

Applicable Urban Design Priorities that Project Should Achieve

- [1] Careful consideration should be given on treatment of the vehicular drop off area, entry, and facade to ensure prioritization of pedestrian experience and safety along Commerce Street.

The project site offers opportunities to activate the public realm at different scales. Specific attention should be given to each of these components and their relationships to one another to ensure design responses appropriately integrate the project into the surrounding urban core while also activating the street.
- [2] Consider how the proposal can maximize the success of the renovation and neighborhood over time.

Ensure project can remain responsive to evolving needs, capitalize on opportunities, preserve design integrity, and provide public amenity spaces that support the needs of pedestrians, residents, and visitors.
- [3] Consider how building restoration, with particular attention to new ground-floor entries can enhance the pedestrian environment along Akard and Commerce Streets and the public experience at the adjacent Pegasus Plaza.

The project site offers opportunities to enhance activation of the public realm at different scales along each adjacency. Specific attention to each of these relationships and appropriate urban responses are important considerations to integrate the project with the surrounding active uses.
- [4] Consider how this development can help support the City’s iSWM and CECAP goals.

Maximize opportunities to capture and reuse stormwater, enhance urban tree canopy, and reduce impact of impermeable surfaces in support of a sustainable development that enhances quality of life downtown.

Policy References

Forward Dallas 2.0

TIF Urban Design Guidelines
Part III, Part IV [Downtown Connection]

The 360 Plan
Chapter IV [Transformative Strategies]

Previously Approved UDPRP Projects

1. BofA Plaza

2. 1217 Main

3. The Drever 1401 Elm

4. Adolphus Tower

5. Thanksgiving Tower

6. Forty Five Ten

7. 1712 Commerce
8. Butler Building

9. The Statler

10. Harwood Park

11. Mercantile Place Activation

12. LTV Tower

13. 211 Ervay

14. Continental Building



Context Description

1401 Commerce, currently housing the Magnolia Hotel, was built in 1922 as the headquarters of the Magnolia Petroleum Company in an accomplished Renaissance revival expression and listed on the National Register of Historic Places in 1974. The building was designated Dallas Landmark status in 1997. It’s located at the northeast corner of the intersection of Akard and Commerce. This property came before the Urban Design Peer Review Panel in December 2023. The proposed ballroom and rooftop pool addition to the east side of the building is no longer being considered.

The revised scope of work includes a 160 room hotel and 130 residential units. Proposed public realm enhancements will consist of streetscape improvements, upgraded architectural pavers, and replacement of the non-historic storefront at street level. The developer is also replacing the balustrade on the roof.

1401 Commerce

TIF District
Downtown Connection

Program:
Hotel Renovation
Preservation
Multifamily Residential

The background of the slide is a dark blue overlay on a photograph. On the left, the corner of the Magnolia Hotel tower is visible, showing its classical architectural details like arched windows and decorative moldings. To the right, the large, ornate statue of the Winged Victory is shown in a state of construction, with a complex network of steel scaffolding and support beams surrounding it. The statue's wings are spread wide, and its head is turned slightly. The overall scene is set against a clear sky, though the blue overlay dominates the color palette.

