

Applicable Urban Design Priorities Project Should Achieve

[1] Consider how the redevelopment of the Ice House complex can help connect the improvements and attractions of the Dallas Zoo, Southern Gateway Park, North Oak Cliff, and surrounding areas with the 10th Street Historic District.

Sidewalks along E Clarendon should be improved to minimize conflicts with vehicles while increasing shading opportunities for comfort. Building improvements related to access, transparency, and activity should be prioritized to create interest and welcome pedestrians to this new neighborhood asset and through other nearby attractions, neighborhoods, and destinations.

[2] Parking and service areas should be buffered as much as possible from view of public roads. Design of parking areas should also consider how they can contribute to the environmental sustainability goals of the City.

Where parking is necessary along E Clarendon, design of hard and softscape site improvements should be considered to help buffer them while prioritizing pedestrian access to building tenant entries. Consideration should also be given to how these parking areas could be repurposed on a temporary or permanent basis for other uses or activities. Reduce visual and environmental impact of all parking lots and service areas by considering visual buffers, shading and incorporating landscaping, and eco-friendly strategies to help mitigate flooding from nearby Cedar Creek, water pollution, urban heat island effect, and negative views from the street.

[3] Attention should be given to the design of the existing structure to help welcome new tenants, provide pedestrian visual interest, and celebrate its unique history in the neighborhood.

Look for opportunities to activate the street with new tenant entries, windows, signage, canopies, outdoor seating space, lighting and landscaping.

Explore how the creek can provide unique opportunities to enhance the development’s character and offerings to tenants and users.



Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part II & III, Part IV [Oak Cliff Gateway]

Context Description

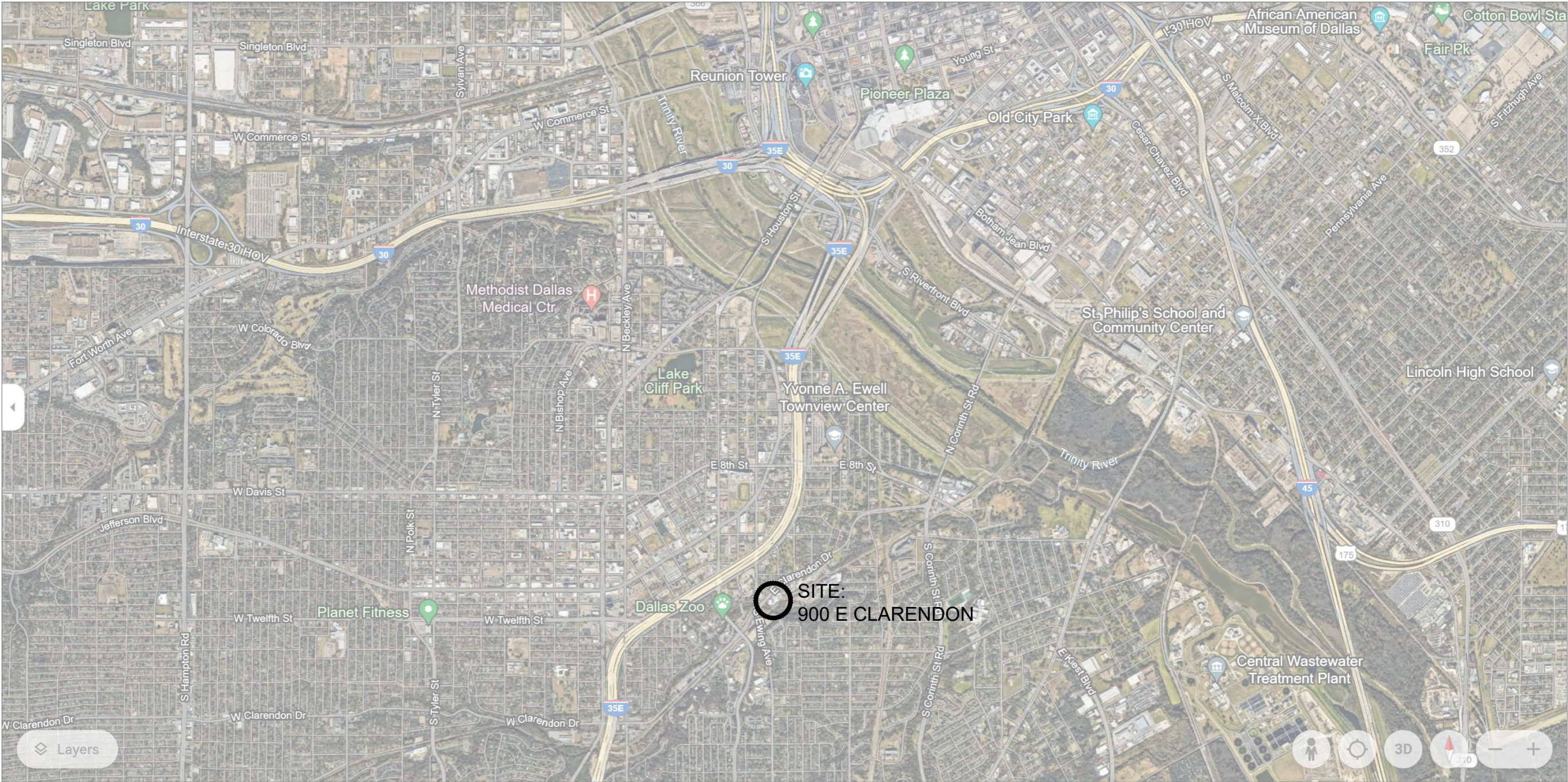
The current structure on the property consists of an Ice house built in the 1900's and warehouses which were added on in the 1920's and 1960's. Currently, the property consists of an empty shell of a building which resides on an approximately 150,000 square foot lot. The plan is to take approximately 30,000 square feet of the building and turn it into street facing, quality, active use suites to increase the workforce development within the neighborhood.

Targeted tenants include yoga studios, coffee roasters, rock climbing gym (to be considered in the Ice house section of the property), educational and/or training facilities, art studios, small retail studios, and a creek side restaurant with a patio and greenspace area.

