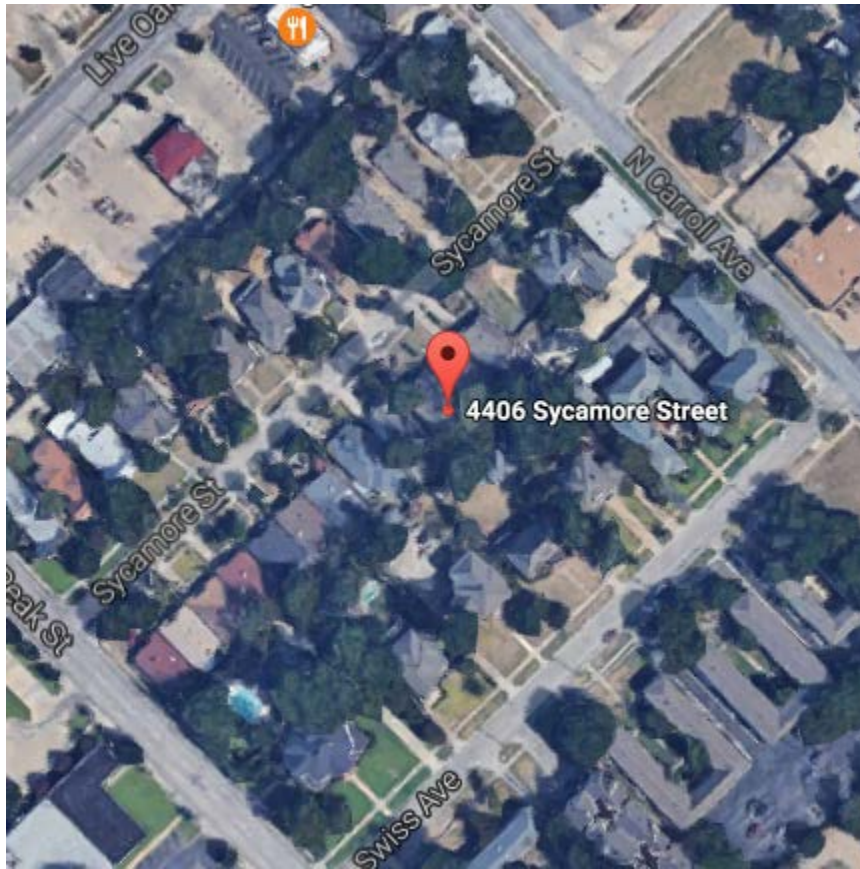
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial View, 4406 Sycamore Street.



Front façade of main structure.



Adjacent property in relation to 4406 Sycamore.

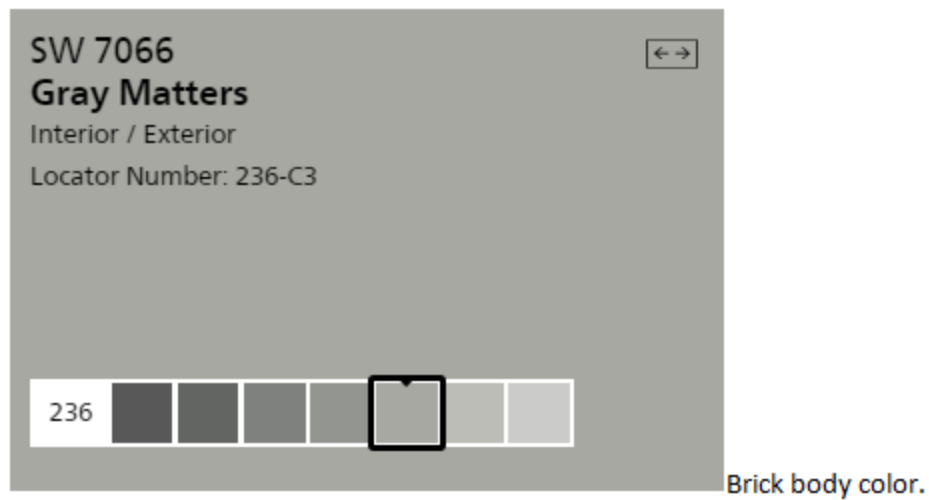




Properties across Sycamore NW.

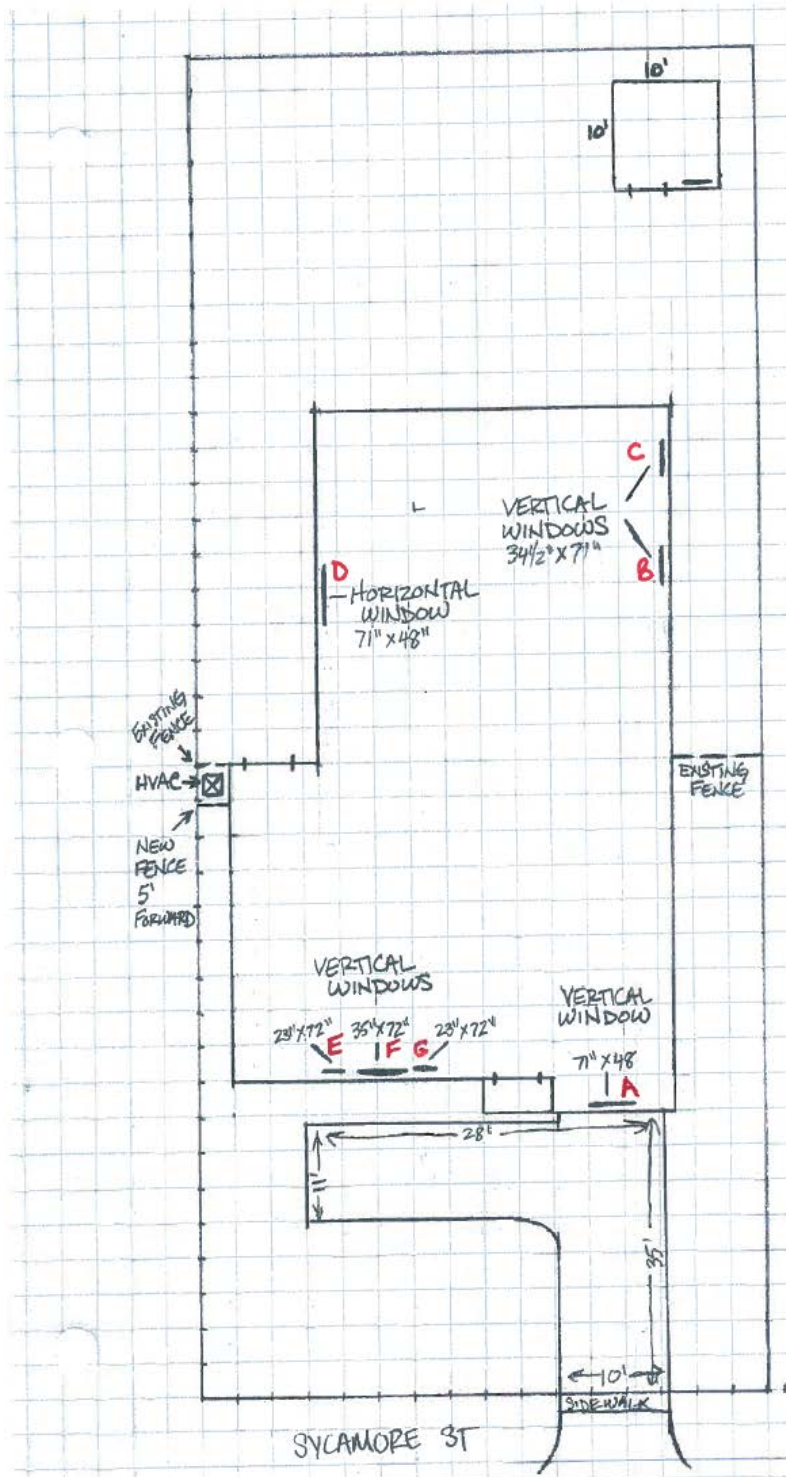


Properties across Sycamore NE.



Item 1) Paint specifications.





Items 2 & 3) Site Plan showing replaced window locations and accessory structure.



Item 2) Window A.



Item 2) Window B.





Item 2) Window C.



Item 2) Window D.



Item 2) Windows E, F, and G.





Item 2) Example of aluminum multi-lite windows before replacement.



Item 3) Accessory structure installed.





Item 3) Accessory structure side elevation.



PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

(C) Standard for approval. The landmark commission must grant the application if it determines that:

(ii) for noncontributing structures, the proposed work is compatible with the historic overlay district.

**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: Asaf Bitton

Address: 4406 Sycamore Street

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve    ☐ Approve with conditions    ☐ Deny    ☐ Deny without prejudice

Recommendation / comments/ basis:

- 1) Recommended approval w/ the finding that the original 3 color blend was not appropriate to the neighborhood.
- 2) Windows - Recommend denial
- 3) Shed - Recommend approval

**Task force members present**

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes    ☐ no (four makes a quorum)

Maker: KARNOWSKI

2<sup>nd</sup>: HERSCH

Task Force members in favor: Unanimous approval

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force [Signature]

DATE 1/12/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

---

FILE NUMBER: CA167-180(EH)  
LOCATION: 4604 Sycamore Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 2  
ZONING: PD-298

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: Peak's Suburban  
MAPSCO: 46-A  
CENSUS TRACT: 0015.04

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**APPLICANT:** Batts Holdings, Inc.

**REPRESENTATIVE:** None.

**OWNER:** BATTS HOLDINGS INCORPORATED

**REQUEST:**

- 1) Re-frame roof on flat roof addition on rear of main structure.
- 2) Construct railing on 1st floor porch on front of the main structure.
- 3) Install cedar decking on front concrete porch and stain.
- 4) Remove large tree on northeast side yard.
- 5) Extend existing concrete driveway 10' towards rear yard.

**BACKGROUND / HISTORY:**

01-12-2017: Staff approved the painting of the main structure, the installation of new composition roof shingles, and the repair of the foundation all on the main structure. CA167-194(EH).

The structure is listed as contributing to the Peak's Suburban historic district.

**ANALYSIS:**

The applicant is proposing to reframe and alter the roof pitch on the nearly flat roof additions on the rear of the main structure. The change will attempt to replicate the pitch seen on the main structure. The applicant is also proposing to install a porch railing on the first floor porch to match the 2<sup>nd</sup> story balcony railing. Staff is recommending approval on this item as the roof reframing would only take place on the rear additions, and a majority are located on the non-protected facades of the structure.

The current concrete porch decking is requested to be covered with a 5/4"x4" board on board wood decking and stained. Staff does not believe that enough documentation was submitted to prove that the original porch was wood and therefore, is recommending denial. Staff feels it would be more appropriate to remove the entire



concrete porch and reconstruct in all wood as opposed to laying wood planks on top of the concrete porch.

The applicant is requesting the removal of a large Pecan tree in the side yard, which is impacting the foundation of the main structure. The applicant has supplied an engineer report which also states that it is impacting the home's foundation. Staff contacted a city arborist who stated the following:

"There are three main branches in the canopy. Two of these branches were topped/broken and are producing many limbs originating from the end of the main branch. This causes structural issues with the branch attachment and the limbs are more likely to fail. There is also a very large, open wound in the fork of the main trunk. With these structural issues and the tree being so close to the structure, I would say the tree should be removed for safety reasons."

Given the engineer's report as well as the city arborist statement on the tree condition, staff feels confident that the tree meets the qualifications to be removed based on the ordinance.

Lastly, the applicant is proposing to extend the existing concrete driveway ten feet into the rear side yard of the property to connect to a future proposed accessory structure. Staff is recommending approval of this request as the driveway will extend only in length into the back yard and will not widen. Also, the applicant is proposing a brushed concrete to match existing conditions.

Many items originally proposed by the applicant were withdrawn due to lack of documentation and/or drawings and specifications for the proposed work.

#### **STAFF RECOMMENDATION:**

- 1) Re-frame roof on flat roof addition on rear of main structure. – Approve - Approve elevations dated 01-21-2017 with the finding that while the proposed work does not comply with Preservation Criteria Section 3.16, the updated roof plan is consistent with the spirit and intent of the preservation criteria and the proposed work will not adversely affect the historic character of the property. . The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Construct railing on 1st floor porch on front of the main structure. – Approve with conditions - Approve elevations dated 01-21-2017 with the condition that the porch railings are a maximum 30" in height and matches the dimensions and profile of the 2nd story balcony rails. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Install cedar decking on front concrete porch and stain. – Deny - Deny proposed porch flooring with the finding that the work does not comply with the preservation criteria Section 3.19 and does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i).

- 4) Remove large tree on northeast side yard. – Approve - Approve engineering report and arborist statements dated 01-21-2017. The proposed work is consistent with the Preservation Criteria Section 2.8 and it meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 5) Extend existing concrete driveway 10' towards rear yard. – Approve with conditions - Approve proposed work and site plan dated 01-21-2017 with the condition that the new section matches exactly the material, width, and color of the existing. The proposed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Re-frame roof on flat roof addition on rear of main structure. – Approve.
- 2) Construct railing on 1st floor porch on front of the main structure. – Approve with conditions - With condition max height of railing to be 30" maximum and use 2x2 squared balusters between 2x4 top and bottom rails.
- 3) Install cedar decking on front concrete porch and stain. – Approve with conditions - Flooring should be tongue & groove and provide detail on edge condition.
- 4) Remove large tree on northeast side yard. – Approve with conditions - Approve with condition of inspection of arborist. With finding that the tree is likely to impact the foundation of structure.
- 5) Extend existing concrete driveway 10' towards rear yard. – Approve.

# Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 167 - 180 (EH)  
Office Use Only

Name of Applicant: Batts Holdings, Inc.  
Mailing Address: 756 Water Oak Drive  
City, State and Zip Code: Plano, Texas 75025  
Daytime Phone: 469 877-3684 Fax: 972 499-0059  
Relationship of Applicant to Owner: Same

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:

Yes ☐ No ☐

Historic Planner's  
Initials:

PROPERTY ADDRESS: 4604 Sycamore Street, Dallas, Texas 75204  
Historic District: Pease Suburban Addition

## PROPOSED WORK:

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Resident renovation project consisting of routine maintenance items such as ~~(1) shingle replacement not~~  
~~a change in color, (2) installation of wooden fence in back yard, (3) application of paint that is an appropriate dominant~~  
~~trim or accent color, (4) replacing roofing, columns, and siding to maintain structure, and slow deterioration.~~ A. Demo and  
replace dilapidated balcony with structurally sound balcony that matches original structure in appearance. B. Construct  
Lower handrails on front porch to match balcony in appearance. C. Repair broken lower front window. D. Add

Signature of Applicant: Douglas R Batts Date: January 4, 2017

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

## APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

## OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

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☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

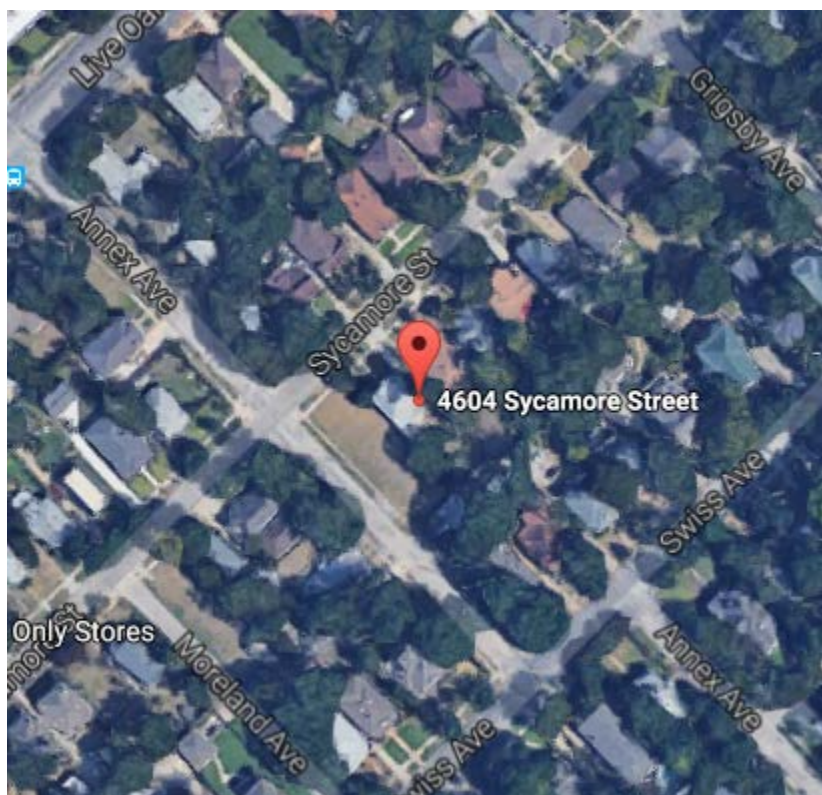
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial View, 4604 Sycamore Street.

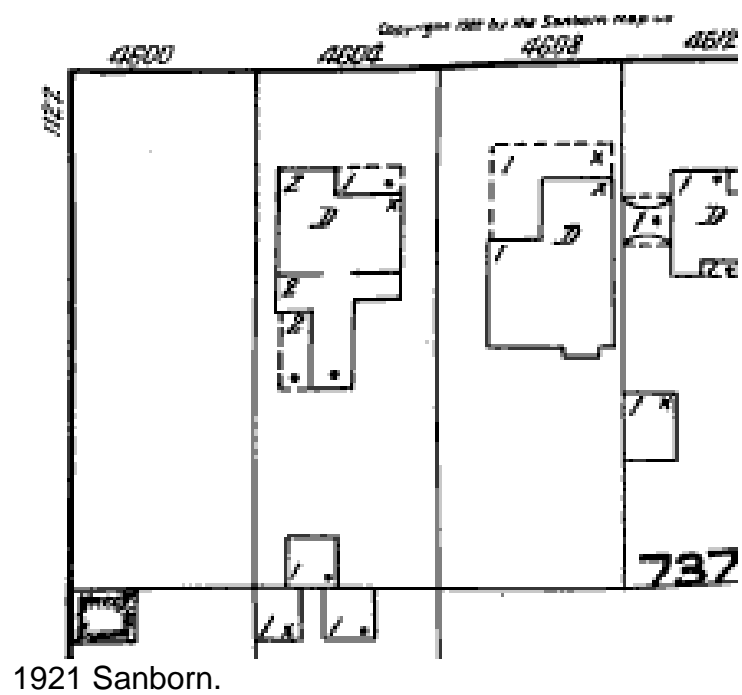


Front façade of main structure.



Older photo of 4604 Sycamore dating pre-2005.







Vacant corner lot adjacent to 4604 Sycamore.



Properties across Sycamore NW.

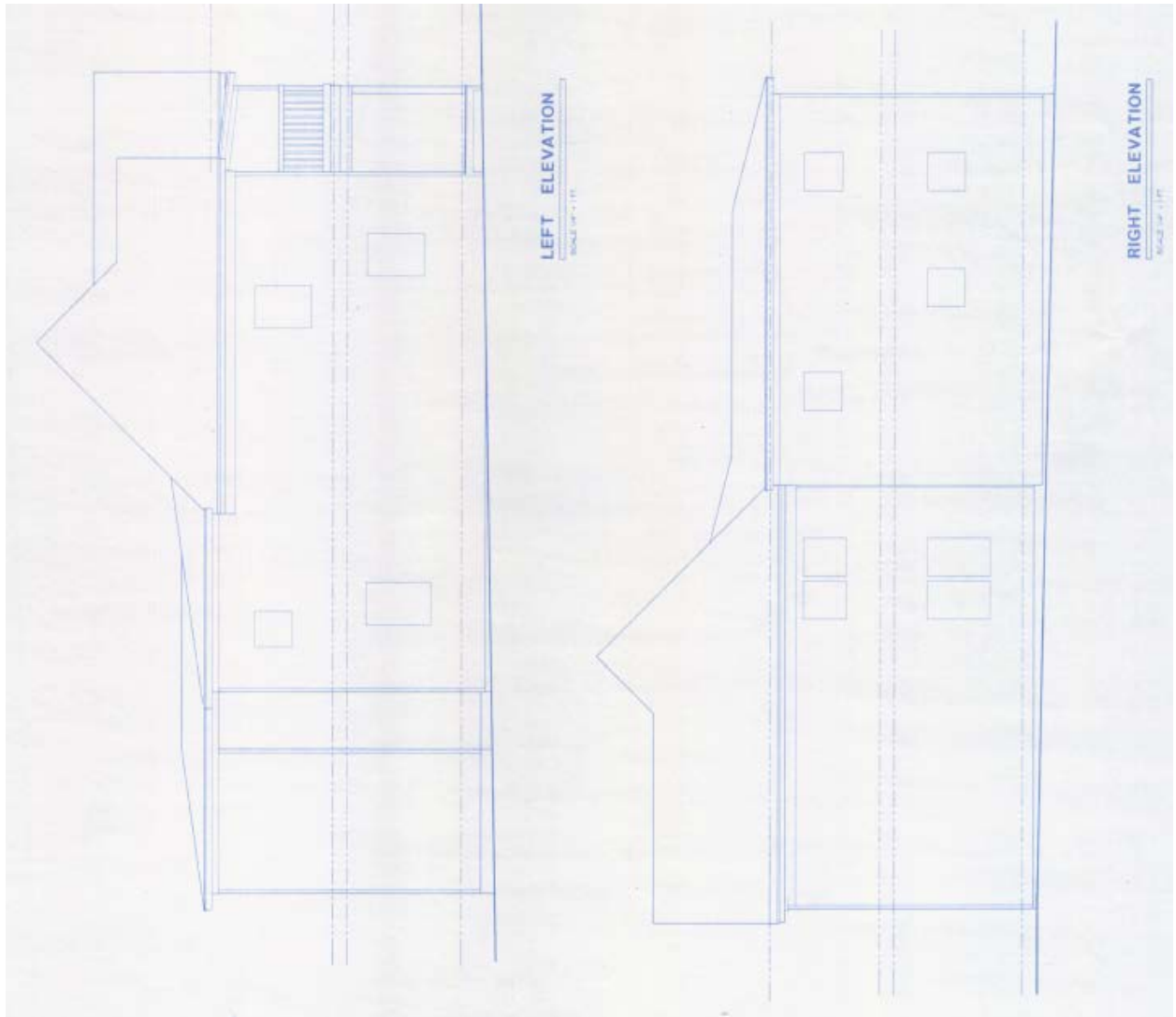




Properties across Sycamore NE.

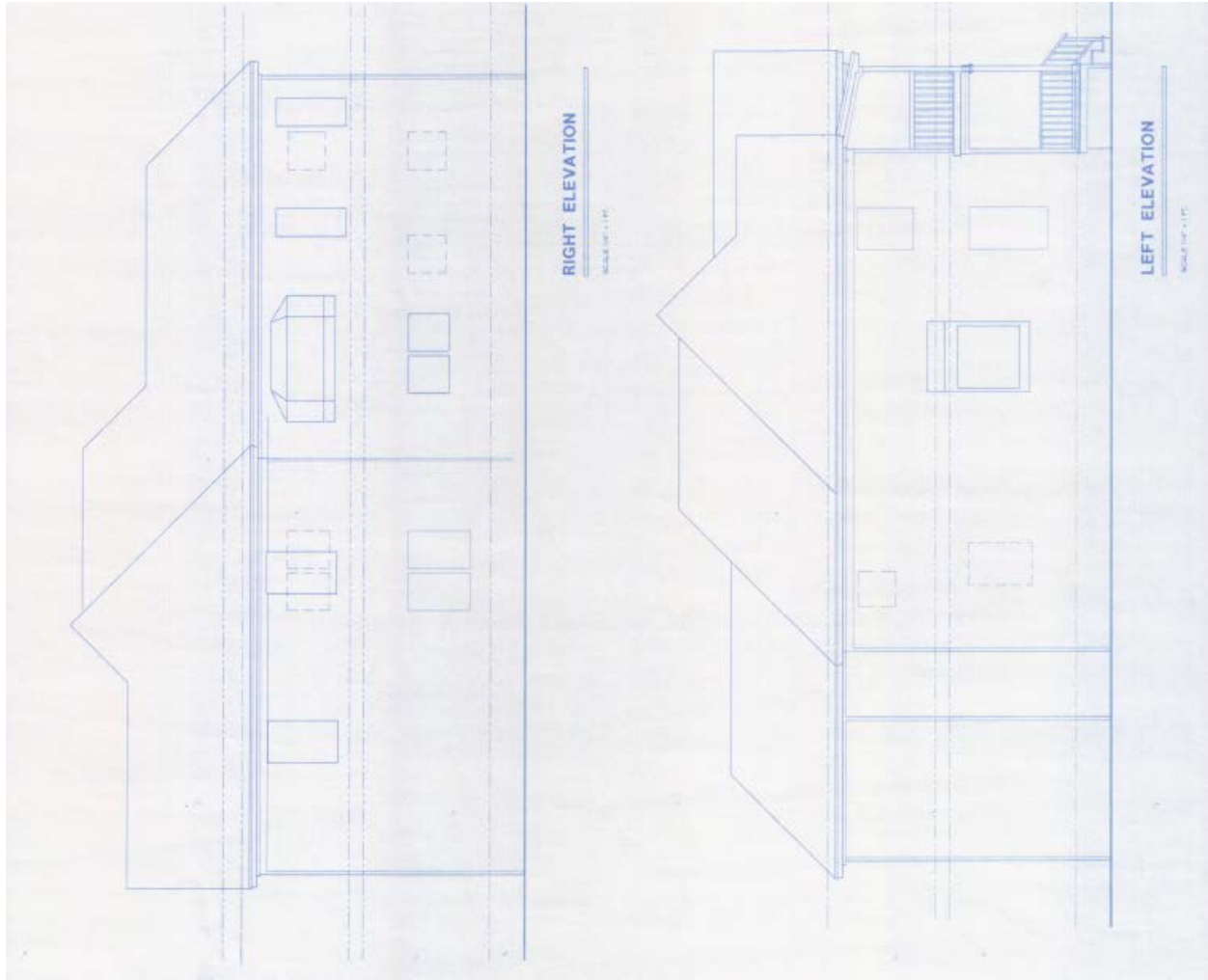


Item 1) Side elevation, additions.

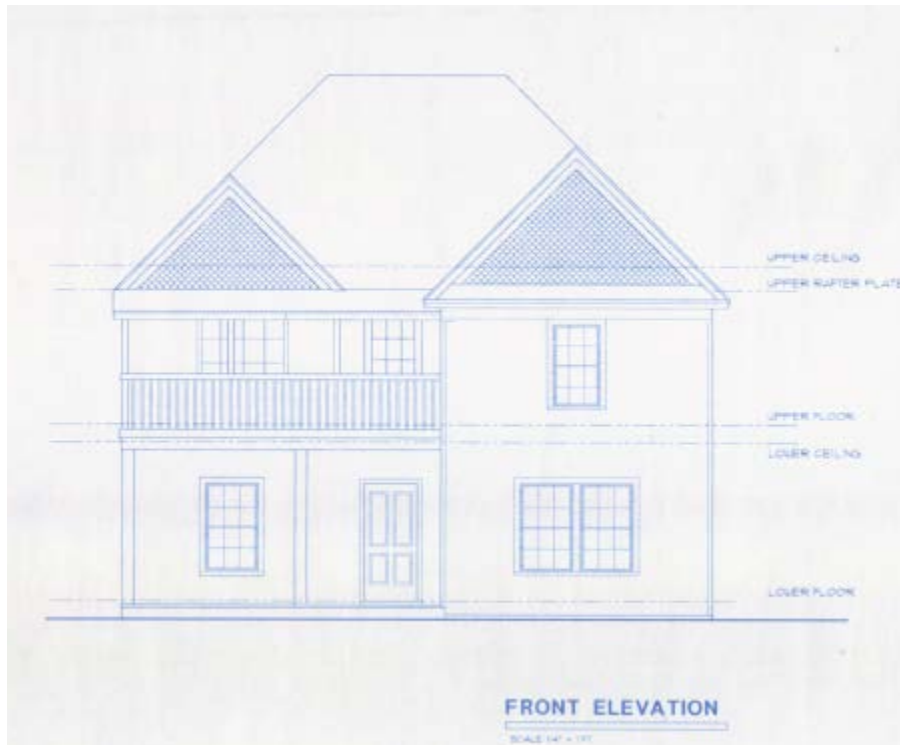


Item 1) Existing side elevations.