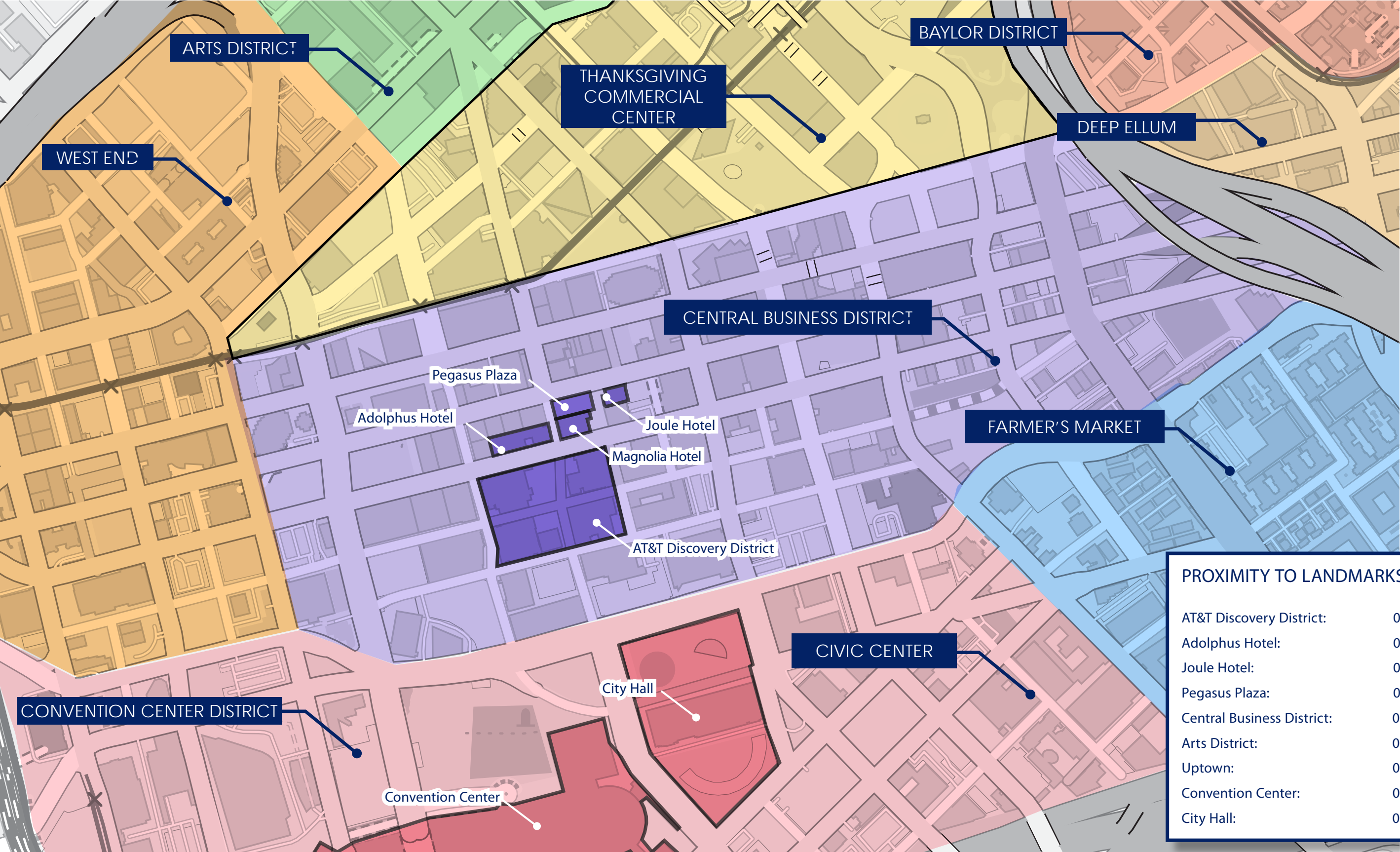
MAGNOLIA HOTEL

UDPRP

JUNE 18, 2025

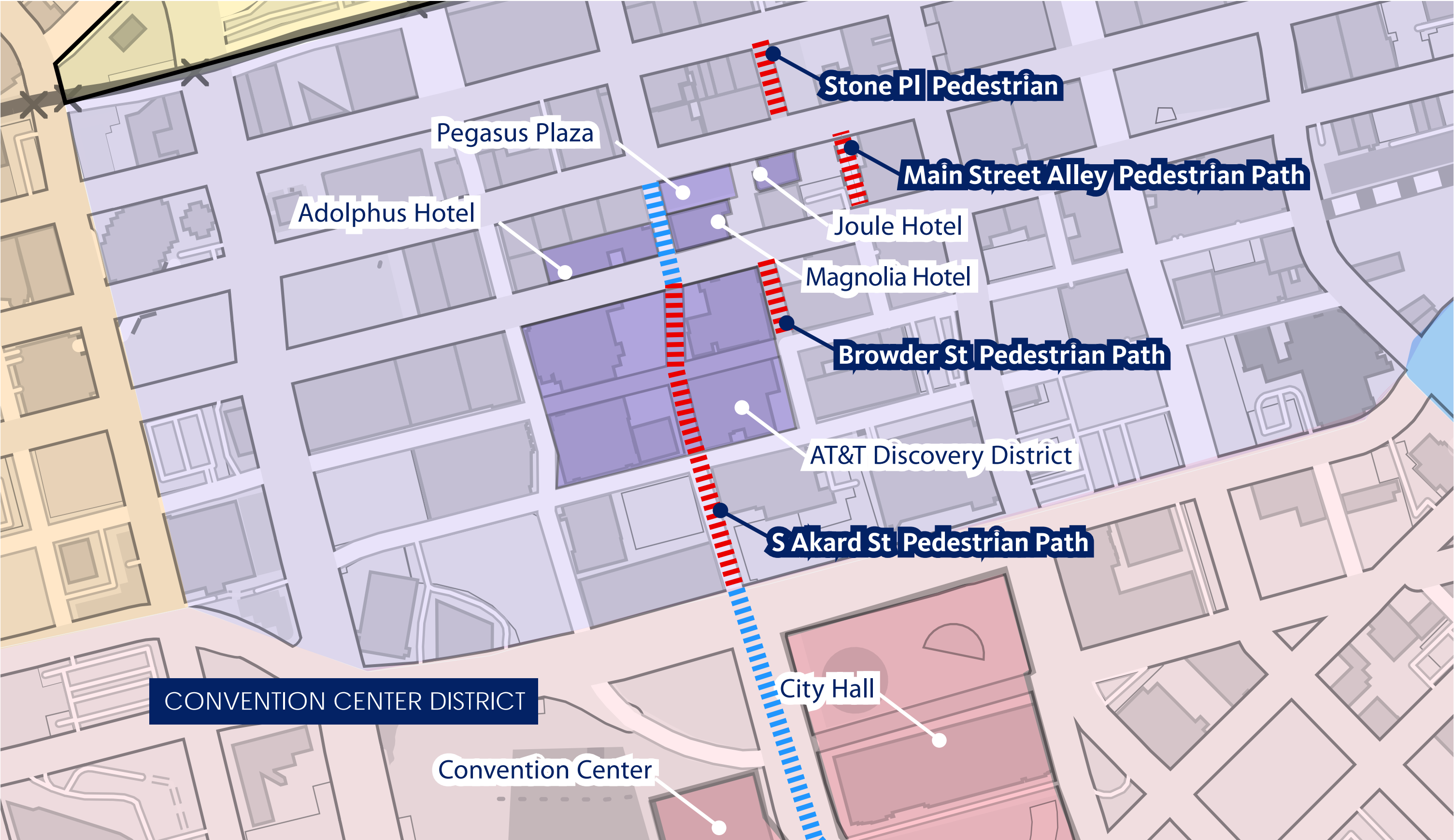
SYCAMORE DEVELOPMENT | GENSLER

ILLUSTRATED SITE PLAN

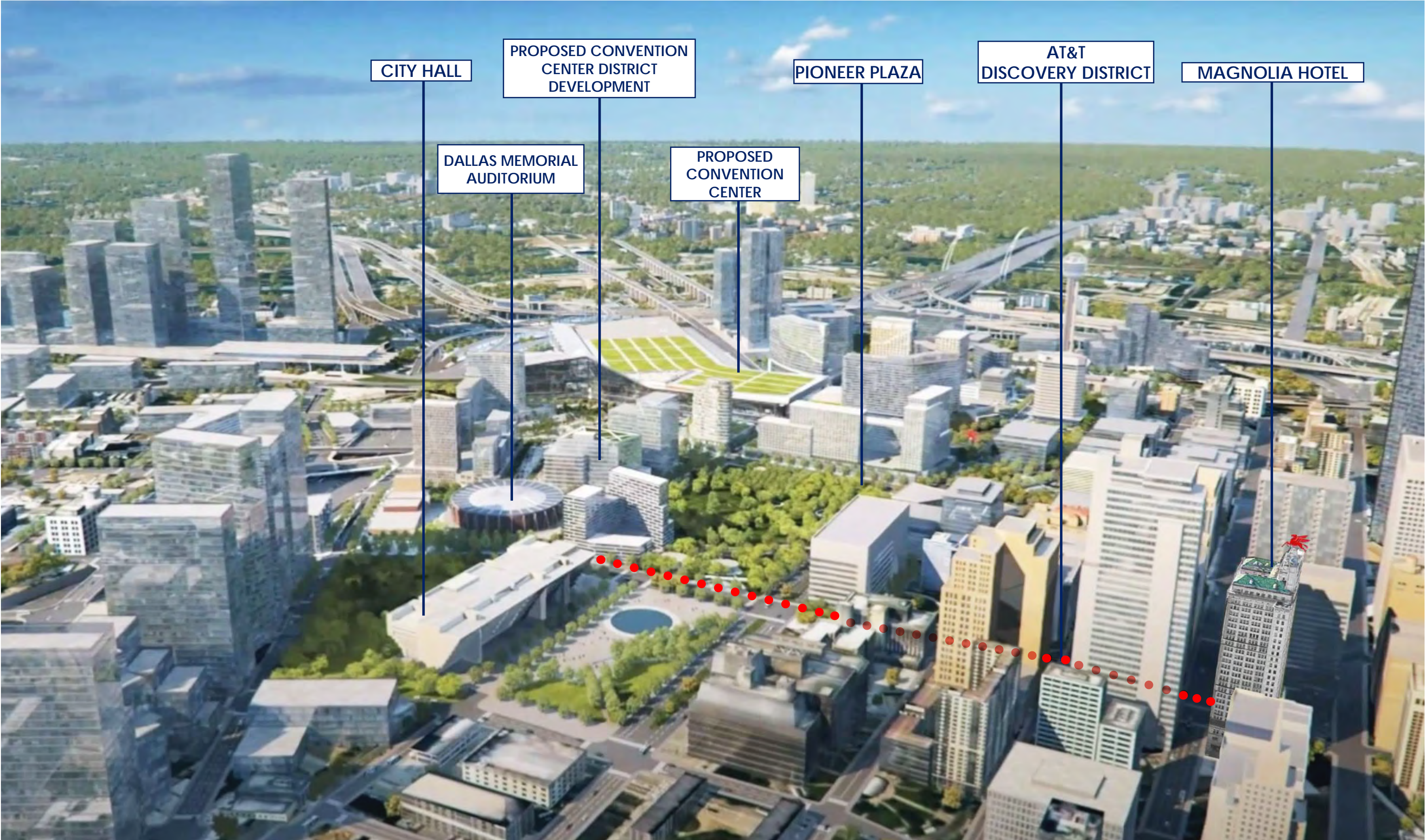


PROXIMITY TO LANDMARKS	
AT&T Discovery District:	0.1 mi
Adolphus Hotel:	0.1 mi
Joule Hotel:	0.1 mi
Pegasus Plaza:	0.1 mi
Central Business District:	0.0 mi
Arts District:	0.4 mi
Uptown:	0.9 mi
Convention Center:	0.9 mi
City Hall:	0.7 mi

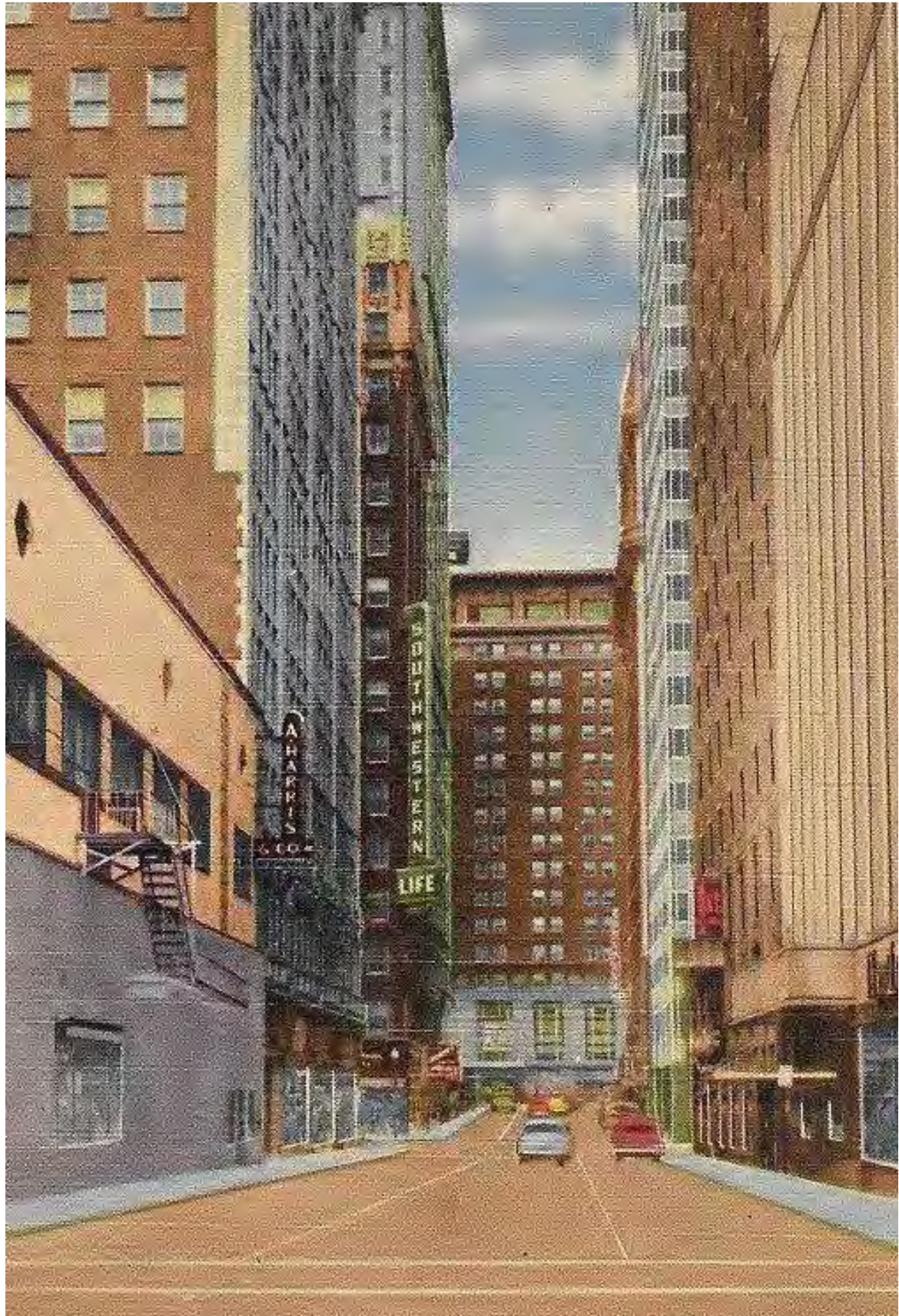
MAJOR PEDESTRIAN CONNECTORS



FUTURE DEVELOPMENT



AKARD STREET CANYON



VIEW FROM AKARD LOOKING SOUTH



VIEW FROM COMMERCE LOOKING NORTH

BRIEF HISTORY OF THE MAGNOLIA PETROLEUM BUILDING



1920

Rendering prior to construction



1921

Basement excavation



1922

Completion



1934

Magnolia Petroleum becomes Mobil Oil. Pegasus added to rooftop. HVAC 'mini-wing' added to east facade