900 E Clarendon

Neighborhood:
Oak Cliff

Program:
Office
Retail



EAST DOCK "TO THE PEOPLE"

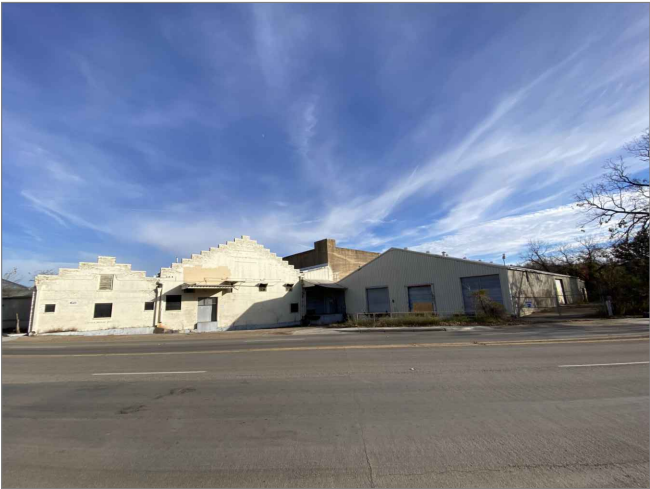
AN ADAPTIVE USE PROJECT
IN OAK CLIFF
900 E CLARENDON DRIVE, DALLAS, TX 75203

PROJECT TEAM:	
PROXY PROPERTIES	
JQAOQ ATELIER	
	
	
DATE:	04-01-24
SHEET NO.	A-0

EAST DOCK

To The People

PHOTOS OF EXISTING PROPERTY - EXTERIOR VIEWS



WEST FACADE FACING CLARENDON



WEST SIDE OF BUILDING



WEST SIDE PARKING AREA



WEST SIDE OF BUILDING



NORTH CORNER OF VIOLA AT CLARENDON



NORTH CORNER OF CLARENDON AT VIOLA



NORTHWEST EDGE OF PROPERTY AT CLARENDON



OFFICE WINDOWS FACING CLARENDON



NORTH SIDE OF BUILDING FACING VIOLA



EAST SIDE OF BUILDING



NORTH PARKING AREA



NORTH PARKING AREA



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PROXY
PROPERTIES

JQAO
ATELIER

Outdoor
Environments
by Tennant & Studio

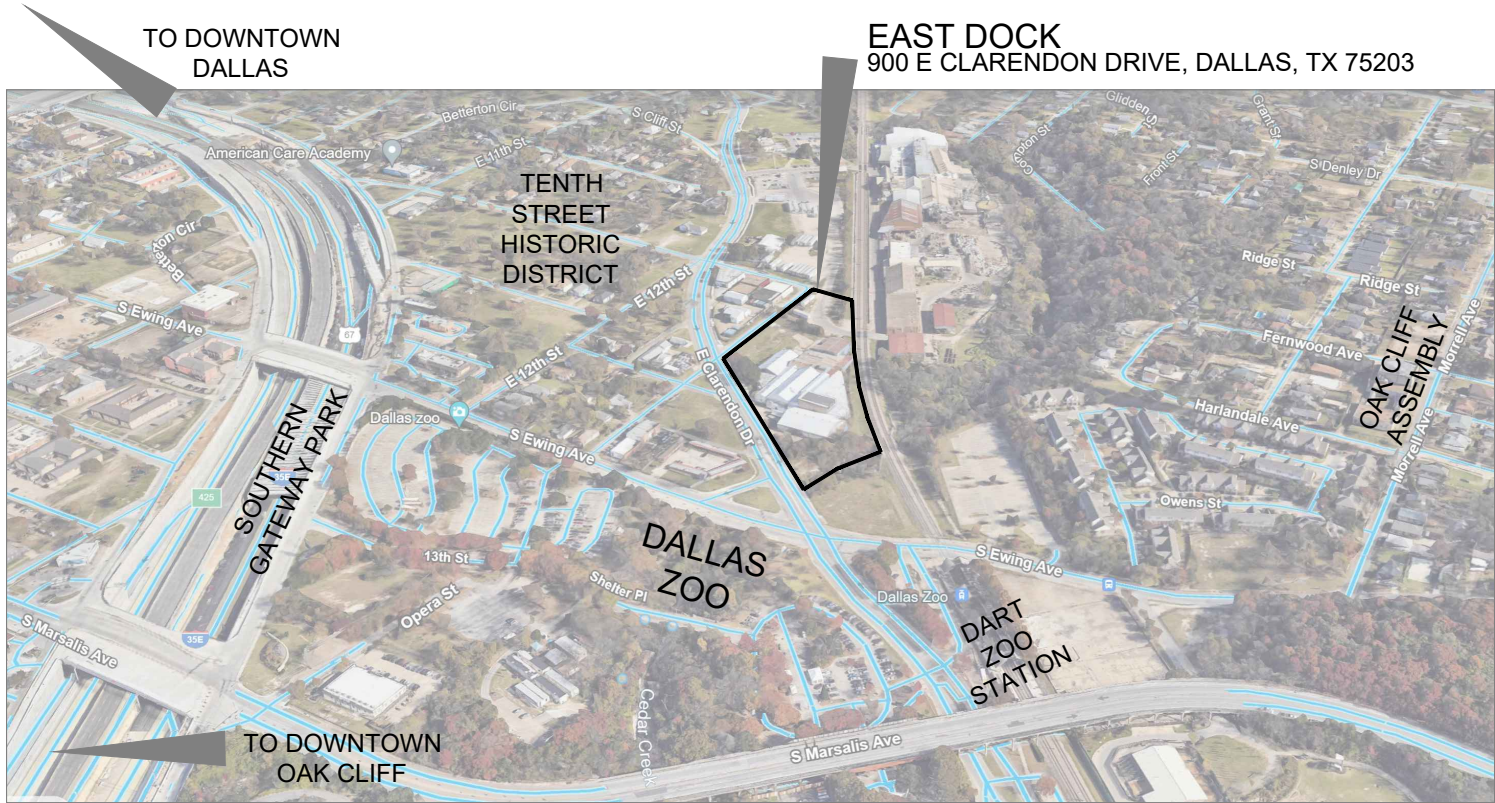
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CONTEXT MAP



