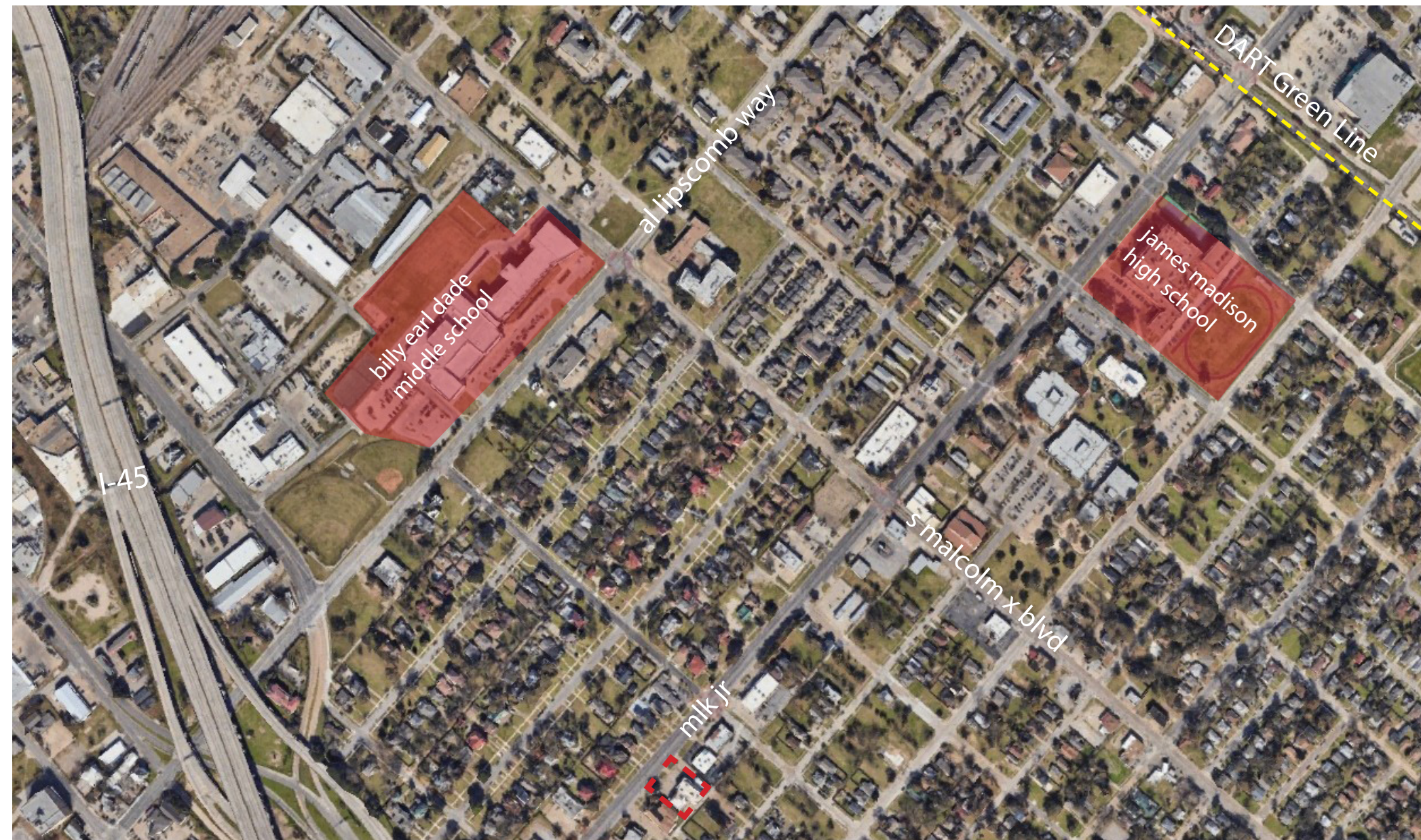


## Applicable Urban Design Priorities that Project Should Achieve

- [1] Parking, although a necessary element, may not directly support the pedestrian and active streetfront environment.  
Explore opportunities to reduce the overall number of parking spaces, reconfigure parking space layout, and/or adjust on-site vehicle circulation. The goal would be to allow for additional landscaping, hardscaping and/or amenities and opportunities to directly and safely invite the all users to the front door from MLK and the parking lot.
- [2] Enhance the character and vitality along MLK through restoration of the medical Office Building.  
Ensure a visual connection to the street is maintained or enhanced by carefully restoring existing or adding new openings. Provide a covered and identifiable main entry visible from MLK. Explore cost-effective methods to attractively update the buildings facade.
- [3] Consider how restoration of the building and the re-opening of a neighborhood medical services building can also re-introduce the community to it's history and culture.  
Explore options for honoring the existing front exterior wall mural depicting important African-Americans in business and medicine through documentation or reinterpretation and relocation if necessary to another facade or the building's interior.



## Policy References

Forward Dallas!  
Section 5 [urban design element]

South Dallas / Fair Park Economic Development Plan (2001)

## Context Description

This limited budget project will be the first project in the Grand Park South TIF District. Established in the early 1960's, the long vacant building, was one of the few black-owned and operated hospitals in Dallas. Exterior improvements will be limited to bringing the facility back-up to code, removing a deteriorating addition, and providing an exterior facade, parking and landscaping face-lift.

Martin Luther King Blvd. will receive future attention with a slated complete reconstruction project so sidewalk and landscaping improvements within the R.O.W. should be kept to those required to meet accessibility requirements.