1950's

Elevator modernization



1958

Granite 'modernization' at Podium facade



1977

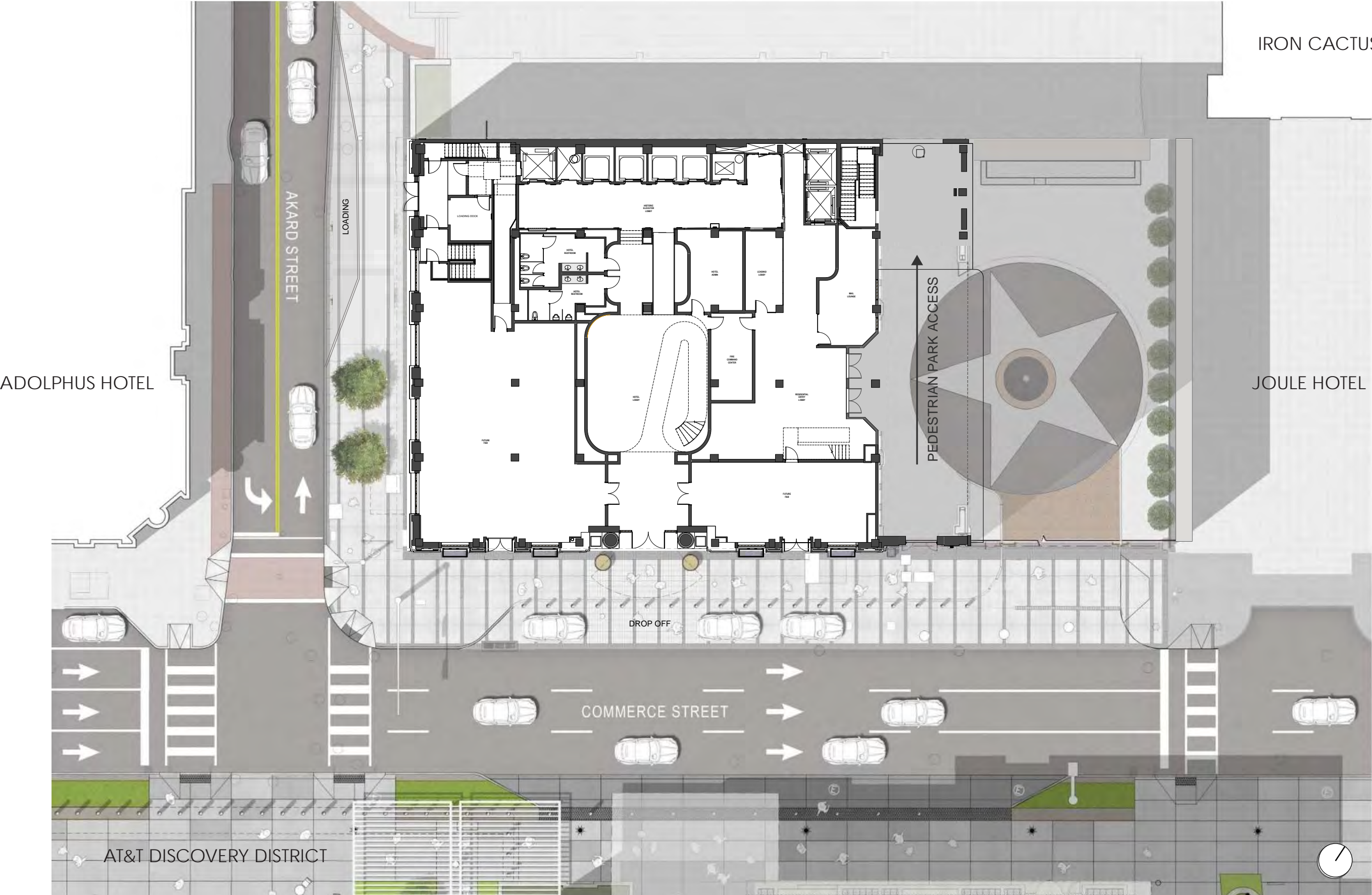
Mobil Oil donates Magnolia Building to the City of Dallas; Registered as a Landmark and becomes a "First Priority" to the City



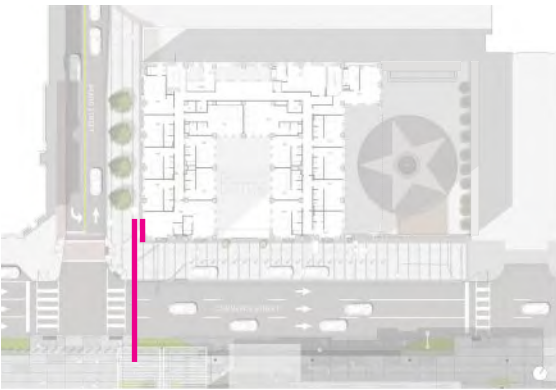
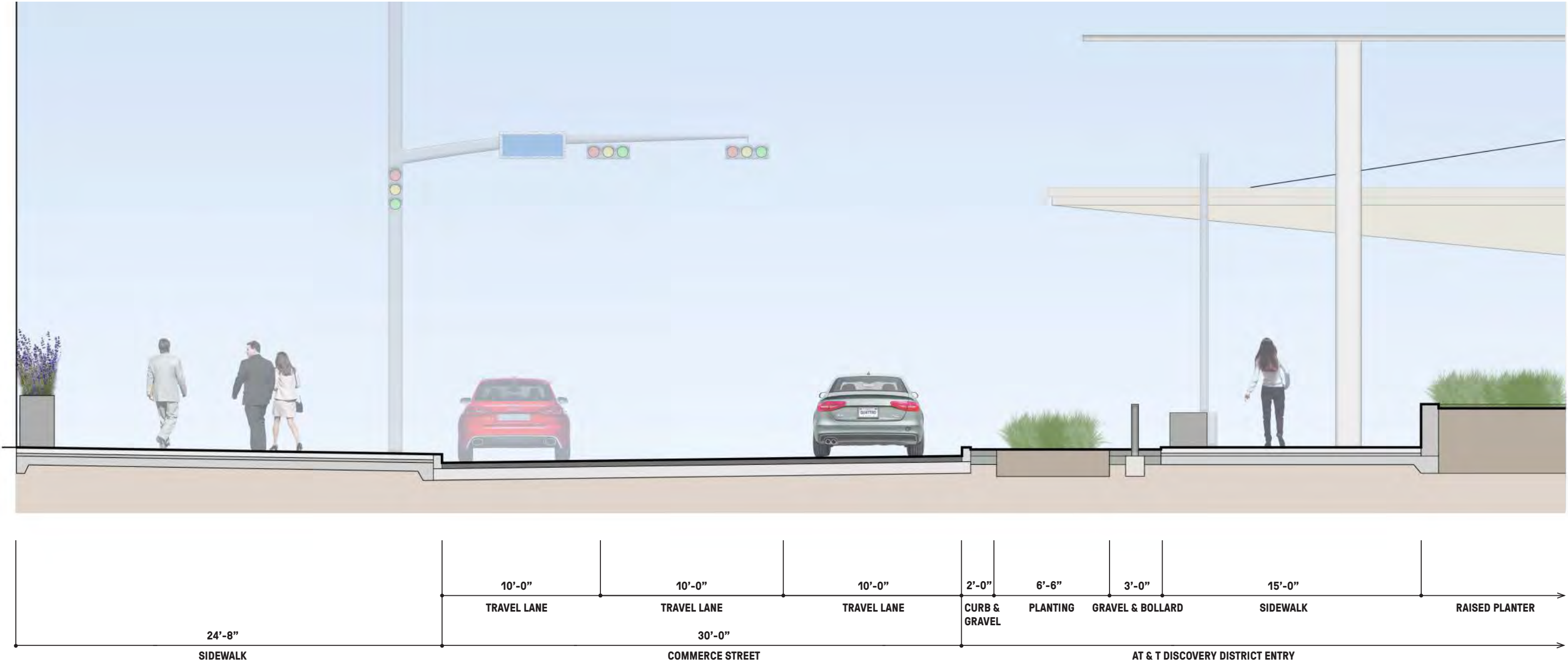
1998