BIRD'S EYE VIEW OF PROPERTY AFTER PROPOSED REMODEL

PROJECT NARRATIVE

- A. Overview**
900 E. Clarendon, Dallas, Texas (the "Property" or "900 E Clarendon") is the location of a light-industrial mixed-use project being developed by Proxy Properties, LLC. The current structure on the property consists of an Icehouse built in the 1900's and warehouses which were added on in the 1920's and 1960's. Currently, the Property consists of an empty shell of a building which resides on an approximately 150,000 square foot lot, with frontage along E. Clarendon Drive and Viola Street. The total existing building area to be remodeled is 62,000 square feet. The Southeast side of the building backs up to Cedar Creek and the South property line lies adjacent to a DART station.
- The Property is located less than one mile from the Dallas Zoo, and within direct proximity of the Southern Gateway Deck Park (the "Deck Park"). Upon completion, the Deck Park will help connect the Oak Cliff area to Southern Dallas.
- B. Goal**
The goal of this adaptive use project is to provide convenience for visitors of the Deck Park and the Dallas Zoo to grab a bite to eat or a cup of coffee while supporting a local business in this District. It further aims to bring a Bishop Arts District feel to the Southern area of Dallas.
- C. Zoning**
The Property is currently zoned IM (Industrial Manufacturing). The proposed Project does not require rezoning.
- D. Tenancy**
The plan is to take approximately 30,000 square feet of the building and turn it into street facing, quality, active use suites that will increase the workforce development within the neighborhood.
- The targeted tenants include yoga studios, coffee roasters, rock climbing gym (to be considered in the Icehouse section of the Property), educational and/or training facilities, art studios, small retail studios, and a creek side restaurant with a patio and greenspace area.
- The additional square footage will include parking, DART facing space, and clean flex spaces and studio areas.
- E. Desirability**
With flex spaces being pushed out of the Design District, the Cedars, and West Dallas there is a need for this type of space with proximity to I-35 and downtown. Other mixed-use developments such as Tyler Station have seen huge popularity in a similar locale.
- The Project promises to contribute to the economic growth and prosperity of the City of Dallas and create an exceptional environment for businesses within this District to thrive.



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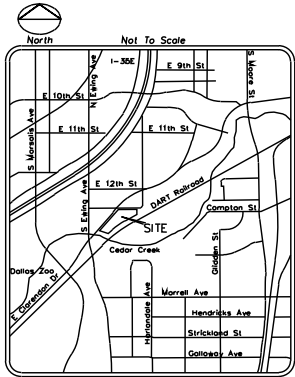
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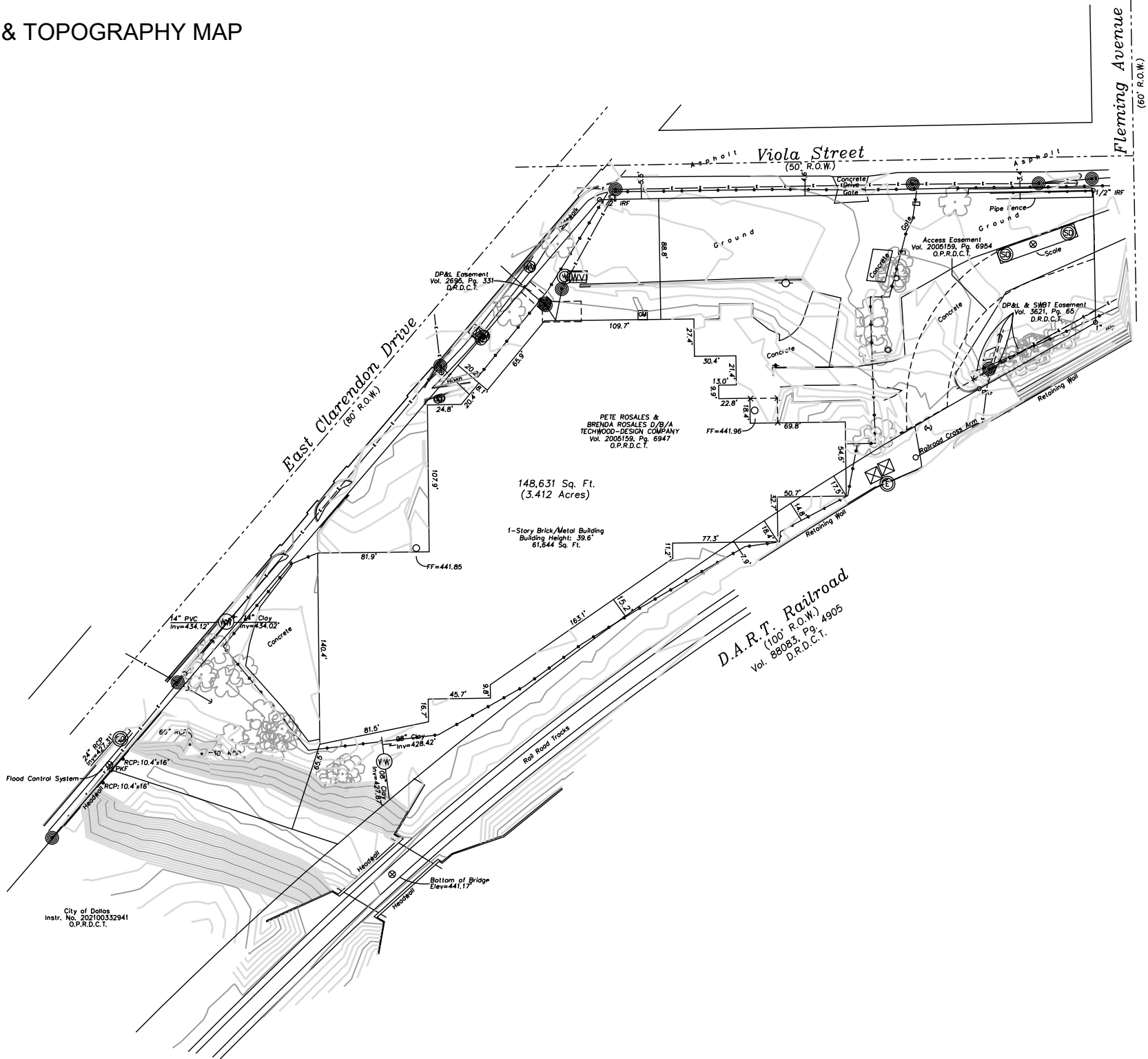
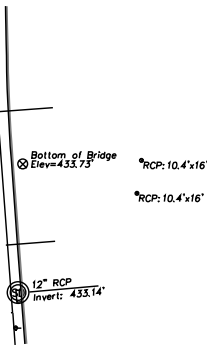
SHEET NO. **A-1**



PROPERTY SURVEY & TOPOGRAPHY MAP



- LEGEND
- property corner
 - power pole
 - bolllard
 - sign
 - fire department connection
 - fire hydrant
 - transformer
 - light standard
 - water meter
 - light pole
 - clean out
 - electric manhole
 - storm manhole
 - traffic control box
 - water valve
 - water manhole
 - water vault
 - gas meter
 - wastewater manhole
 - tree
 - guy wire
 - chain link fence
 - pipe fence
 - overhead electric



* Boundary is based on Survey provided by Client, Dated December 19, 2018.