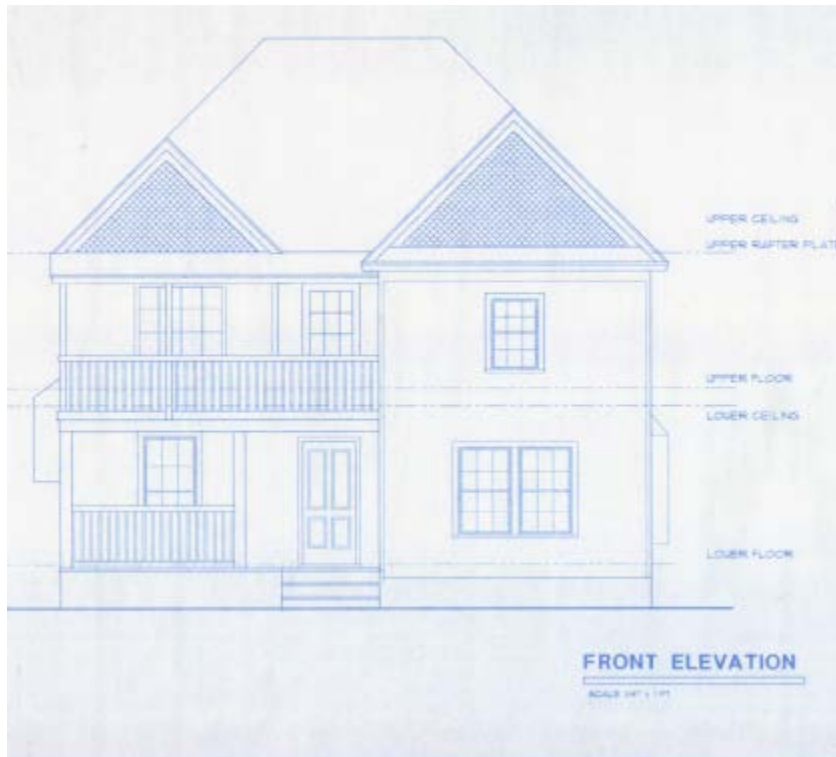




Item 1) Proposed side elevations. (Note: windows are not part of this CA).



Item 2) Existing front elevation without 1<sup>st</sup> floor railing. (Note: drawings mistakenly have 6/6 windows, actually are 1/1).



Item 2) Proposed front elevation showing porch railing.



Below are illustrations that show how the 5/4 in. x 4 in. x 10 ft. Tongue and Groove Pine Decking Board will look before it is stained:



Item 3) Proposed wood porch flooring.

Model # 50101 Internet #100112585 Store SKU #205561



#### BEHR Premium

1 gal. #501 Cedar Naturaltone  
Transparent Weatherproofing Wood Finish

★★★★☆ (288) [Write a Review](#) [Questions & Answers \(86\)](#)

- Complete weatherproofing protection from the elements
- Durable advanced 100% Acrylic formula
- All-In-One wood stain & sealer

**\$29.98** /each



**Cedar Naturaltone**  
501/401  
Transparent

Item 3) Proposed wood porch stain.



Item 3) Existing porch conditions.





Item 4) Existing large Pecan tree.



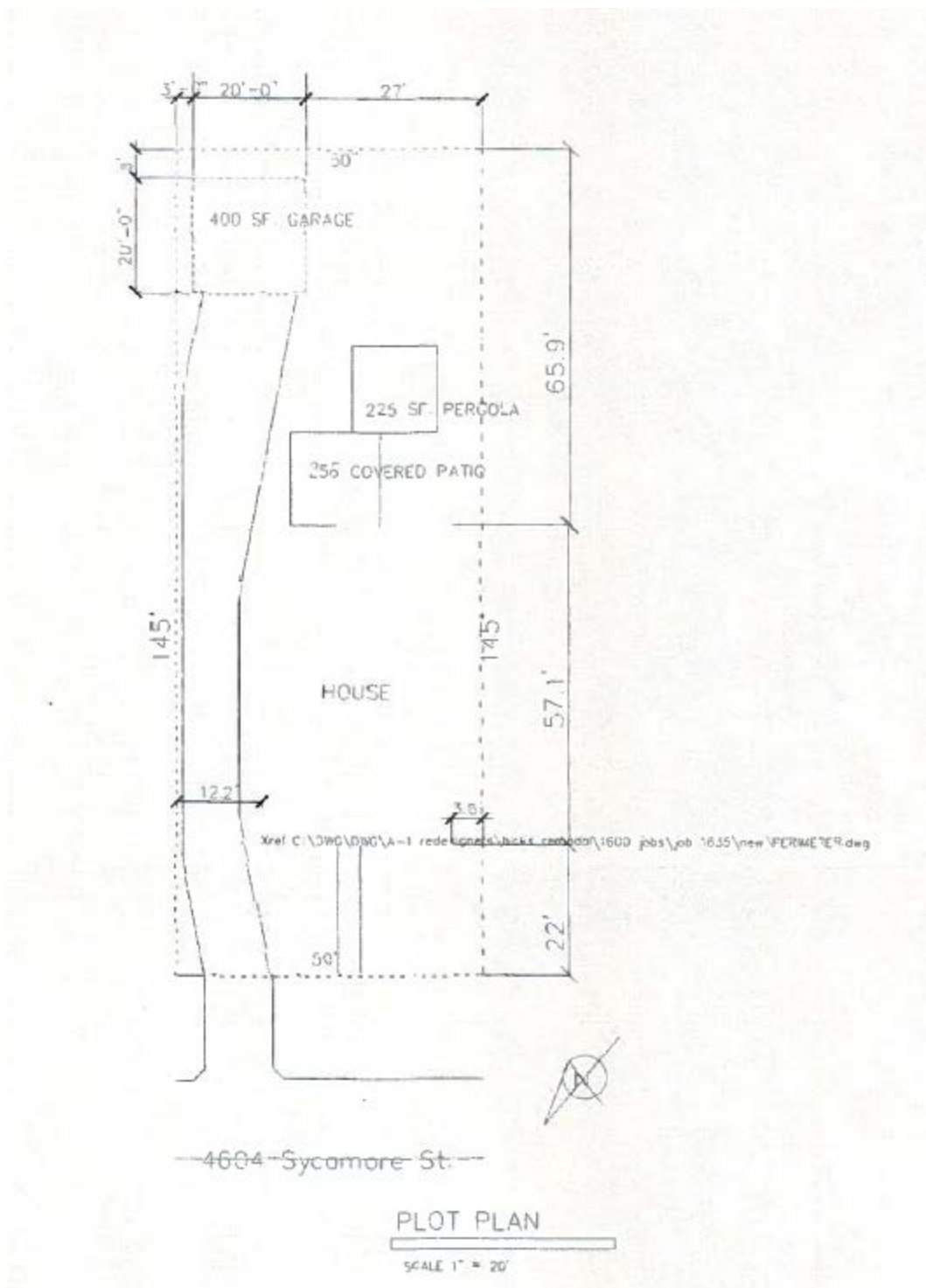
Item 4) Proposed tree to be removed location in proximity to house.

## RECOMMENDATIONS

- I. The installation of 37 block and base supports is recommended (See attached elevation plan). Steel shims shall be used final levelling of the foundation not to exceed 2 inches in height. Pads shall consist of 20" x 20" units below 8" x 8" blocks. Spacing of pads shall not exceed 6 feet. Other underpinning options include concrete pressed pilings, concrete drilled piers, and helical piers. A revision to the repair plan may be required should the selected type of installed pier deviate. It is recommended that existing shims are replaced with steel and the existing piers are level with steel shims. Underpinning of the foundation is intended to resist against further settlement of the foundation and will not resist against uplift. Plumbing tests shall be performed after repairs have been completed to check for plumbing leaks. Cracking of the interior and exterior of the structure may occur during lifting of the foundation. Final inspections are available upon request by the client. Highland Engineering's fee for final inspections is currently \$150.
- ✓ II. It is recommended that the 24 inch diameter tree as noted on the attached plan is removed/replaced due to its negative impact on the performance of the structure's shallow foundation.
- III. It is recommended that a repair plan is also developed by a foundation repair company as they will be responsible for the warranty of the work performed. Should their plan deviate from what has been provided, Highland Engineering Group will review this plan at no additional cost.
- IV. A follow up survey is recommended in 24 months to check on the long-term stability of the structure. The attached elevation plan shall be used as a reference to verify the impact of repairs. A perfectly flat floor should not be expected when making final measurements.
- V. Read the attached discussion on foundation maintenance to assist in limiting additional movement of the structure.

Item 4) Engineer report recommendation 2 recommends removal of tree.





Item 5) Proposed site plan showing driveway plan.

## **PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:**

### **Roofs**

- 3.16 The slope, massing, configuration and materials of the roof must be preserved and maintained. Original gables, dormers, porches, and roofs must be preserved. Existing parapets, cornices and coping eaves, roof trim and dormers must be retained and when repaired, should be done so with material matching in size, finish, module and color.

### **Porches and balconies**

- 3.19 Existing original porches and balconies on protected facades must be retained and preserved. Porches may not be enclosed on protected facades.
- 3.20 All original columns, railings, and other trim and detailing that are part of the porch or balcony configuration must be preserved.
- 2.8 Existing mature trees in the front yard must be maintained. Unhealthy or damaged trees may be removed if deemed appropriate.

**TASK FORCE RECOMMENDATION REPORT**  
**PEAK'S SUBURBAN / EDISON - LA VISTA**

DATE: 01/12/2017

TIME: 5:30 pm

MEETING PLACE: 2922 Swiss Avenue (Wilson Building)

Applicant Name: Batts Holdings, Inc.

Address: 4604 Sycamore Street

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

- 1) Recommend denial <sup>with</sup> finding that porch location is likely historic
- 2) Approval provided max height of railing is 30" Max w/ 2x2 square balusters between 2x4 top & bottom rails.
- 3) ROUTINE MAINTENANCE - GLASS REPLACEMENT ONLY
- 4) Recommend denial pending submission of complete window spec
- 5) " " " " " " " " " " " "
- 6) Front door - RECOMMENDED REPAIR RESTORATION OF EXIST. DOOR OR NEW OF SIMILAR APPROX DESIGN WITH GLASS IN UPPER PANEL. PEAK DOOR DESIGN SHOULD BE APPROPRIATE TO THE STYLE OF THE HOUSE, NOT A PLAIN SLAB
- 7) NO LANDSCAPE PLAN PROVIDED
- 8) RECOMMEND APPROVAL
- 9) RECOMMEND DENIAL PENDING SUBMISSION OF COMPLETE WINDOW SPEC.

Task force members present

SEE REVERSE →

<input checked="" type="checkbox"/> Norman Alston (Chair)	<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (Edison/LaVista Res)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input checked="" type="checkbox"/> Patricia Simon (Peak's Alt.)
<input checked="" type="checkbox"/> Jennifer Hidden	<input checked="" type="checkbox"/> William Hersch	<input type="checkbox"/> VACANT (Edison/LaVista Alt.)

Ex Officio staff members present ☒ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: KARNOWSKI  
2nd: HERSCH

Task Force members in favor: UNANIMOUS APPROVAL

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1/12/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



**LANDMARK COMMISSION****FEBRUARY 6, 2016**

FILE NUMBER: CA167-184(MP)  
LOCATION: 2635 South Boulevard  
STRUCTURE: Main & Contributing  
COUNCIL DISTRICT: 7  
ZONING: PD No. 595, Subdistrict R-7.5(A)

PLANNER: Marsha Prior  
DATE FILED: January 5, 2017  
DISTRICT: South Blvd/Park Row  
MAPSCO: 46-S  
CENSUS TRACT: 0203.00

**APPLICANT:** Ginger Sanchez

**REPRESENTATIVE:** None

**OWNER:** Brittney Wicks LLC

**REQUEST:**

Paint brick on main body of house. Brand: Sherwin Williams, SW 6327 "Bold Brick."

**BACKGROUND / HISTORY:**

11/1/2013 – Application for repairing porch was approved as routine maintenance (CA134-044(MD)).

12/5/2016 – CA for painting brick was denied without prejudice (CA167-069(MP)). Landmark Commission advised applicant to procure a paint removal product and test it on the existing painted brick. Results to be included with subsequent CA for painting brick

Contributing to the South Boulevard Park Row Historic District.

**ANALYSIS:**

Work on the brick of the main structure, including repointing and applying paint to certain areas, has been conducted in the past without a Certificate of Appropriateness. During the December 5, 2016, Landmark Commission meeting, applicant was advised to test a brick cleaning product that would remove paint and to present the results to Landmark Commission at her next CA hearing. Landmark Commission and Task Force would like to see evidence of attempts to remove existing paint and other materials that have been applied to the brick surface before recommending approval for painting the brick. Painted brick is not historically accurate and few houses in the district have painted brick.

If it appears that there is no suitable means for removing and cleaning the existing brick, Staff and Task Force recommend approval for the request to paint the brick. The new proposed paint color (SW 6327, 'Bold Brick') is a closer match to the original brick color than the paint proposed in previous CA (CA167-069(MP)). Task Force had recommended a paint color by Benjamin Moore (Georgian Brick). The proposed paint, Sherwin Williams Bold Brick, is very similar.

**STAFF RECOMMENDATION:**

Paint brick on main body of house. Brand: Sherwin Williams, SW 6327 "Bold Brick" – Approve with conditions – Approve with condition of proof that recommended brick cleaning product failed to remove old paint and that no cast stone elements are painted with the finding the work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

Paint brick on main body of house. Brand: Sherwin Williams, SW 6327 "Bold Brick" – Approve with conditions – Approve with condition that mock-up of paint stripping is presented to Landmark. Paint brick Georgian Brick by Benjamin Moore. Do not paint cast stone elements; recommend cleaning these.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 184 (MP)  
Office Use Only

Name of Applicant: Ginger Sanchez  
Mailing Address: 9844 Whistler Drive  
City, State and Zip Code: Dallas, TX 75217  
Daytime Phone: 469-222-3169 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: General Contractor

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_\_ No \_\_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

**PROPERTY ADDRESS:** 2635 South Blvd.  
**Historic District:** South Blvd/Park Row

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. **DO NOT** write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

We are seeking permission to paint the exterior brick facade of the property using Sherwin Williams Bold Brick (SW 6327).

