

Applicable Urban Design Priorities Project Should Achieve

- [1] **Parking design should provide an environment that is safe, accessible, and comfortable for residents and visitors while contributing to environmental sustainability and the well-being of the community. Consider how this redevelopment can help support the City’s iSWM and CECAP goals.**

Design landscaping in a way to enhance shading and use green infrastructure strategies to help mitigate flooding and water pollution. Maximize opportunities to capture and reuse stormwater and reduce the impact of impermeable surfaces to enhance the health and well-being of the public.

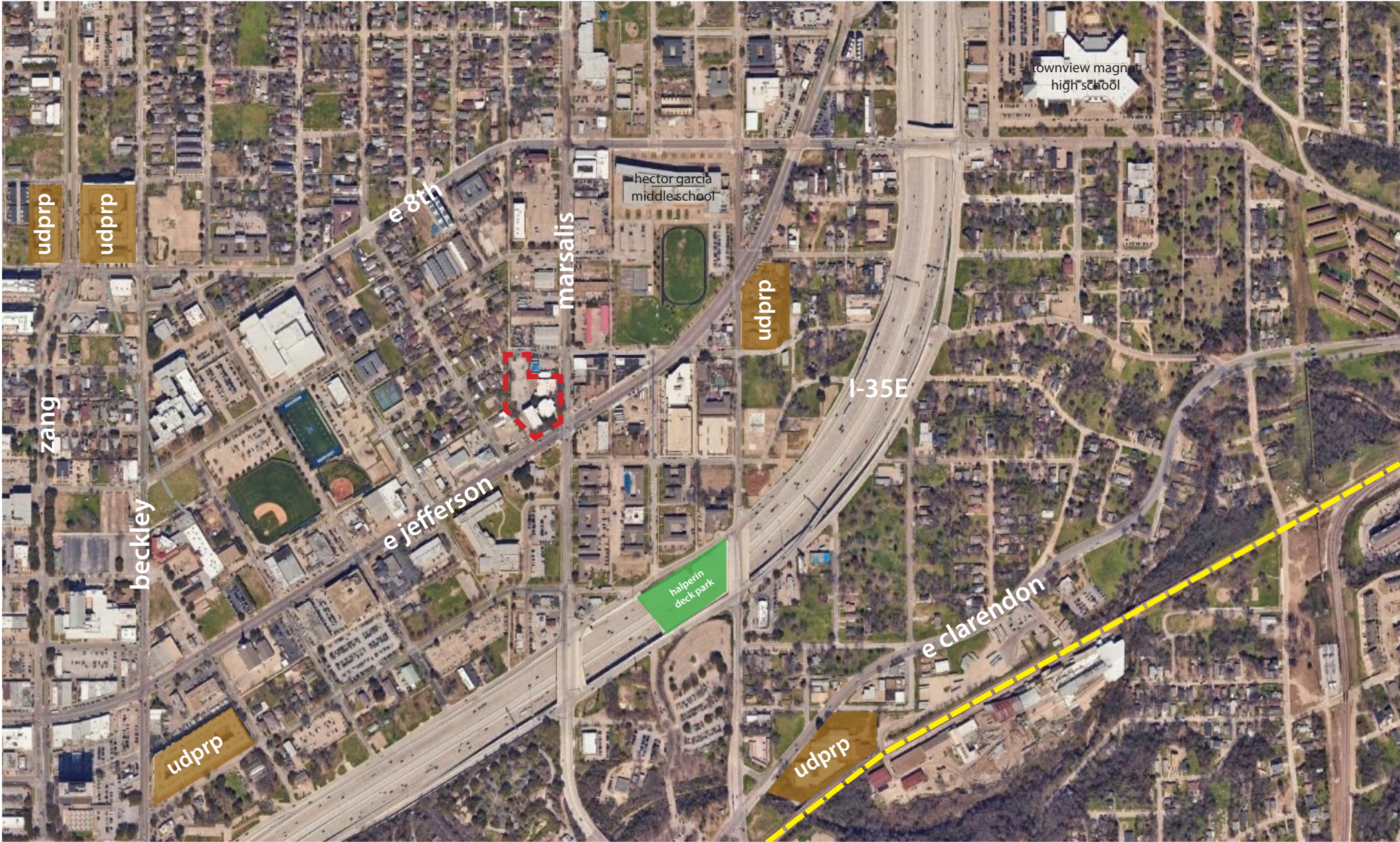
Loading and service entries, blank walls, trash enclosures, and internal drives should be limited in size and located where they minimize disruption of pedestrian access and interest.
- [2] **Future development should continue to provide opportunities to enhance this site’s framework, overall circulation, and pedestrian safety with special attention to Marsalis Avenue and East Jefferson Boulevard.**