NOTES:

CRS = 5/8" iron rod with purple plastic cap stamped, "RPLS 6451" set
CIRF = capped iron rod found
IRF = iron rod found
Instr. No. = Instrument, Number
Vol., Pg. = Volume, Page
O.P.R.D.C.T. = Official Public Records, Dallas County, Texas
D.R.D.C.T. = Deed Records, Dallas County, Texas
R.O.W. = right-of-way

City of Dallas Benchmark No. 1711: 55-E-25

A Standard Water Department Bench Mark set on the Southeast corner of concrete Bridge on Marsalis Avenue over Clarendon Drive.

Elevation: 479.88

Basis of Bearings: BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202 (TXNC 4202), NORTH AMERICAN DATUM 1983 (NAD83). DISTANCES SHOWN HAVE BEEN MODIFIED TO SURFACE BY APPLYING A SCALE FACTOR OF 1.000150650 TO THE STATE PLANE COORDINATES.

A part of the subject property lies within Zone AE according to FEMA's Flood Insurance Rate Map No. 4813C0485 J, dated August 23, 2001.
Zone AE: Special flood hazard areas inundated by 100-year flood.
Base flood elevations determined: 437' and 443'

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PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT

DUEÑES LAND SURVEYING, LLC
2112 Blackfoot Trail
Mesquite, Texas 75149
Ph: (214) 210-1836
Surveying Firm #10194446

Land and Loan Company Addition
All of Lots 4,5,9,10,11,12 and part of Lots 1,2,3,6,7,8,13,
and 14, Block C/3114, and part of Lots 7,8, and 9, Block B/3114
City of Dallas, Dallas County, Texas

Scale: 1" = 40'
Date: 06/02/22
Field Tech: A.M.
Office Tech: J.T.
Project Manager: Davison
Project No.: 22-043

SHEET

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PROPERTIES

JQAO
ATELIER

Outdoor
environments
by terrant st. studio

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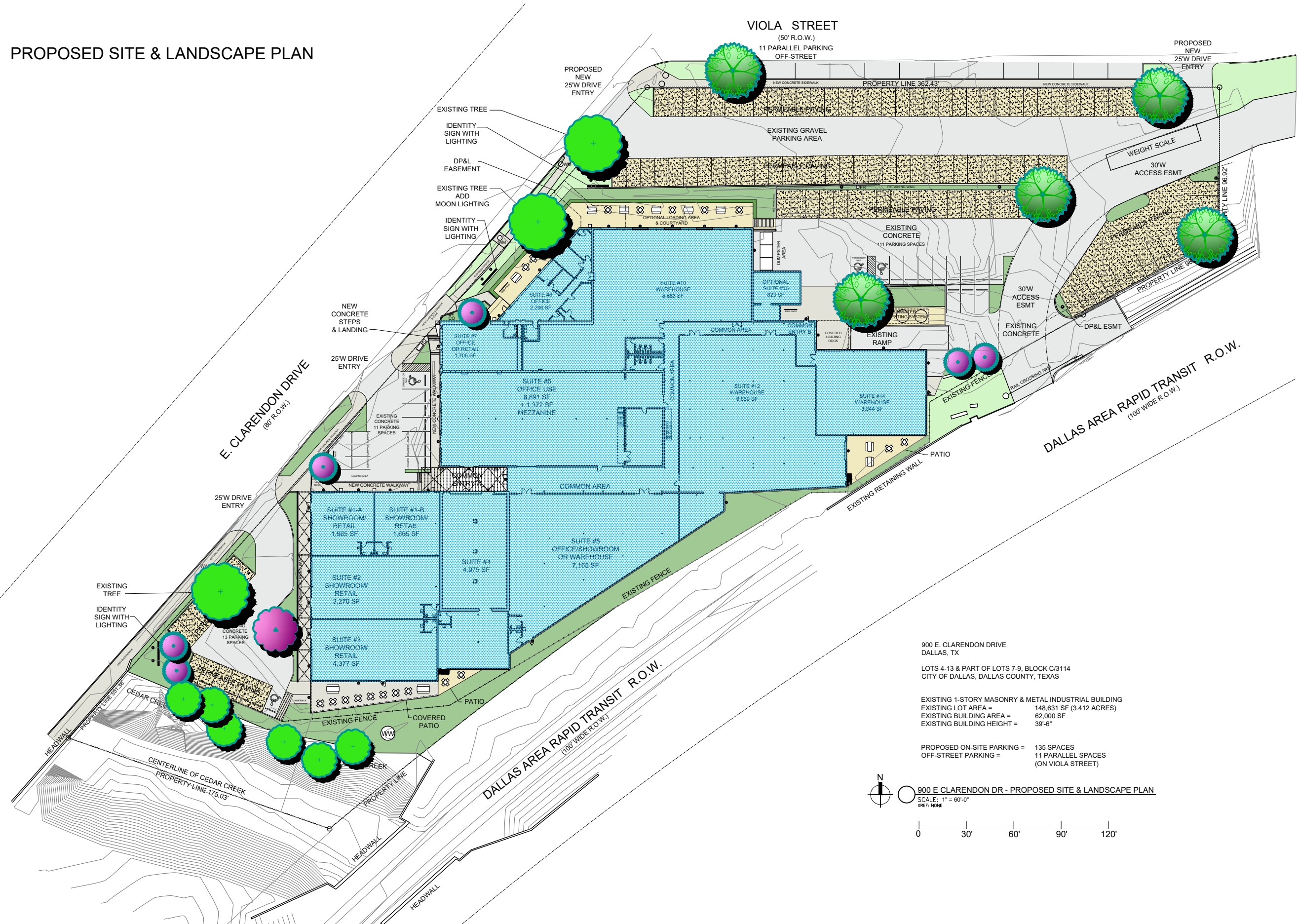
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A-10