**RECEIVED BY**

JAN 05 2017

Signature of Applicant: Ginger Sanchez Date: January 5, 2017  
Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form  
Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please **do not** release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

Sustainable Construction and Development

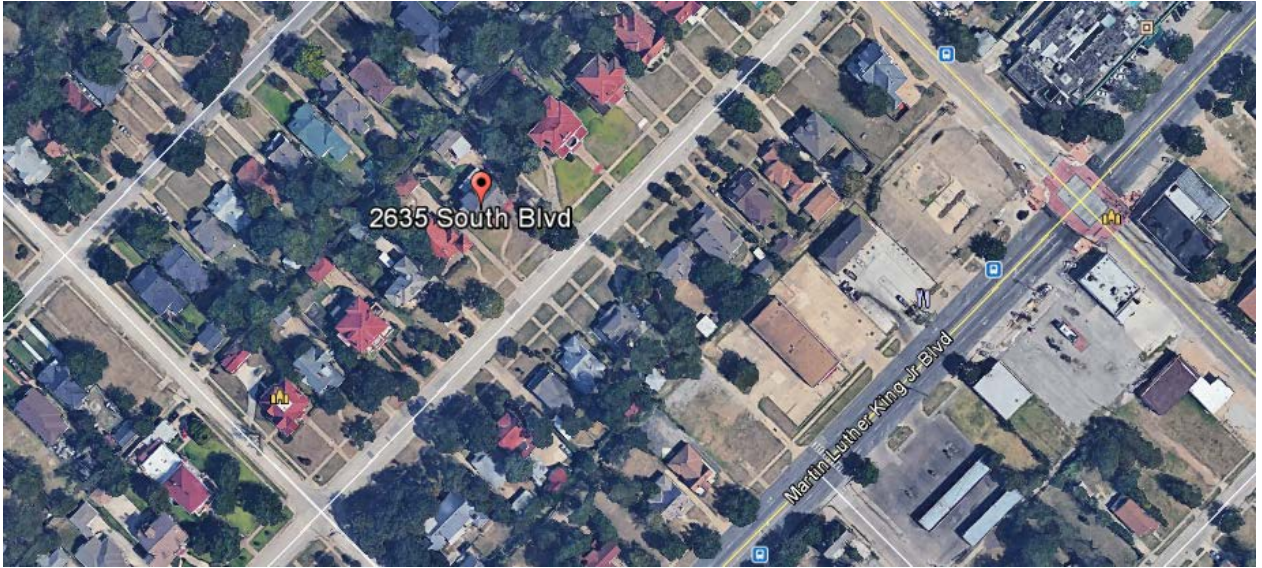
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial view, 2635 South Boulevard.



Front (South) elevation.



View to left (West) of 2625 South Boulevard.





View to right (East) of 2625 South Boulevard.



View across (South) from 2625 South Boulevard.





Front (South) elevation, close up.





Right (East) elevation.



Side (East) and rear (North) elevations.





Rear (North) elevation.





Rear (North) elevation, detail.



Front (South) elevation, detail.





Front (South) elevation, detail.





Front (South) elevation, detail.



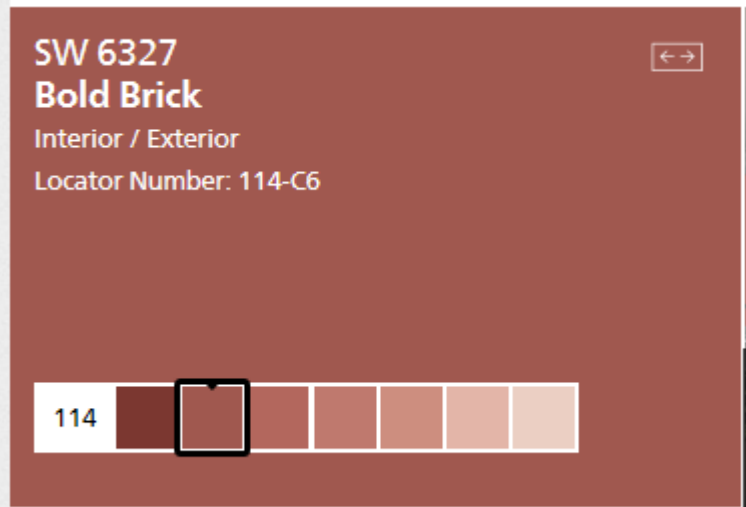
Photo from 2013, showing problems with brick repointing and attempts to cover with paint.





Photo from 2014, showing problems with brick repointing and attempts to cover with paint.





Proposed paint color.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATIONS

There is no specific criteria for this structure in the South Boulevard Park Row preservation criteria, so Staff is using the general standard for approval located in the Dallas Development Code.

City Code Section 51A-4.501(g)(6)(C)(i) – for contributing structures:

(aa) the proposed work is consistent with the regulations contained in this section and the preservation criteria contained in the historic overlay ordinance;

(bb) the proposed work will not have an adverse effect on the architectural features of the structure;

(cc) the proposed work will not have an adverse effect on the historic overlay district; and

(dd) the proposed work will not have an adverse effect on the future preservation, maintenance and use of the structure or the historic overlay district.

**TASK FORCE RECOMMENDATION REPORT**  
**SOUTH BOULEVARD/PARK ROW**

DATE: 1/13/2017  
TIME: 2:00 pm  
MEETING PLACE: Dallas City Hall, 1500 Marilla, 5CN

Applicant Name: Ginger Sanchez  
Address: 2635 South Blvd  
Date of CA/CD Request: 1/5/2017

**RECOMMENDATION:**

☒ Approve ☒ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

\* APPROVE w/ CONDITION THAT MOCK-UP OF PAINT STRIPPING  
IS PRESENTED TO LANDMARK- PAINT BRICK COLOR GEORGIAN  
~~MADE~~ BRICK BY BENJAMIN MOORE, DO NOT PAINT CAST STONE  
ELEMENTS- RECOMMEND CLEANING.

**Task force members present**

<input checked="" type="checkbox"/> Tammy Johnston	<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Michael Karnowski	<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Jason Brown	<input type="checkbox"/> VACANT	<input type="checkbox"/> VACANT

Ex Officio staff members Present ☐ Marsha Prior ☐

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker: KARNOWSKI

2<sup>nd</sup>: BROWN

Task Force members in favor: UNANIMOUS

Task Force members opposed: ☐

Basis for opposition:

CHAIR, Task Force Michael Karnowski DATE 1/13/2017

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





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**LANDMARK COMMISSION****FEBRUARY 6, 2017**

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FILE NUMBER: CA167-181(EH)  
LOCATION: 2608 Hibernia Street  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: District 14  
ZONING: PD-225

PLANNER: Eric Hill  
DATE FILED: January 5, 2017  
DISTRICT: State Thomas  
MAPSCO: 45-F  
CENSUS TRACT: 0017.04

---

**APPLICANT:** Eric Marye

**REPRESENTATIVE:** None.

**OWNER:** Eric Marye

**REQUEST:**

- 1) Install window on side elevation in rear 50% of main structure. Work completed without Certificate of Appropriateness.
- 2) Install A/C unit in rear yard.
- 3) Install detached sign in front yard.

**BACKGROUND / HISTORY:**

03-16-2016: The Landmark Commission approved the replacement of 100% of the siding and replacement of 100% of the windows on the main building. The siding and windows were removed without a CA. CA156-287(JKA).

07-02-2015: The Landmark Commission approved an amendment to the previously approved window configuration on the rear addition of the main structure. CA145-520(EH).

The structure is listed as contributing to the State Thomas historic district.

**ANALYSIS:**

The applicant is proposing an amendment to the previously approved east elevation of the main structure to accommodate a window which was included in the framing plan and left out of the elevation drawings. Building Inspectors noticed the discrepancy between the plans and what was constructed and issued a citation on the property. The window location does not appear to be historically accurate.

The applicant is proposing the installation of a fifth A/C unit to be located in the rear yard of the main structure, screened from the street and to be located on a previously approved concrete landing.

Lastly, the applicant is proposing to install a detached sign to the front yard similar to that seen on the property located at 2619 Hibernia Street (also owned by the applicant). The proposed location is to be located in the front yard, 4' from the sidewalk and 3' from the private walkway. Since the applicant has not supplied dimensions as to the effective sign area, Staff is recommending denial without prejudice.

**STAFF RECOMMENDATION:**

- 1) Install window on side elevation in rear 50% of main structure. Work completed without Certificate of Appropriateness – Approve - Approve elevation dated 01-21-2017 with the finding that while the completed work is inconsistent with the preservation criteria Section 51P-225.109(a)(3) it is located in the rear 50% of the side facade and not easily visible from the public right of way. The completed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 2) Install A/C unit in rear yard – Approve - Approve site plan dated 01-21-2017 with the finding that the proposed work is consistent with the preservation criteria. The completed work meets the standard in City Code Section 51A-4.501(g)(6)(C)(i).
- 3) Install detached sign in front yard – Deny without prejudice - Deny site plan and proposed work dated 01-21-2017 with the finding that the applicant has not met the burden of proof that it is consistent with preservation criteria Section 51P-225.107(h)(2)(A) it does not meet the standard in City Code Section 51A-4.501(g)(6)(C)(i).

**TASK FORCE RECOMMENDATION:**

- 1) Install window on side elevation in rear 50% of main structure. Work completed without Certificate of Appropriateness – Approve - Vote was 3-1. Ms. Hearst felt that the window is not appropriate in its current location.
- 2) Install A/C unit in rear yard. – Approve.
- 3) Install detached sign in front yard – Approve with conditions - Approve with condition that the sign meets the requirements stated in the ordinance. Defer to Landmark Commission on placement.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 181 (EH)  
Office Use Only

Name of Applicant: Eric Marje  
Mailing Address: 2619 Hibernia St  
City, State and Zip Code: Dallas TX 75204  
Daytime Phone: 214-649-4049 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: self

PROPERTY ADDRESS: 2608 Hibernia St.  
Historic District: Stake Thomas

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Planner's Initials

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

- ① Add fifth air conditioner on the back of the house
- ② Put sign in front yard next to sidewalk
- ③ Add window to side of remodel in back  
(window was added as it was in framing plans but not shown on elevations)

Signature of Applicant: [Signature] Date: 1/4/17

Signature of Owner: \_\_\_\_\_ Date: \_\_\_\_\_  
(IF NOT APPLICANT)

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

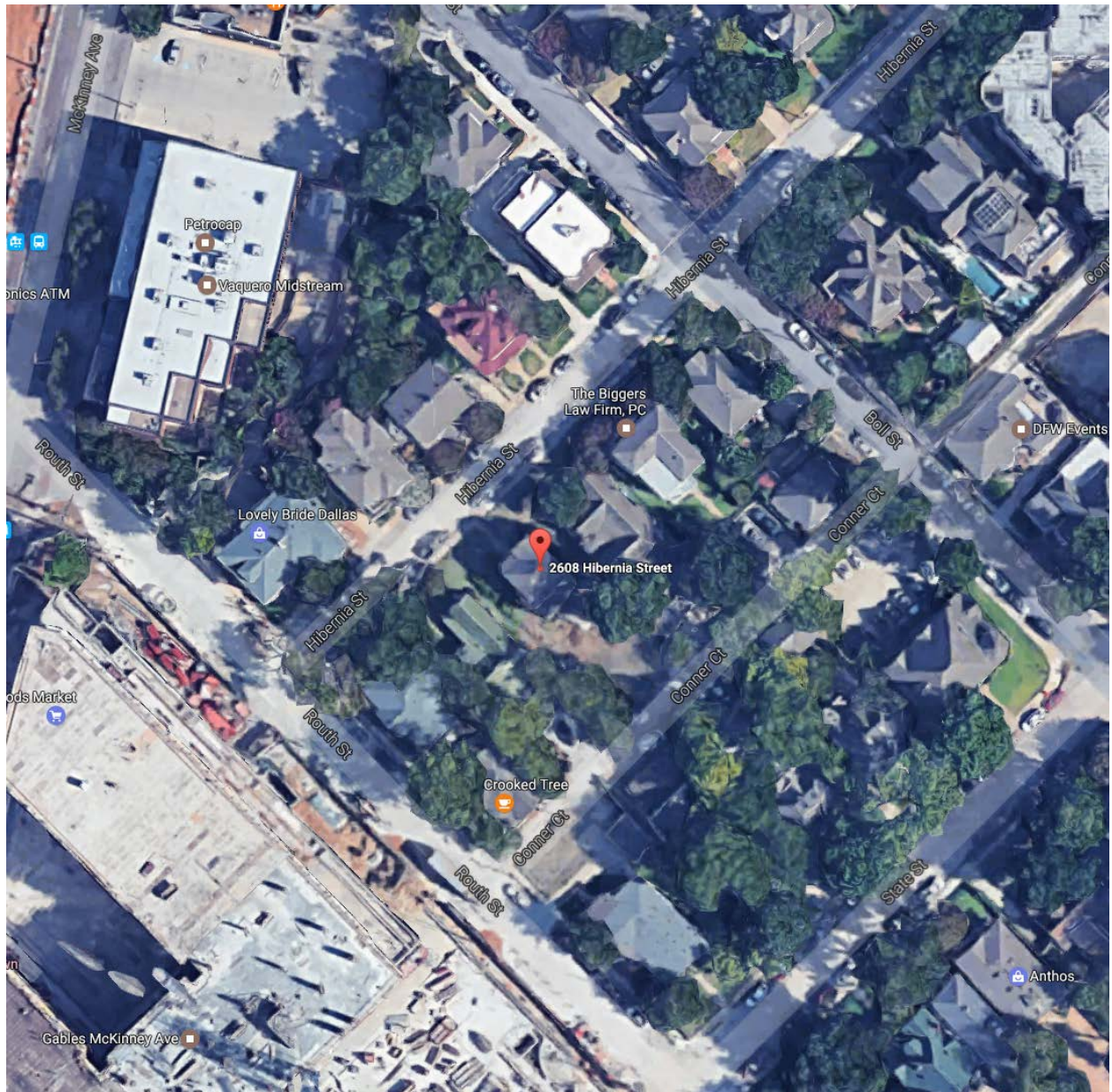
Date

Certificate of Appropriateness

City of Dallas

Historic Preservation  
Rev. 111408





Aerial View, 2608 Hibernia Street.



Front façade of main structure.





Front and side of main structure.





Rear façade of main structure.



2608 Hibernia Street looking SW towards Routh Street.





2608 Hibernia looking NE towards Boll St.





Contributing property across street from 2608 Hibernia.



Item 1) Proposed window highlighted.