Consideration should be given to the arrangement of the vehicular network, public infrastructure, and pedestrian pathways so that they encourage walkability and low-speed mobility around the site.

Ensure the street and pedestrian circulation is designed to encourage a safe and walkable environment to adjacent uses with crosswalks implemented between the site, future developments, and established single-family residential neighborhoods. Provide well-lit, clear, and accessible pedestrian pathways to the proposed residential and retail spaces.
- [3] **Develop a vision for the future of the neighborhood’s pedestrian environment that serves a multitude of social, recreational, and ecological needs.**

Create safe, inviting, and vibrant pedestrian spaces that encourage usage, social interaction, and recreation. Incorporate opportunities for public art, seating, community gathering and play spaces.

Promote active transportation as a viable alternative to driving.



Context Description

The Jefferson is a 1.72 acre property located north of I-35 in the Oak Cliff Gateway TIF District. The property was once home to Oak Cliff United Methodist Church. This adaptive reuse project aims to sensitively rehabilitate and convert a currently unused historic church campus and City of Dallas Landmark into commercial retail and/or office space and apartment lofts. There are three existing buildings on the property including a 14,600 SF Classical Revival Style sanctuary building that was built in 1915. A 20,000 SF, 3-story education building was built in 1926 and compliments the original Classical Revival Style. Another 12,000 SF, 1.5-story youth building was added in 1951.

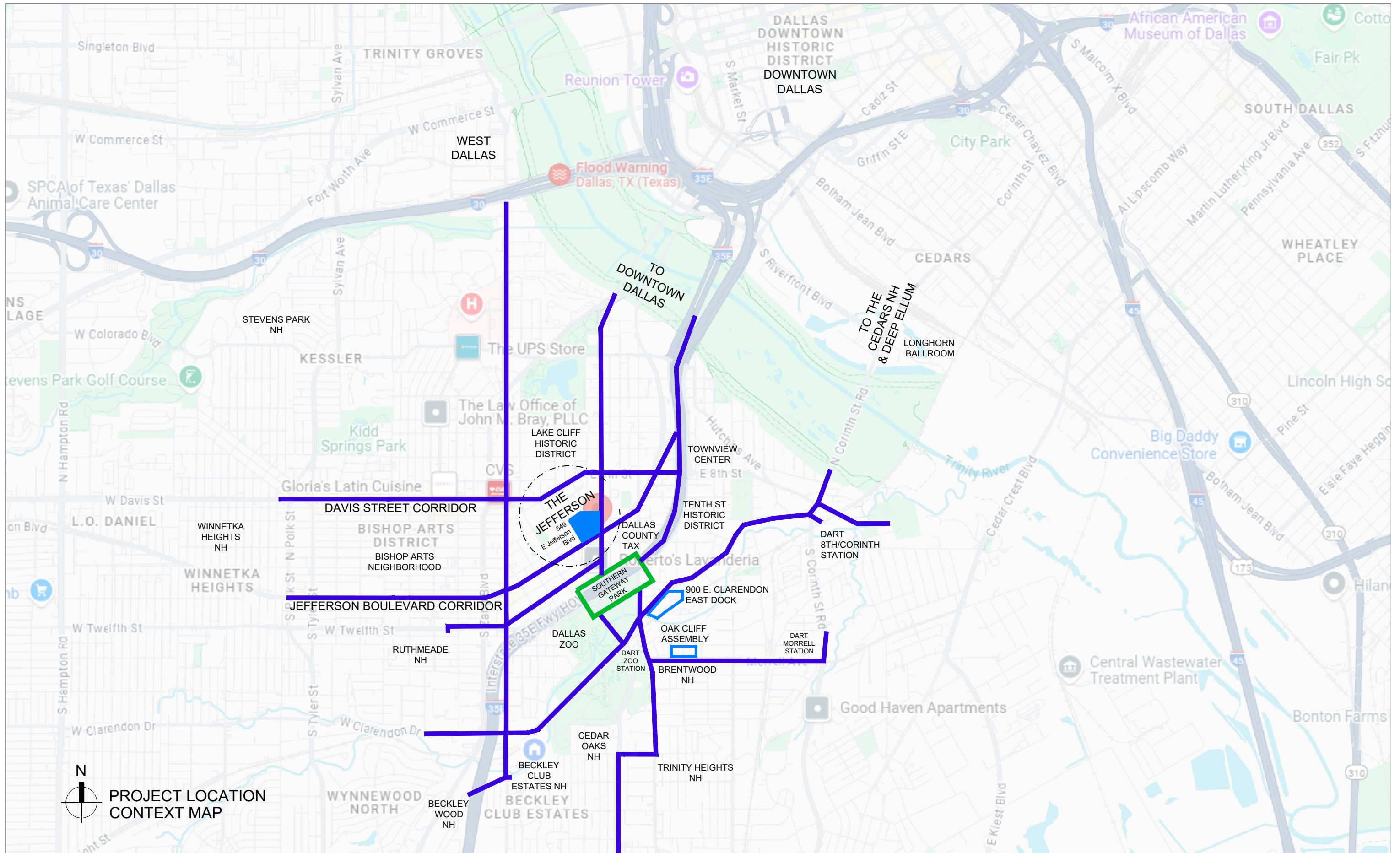
The streetscape along both Marsalis and East Jefferson will be enhanced with a diverse mix of groundcover plantings and additional canopy trees. A corner entry plaza and multi-use area will invite the public into the site from the street edges. North of the sanctuary, an additional plaza will be constructed that connects to an outdoor event and amenity space behind the youth building.