MLK Health Clinic

Neighborhood:  
South Dallas / Fair Park

Program:  
Medical Office Building

# PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING 2516 MLK JR BOULEVARD – DALLAS, TEXAS

## PROJECT DESIGN & DEVELOPMENT GOALS FOR URBAN DESIGN PEER GROUP:

- ❖ TO REDEVELOP THIS ICONIC BUILDING TO AGAIN PROVIDE MEDICAL SERVICES TO THIS UNDERSERVED COMMUNITY. TO HONOR THE ORIGINAL AFRICAN-AMERICAN HOSPITAL FOUNDERS, & REPRESENT THE REDEVELOPMENT FUTURE FOR THIS ESTABLISHED & EVOLVING COMMUNITY.
- ❖ TO IMPROVE SITE LANDSCAPING AND PEDESTRIAN CONNECTIVITY ALONG MLK BLVD. STREETScape.
- ❖ TO RENOVATE THE EXISTING BUILDING SHELL, INTERIOR CORE, UTILITY INFRASTRUCTURE & EXTERIOR FACADES TO ATTRACT & SUPPORT POTENTIAL NEW MEDICAL TENANTS.
- ❖ TO HAVE A HIGH QUALITY, ELEGANT “NIGHTIME IMAGE” ALONG MLK BLVD. THIS BUILDING REPRESENTS A FUTURE THAT IS BRIGHTER FOR ALL.

## PROJECT CHALLENGES:

- ❖ THE EX. SITE APPEARS VERY TIGHT FOR INTRODUCING NEW LANDSCAPING (PENDING SURVEY CONFIRMATION). PARTICULARLY ALONG THE FRONT MLK PROPERTY LINE AT THE EXISTING PAVED PARKING. NEW PARKING LOT ISLANDS ARE INTENDED TO HELP INTRODUCE NEW LANDSCAPING.
- ❖ THE PROPOSED PRIMARY RENOVATION COSTS ARE “VERY BUDGET CONSCIOUS” TO STAY WITHIN AFFORDABLE TENANT/MARKET RENT RATES. THE EXISTING SHELL BUILDING NEEDS STRUCTURAL ROOF REPAIRS, A NEW TPO ROOF, NEW SANITARY SEWER LINE, WATER, FIRE SPRINKLER SYSTEM AND ELECTRICAL SERVICES TO MEET CURRENT CODE. ALSO, A NEW ELEVATOR & RESTROOMS. THE PROPOSED EXTERIOR IMPROVEMENTS ATTEMPT TO PROVIDE A MODERN “MEDICAL OFFICE PERSONALITY” DESIRED BY THE CURRENT OWNER WHO GREW UP IN THIS COMMUNITY.
- ❖ THE EXISTING EXTERIOR ART MURAL HAS A UNIQUE & INTERESTING HISTORY. HOWEVER, THE DOCTOR/OWNER WISHES TO CREATE A NEW MURAL TO REPRESENT THE FUTURE OF THIS COMMUNITY. SHE DOES WISH TO PROVIDE A NEW LOBBY DISPLAY THAT WILL SHOW THE EXISTING EXTERIOR MURAL AND HONOR ITS HISTORY.