PROPOSED SITE & LANDSCAPE PLAN



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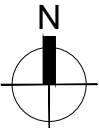
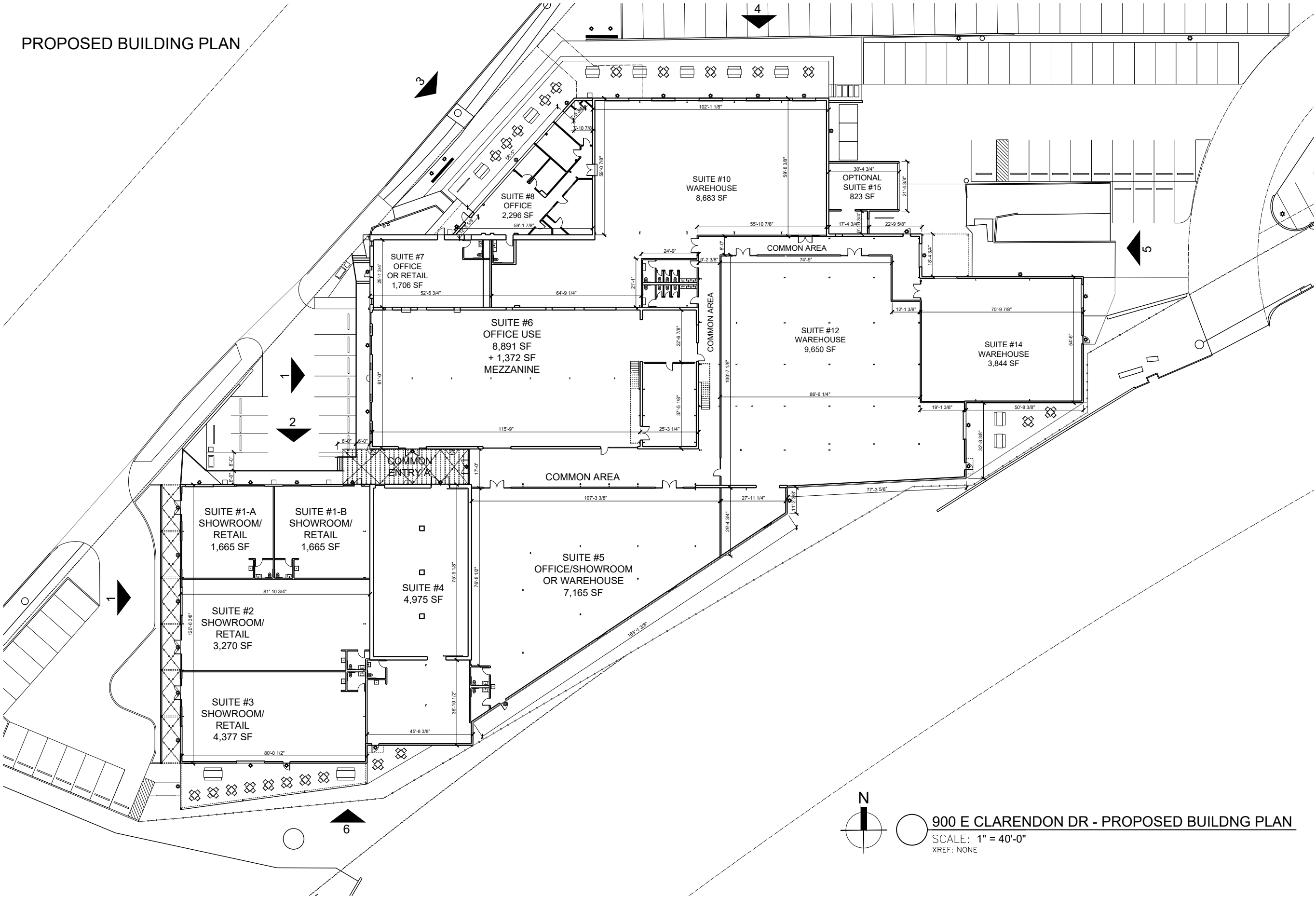
PROPOSED BUILDING PLAN



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IN OAK CLIFF

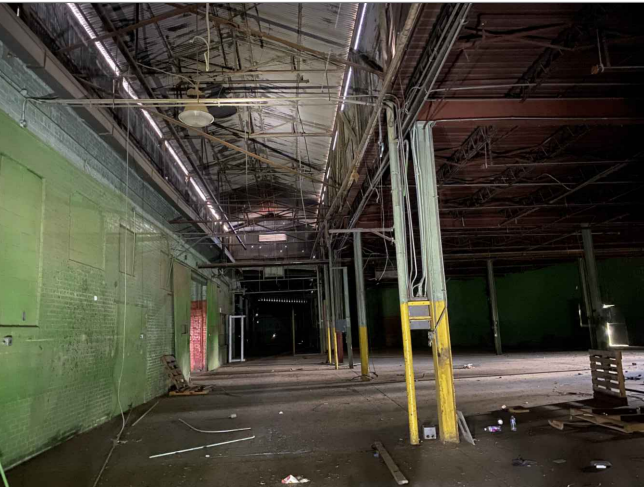
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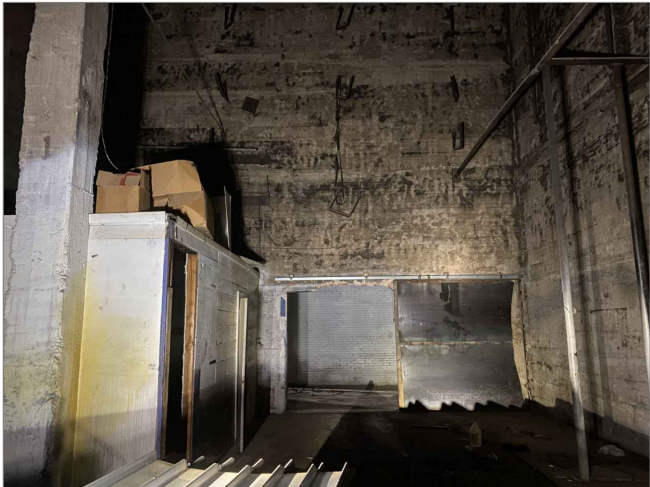
900 E CLARENDON DR - PROPOSED BUILDING PLAN
SCALE: 1" = 40'-0"
XREF: NONE

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PROXY PROPERTIES	
JQAO ATELIER	
Outdoor environments by terrant st. studio	
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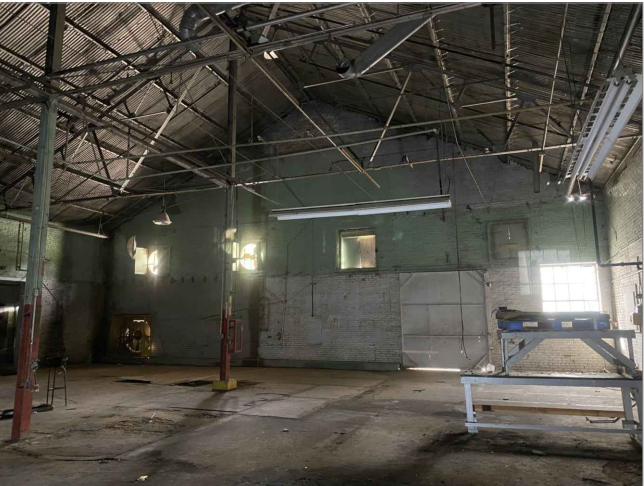
PHOTOS OF EXISTING BUILDING - INTERIOR VIEWS