The Jefferson

Neighborhood:  
Oak Cliff Gateway TIF

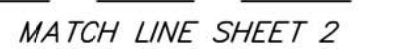
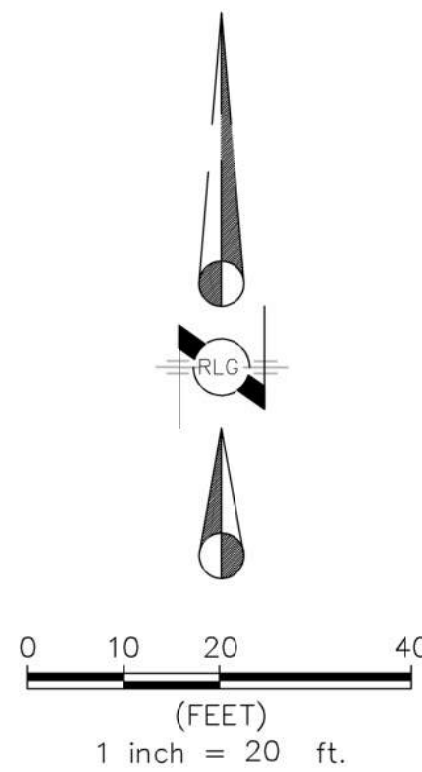
Program:  
Mixed-Use  
Multi-Family Residential  
Commercial