**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



**SITE LOCATION MAP**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



**SINGLE FAMILY  
RESIDENTIAL**

**SENIOR ADULT CARE**

**OFFICE**

**BAR/RESTAURANT**

**FRATERNITY HOUSES**

**CHILD CARE**

2516 Martin Luther King Jr Blvd

**SMALL BUSINESS**

**CHURCH**

**CHILD CARE**

**AUTO REPAIR**

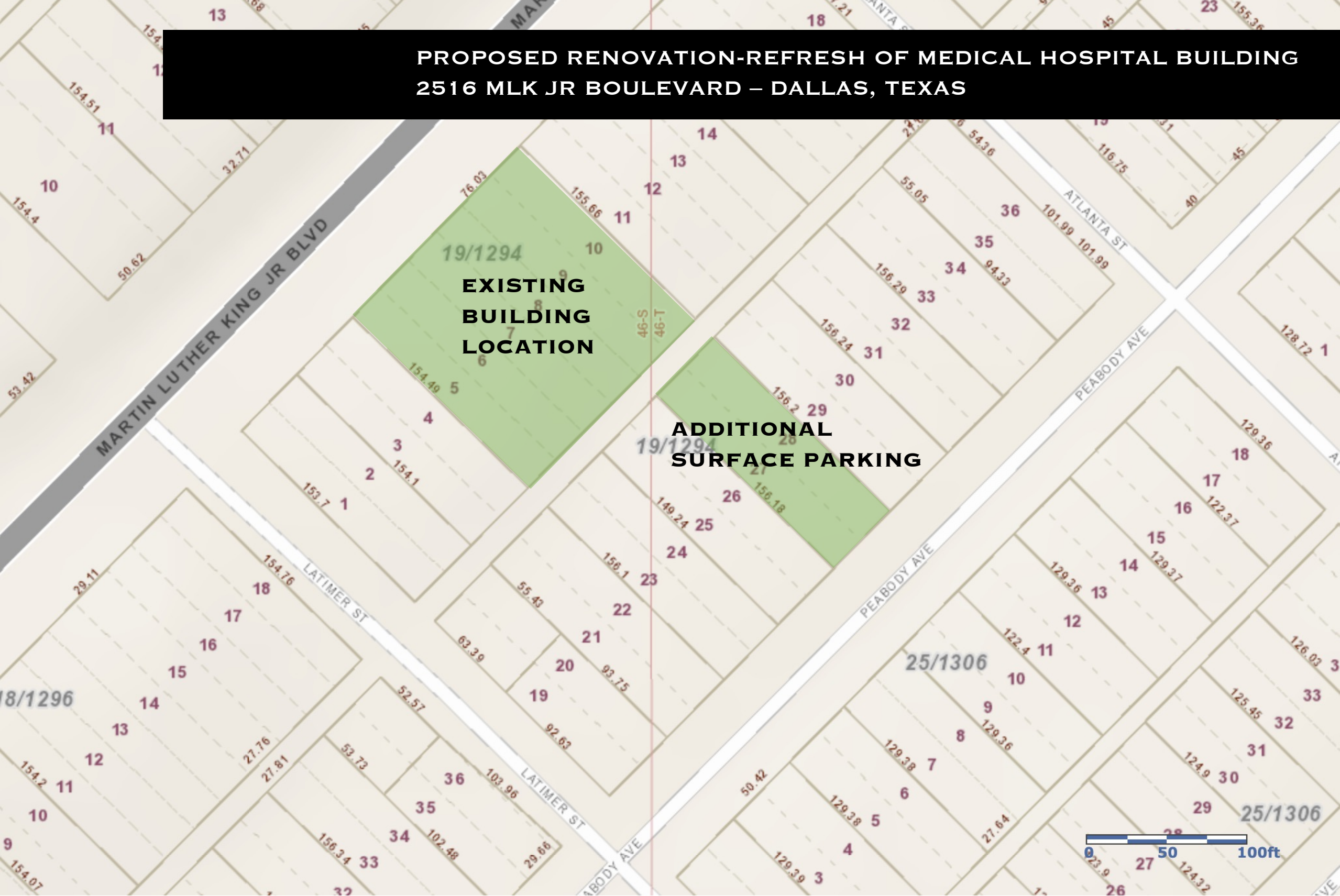
**SINGLE FAMILY  
RESIDENTIAL**

**RETAIL**

**175 HAWN FRWY**

**HISTORIC  
FOREST THEATER**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



**SITE PARCELS FROM DCAD**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**

**PEABODY AVENUE**

**CHILD DAY CARE**

**EXISTING PARKING LOT**

**MLK BLVD COMMERCIAL  
ZONING BOUNDARY**

**DEDICATED ALLEY**

**CHURCH**

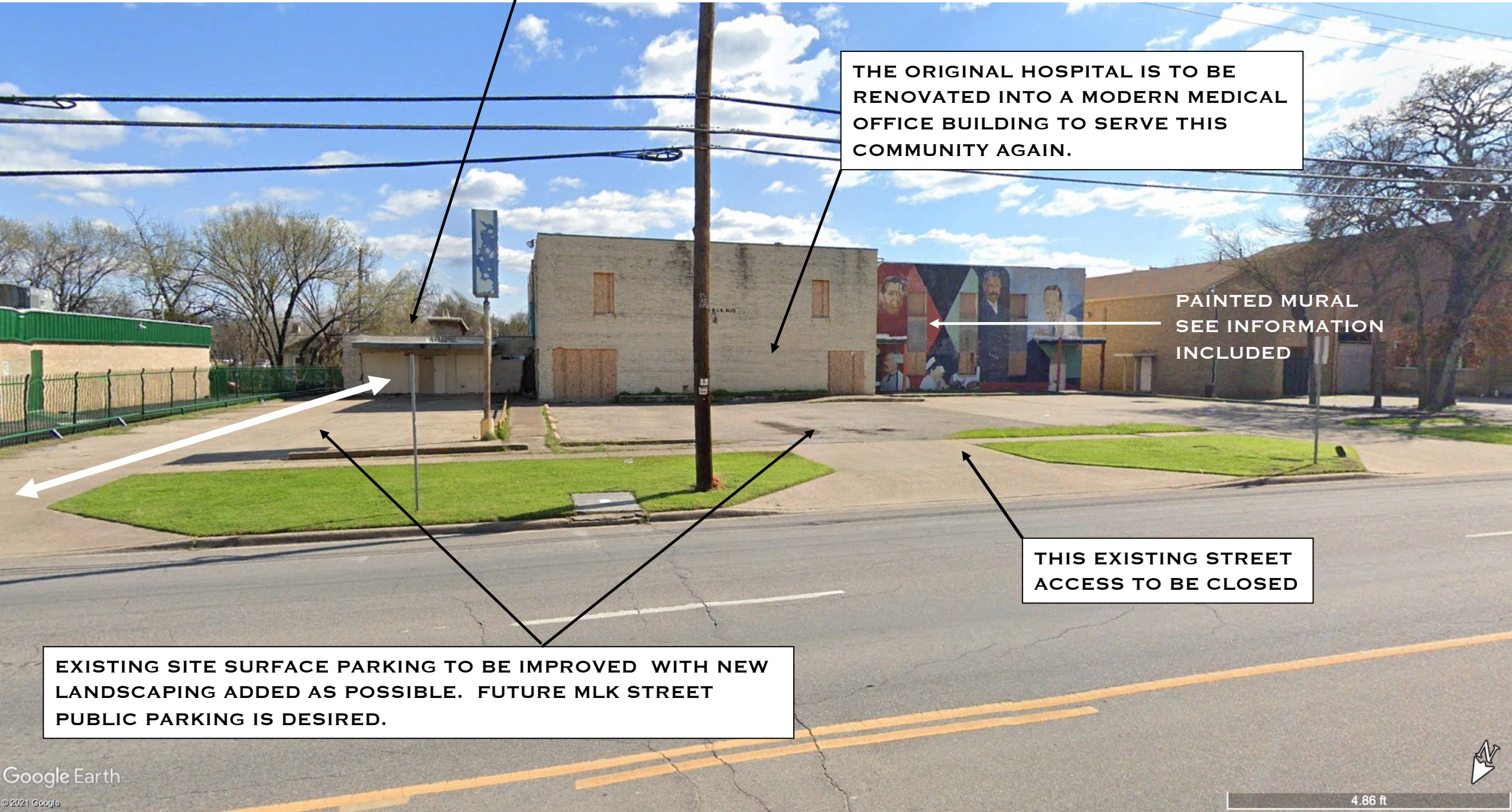
**EXISTING PARKING LOT**

**CHILD DAY CARE**

**MLK BOULEVARD**

**EXISTING SITE AERIAL PHOTO**

# PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING 2516 MLK JR BOULEVARD – DALLAS, TEXAS



THIS NON-ORIGINAL WOOD FRAMED SINGLE-STORY ADDITION IS TO BE DEMOLISHED TO ALSO PROVIDE DIRECT ACCESS TO REAR STAFF PARKING

THE ORIGINAL HOSPITAL IS TO BE RENOVATED INTO A MODERN MEDICAL OFFICE BUILDING TO SERVE THIS COMMUNITY AGAIN.