INTERIOR AT PROPOSED WEST ENTRY



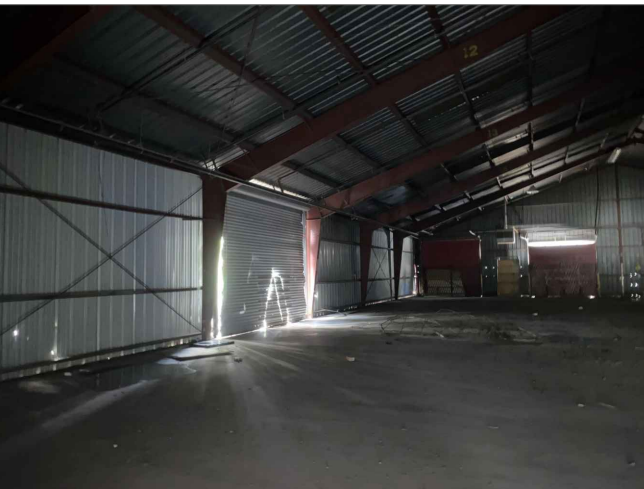
INTERIOR OF ICEHOUSE



INTERIOR



INTERIOR



INTERIOR



INTERIOR AT OFFICE AREA

EXISTING BUILDING REMODEL - SCOPE OF WORK

F. Scope of Work Summary

- Work includes exterior and interior remodel of an early 1900's Icehouse and industrial warehouses built between the 1920's and 1960's. The lot area is 150,000 square feet, with a frontage along E. Clarendon Drive and Viola Street. The total existing building area to be remodeled is 62,000 square feet. Cedar Creek is located along the Southeast side of the building, and DART is located along the South property line.
- Work includes construction of 1-hour rated interior demising walls to create separate suites for a variety of tenant uses, including Office, Personal Service, Showroom, Warehouse, Retail, and any other use allowed by the current IM zoning on the property.
- Work includes site construction, general construction, mechanical, electrical and plumbing systems, as well as landscaping and installation of public amenities.
- All exterior brick masonry and concrete masonry walls shall remain. Mortar shall be pointed and repaired as needed. Existing masonry is currently painted and will be repainted.
- Work includes roofing repair or replacement, metal siding and trim replacement or repairs, prep and painting on all masonry and metal structures.
- Work includes removal of existing windows, exterior fans and doors, and replacement with new energy efficient windows and glass storefronts or glass overhead doors. Glass for windows and storefronts shall be equal to CARDINAL CG LOW-E3-366, U-FACTOR MINIMUM: AIR FILL IP=0.29/SI=1.65, ARGON FILL IP=0.24/SI=1.36. Fenestrations shall achieve a minimum U-0.38 RATING.
- R-20 insulation shall be added to all metal exterior walls. R-30 insulation shall be added to the underside of all metal roofs. Wall and roof assembly shall achieve U-0.32 rating.
- HVAC Systems shall meet a minimum 14-SEER rating. Each Suite shall have an independent system with controls for efficiency.
- Electrical Systems shall include replacement of existing electrical panels with new breakers and wiring. New lighting shall be provided with Indoor power density not to exceed 0.21 watts per square feet. Outdoor lighting power density shall not exceed 2750 watts. Replace and add exterior and interior outlets.
- Plumbing Systems shall have a useful life of 35 years. Water closets shall exceed baseline code at 1.28 gallons per flush. Lavatories shall exceed baseline code at 0.35 gallons per minute. Hot water heating systems shall have a useful life of 20 years minimum.
- Security systems shall provide audible and visible alarms in each suite, in compliance with Chapter 7 of the Texas Accessibility Standards.



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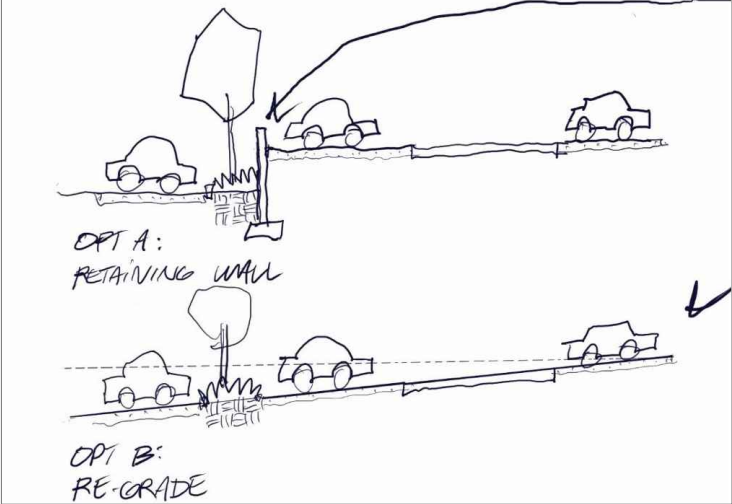
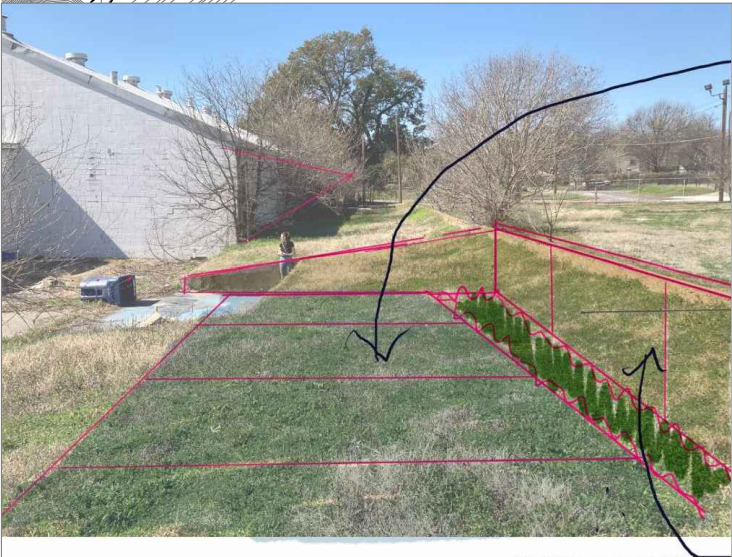
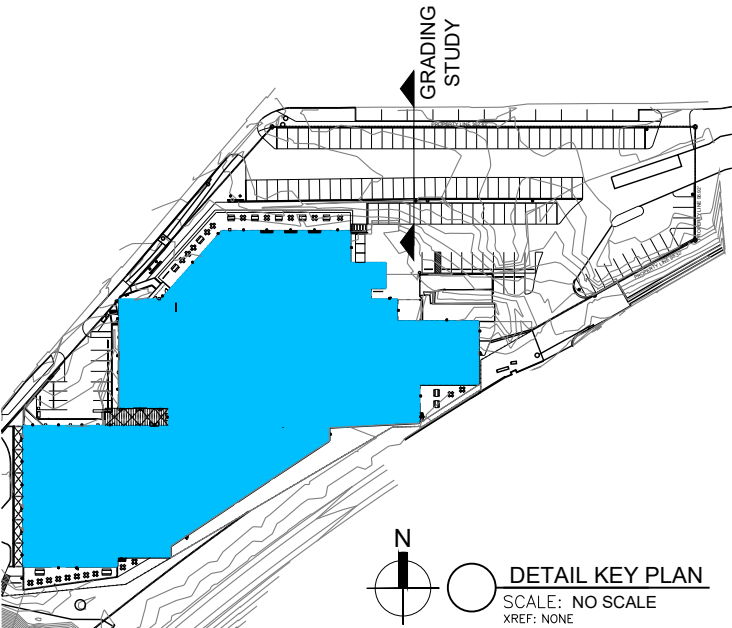
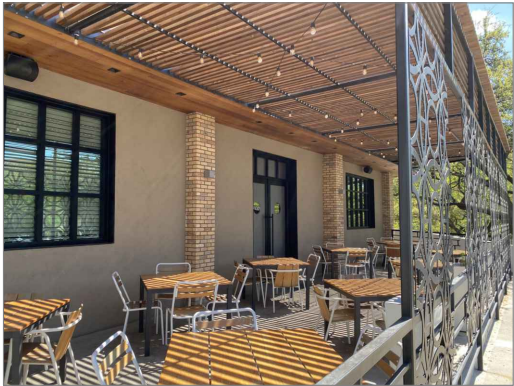
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A-7