# The Jefferson



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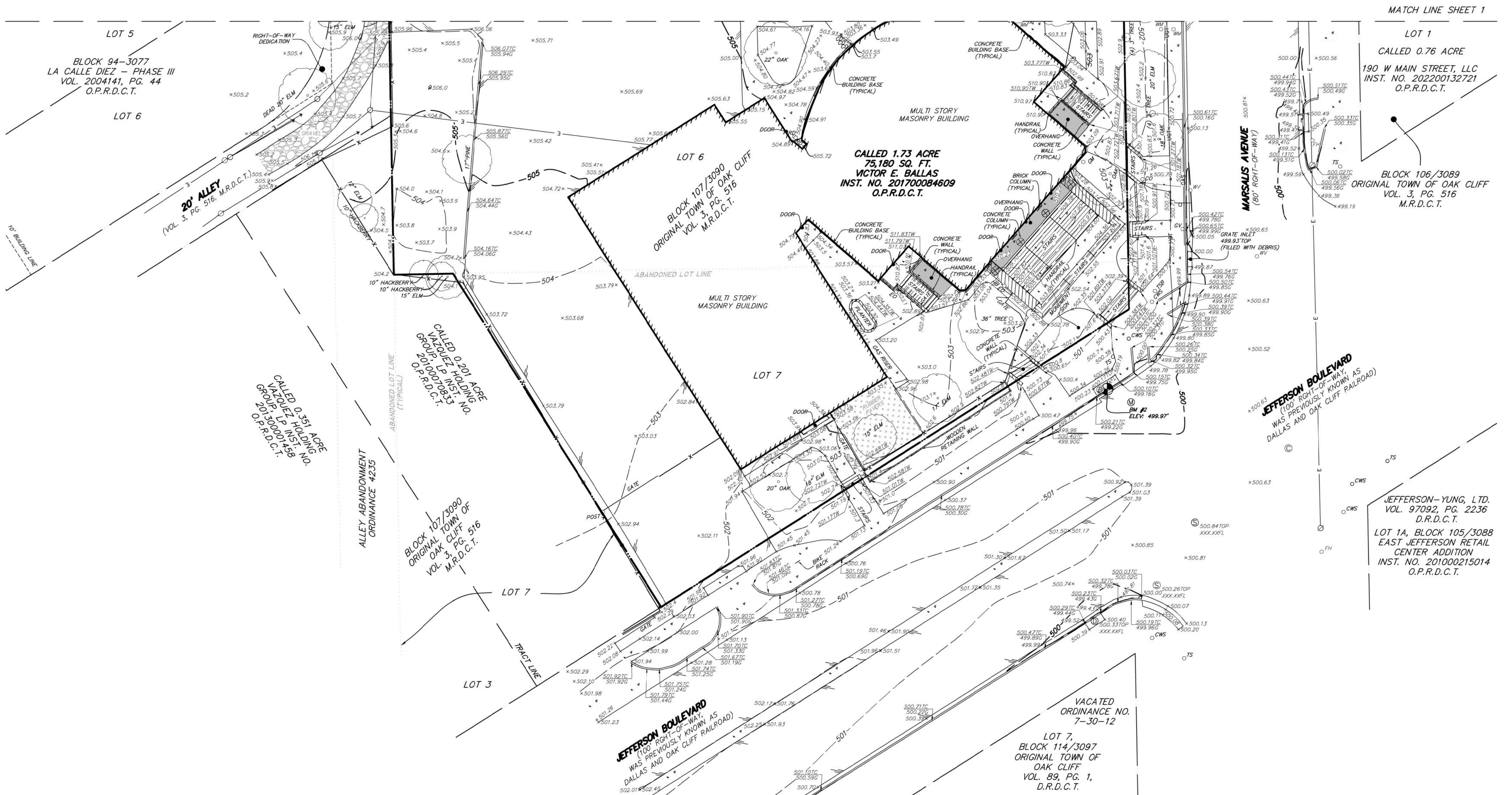
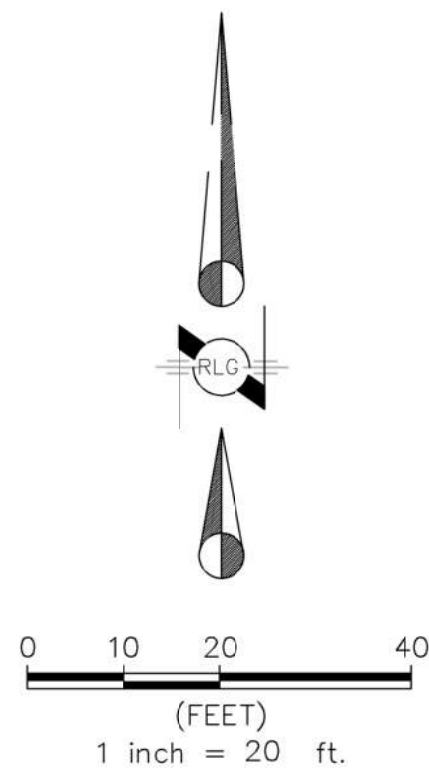
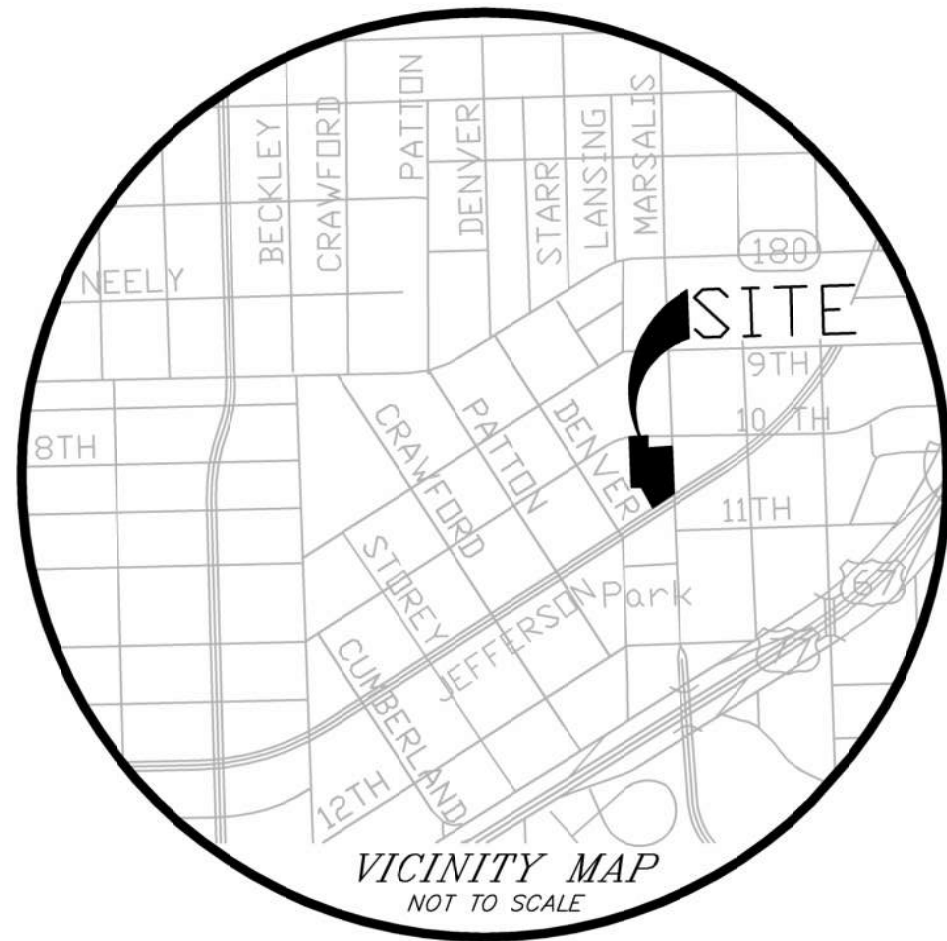
BENCHMARK #2: ASQUARE IS CUT ON CONCRETE OF INLET ALONG THE NORTHWEST CURBLINE OF JEFFERSON BOULEVARD AT THE NORTHWEST CORNER OF THE JEFFERSON BOULEVARD AND MARSAIS AVENUE INTERSECTION, 45'± NORTHEAST OF THE INTERSECTION, AS SHOWN ON SHEET 2.  
ELEV: 499.97'