PAINTED MURAL  
SEE INFORMATION  
INCLUDED

THIS EXISTING STREET  
ACCESS TO BE CLOSED

EXISTING SITE SURFACE PARKING TO BE IMPROVED WITH NEW LANDSCAPING ADDED AS POSSIBLE. FUTURE MLK STREET PUBLIC PARKING IS DESIRED.

**VIEW OF EXISTING EMPTY SHELL BLDG. ON MLK JR. BLVD.**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



Pictured is a mural on the now closed historic Forest Avenue Hospital on Martin Luther King Jr. Boulevard in South Dallas, Texas. The facility was one of six African American owned hospitals in Dallas. It opened in 1964 and has been closed since 1984. The mural was painted in 1978 as part of a federal manpower training program for low income teens. It is said to have the faces of co-founders of the hospital surgeon Edward J. Mason, Dr. Emmet Conrad, anesthesiologist Dr. Judge E. Page, and the Reverend Jesse L. Lott.

**MURAL HISTORY & CONTEXT**



**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



**EXISTING SHELL BLDG. IMAGES FROM BACK ALLEY**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



**VIEW OF EXISTING REAR PARKING LOT AREA**

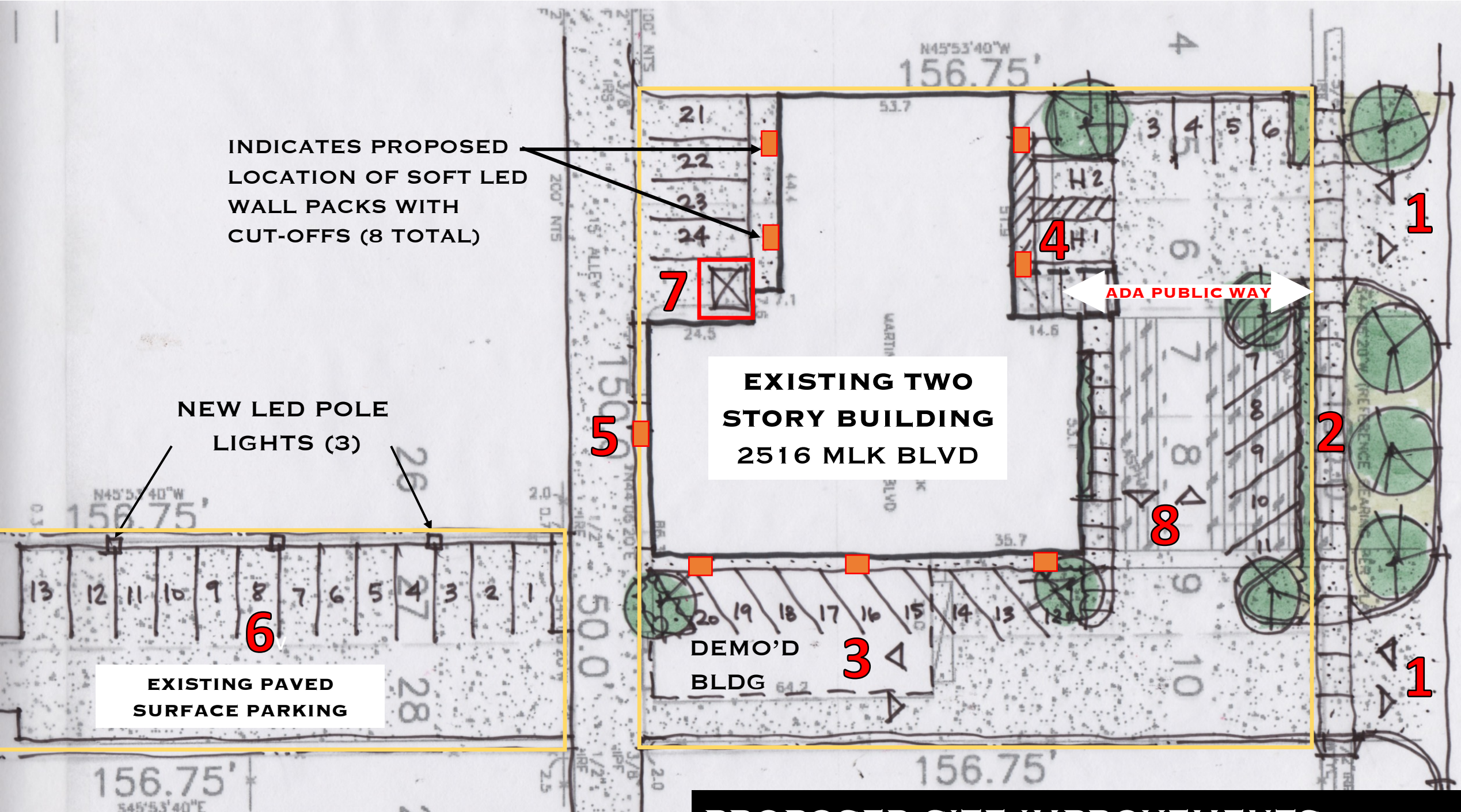


1ST FLOOR BOMA M.T. USEABLE AREA  
7854 GROSS S.F.