SITE CONCEPTS



OPEN AIR ENTRY COURT AND PATIO AREAS



IDENTITY SIGNAGE




RAINWATER HARVESTING



PERMEABLE PAVING AT PARKING AREAS



GRADING STUDY @ NORTH PARKING AREA



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Outdoor Environments
by Tennant & Studio



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RENDERINGS OF PROPOSED REMODEL



WEST VIEW FACING CLARENDON



ENTRY DETAIL AT WEST SIDE



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NORTH VIEW FACING VIOLA



NORTHWEST VIEW FACING CLARENDON

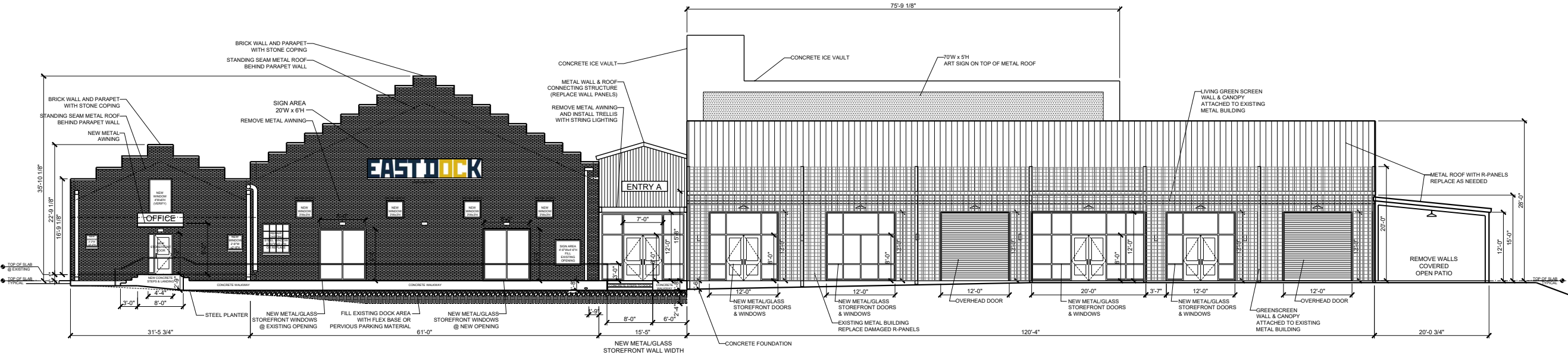
PROJECT TEAM:
PROXY PROPERTIES
JQAO ATELIER
 Outdoor Environments <i>by terrant & studio</i>

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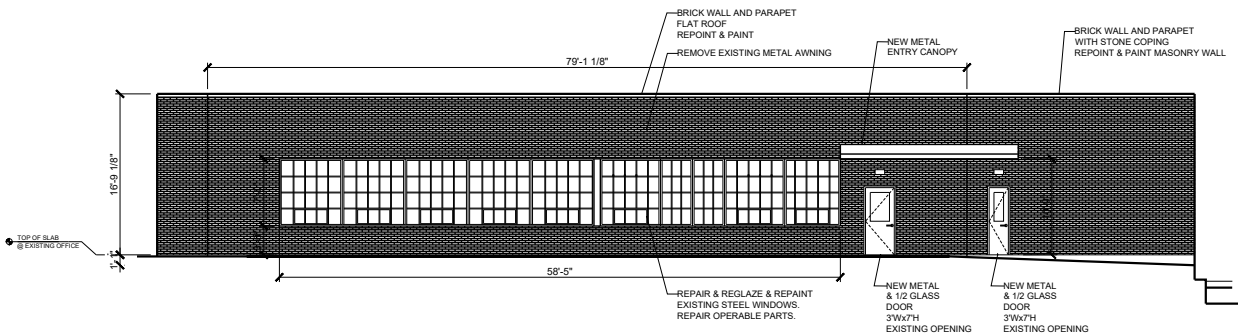
PROPOSED EXTERIOR ELEVATIONS