UNDERGROUND UTILITIES THAT ARE SHOWN ON THE SURVEY, IF ANY, ARE BASED ON AVAILABLE RECORDS AND PLAN DRAWINGS. UNDERGROUND UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY OR IN THEIR EXACT LOCATION. CONTACT "TEXAS 811" AT 1-800-344-8377 BEFORE EXCAVATION OR DIGGING.

SCALE: 1" = 20'		DATE: 04/24/2023		SHEET 1 OF 2	
JOB NO.	2311.025	E-FILE	2311.025TP	DWG NO.	28.148W

**RAYMOND L. GOODSON JR., INC.**  
**CONSULTING ENGINEERS**  
12001 N. CENTRAL EXPRESSWAY, SUITE 300  
DALLAS, TEXAS 75243 (214)739-8100  
TEXAS PE REG #F-493  
TPBELS REG #100341-00  
[www.rlginc.com](http://www.rlginc.com)





#### BENCHMARK DESCRIPTIONS:

DALLAS WATER UTILITIES BENCHMARK #55-A-2: A SQUARE IS CUT ON TOP OF A CONCRETE CURB AT THE MIDPOINT AT THE SOUTHWEST CORNER OF THE INTERSECTION OF FIFTH STREET AND STARR STREET, NOT SHOWN.  
ELEV: 454.34'

DALLAS WATER UTILITIES BENCHMARK #54-H-12: A "E SQUARE" IS CUT ON TOP OF A CONCRETE CURB AT THE CENTER OF A STORM SEWER DROP INLET AT THE NORTHWEST CORNER OF INTERSECTION BETWEEN CRAWFORD STREET AND TWELFTH STREET, NOT SHOWN.  
ELEV: 503.60'

DALLAS WATER UTILITIES BENCHMARK #54-H-4: A SQUARE IS CUT ON TOP OF A CONCRETE CURB AT THE CENTER OF A STORM SEWER DROP INLET ON THE NORTH SIDE OF TWELFTH STREET AND 30' EAST OF THE PROPERTY LINE OF BECKLEY AVENUE, NOT SHOWN.  
ELEV: 505.39'

DALLAS WATER UTILITIES BENCHMARK #54-D-2: A SQUARE IS CUT ON TOP OF CONCRETE CURB AT THE CENTER OF A STORM SEWER DROP INLET AT THE SOUTH SIDE OF EAST SIXTH STREET IN FRONT OF HOUSE #216-218, NOT SHOWN.  
ELEV: 451.08'

DALLAS WATER UTILITIES BENCHMARK #55-A-6S: A STANDARD WATER DEPARTMENT BENCHMARK IS SET ON TOP OF A CONCRETE CURB AT THE CENTER OF A STORM SEWER DROP INLET AT THE NORTHEAST CORNER OF THE INTERSECTION BETWEEN MARSALIS AVENUE AND TENTH STREET, NOT SHOWN.  
ELEV: 503.01'

BENCHMARK #1: A SQUARE IS CUT ON TOP OF CONCRETE CURB ALONG THE SOUTHEAST CURBLINE OF TENTH STREET, 260'± NORTHEAST OF INTERSECTION BETWEEN TENTH STREET AND DENVER STREET INTERSECTION, AT SHOWN ON SHEET 1.  
ELEV: 506.11'

BENCHMARK #2: A SQUARE IS CUT ON CONCRETE OF INLET ALONG THE NORTHWEST CURBLINE OF JEFFERSON BOULEVARD AT THE NORTHWEST CORNER OF THE JEFFERSON BOULEVARD AND MARSALIS AVENUE INTERSECTION, 45'± NORTHEAST OF THE INTERSECTION, AS SHOWN ON SHEET 2.  
ELEV: 499.97'

THIS TOPOGRAPHIC SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY. THE BOUNDARY SHOWN IS BASED ON AVAILABLE RECORDS AND PLAN DRAWINGS. UNDERGROUND UTILITIES MAY NOT BE SHOWN IN THEIR ENTIRETY OR IN THEIR EXACT LOCATION. CONTACT "TEXAS 811" AT 1-800-344-8377 BEFORE EXCAVATION OR DIGGING.