2ND FLOOR BOMA M.T. USEABLE AREA  
7022 GROSS S.F.

**EXISTING SHELL BLDG.  
INTERIOR IMAGES**

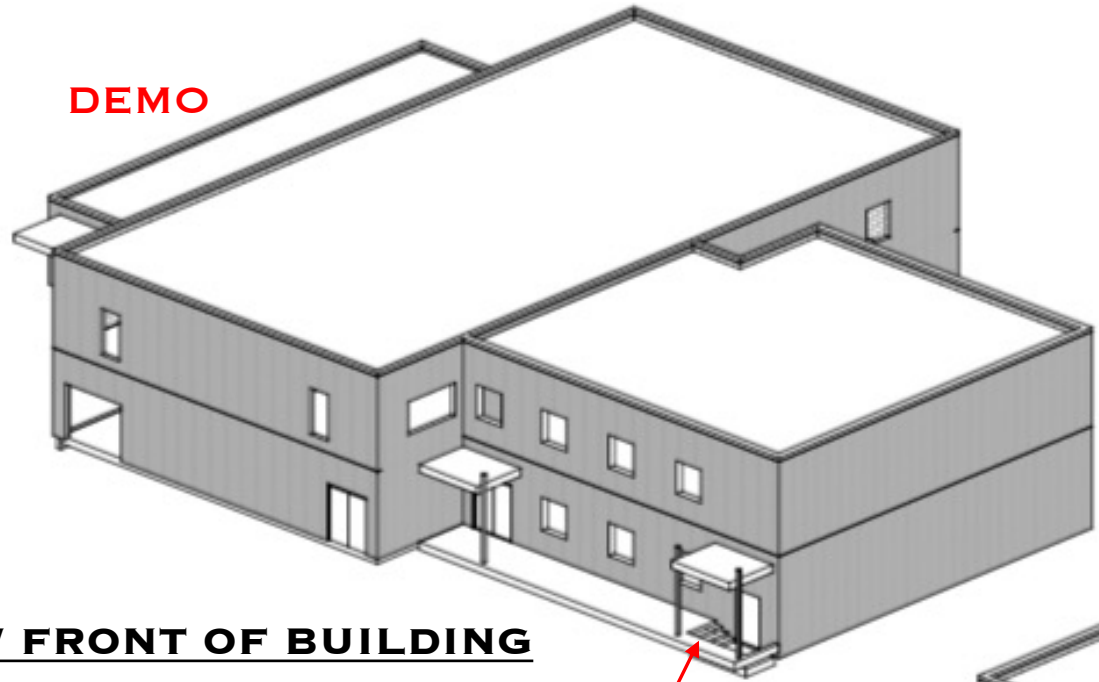


## PROPOSED SITE IMPROVEMENTS

### LEGEND

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. REPLACE EXISTING COD 2-WAY STREET CURB CUTS TO CODE.</li> <li>2. INSTALL NEW STREET LANDSCAPING/IRRIGATION &amp; NEW 5' CONC. PEDESTRIAN SIDEWALK AS POSSIBLE (TIGHT EX. SITE)</li> <li>3. INSTALL NEW INFILL CONCRETE PAVING, SIDEWALK, PARKING STRIPING, WHEELSTOPS &amp; TREE LANDSCAPING.</li> <li>4. ADD NEW HANDICAP PARKING SPACES/SIGNAGE, PATH ACCESS &amp; CURB RAMPS AS REQUIRED.</li> </ol> | <ol style="list-style-type: none"> <li>5. INSTALL NEW CONCRETE EXIT RAMP AND GUARDRAILS</li> <li>6. REPAIR PAVING, ADD STRIPING &amp; INSTALL NEW POLE LIGHTING (3 - 15' LED POLE LIGHTS)</li> <li>7. INSTALL NEW 8' HIGH GATED TRASH ENCLOSURE W/ 4' HIGH BOLLARDS (4), PARKING STRIPING &amp; SOFT LED WALL PACK LIGHTING WITH CUT-OFFS.</li> <li>8. ADD NEW CONCRETE PARKING LOT PAVING, CURB CUTS WITH CURB &amp; GUTTER (AS REQUIRED), NEW STRIPING &amp; SOFT LED WALL PACK LIGHTING WITH CUT-OFFS AS SHOWN.</li> </ol> |
|---|---|