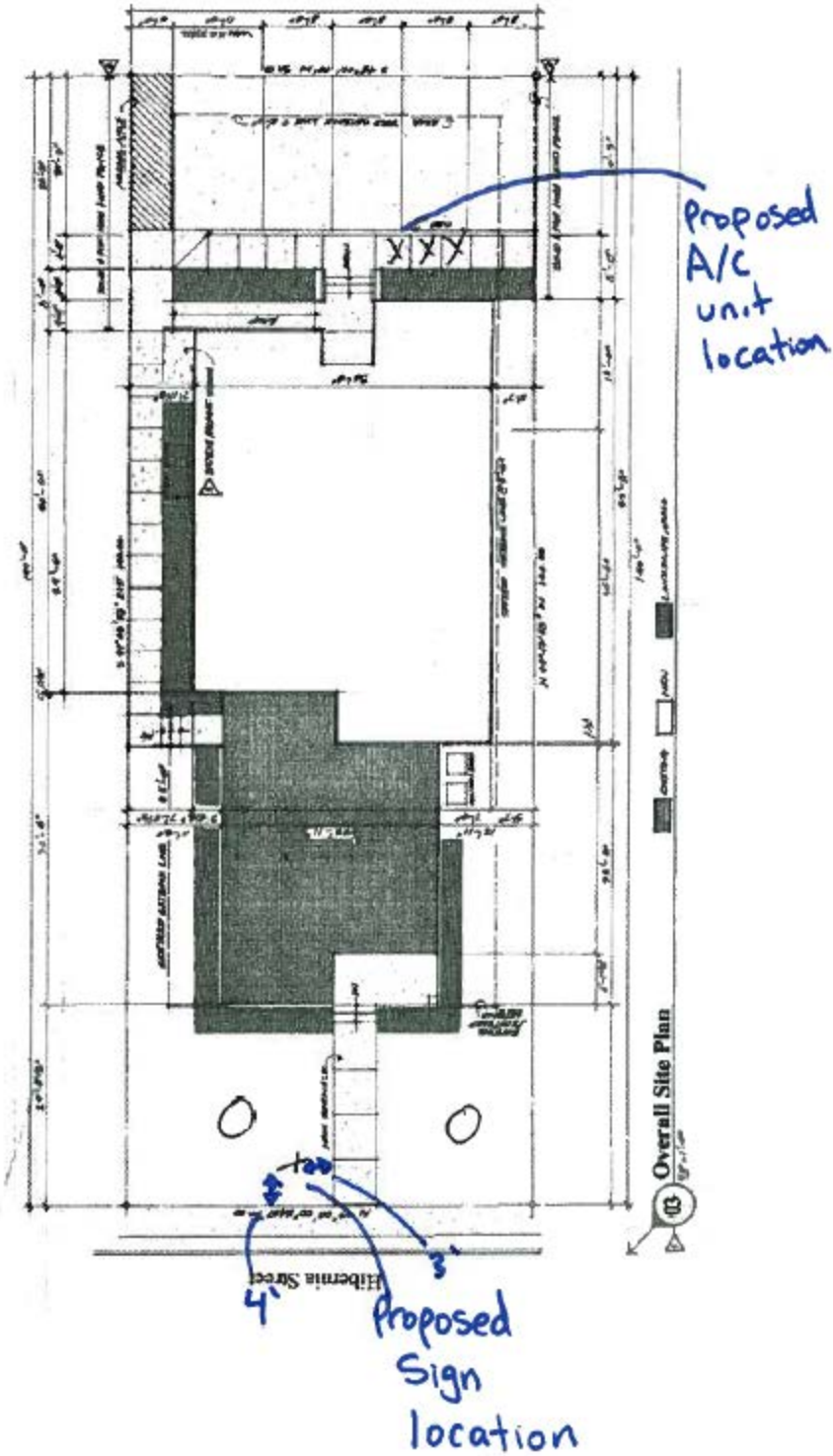
Item 1) 2608 Hibernia from Google Streetview 2014.







Item 2) Existing A/C units.

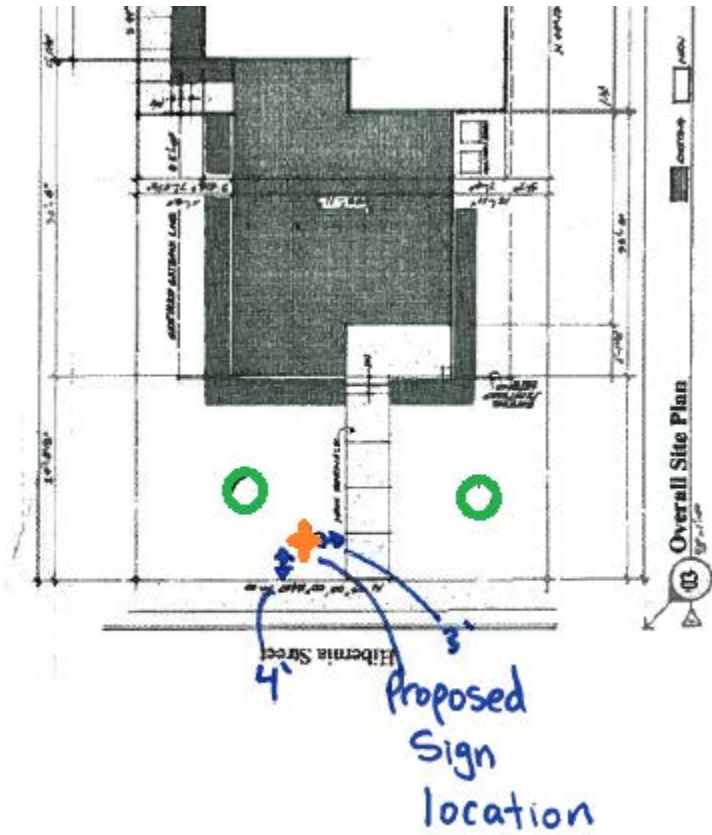


Item 2) Proposed A/C unit location "x".





Item 3) Example of proposed signage.



Item 3) Proposed signage location.

Green: Rough estimate on existing tree location. Orange: Proposed sign





2619 Hibernia Street with front yard sign.





2600 Hibernia Street with front yard sign.

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION:

(3) Architectural detail. Materials, colors, structural and decorative elements, and the manner in which they are used, applied, or joined together must be typical of the style and period of the other buildings, if any, on the blockface and compatible with the contributing structures in the Historic Core Subdistrict.

(2) Detached signs.

(A) Core and Neighborhood Service Subdistricts. Only one detached sign is permitted on each lot. The sign must:

(i) be located at least 15 feet from the public right-of-way, or at the building line if this requires a lesser setback;

(ii) be five feet or less in height;

(iii) not be illuminated; and

(iv) not exceed four square feet in effective area.

**TASK FORCE RECOMMENDATION REPORT**  
**STATE THOMAS/WILSON BLOCK**

DATE: 05/11/16

TIME: 3:30 pm

MEETING PLACE: Dallas City Hall, 1500 Marilla, 5BN

Applicant Name: Eric Marye

Address: 2608 Hibernia

Date of CA/CD Request: 01/05/2017

**RECOMMENDATION:**

☐ Approve ☐ Approve with conditions ☐ Deny ☐ Deny without prejudice

Recommendation / comments/ basis:

① move approve window. Vote is 3 to 1. (yes Deborah Carpenter, Nancy Starr, Jim Anderson; no, Judy Hearst)

② approve ac addition. Vote is 4 - passes unanimously.

③ ~~approve with condition that it follow ordinance condition~~  
*negate* of one sign per lot located at least 15' from public right of way, or at the building line if this requires a lesser set back. (Vote is 4 - passes unanimously) →  
Refer to Landmark on sign placement.

Task force members present

<input checked="" type="checkbox"/> Judy Hearst (Chair)	<input checked="" type="checkbox"/> Deborah Carpenter	<input type="checkbox"/> VACANT (Architect)
<input checked="" type="checkbox"/> Nancy Starr	<input type="checkbox"/> VACANT (WB)	<input type="checkbox"/> VACANT (State Thomas Alt.)
<input checked="" type="checkbox"/> Jim Anderson	<input type="checkbox"/> VACANT (WB)	<input type="checkbox"/> VACANT (Wilson Block Alt.)

Ex Officio staff members Present ☐ Eric Hill

Simply Majority Quorum: ☒ yes ☐ no (four makes a quorum)

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

*Judy Hearst*  
CHAIR, Task Force

DATE *Jan 11, 2017*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## **LANDMARK COMMISSION**

FEBRUARY 6, 2017

FILE NUMBER: CA167-165(JKA)  
LOCATION: 215 S Clinton Avenue  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD No. 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-F  
CENSUS TRACT: 0051.00

**APPLICANT:** Jeff Blackwell

**OWNER:** RANDALL B AARON

### **REQUEST:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness.
2. Install window on south side of the main structure where door and sidelights were removed by previous owner.
3. Install 8' wood fence in the cornerside façade of the main structure.

### **BACKGROUND / HISTORY:**

08/04/14 – Landmark Commission approved demolition and new construction of an accessory structure (CA123-472(MD)).

09/02/2014 – Landmark Commission denied without prejudice the removal of side door, sidelights, and concrete porch on corner side façade (CA134-510(MD)).

05/04/2015 – Landmark Commission approved the installation of a pair of ganged wood one-over-one windows on the south façade (CA145-281(MD)).

01/09/17 – Paint was approved by Landmark Commission ((CA167-125(JKA))).

The structure is listed as compatible and therefore non-contributing to the Winnetka Heights historic district.

### **ANALYSIS:**

1. The door and sidelights on the cornerside façade was removed without a Certificate of Appropriateness by the previous owner and Denied without Prejudice after the fact by the Landmark Commission. Landmark the approved a compromise to install a pair of ganged windows at the location to retain the original opening. The new owner wishes to keep the façade as it is without installing a door or windows since there is now a bathroom at that location which necessitates a blank wall. The applicant does not believe that the door and

sidelights were original to the structure. While staff concedes that the door and sidelights that were removed might not have been original to the structure, there is no evidence to suggest that the opening and a more simple side door was not originally located here. Since staff believes that the opening was original and was a character defining feature, we are recommending Denial without Prejudice of the completed work with the finding that the work is not compatible with the historic overlay district.

2. The applicant's second option presented is to install one wood window in the location instead of the previously approved ganged windows. The proposed window would match a window currently located on the same façade. The proposed window is smaller in size than the original ganged windows located on the house. Staff is supportive of Landmark Commission's previous approval to install a pair of ganged windows at this location. Therefore, Staff is recommending Denial without Prejudice of the proposed smaller wood window with the finding that the proposed window is not compatible with the historic overlay district.
3. The third option presented by the applicant is to conceal the area of the removed door and sidelights with an 8' tall wood fence. Staff is not supportive of a fence in the cornerside façade since concealing the area with a fence does not mitigate the removal of a character defining feature from the main structure, and because there are no other fences in the cornerside façade in the surrounding area. Therefore staff is recommending Denial without Prejudice of the proposed work.

#### **STAFF RECOMMENDATION:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness – Deny without Prejudice – The completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since the applicant did not meet the burden of proof required to show that the door or the door opening was not original to the home.
2. Install window on south side of the main structure where door and sidelights were removed by previous owner – Deny without Prejudice – The completed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since the applicant did not meet the burden of proof required to show that the door or the door opening was not original to the home.
3. Install 8' wood fence in the cornerside facade of the main structure – Deny without Prejudice – The proposed work is not consistent with City Code Section 51A-4.501(g)(6)(C)(ii) because it is not compatible with the historic overlay district since fences that conceal the cornerside facade are not typically found in the historic overlay district.

**TASK FORCE RECOMMENDATION:**

1. Remove door and sidelights on south side of the main structure. Work completed by previous owner without a Certificate of Appropriateness – None – No quorum, comments only. Support work. Believe door was not original.
2. Install window on south side of the main structure where door and sidelights were removed by previous owner – None – No quorum, comments only. Not applicable [due to support of Option #1].
3. Install 8' wood fence in the cornerside facade of the main structure – None – No quorum, comments only. Not applicable [due to support of Option #1].



**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167-165 [JKA]  
Office Use Only

Name of Applicant: Jeff Blackwell  
Mailing Address: 11005 Carissa Dr.  
City, State and Zip Code: Dallas, TX 75218  
Daytime Phone: 469-951-9500 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Contractor

PROPERTY ADDRESS: 215 S. Clinton  
Historic District: Winnaker Heights

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes ✓ No \_\_\_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

Remove door & sidelights at south wall to accommodate plumbing for added bathroom (this work was completed by previous owners contractor without landmark approval)  
Options for remedy:

① Leave infill siding (See attached)

Signature of Applicant: [Signature]

Date: 1/4/2017

Signature of Owner: [Signature]

Date: 1/4/17

JAN 05 2017

(IF NOT APPLICANT)