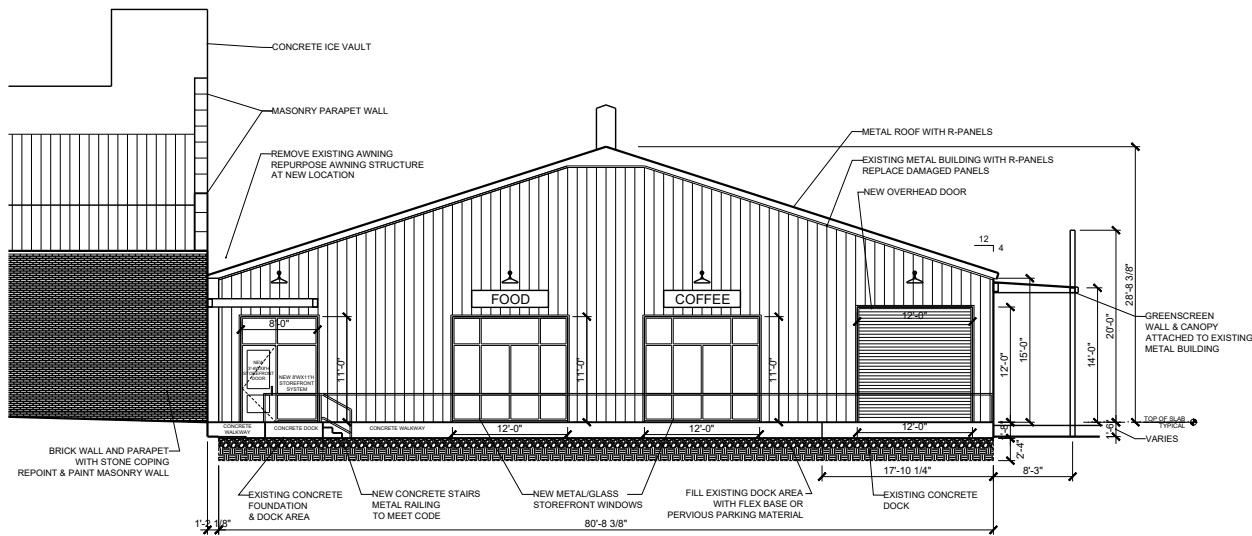
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1 PROPOSED WEST ELEVATION (FACING CLARENDON)
SCALE: 1" = 20'-0"
XREF: NONE



3 PROPOSED NORTHWEST ELEVATION (FACING CLARENDON)
SCALE: 1" = 20'-0"
XREF: NONE



2 PROPOSED NORTH ELEVATION (FACING CLARENDON)
SCALE: 1" = 20'-0"
XREF: NONE

PROJECT TEAM:

PROXY
PROPERTIES

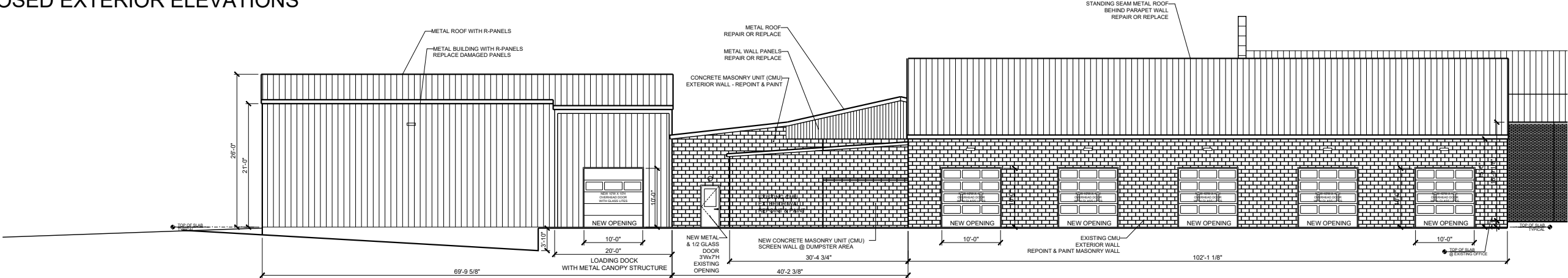
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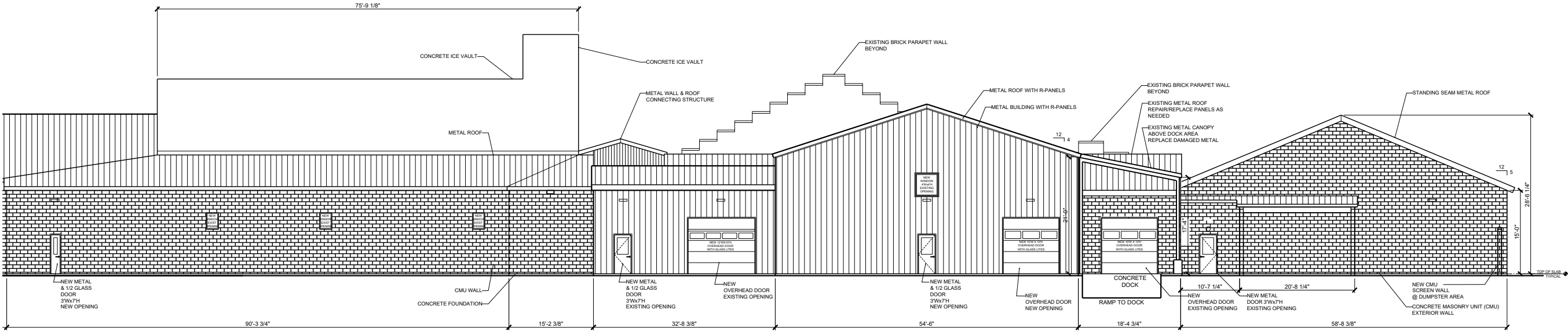
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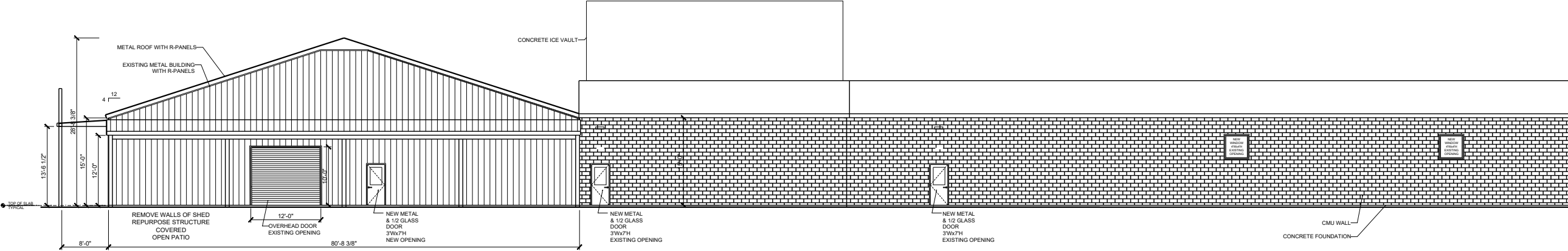
PROPOSED EXTERIOR ELEVATIONS



4 PROPOSED NORTH ELEVATION (FACING VIOLA)
SCALE: 1" = 20'-0"
XREF: NONE



5 PROPOSED EAST ELEVATION
SCALE: 1" = 20'-0"
XREF: NONE



6 PROPOSED SOUTH ELEVATION
SCALE: 1" = 20'-0"
XREF: NONE



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