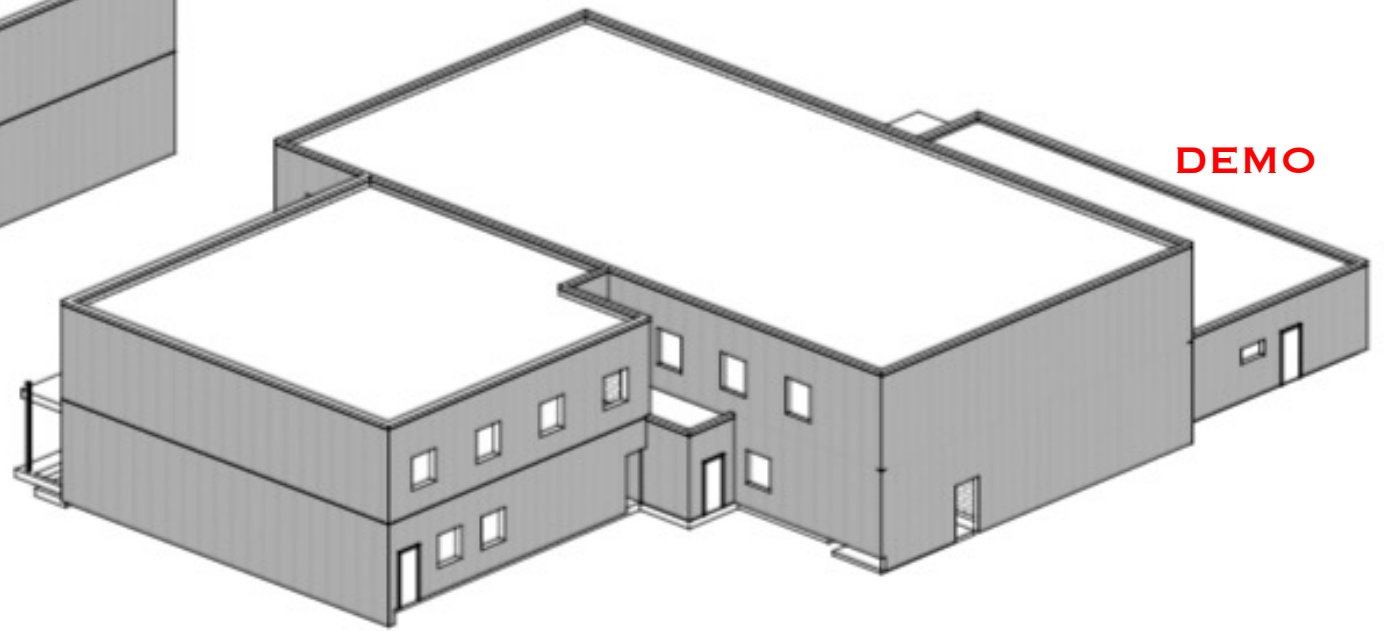
**DEMO**



**NW FRONT OF BUILDING**

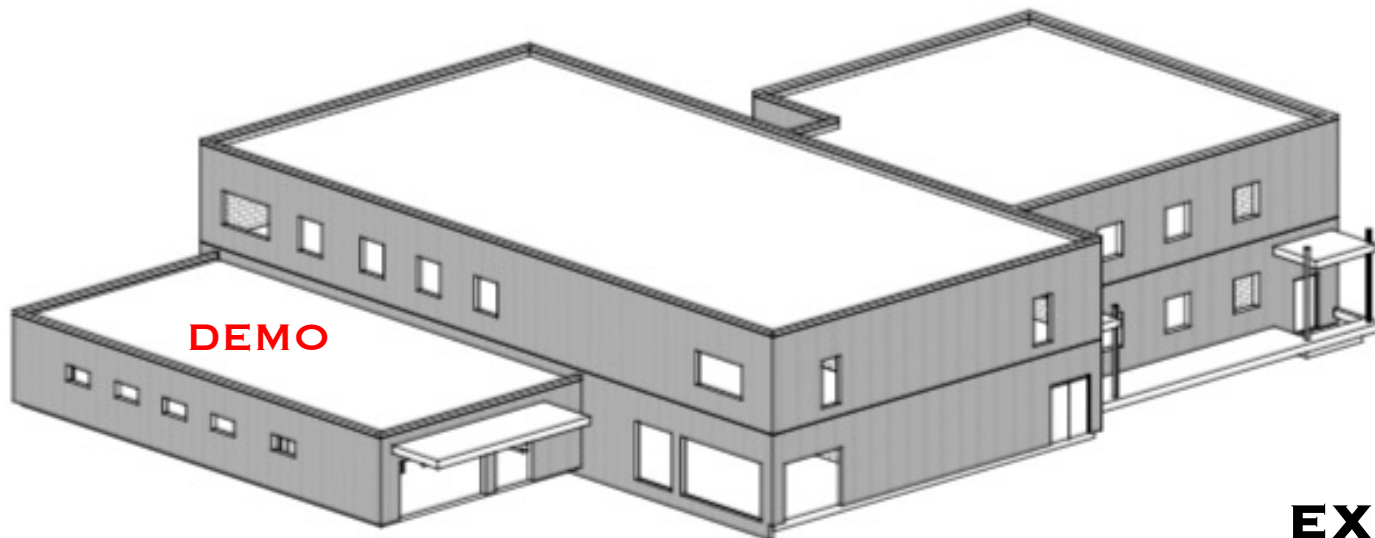
**EXISTING 3RD FIRE EXIT  
STAIRWAY MAY BE DEMO'D**

**DEMO**



**BACK OF BUILDING**

**DEMO**



**NE FRONT OF BUILDING**

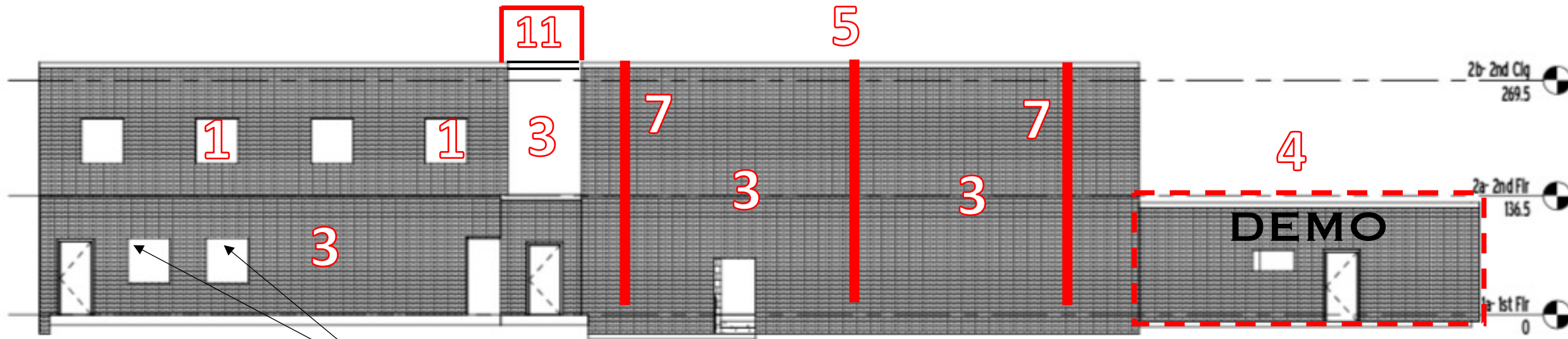