Converted from office building to hotel

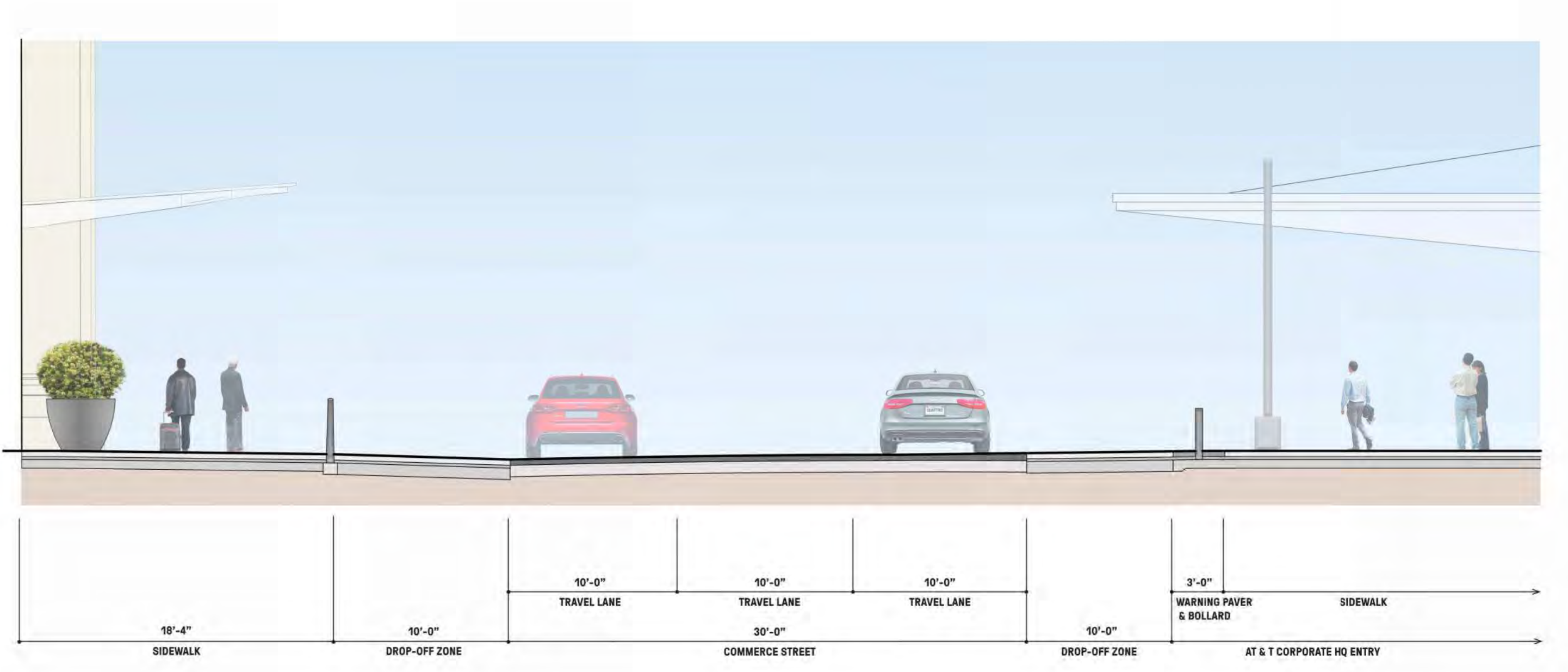
ILLUSTRATED SITE PLAN



STREET SECTION - COMMERCE STREET WEST



STREET SECTION - COMMERCE STREET ENTRY



MATERIAL BOARD



LIMESTONE TO MATCH EXISTING



BRONZE AT NEW CURTAIN WALL, AWNINGS AND CANOPIES



TRAFFIC RATED BOLLARD

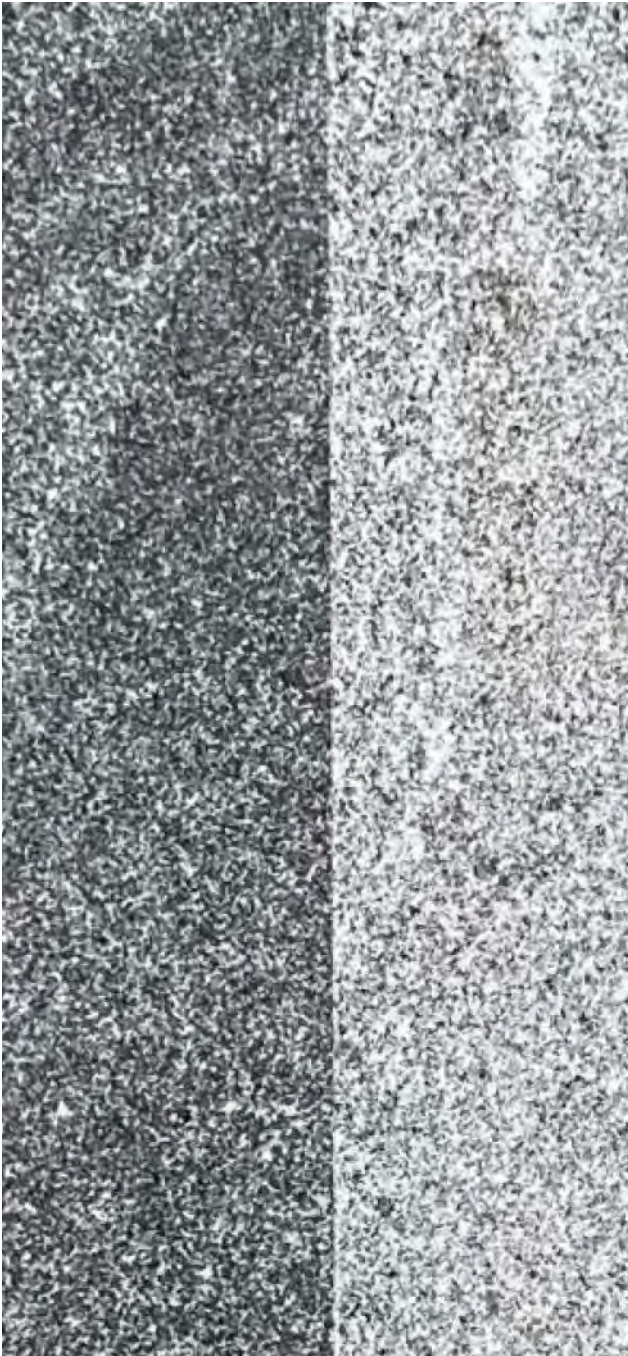


TREE PLANTER
60"W X 42"H, LENGTH VARIES



SHRUB POT
38"O.D. X 42"H

PLANTERS AT STREET LEVEL



GRANITE AT OUTDOOR TERRACE & PAVING

EXISTING CONDITIONS



MAIN ENTRANCE & COMMERCE STREET FACADE EXISTING



MAIN ENTRANCE & COMMERCE STREET FACADE

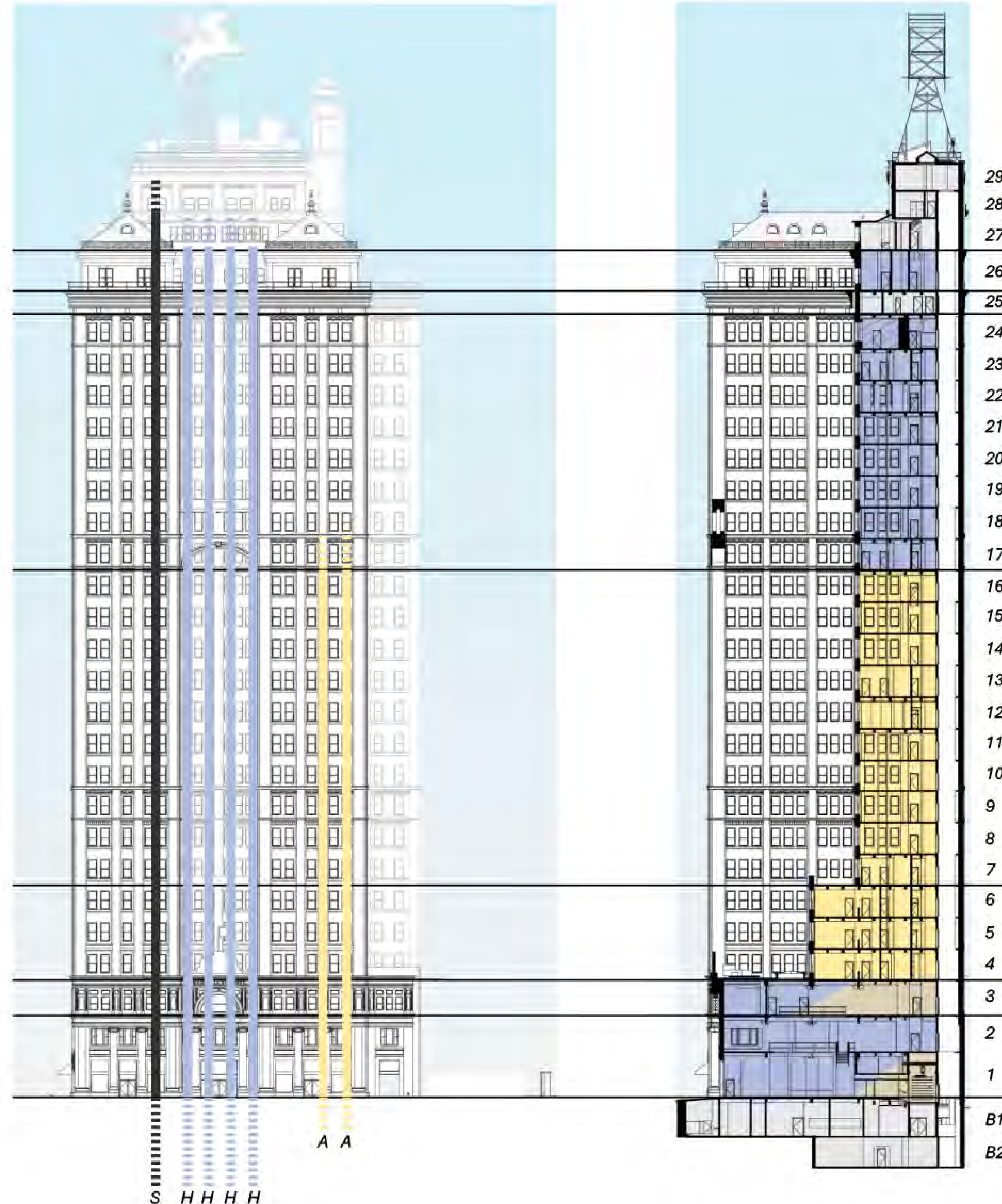


COMMERCE STREET LOOKING WEST EXISTING



COMMERCE STREET LOOKING WEST





29
28
27
26 **HOTEL (10 KEYS)**
25 **MECHANICAL FLOOR**
24 **HISTORICAL FLOOR**
23
22
21 **(18 KEYS PER FLOOR)**
20
19
18 **(17 KEYS PER FLOOR)**
17
16
15
14
13
12 **TIER 2 APARTMENTS: 10 PER FLOOR**
11
10
9
8
7
6
5 **TIER 1 APARTMENTS: 10 PER FLOOR**
4
3 **HOTEL / APARTMENT AMENITY**
2 **HOTEL PROGRAM**
1 **HOTEL PROGRAM / APT ENTRY**
B1
B2

SHEET NOTES

MAGNOLIA HOTEL
1401 COMMERCE STREET
DALLAS TX 75201

**Sycamore**
DEVELOPMENT





Gensler
5005 Greenville Avenue
Dallas, TX 75206
United States

Tel 214.273.1500
Fax 214.273.1505

AREAS

HOTEL:	
GSF:	166,530*
KEYS:	150 - 152
RESIDENTIAL:	
GSF:	141,998*
NSF:	112,309**
UNITS:	130
LEVEL 28:	
GSF:	2,055*
TOTAL:	
GSF:	310,583*
* SEE EXISTING BUILDING AREA TABLE ON LAST SHEET.	
** SUM OF NET TOTALS FROM PREVIOUS RESIDENTIAL STUDY	

LEGEND

-  RESIDENTIAL AMENITY
-  RESIDENTIAL UNITS
-  EQUIPMENT / STORAGE
-  HOTEL

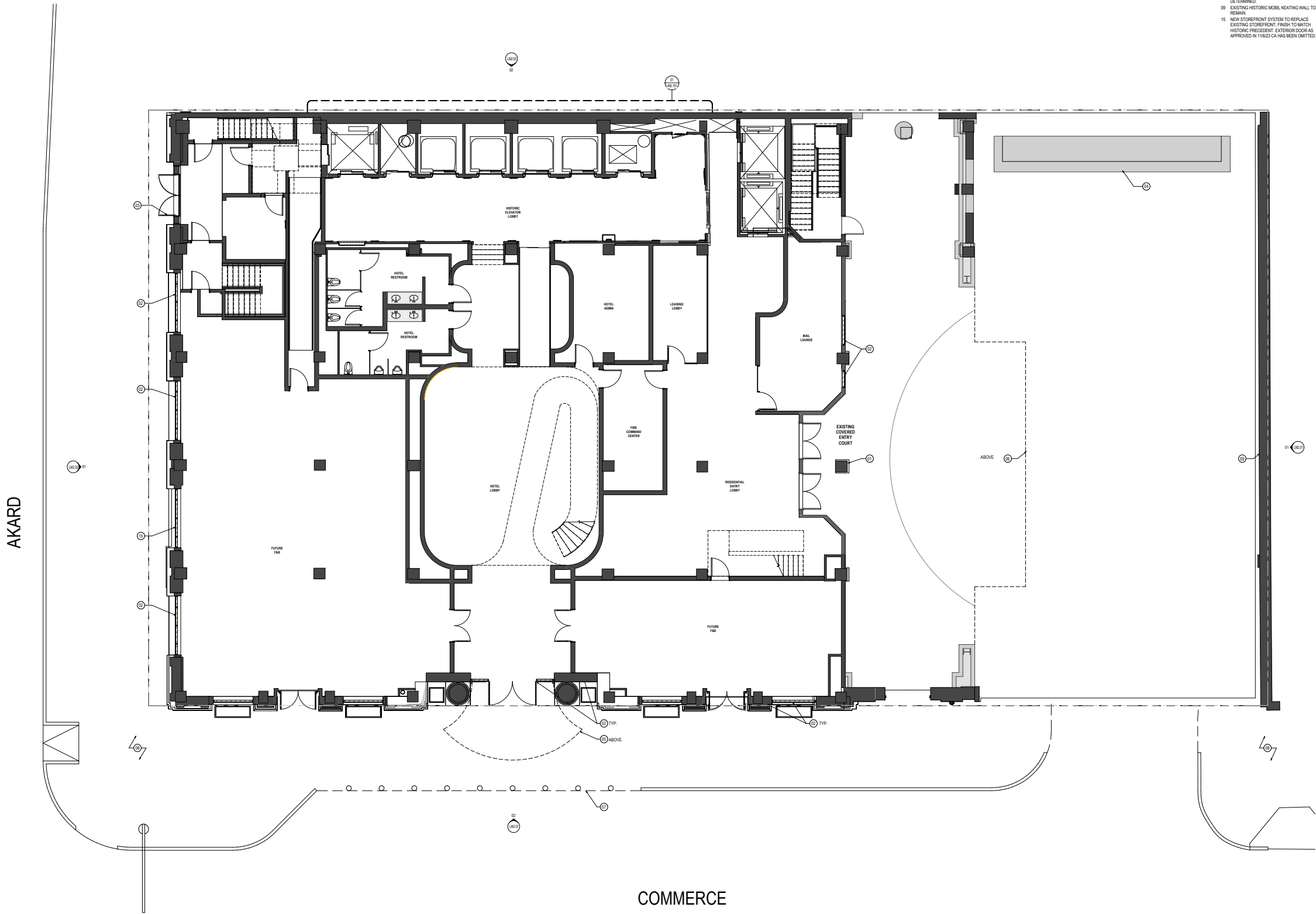
△	Date	Description
Seal / Signature		
Project Name		
MAGNOLIA HOTEL		
Project Number		
Description		
SECTION DIAGRAM		
Scale		