RECEIVED BY

**APPLICATION DEADLINE:**

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

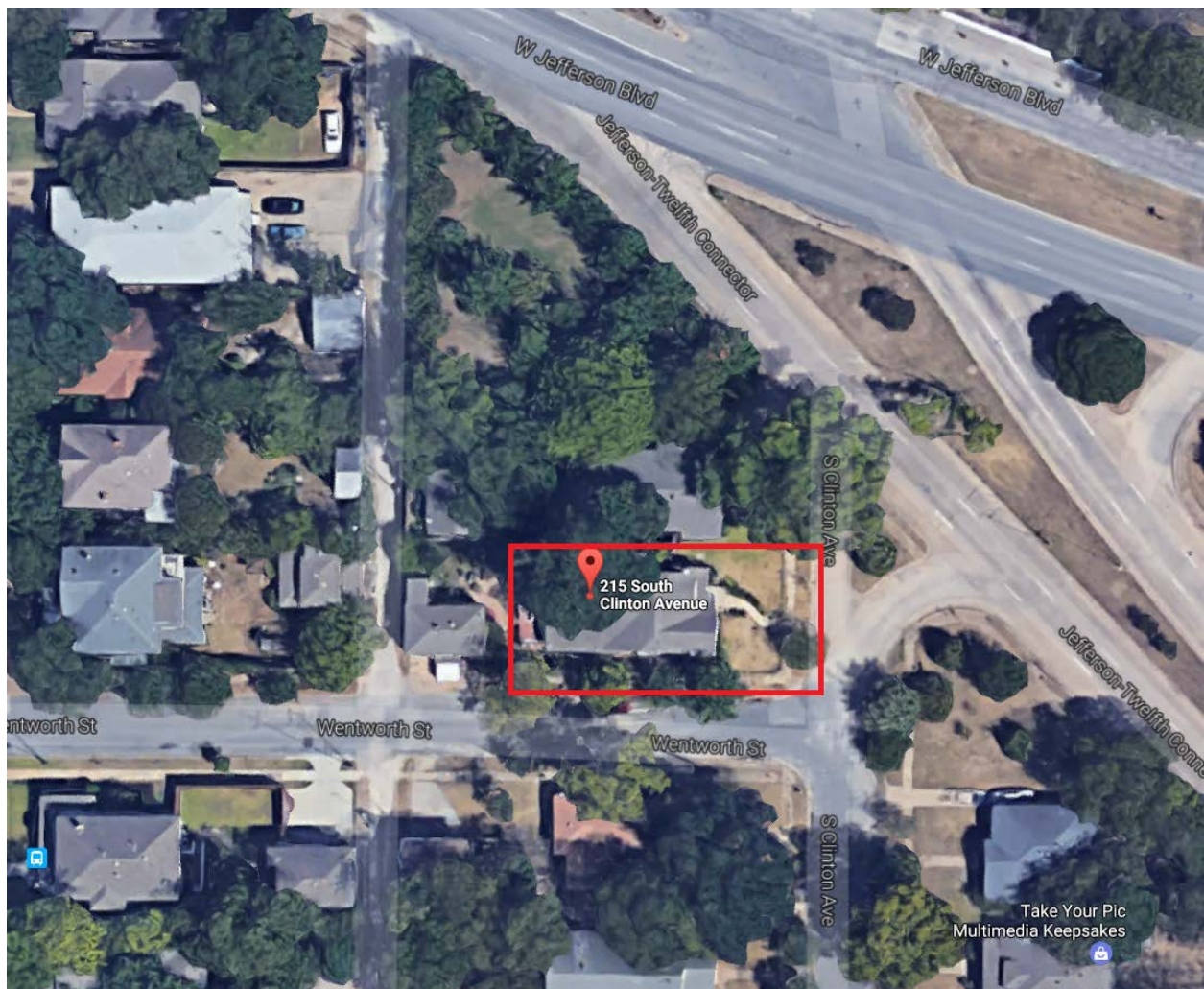
Rev. 111408

**215 S. CLINTON  
CA APPLICATION  
01/05/2017**

1. **Leave the condition as is.** The ordinance states the following: " all windows, doors, and lights in the front and side facades of the main building must be typical of the style and period of the building." Section 9.17.F.iii. Only the front façade requires a total number of window and door openings that must be equal or greater than the total number of the original window and door openings combined. The previous owner also adhered to the required façade materials outlined in the ordinance Section 9.10.C "Wood Facades" therefore not disrupting the materials of the architecture. Currently there is no preservation criteria for alterations for Tract One. As stated in Section 4.C.4 "If the proposed work is not addressed by the preservation criteria and regulations contained in this ordinance and all other applicable ordinances, and will not have an adverse effect on the external architectural features, future preservation, maintenance, or use of a structure or blockface in this district, or of this district as a whole, the commission shall grant the certificate." Again I believe the removal of the door did not cause an adverse or "harmful" effect to the architecture.

2. **Extend the side yard fence past the point of the alteration:** Under Section 18.B.1.B, it states that it is a defense to prosecution that the act was performed in a side yard and it was totally screened by a fence or hedge. Although the existing fence does not conceal the alteration, extending the fence to the point of alteration allows for a partial conceal and therefore allows for the planting of vegetation (as required by the ordinance) to assist in the conceal of the alteration. The fence in the corner side yard must be set back a minimum of two feet from a public sidewalk.

3. **Installation of the same window as the other bathroom that is located on the same side façade:** Currently the second bathroom on the same façade of the main building contains a smaller window; installing a similar window will provide a sense of "balance" of the architectural elements. Plumbing and electrical wiring will need to be re-routed since the function of the interior space was modified when the alteration occurred.



Aerial image





Main structure





To left of main structure (across Wentworth Avenue)





Across street from main structure



To right of main structure



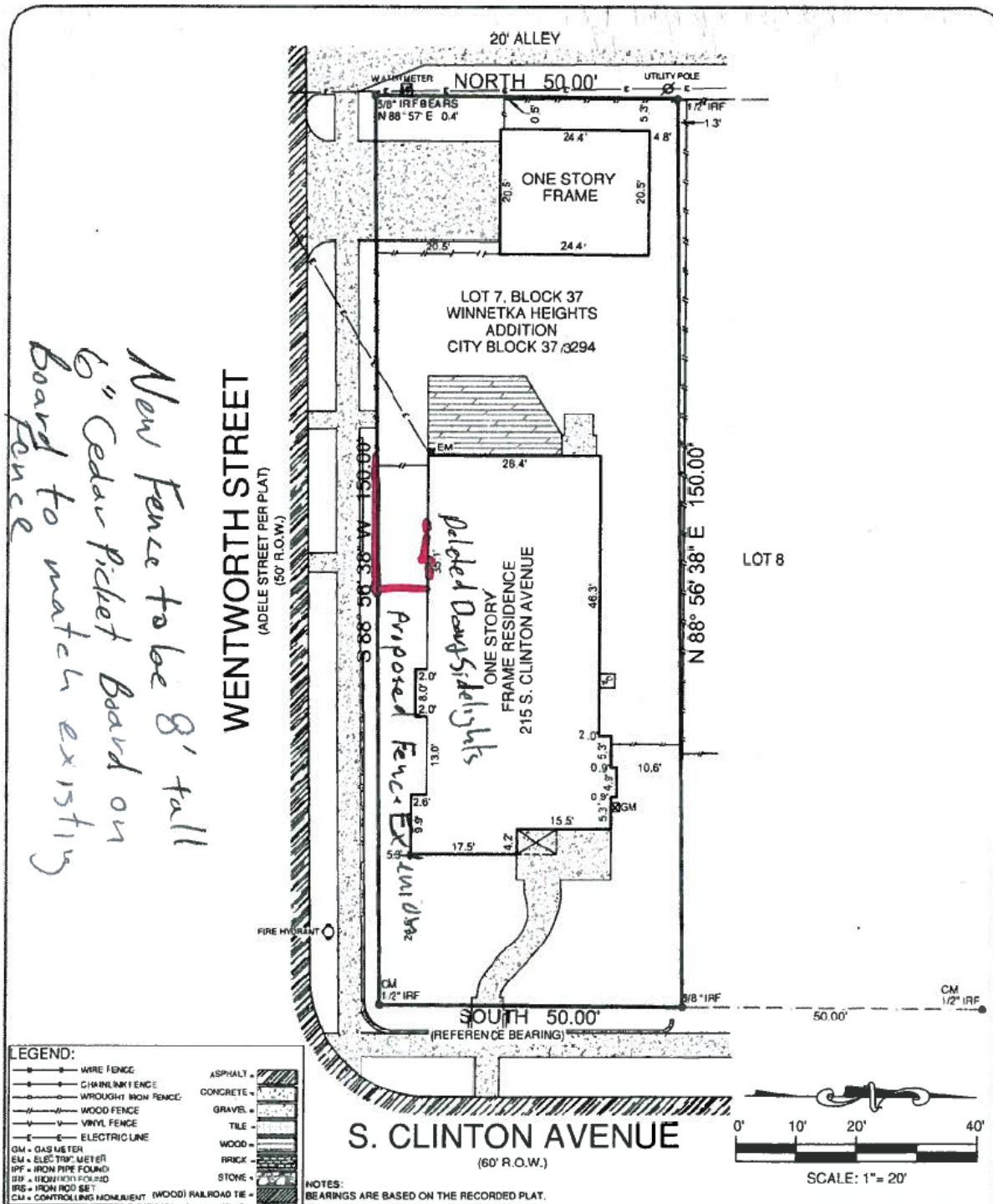


Side of the main structure where the door, sidelights, and steps/walkway were located.



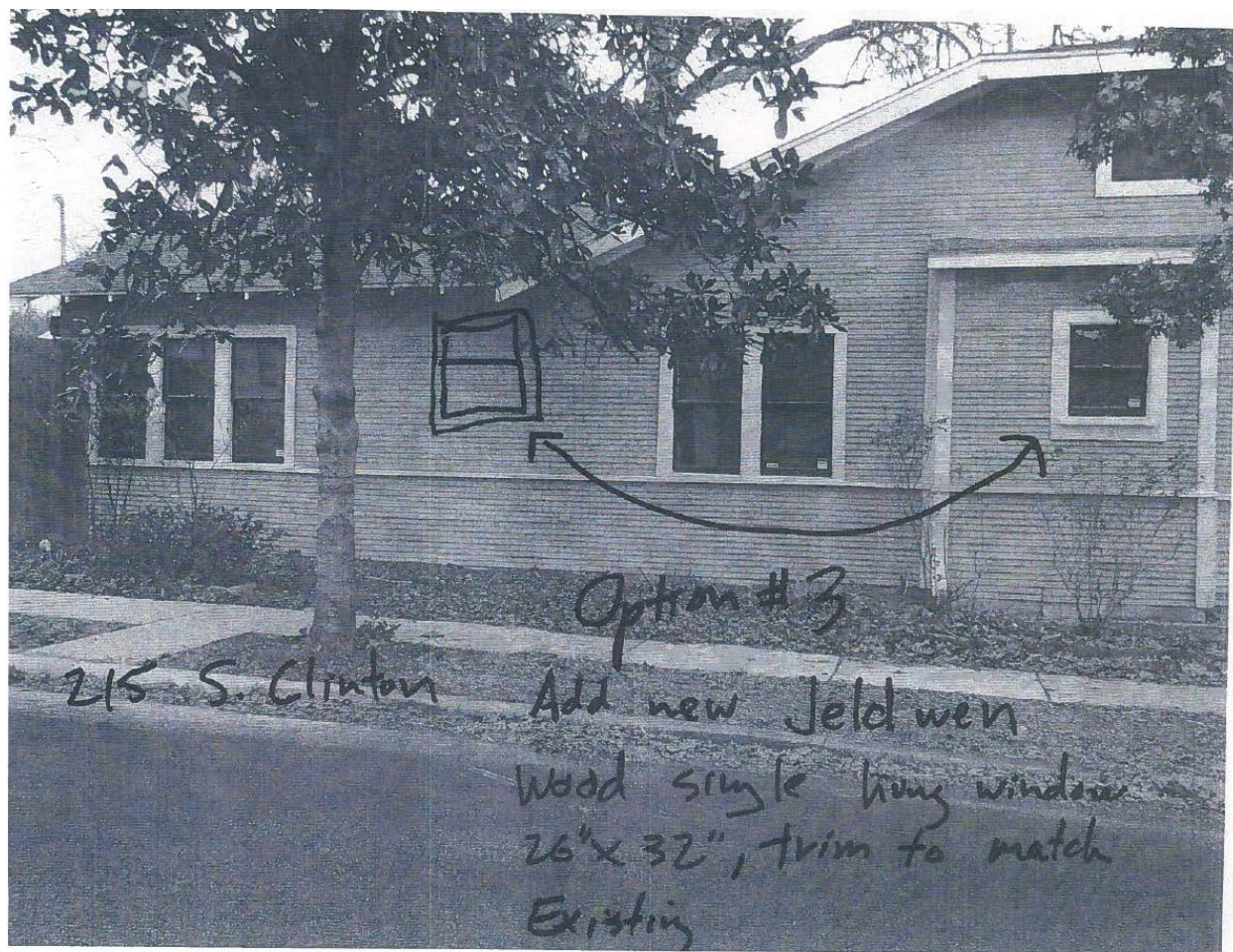


Google images showing previous cornerside façade with door/sidelights/steps.



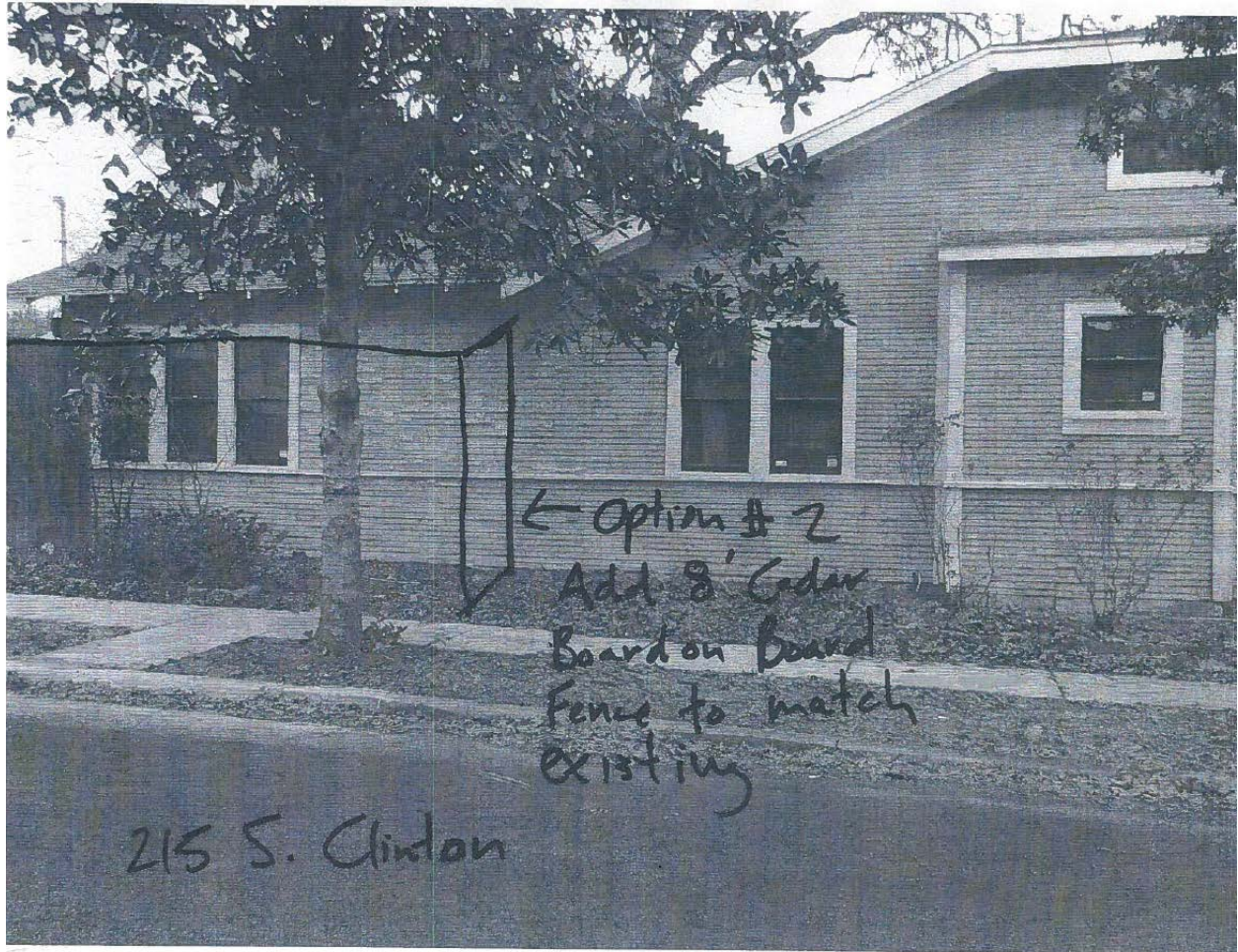
Site survey showing the location of the removed door (Request #1) and proposed window (Request #2), as well as the proposed fence line for Request #3