**EXISTING BUILDING AXO VIEWS  
2516 MLK JR BLVD.**

**PROPOSED RENOVATION-REFRESH OF MEDICAL HOSPITAL BUILDING  
2516 MLK JR BOULEVARD – DALLAS, TEXAS**



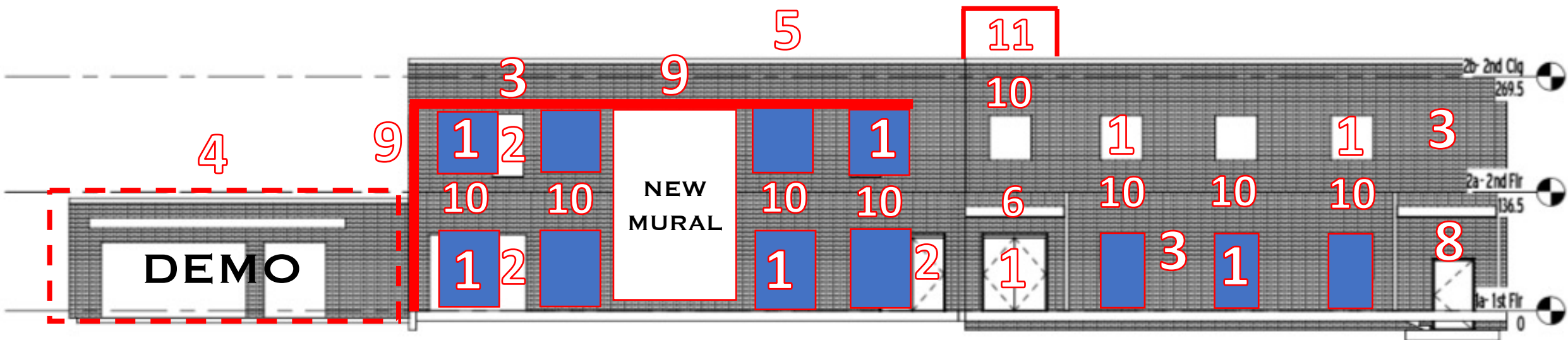
NOTE: LANDSCAPE SHOWN IS PENDING FINAL SITE SURVEY AND ABILITY TO ACCOMMODATE IT.