2/20/2025
Gensler

SECTION DIAGRAM

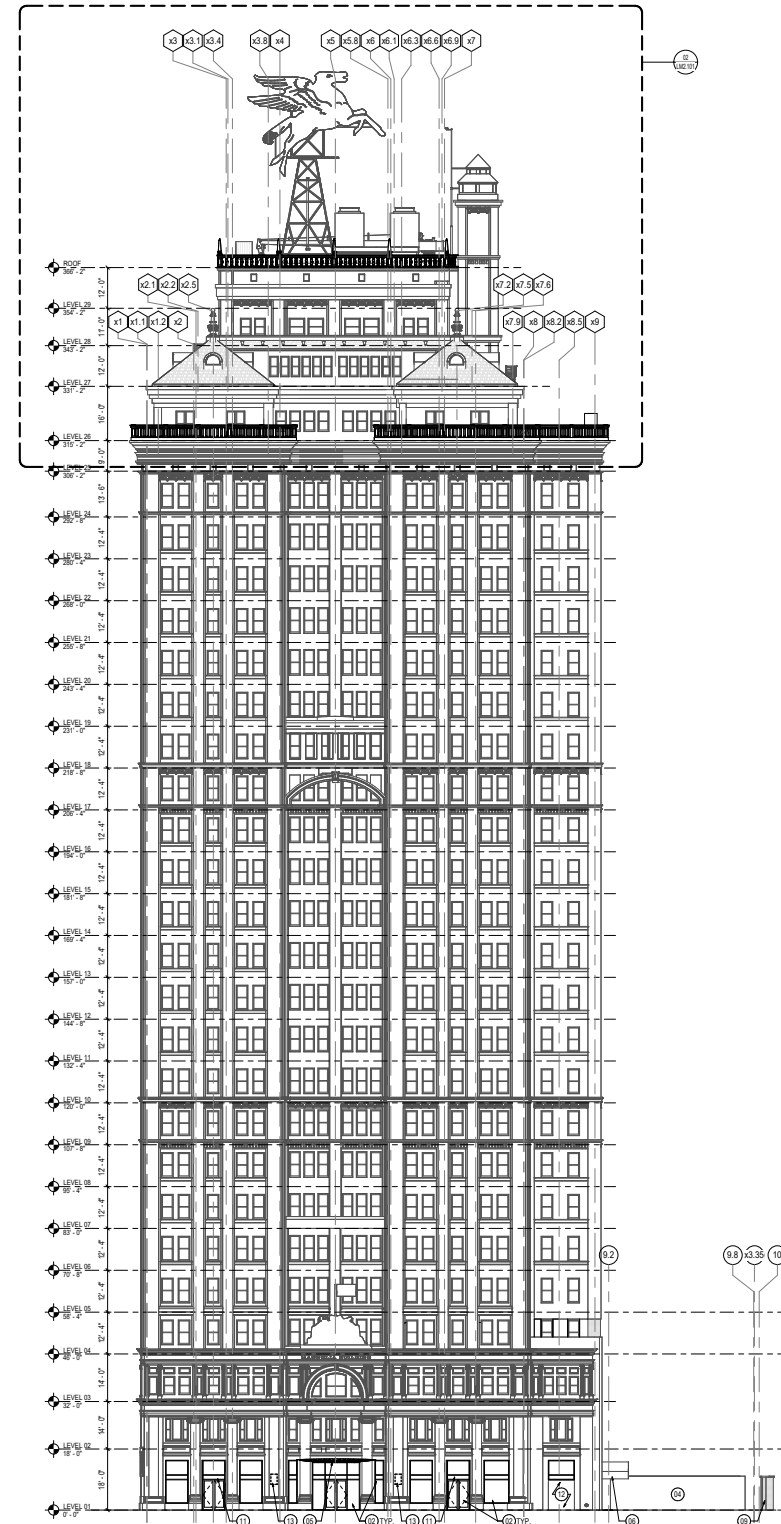
FLOOR PLAN - LEVEL 1

- SHEET NOTES
- 01 REMOVE 1988 COLUMN COVER, REPLACE WITH RECTANGULAR COLUMN COVER.
 - 02 NEW STOREFRONT SYSTEM TO REPLACE EXISTING FINISH TO MATCH HISTORIC PRECEDENT. REF. 11/6/23 CA.
 - 03 NEW METAL ENCLOSURE. REF. 11/6/23 CA.
 - 04 ADAPT EXISTING 1988 WATER FEATURE TO LIVING WALL LANDSCAPE FEATURE.
 - 05 NEW GLASS AND METAL ENTRY CANOPY. REF. 11/6/23 CA.
 - 06 RECLAD FASCIA AND SOFFIT OF EXISTING 1988 METAL CANOPY LIGHTING TO BE REPLACED AND REFRACTER LENSES TO BE REMOVED.
 - 07 ZERO CURB WITH REMOVABLE BOLLARDS. REF. 11/6/23 CA.
 - 08 NEW PAVING EXTENTS AND GEOMETRY PER 11/6/23 CA. CURRENT PAVING MATERIAL TO BE DETERMINED.
 - 09 EXISTING HISTORIC MOBILE HEATING WALL TO REMAIN.
 - 10 NEW STOREFRONT SYSTEM TO REPLACE EXISTING STOREFRONT FINISH TO MATCH HISTORIC PRECEDENT. EXTERIOR DOOR AS APPROVED IN 11/6/23 CA HAS BEEN OMITTED.

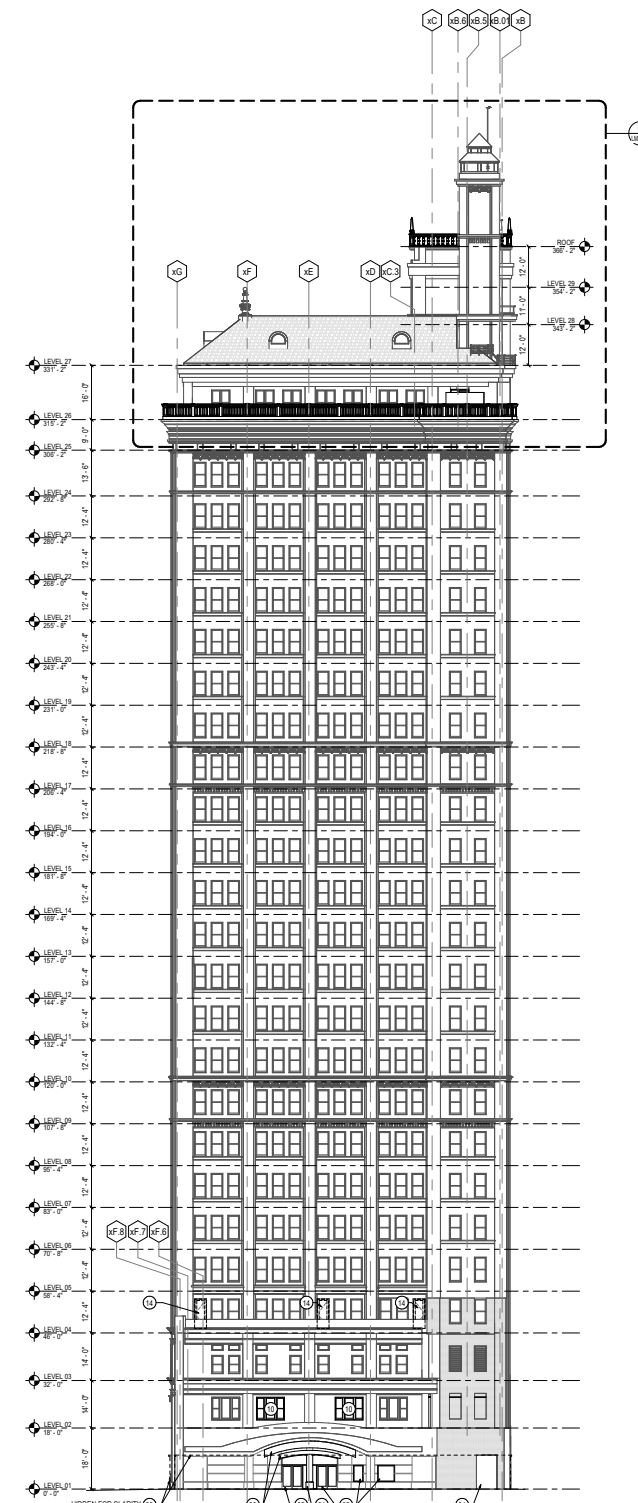


01 FLOOR PLAN - LEVEL 01
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS



02 EXTERIOR ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



01 EXTERIOR ELEVATION - EAST
SCALE: 1/16" = 1'-0"

NOTE OF DRAWING SOURCE:

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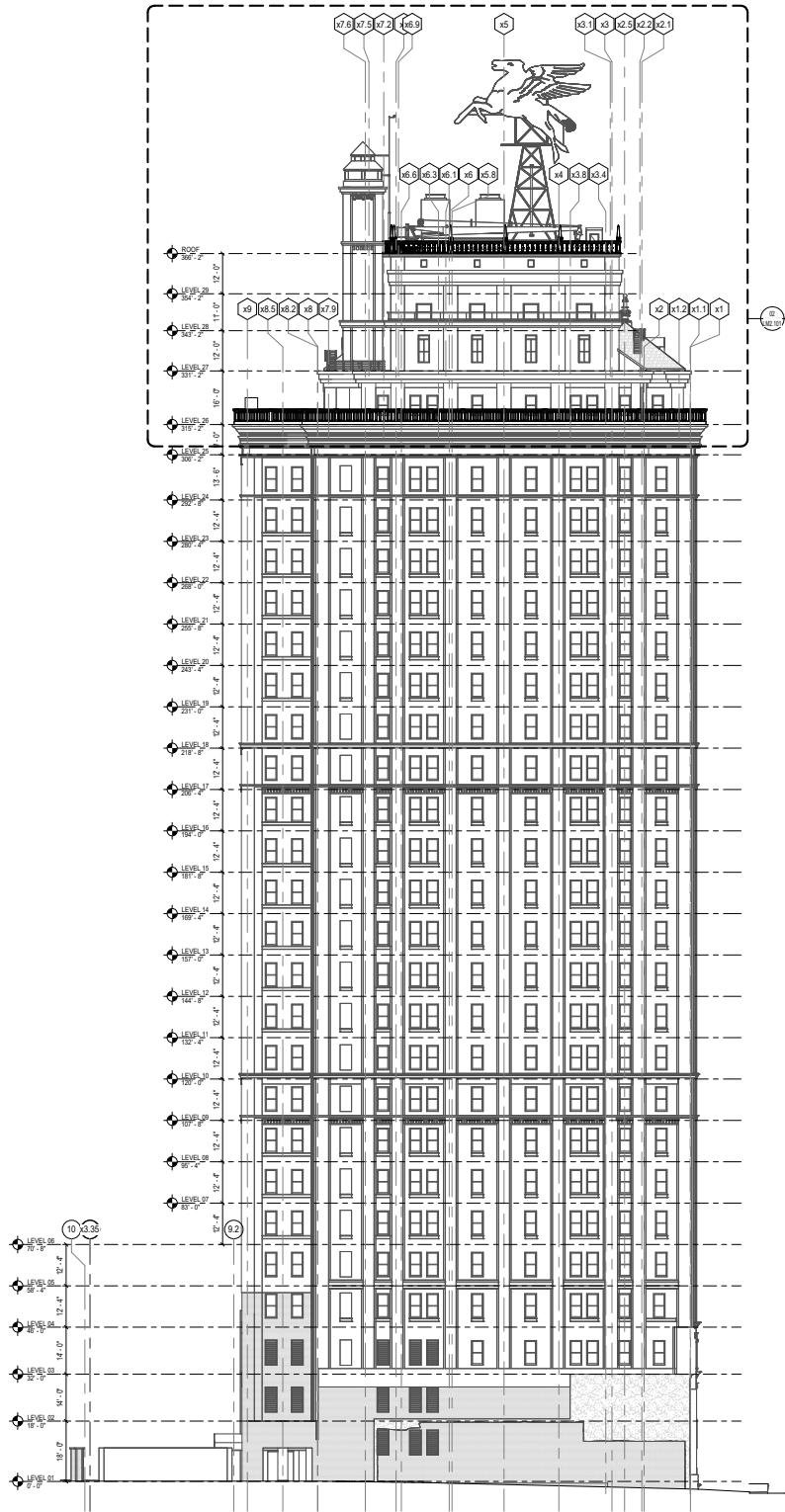
SHEET NOTES

- 01 REMOVE 1996 COLLUMN COVER, REPLACE WITH RECTANGULAR COLUMN COVER.
- 02 NEW STOREFRONT SYSTEM TO REPLACE EXISTING GLASS TO MATCH HISTORIC PRECEDENT REF. 11/6/23 CA.
- 04 ADAPT EXISTING 1996 WATER FEATURE TO LIVING WALL LANDSCAPE FEATURE.
- 05 REMOVE AND METAL ENTRY CANOPY. REF. 11/6/23 CA.
- 06 RECLAD FASCIA AND SOFFIT OF EXISTING 1996 CANOPY. LIGHTING TO BE REPLACED AND REFRACETER LENSES TO BE REMOVED.
- 09 EXISTING HISTORIC MOBILIZATING WALL TO REMAIN.
- 10 NEW WINDOW TO MATCH 1996 CONSTRUCTION.
- 11 NEW ACM CANOPY. REF. 11/6/23 CA.
- 12 EXISTING OPENING TO REMAIN.
- 13 LOCATION OF FUTURE HOTEL. SIGNAGE. REF. 11/6/23 CA.
- 14 PROPOSED LOCATION FOR NEW DOOR FOR TERRACE ACCESS.

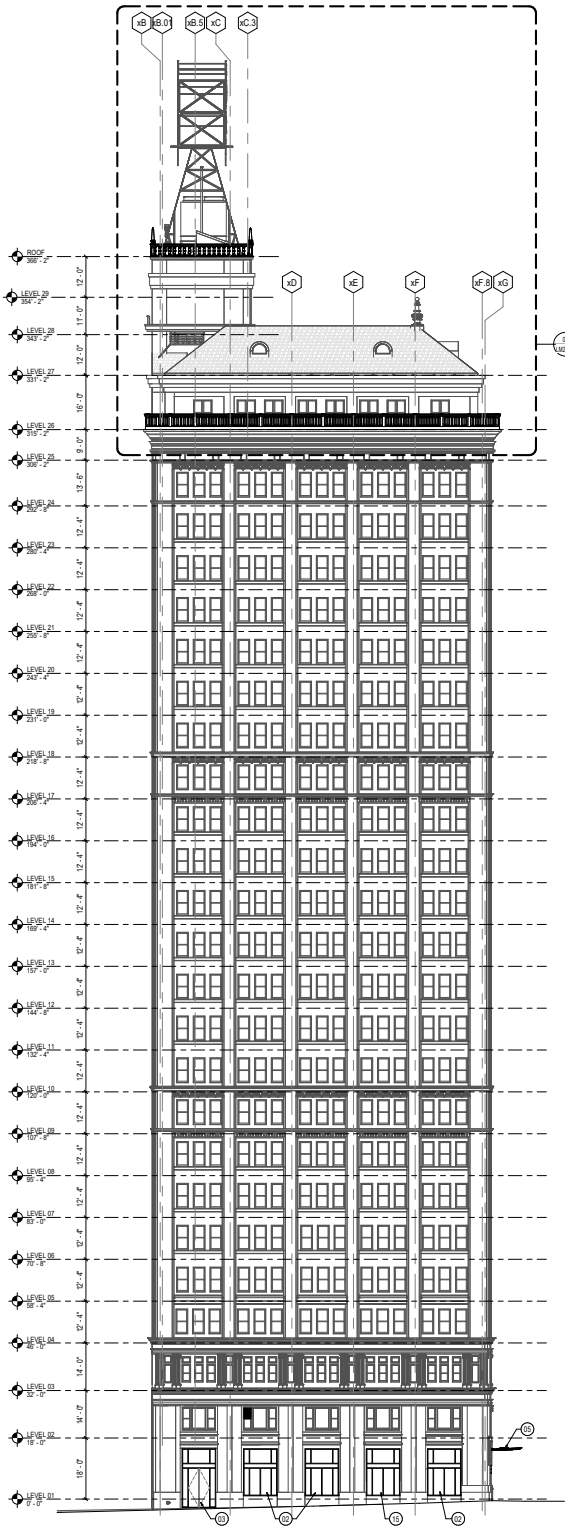
GENERAL NOTES

- A. TAKE GREAT CARE TO PRESERVE, RESTORE AND RECONSTRUCT AS NEEDED PER THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- B. CLEAN EXISTING SCULPTURES, FENESTRATIONS AND ARCHITECTURAL FEATURES AND MASONRY SURFACES USING LOW-PRESSURE WATER, DETERGENT AND NATURAL BRISTLE OR OTHER SOFT-BRISTLE BRUSHES PER NPS STANDARDS FOR RESTORATION & GUIDELINES FOR RESTORING HISTORIC BUILDINGS.
- C. BALLUSTERS 1A, 2A AND 2B TO BE LOCATED ON CENTERS OF ORIGINAL LOCATIONS.

EXTERIOR ELEVATIONS



02 OVERALL ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



01 ELEVATION - AKARD STREET
SCALE: 1/16" = 1'-0"

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- SHEET NOTES**
- 02 NEW STOREFRONT SYSTEM TO REPLACE EXISTING FINISH TO MATCH HISTORIC PRECEDENT. REF. 11602 CA.
 - 03 NEW METAL ENCLOSURE. REF. 116023 CA.
 - 09 NEW GLASS AND METAL ENTRY CANOPY. REF. 116023 CA.
 - 15 NEW STOREFRONT SYSTEM TO REPLACE EXISTING STOREFRONT. FINISH TO MATCH HISTORIC PRECEDENT. EXTERIOR DOOR AS APPROVED IN 116023 CA HAS BEEN OMITTED.

- GENERAL NOTES**
- A. TAKE GREAT CARE TO PRESERVE, RESTORE AND RECONSTRUCT AS NEEDED PER THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
 - B. CLEAN EXISTING SCULPTURES, PENETRATIONS AND ARCHITECTURAL FEATURES AND MASONRY SURFACES USING LOW PRESSURE WATER, DETERGENT AND NATURAL BRISTLE OR OTHER SOFT BRISTLE BRUSHES PER NPS STANDARDS FOR RESTORATION & GUIDELINES FOR RESTORING HISTORIC BUILDINGS.
 - C. BALUSTERS 1A, 2A AND 2B TO BE LOCATED ON CENTERS OF ORIGINAL LOCATIONS.