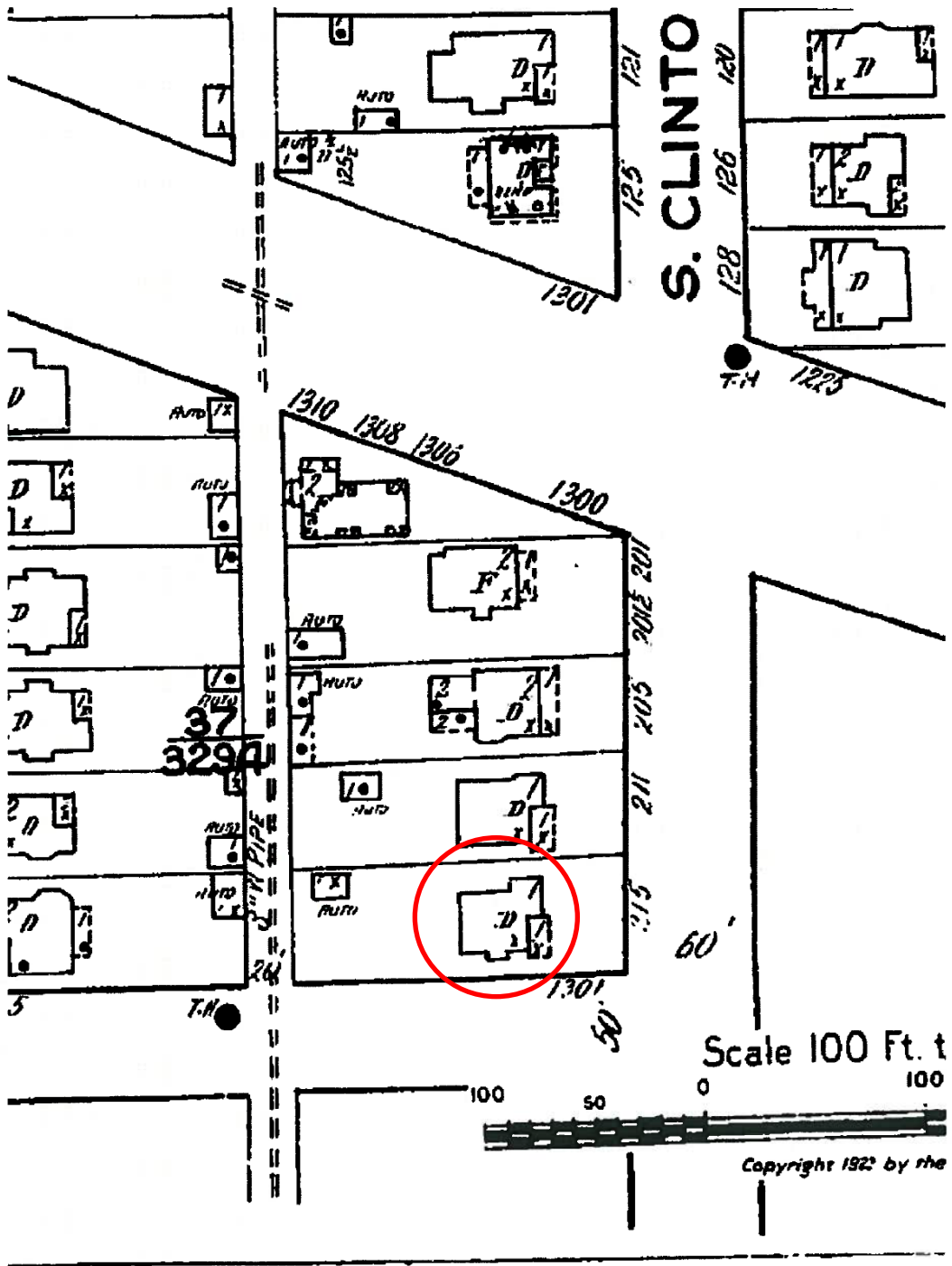


Request #2: Illustration of proposed window.



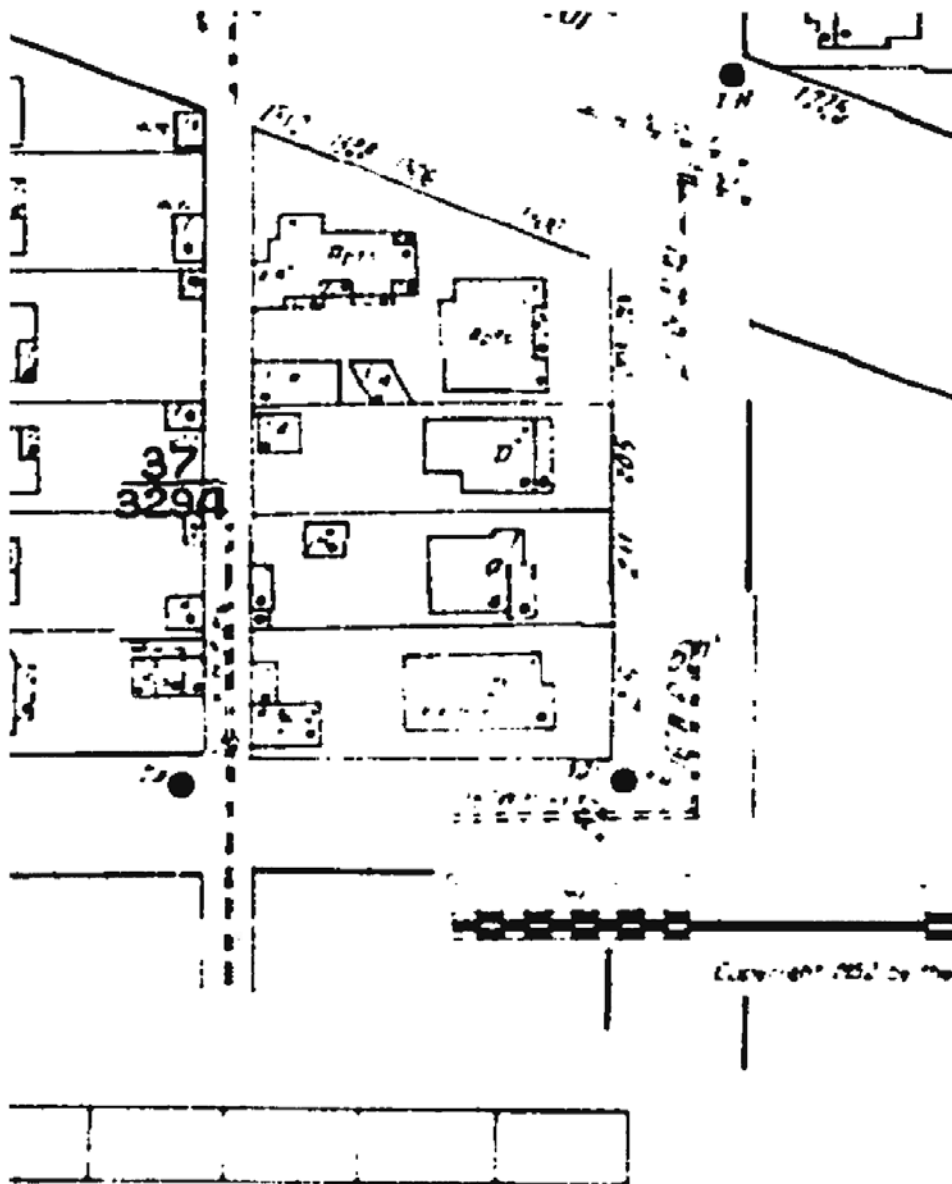


Request #3: Illustration of proposed fence.



Sanborn Map - 1921





1922-1952

## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

Standards for noncontributing structures: Dallas Development Code: No. 19455,  
Section 51A-4.501(g)(6)(C)(ii)

The landmark commission must approve the application if it determines that:

(ii) for non-contributing structures:

The proposed work is compatible with the historic overlay district.

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017  
TIME: 5:30pm  
MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Jeff Blackwell  
PROPERTY ADDRESS: 215 S Clinton Ave  
DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

1 Support work. Believe door was not  
original  
2 NA  
3 NA

**Task force members present**

<input type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Heidi Maher	<input checked="" type="checkbox"/> Rachel Hoehn	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Harry Nicholls	<input type="checkbox"/> VACANT (Alt)

Ex Officio staff members present ☒ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE 1-11-17

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.





## LANDMARK COMMISSION

FEBRUARY 6, 2017

FILE NUMBER: CA167-164(JKA)  
LOCATION: 200 N Windomere Avenue  
STRUCTURE: Main, Contributing  
COUNCIL DISTRICT: 1  
ZONING: PD. No 87, Tract 1

PLANNER: Jennifer Anderson  
DATE FILED: January 5, 2017  
DISTRICT: Winnetka Heights  
MAPSCO: 54-A  
CENSUS TRACT: 0046.00

**APPLICANT:** Jeff Blackwell

**OWNER:** DAVID & MARGARET VISS

**REQUEST:**

1. Remove door on south side of the main structure.
2. Install wood railing on front porch.

**BACKGROUND / HISTORY:**

09/13/2016 – Routine Maintenance CA was issued for paint colors that matched existing (CA156-810(JKA)).

11/06/2015 – A Routine Maintenance CA was issued to replace retaining wall in front and cornerside yard (CA156-124(MD)).

The structure is listed as contributing to the Winnetka Heights historic district.

**ANALYSIS:**

1. The applicant would like to remove a 15-lite door on the south side of the main structure. The door is raised approximately 4 feet off the ground and had steps leading to it at one time. The applicant does not believe that the door opening is original to the structure, but the appraisal documents submitted does not provide sufficient evidence that the opening was not original to the home. Therefore, Staff is recommending Denial without Prejudice of the proposed work.
2. The applicant would like to install railing on the front porch for safety reasons but could not establish that railings were an original feature on the home. Therefore, Staff believes that the railing would be considered a conjectural feature and is not supportive of the proposed installation. Therefore, Staff is recommending Denial without Prejudice of the proposed work.

**STAFF RECOMMENDATION:**

1. Remove door on south side of the main structure – Deny without Prejudice – The work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i)

because it is inconsistent with preservation criteria Section 51P-87.111 (a)(17)(F)(iii) stating that all windows, doors, and lights in the side facades of the main building must be typical of the style and period of the building, and because the applicant has not met the burden of proof required to show that the door was not an original feature on the main structure.

2. Install wood railing on front porch – Deny without Prejudice – The proposed work does not meet the standards in City Code Section 5A-4.501(g)(6)(C)(i) because it is not consistent with preservation criteria Section 51P-87.111(a)(11)(A) stating that railings on front porches must be typical of the style and period of the main building and because the applicant has not met the burden of proof required to prove that railings were an original feature on the main structure. The proposed work is also not consistent with City Code Section 51A-4.501 because it is inconsistent with City Code Section 51A-4.501(e)(4)(C) stating that the addition of conjectural features or architectural elements from other buildings will not be undertaken.

**TASK FORCE RECOMMENDATION:**

1. Remove door on south side of the main structure – None – No quorum, comments only. Support.
2. Install wood railing on front porch – None – No quorum, comments only. Support. Show context and find similar examples.

**Certificate of Appropriateness (CA)**  
**City of Dallas Landmark Commission**

CA 167 - 164 [JKA]  
Office Use Only

Name of Applicant: Jeff Blackwell  
Mailing Address: 11005 Carissa Dr.  
City, State and Zip Code: Dallas, TX 75218  
Daytime Phone: 469-951-9508 Fax: \_\_\_\_\_  
Relationship of Applicant to Owner: Contractor

Building  
Inspection:  
Please see signed  
drawings before  
issuing permit:  
Yes \_\_\_ No \_\_\_  
Historic Planner's  
Initials: \_\_\_\_\_

PROPERTY ADDRESS: 200 N. Windomere  
Historic District: Winnetka Heights

**PROPOSED WORK:**

Please describe your proposed work simply and accurately. DO NOT write "see attached." Attach extra sheets if necessary and supplemental material as requested in the submittal criteria checklist.

\* ee a  
1/11/17  
request  
① Remove non-functional door at South side of house  
located at stairway landing. Door was added when house  
was converted to a duplex in the 50s. Original  
house plans from Sears & Roebuck do not show door.  
Install siding to match house siding and paint to  
match.

Signature of Applicant: Jeff Blackwell Date: 1/11/2017  
Signature of Owner: Margaret Uss Date: 1/14/2017  
(E NOT APPLICANT) JAN 05 2017

**APPLICATION DEADLINE:**

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH 12:00 NOON** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

**OTHER:**

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate of Appropriateness has been:

- ☐ **APPROVED.** Please release the building permit.  
☐ **APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.  
☐ **DENIED.** Please do not release the building permit or allow work.  
☐ **DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

**Sustainable Construction and Development**

**Date**

② Install wood railing across front of front porch. 4x4 posts with railings on top and bottom. Request is due to safety, as well as railing was on original house plans.