**PROPOSED NEW EXTERIOR FAÇADE RENOVATION  
(W/ A MODERN MEDICAL PERSONALITY DESIRED BY OWNER)**



**SOUTH ELEVATION**

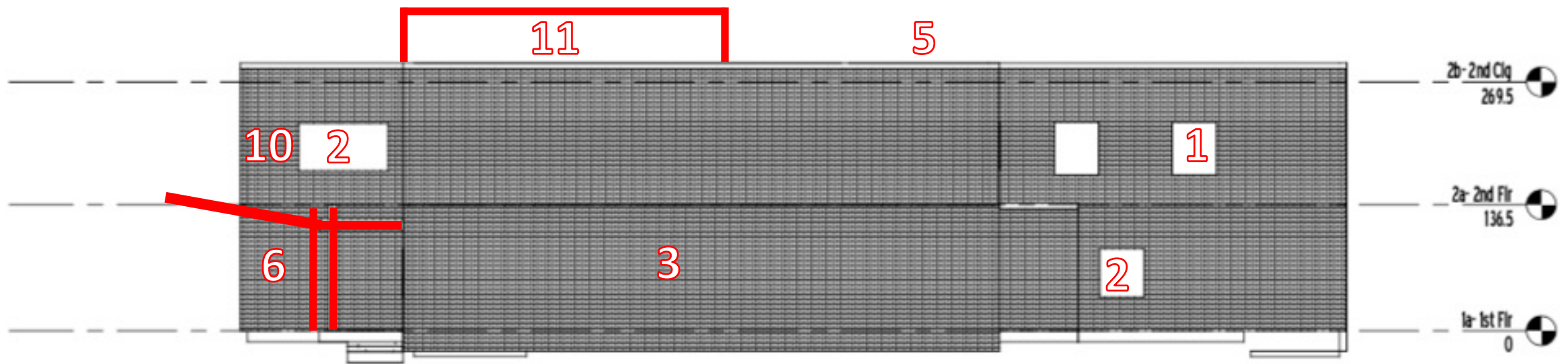
THESE TWO WINDOWS OPENINGS ARE ALREADY CLOSED & BRICKED IN



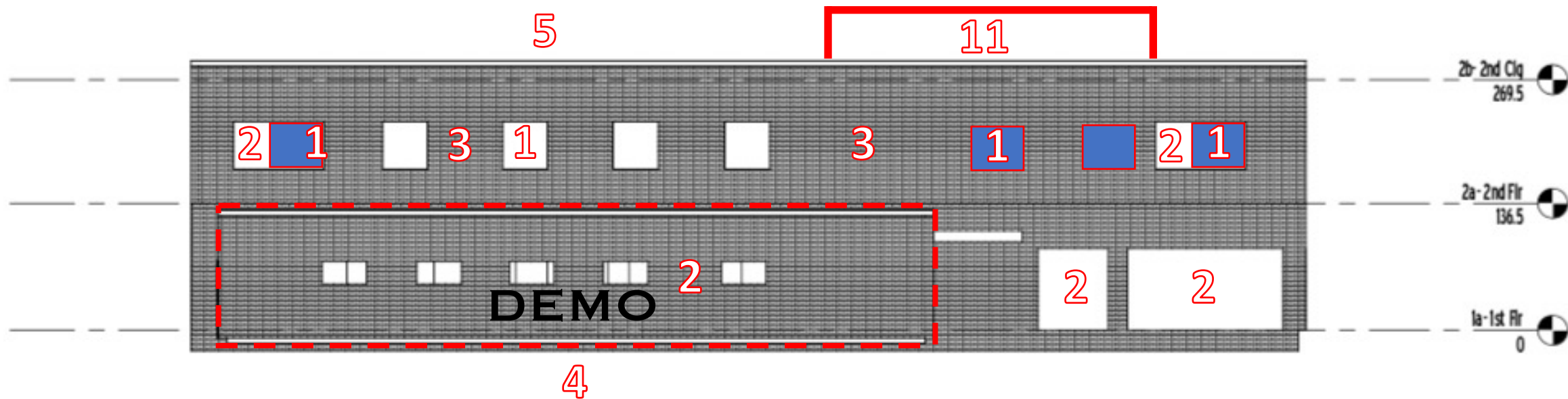
**NORTH ELEVATION**

**LEGEND**

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>1. INSTALL NEW KAWNEER 451T INSULATED GLASS &amp; STOREFRONT TO CODE IN ALL NEW &amp; EXISTING WINDOW OPENINGS AS SHOWN (TYP.)</li> <li>2. INFILL REMAINING MASONRY WALL OPENINGS WITH REINF. MASONRY AS REQUIRED TO MATCH EXISTING. FLASH &amp; SEAL (TYP.)</li> <li>3. CLEAN, PRIME AND PAINT ALL OF THE EXTERIOR FAÇADE (TYP.)</li> <li>4. DEMO EX. SINGLE STORY WOOD STRUCTURE (DENOTED IN RED LINE).</li> <li>5. INSTALL NEW ROOF, METAL CAP FLASHING &amp; SEALANT AS REQ'D (TYP)</li> </ol> | <ol style="list-style-type: none"> <li>6. REPLACE EXISTING ENTRANCE CANOPY WITH NEW.</li> <li>7. REPAIR OR REPLACE ALL METAL DOWNSPOUTS AS REQUIRED.</li> <li>8. DEMO EXISTING CANOPY AND INFILL EXIT DOOR PER NOTE 2.</li> <li>9. INSTALL NEW 30" BLADE CANOPY WITH LED DOWNLIGHTING.</li> <li>10. INSTALL NEW LARGE FORMAT ACCENT TILE WITH METAL EDGES OVER MASONRY (AS SHOWN IN RENDERING)</li> <li>11. INSTALL NEW ROOFTOP MECHANICAL SCREEN. CLAD PER NOTE 10</li> </ol> |
|---|--|



**WEST ELEVATION**



**EAST ELEVATION**

**LEGEND**

- |   |  |
|---|--|
| <ol style="list-style-type: none"> <li>1. INSTALL NEW KAWNEER 451T INSULATED GLASS &amp; STOREFRONT TO CODE IN ALL NEW &amp; EXISTING WINDOW OPENINGS AS SHOWN (TYP.)</li> <li>2. INFILL REMAINING MASONRY WALL OPENINGS WITH REINF. MASONRY AS REQUIRED TO MATCH EXISTING. FLASH &amp; SEAL (TYP.)</li> <li>3. CLEAN, PRIME AND PAINT ALL OF THE EXTERIOR FAÇADE (TYP.)</li> <li>4. DEMO EX. SINGLE STORY WOOD STRUCTURE (DENOTED IN RED LINE).</li> <li>5. INSTALL NEW ROOF, METAL CAP FLASHING &amp; SEALANT AS REQ'D (TYP)</li> </ol> | <ol style="list-style-type: none"> <li>6. REPLACE EXISTING ENTRANCE CANOPY WITH NEW.</li> <li>7. REPAIR OR REPLACE ALL METAL DOWNSPOUTS AS REQUIRED.</li> <li>8. DEMO EXISTING CANOPY AND INFILL EXIT DOOR PER NOTE 2.</li> <li>9. INSTALL NEW 30" BLADE CANOPY WITH LED DOWNLIGHTING.</li> <li>10. INSTALL NEW LARGE FORMAT ACCENT TILE WITH METAL EDGES OVER MASONRY (AS SHOWN IN RENDERING)</li> <li>11. INSTALL NEW ROOFTOP MECHANICAL SCREEN. CLAD PER NOTE 10</li> </ol> |
|---|--|