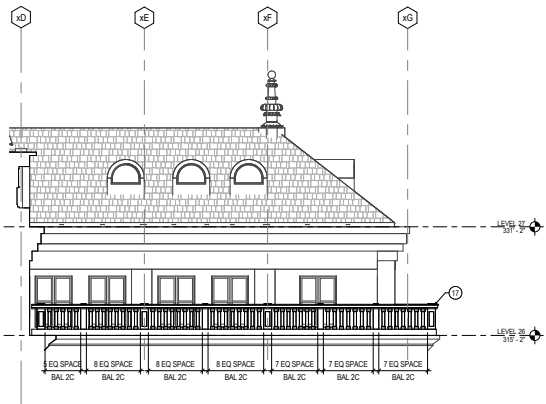
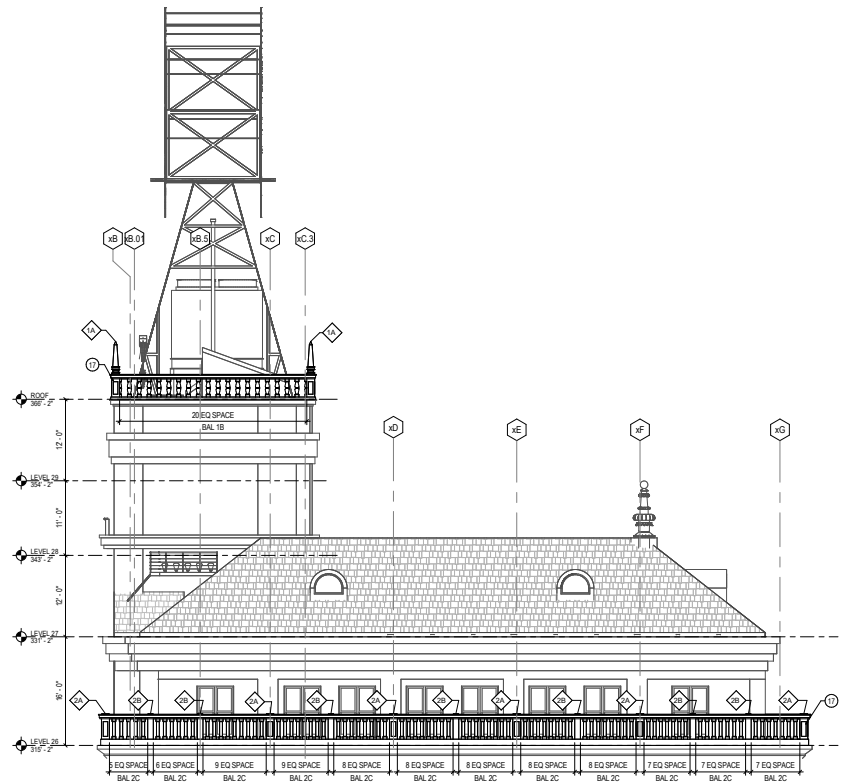
EXTERIOR ENLARGED ELEVATIONS AND SE AXONOMETRIC

NOTE OF DRAWING SOURCE:
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SHEET NOTES

16 NEW AIR INTAKE TO REPLACE EXISTING. REF. 11603 CA

17 NEW BALUSTRADE TO REPLACE METAL PIPE RAILING. DESIGN TO MATCH ORIGINAL CONSTRUCTION. REF. 11603 CA



04 ENLARGED EXTERIOR ELEVATION - PENTHOUSE WEST
SCALE: 1/8" = 1'-0"

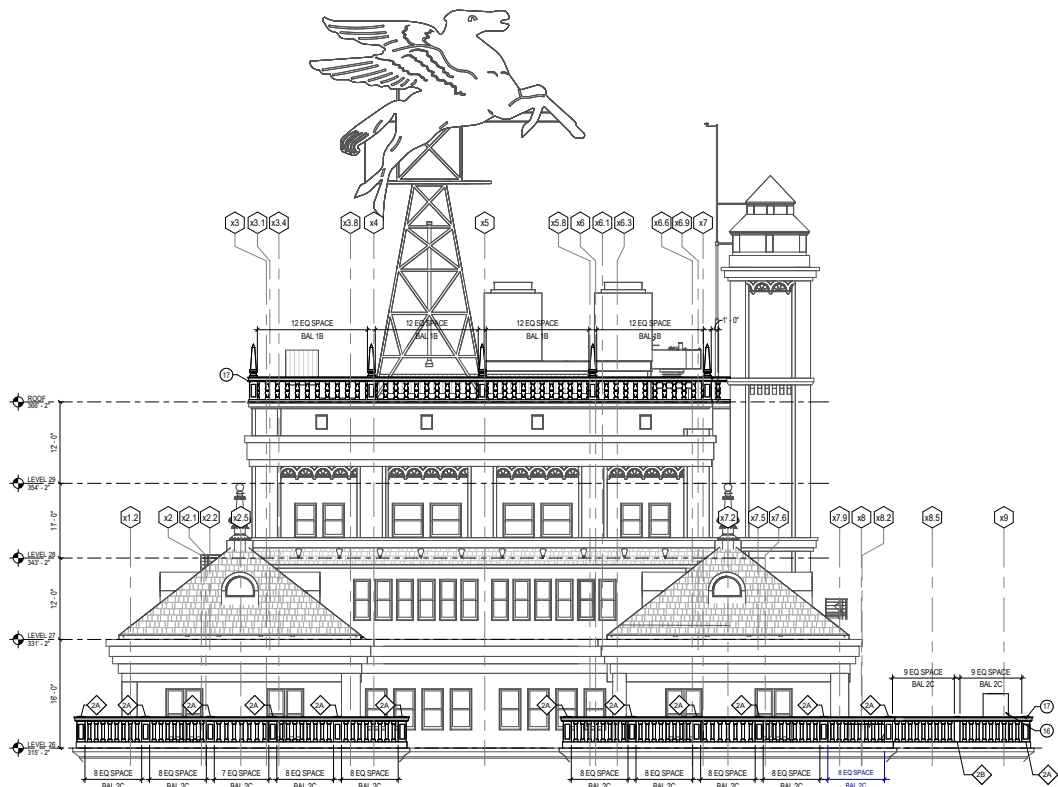
03 ENLARGED EXTERIOR ELEVATION - PENTHOUSE SOUTH
SCALE: 1/8" = 1'-0"

GENERAL NOTES

A. TAKE GREAT CARE TO PRESERVE, RESTORE AND RECONSTRUCT AS NEEDED FOR THE SECRETARY OF INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.

B. CLEAN EXISTING SCULPTURES, FENESTRATIONS AND ARCHITECTURAL FEATURES AND MASONRY SURFACES USING LOW-PRESSURE WATER, DETERGENT AND NATURAL BRISTLE OR OTHER SOFT BRISTLE BRUSHES PER NPS STANDARDS FOR RESTORATION & GUIDELINES FOR RESTORING HISTORIC BUILDINGS.

C. BALUSTERS 1A, 2A AND 2B TO BE LOCATED ON CENTERS OF ORIGINAL LOCATIONS.



EXTERIOR ENLARGED ELEVATIONS AND NW AXONOMETRIC

NOTE OF DRAWING SOURCE:

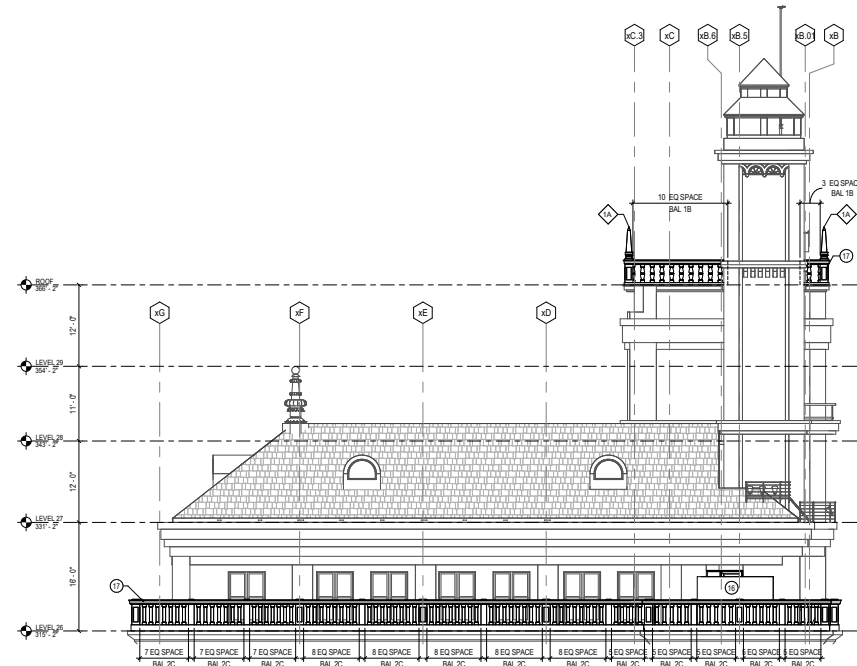
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SHEET NOTES

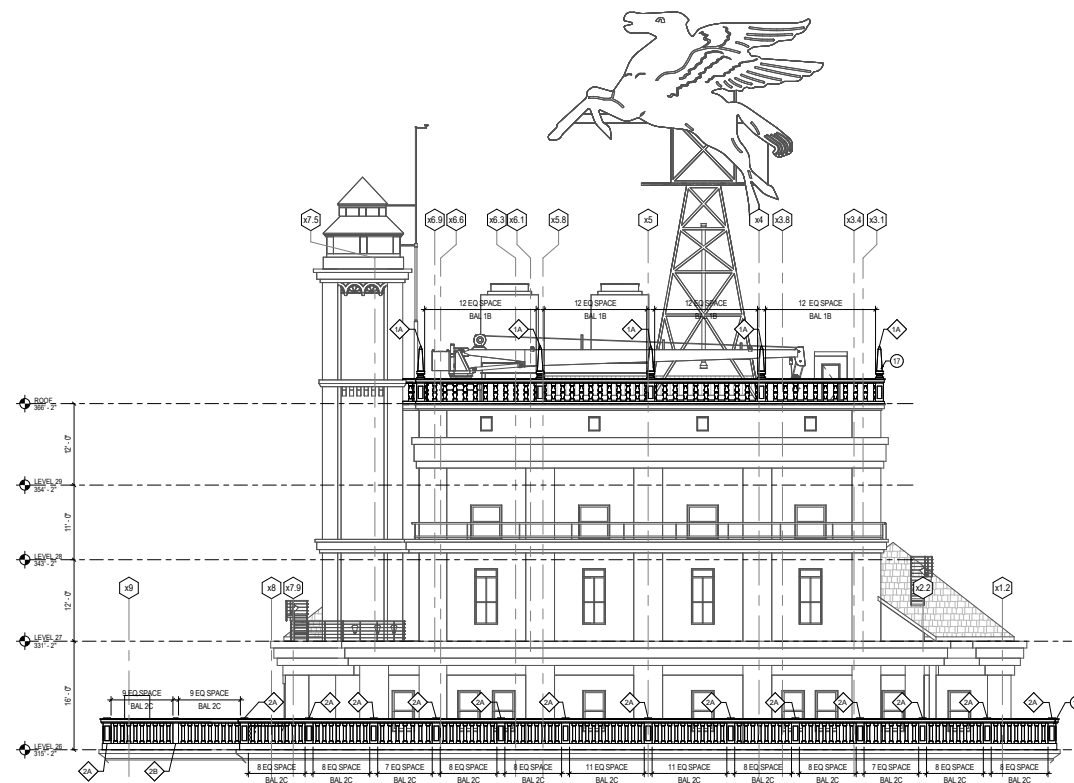
- 16 NEW AIR INTAKE TO REPLACE EXISTING; REF. 11/6/23 CA.
- 17 NEW BALUSTRADE TO REPLACE METAL PIPE RAILING; DESIGN TO MATCH ORIGINAL CONSTRUCTION. REF. 11/6/23 CA.