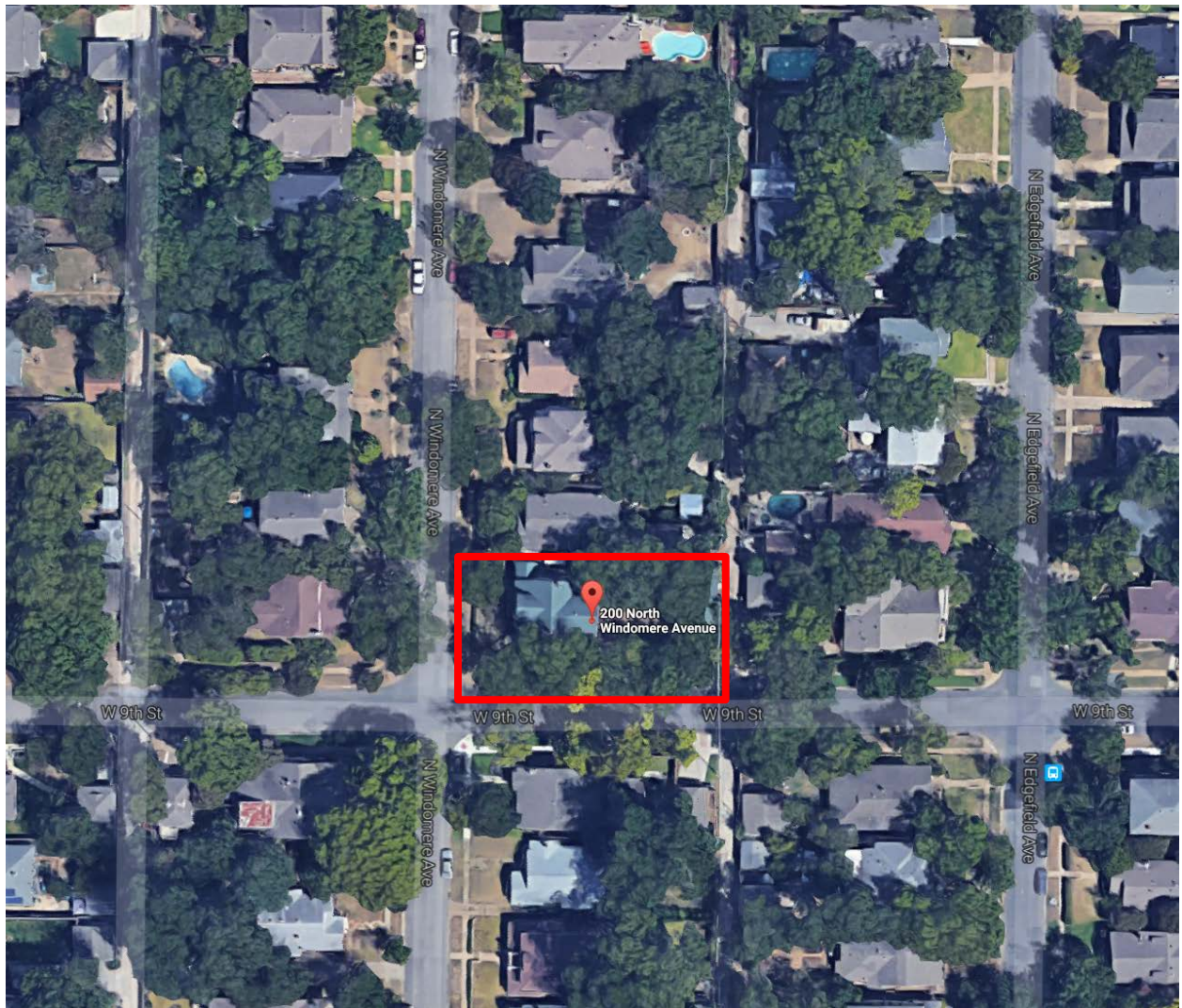
**Certificate of Appropriateness**

**City of Dallas**

**Historic Preservation**

Rev. 111408





Aerial image





Main structure





To left of main structure





Across street from main structure



Across street from main structure





311 N Montclair



213 N Montclair

Surrounding neighborhood



**130 N Montclair**

Surrounding neighborhood





Main structure



Side façade showing door proposed for removal.





South façade



Front porch

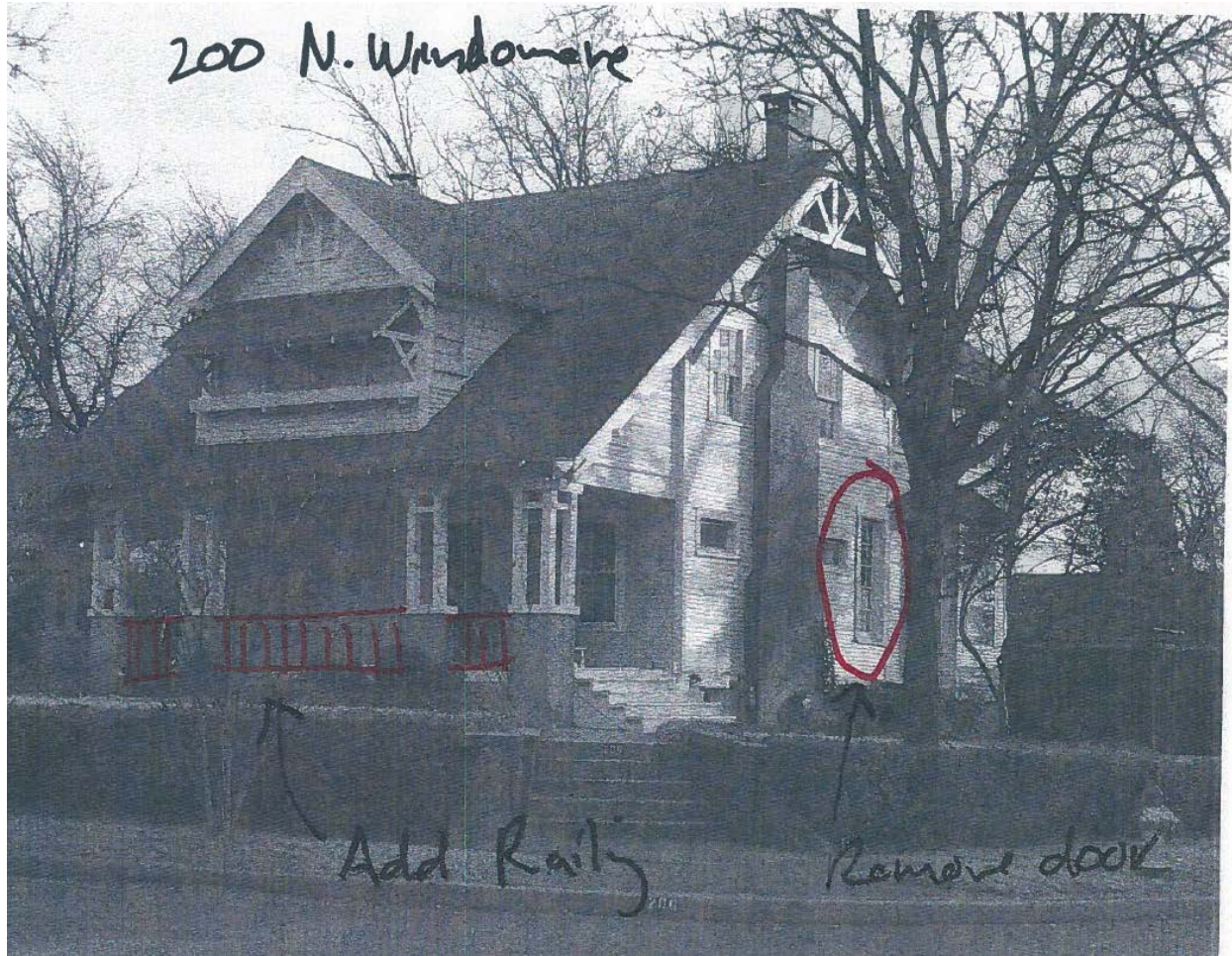




**200 N Windomere Post Base**









Scale 1" = 1'-0"

Paint: Behr Off White

NEW RAILING

2x6 Top Rail

2x4 Picket

2x4 Bottom Rail

EXISTING Wood Porch Floor

Stucco Post Base

Cast Stone Cap

6x6 Wood Post

VARIES

3 1/2" 3 1/2"

± 30" TO GRADE

27-1 1/2"

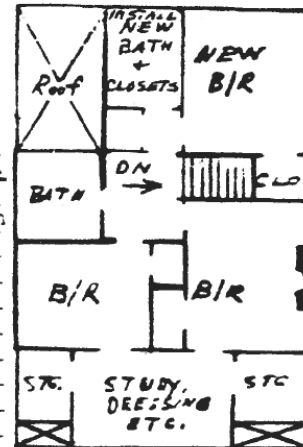
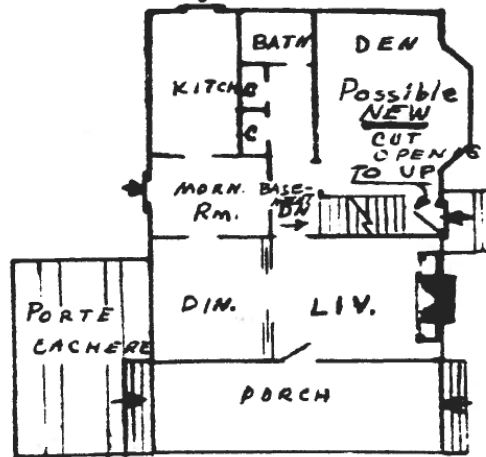
32 1/2"

4"

Mrs. Street - Mary

# JUDGE FITE COMPANY, INC., REALTORS

2744 West Davis Dallas, Texas 75211  
Phone 214-339-7177



SECOND FLOOR

List Price \$ \_\_\_\_\_

Address 200 N. Windomere City Dallas TX 75208  
Description Pre-1900, old Volk Bros. Home. Now multi-family with 3 rm. det. apartment at alley. Plaster over wood lathing walls and ceilings. Downstairs, Living, Dining, Morning, kitchen, bath, Den (now B/R); up, 2 apts. Easily conv. to sing.fam. Foundation Conc.  
: LR 14.6x16.10; beams; WBFP BR 1 (Den) 12.9x15 (bay) Roof Comp. 1978  
DR 11.5x12.8 (pocket drs.) (Many antique features)  
KIT 8.9x15.10 (Rm. for W/D) nice corner lot. Con Interior plaster  
BRK 8.7x13 (O/S door) venient floorplan. Exterior Alum.  
DEN (see above if reconverted) Age 84 plus  
Other 1-B/R and Eff. share 1 Bath. Side entry to stairs.  
Remarks Owner desires buyer to restore home to original one family dwelling. Needs complete updating. Good wood floors most of formal areas and bedrooms. Copper wiring in conduit. Plumbing updated. Original dated light fixtures, beamed ceilings, two fireplaces, pocket doors, roof 1978. Aluminum siding same style as original clapboard, retains character. Dry basement with drain.

(3-compartment base ent. 1-6-6 ceiling)  
(3 rm. apt. at rear.)  
All Measurements Approximate

Financing - Subject to confirmation by Mortgagee  
1st Mortgage Holder N/A Many orig. stain glass/leaded windows, book case doors.

Interest Rate \_\_\_\_\_ % Years \_\_\_\_\_ Dated \_\_\_\_\_  
Lot 11 Block 18/3275 Addition Winnetka Heights  
Taxes \$ '83 475.95 Other Fin. Info. \_\_\_\_\_

## Special Conditions

Owner Mrs. May L. Street Res. Phone: \_\_\_\_\_  
Broker Judge Fite Co., Inc.  
Address 2744 W. Davis, Dallas, Texas 75211 Ofc. Phone 339-7177  
Listing Agent Cecil J. Lowrance Res. Phone 942-0646

The information herein is furnished by the broker to the best of his knowledge, but is subject to verification by purchaser, and agent assumes no responsibility for correction thereof in accordance with the Law. This property is offered without respect to race, color, creed or national origin.

MLS

National Relocation  
Counseling Center



JUDGE FITE COMPANY, INC., REALTORS  
2744 W. Davis  
Dallas, Texas  
(214) 339-7177

I/we understand that according to Article 6773A-Texas Civil Statutes entitled "The Texas Real Estate License Act" that your license could be revoked or suspended if you offer real property for sale without the knowledge and consent of the owner (Section 16c, 15) and that any agreement for the payment of fee for the sale of Real Estate shall be in writing and signed by the owner or his authorized agent, (Section 28).

You are authorized to sell the property situated in the County of Dallas, State of Texas to wit: That property commonly known as 200 N. Windomere

at a price of \$ 149,900 for a period of 1 days.

You, by the acceptance of this authority, agree to use your diligent effort to sell the property, and when you have secured a purchaser for the property on terms acceptable to me or, if I/we should sell or exchange the property by you or by your efforts, to a person whose name you have registered, you will be regarded as the procuring cause of such sale or exchange and I/we agree to pay you a fee equal to six percent ( 6 %) of the Selling Price.

I/we authorize you to advertise, at your discretion, the property by all such means and methods as you deem best, and to place a For Sale sign on the premises and remove any and all other signs offering the property.

I/we acknowledge that I/we have received a copy of this letter of Authority.

Xdated Aug 5, 1986

ACCEPTED

JUDGE FITE COMPANY, INC., REALTORS

By Wlene Fite

To: Mrs. J. Kusser Ditts



## PRESERVATION CRITERIA CITED FOR STAFF RECOMMENDATION

### Section 51P-87.111 (a)(17)(F)(iii)

(iii) All windows, doors, and lights in the front and side facades of the main building must be typical of the style and period of the building. Windows must contain at least two lights (window panes). Front doors must contain at least one light. Sidelights must be compatible with the door.

### Section 51P-87.111(a)(11)(A)

(A) Detailing. Railings, moldings, tilework, carvings, and other detailing and architectural decorations on front entrances and porches must be typical of the style and period of the main building.

### Section 51A-4.501(e)(4)(C)

(C) Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

**ATASK FORCE RECOMMENDATION REPORT**  
**WINNETKA HEIGHTS / LAKE CLIFF**

DATE: 01/11/2017  
TIME: 5:30pm  
MEETING PLACE: 302 W. Tenth Street, North Oak Cliff Library,  
Conference Room

APPLICANT NAME: Jeff Blackwell  
PROPERTY ADDRESS: 200 N Windomere Ave  
DATE of CA / CD REQUEST: 01/05/2017

**RECOMMENDATION:**

☐ Approval ☐ Approval with conditions ☐ Denial ☐ Denial without prejudice

Recommendation / comments/ basis:

*1 Supports*  
*2 Show Context and find simular examples (Support)*

**Task force members present**

<input type="checkbox"/> Christine Escobedo	<input type="checkbox"/> Jeff Cummings (Chair)	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Heidi Maher	<input checked="" type="checkbox"/> Rachel Hoehn	<input type="checkbox"/> VACANT
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Harry Nicholls	<input type="checkbox"/> VACANT (Alt)

Ex Officio staff members present ☐ Jennifer Anderson

Simply Majority Quorum: ☐ yes ☒ no

Maker:

2<sup>nd</sup>:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE *1-11-17*

The task force recommendation will be reviewed by the landmark commission during the staff briefing in the City Council chamber, Room 5ES.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.