GENERAL NOTES

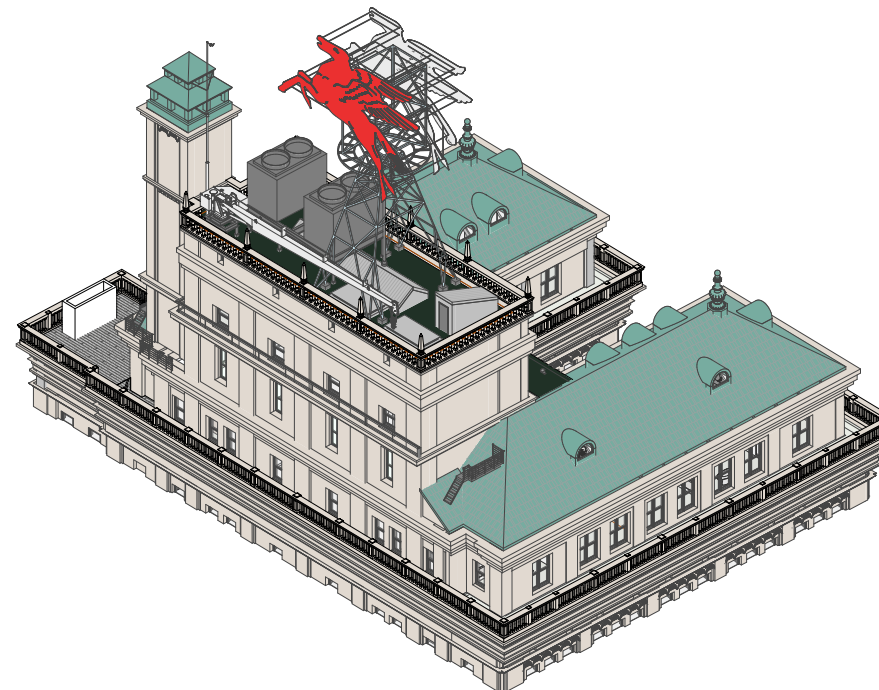
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- B. CLEAN EXISTING SCULPTURES, FENESTRATIONS AND ARCHITECTURAL FEATURES AND MASONRY SURFACES USING LOW-PRESSURE WATER, DETERGENT AND NATURAL BRISTLE OR OTHER SOFT-BRISTLE BRUSHES PER NPS STANDARDS FOR RESTORATION & GUIDELINES FOR RESTORING HISTORIC BUILDINGS.
- C. BALUSTERS 1A, 2A AND 2B TO BE LOCATED ON CENTERS OF ORIGNAL LOCATIONS.



03 ENLARGED EXTERIOR ELEVATION - PENTHOUSE EAST
SCALE: 1/8" = 1'-0"

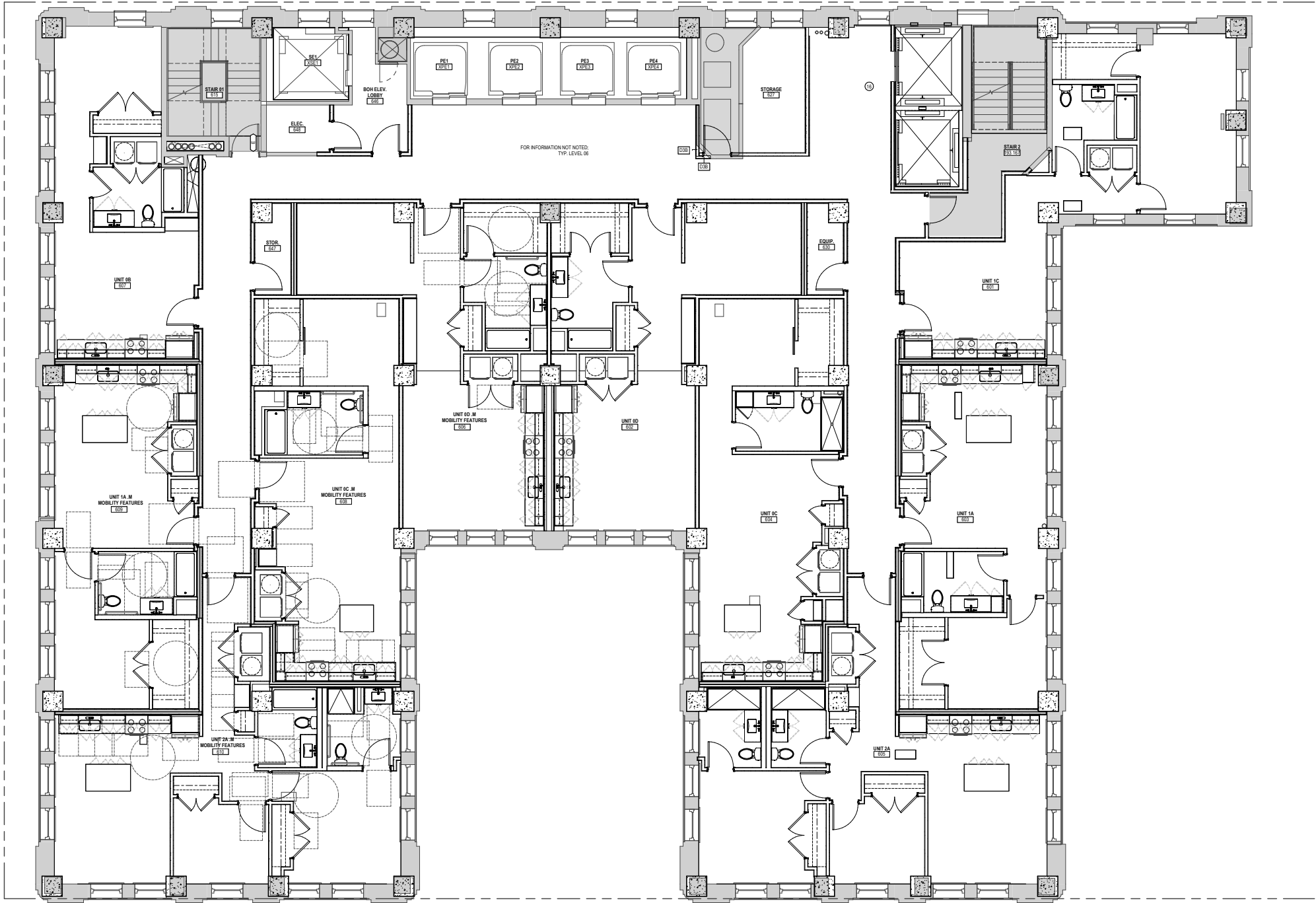


02 ENLARGED EXTERIOR ELEVATION - PENTHOUSE NORTH
SCALE: 1/8" = 1'-0"



01 AXONOMETRIC - NW FOR REFERENCE ONLY
SCALE:

TYPICAL RESIDENTIAL LEVEL



SHEET NOTES

15 HOUSEKEEPING ROOM TO CONTAIN SINK, GLASS WASHER, STORAGE SHELVING, REFRIGERATOR

GENERAL NOTES

- A. RE. AND DRAWING SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. RE. Q01 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- C. ALL PARTITIONS TO BE TYPE "A" UNO. ALL FURRED OUT PARTITIONS TO BE TYPE "D" UNO. RE. A2.00 FOR PARTITION TYPES.
- D. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE. A4.00 FOR DOOR SCHEDULE AND TYPES.
- E. ALL EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN ARE DESIGNATED WITH AN "E" SYMBOL.
- F. ALL PARTITIONS AT THE WINDOW WALL ARE CENTERED ON EITHER COLUMNS OR WINDOW MULLIONS. UNO.
- G. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILING.
- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO. MAINTAIN DIMENSIONS MARKED "CLEAR" ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.
- J. FOR WATER CLOSET, LAVATORY AND SHOWER TYPICAL MOUNTING HEIGHTS. REFER TO SHEET A6.01.
- K. TAKE GREAT CARE TO PRESERVE, RESTORE AND RECONSTRUCT AS NEEDED FOR THE SECRETARY OF INTERIORS STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES.
- L. COORDINATE AND PROVIDE THROUGH PENETRATION FIRESTOP SYSTEMS FOR PENETRATIONS THROUGH FIRE-RESISTANCE-RATED ASSEMBLIES, INCLUDING BOTH EMPTY OPENINGS AND OPENINGS CONTAINING PENETRATING ITEMS THROUGH FLOORS, WALLS, PARTITIONS, FIRE BARRIERS. REFER TO SECTION 07 84 13 PENETRATION FIRESTOPPING.
- M. FOR LEVELS 4-10 GC TO PROVIDE STORM WINDOWS TO SEAL ENTIRE INTERIOR SIDE OF ALL EXISTING EXTERIOR WINDOWING. DESIGN INTENT IS TO IMPROVE ACOUSTICS.
- N. ALIGN NEW INTERIOR PARTITIONS WITH FINISH FACE OF EXISTING OPENINGS WHERE THEY OCCUR UNO.
- P. AT STONE OUTSIDE CORNERS, OR TRANSITIONS TO PLASTER/PART FINISHES PROVIDE 3/4" EASED EDGE, OR DETAIL 13A7.002 UNO.

KEY PLAN

TYPICAL HOTEL LEVEL