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#### LEGEND

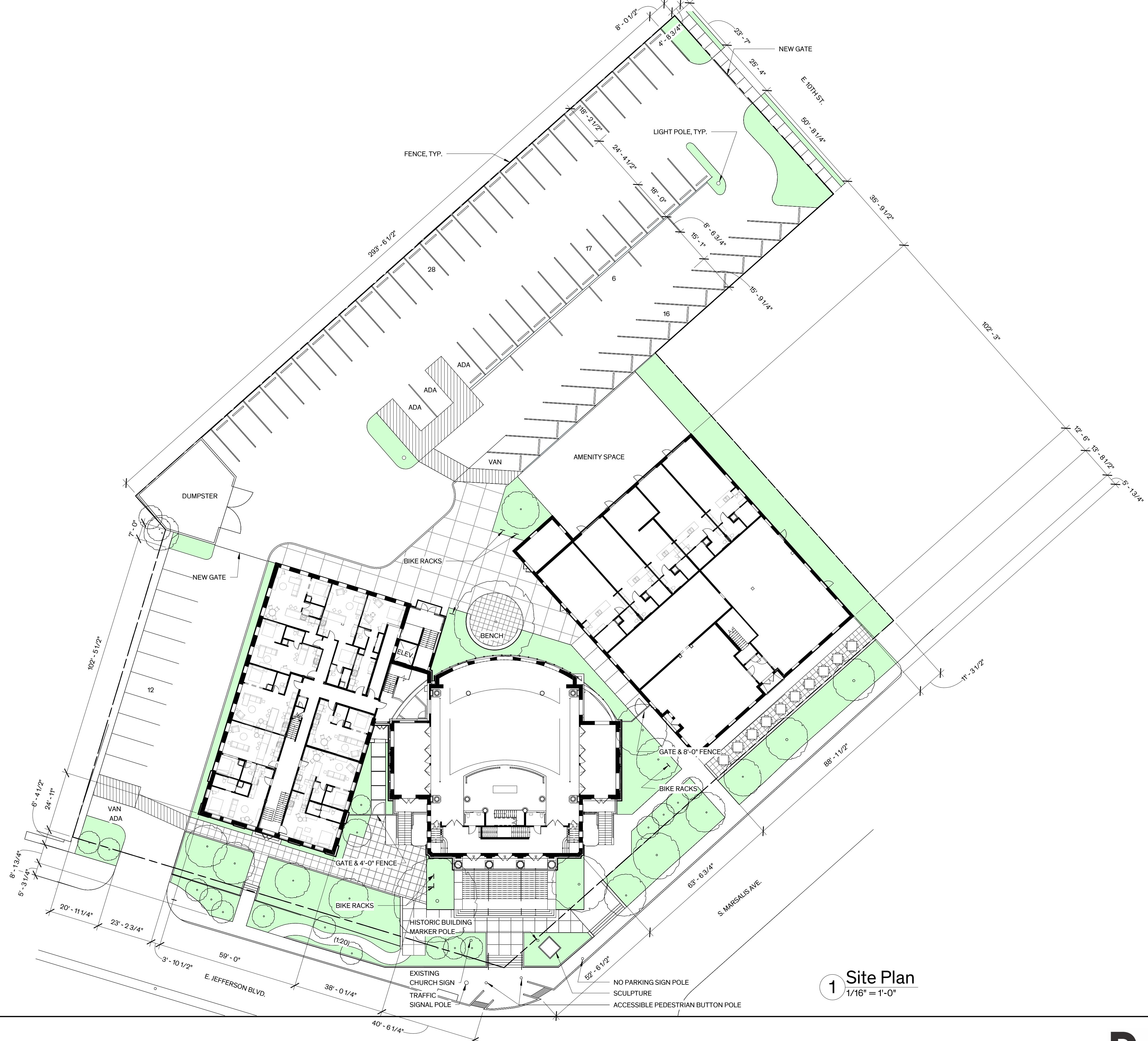
.....	PROPERTY LINE	.....	OVERHEAD POWER
.....	EASEMENT LINE	.....	GAS LINE
.....	BUILDING	.....	SEWER LINE
.....	ASPHALT	.....	STORM SEWER LINE
.....	CONCRETE	.....	WATER LINE
.....	FENCE LINE	.....	EXISTING CONTOUR LINE
.....	LIGHT STANDARD	.....	EXISTING SPOT ELEVATION
.....	LIGHT BOLLARD	.....	1/2" IRON ROD WITH YELLOW PLASTIC
.....	BOLLARD	.....	CAP STAMPED "200 INCH" SET
.....	WATER VALVE	.....	1/2" IRON ROD WITH YELLOW PLASTIC
.....	WATER METER	.....	CAP STAMPED " " FOUND
.....	FIRE HYDRANT	.....	IRON ROD FOUND
.....	STAND PIPE	.....	MAG NAIL SET / FOUND
.....	CLEAN OUT	.....	CHISELED "X" SET / FOUND
.....	IRRIGATION BOX	.....	PK NAIL SET / FOUND
.....	TELEPHONE PEDESTAL	.....	(CM)
.....	POWER POLE	.....	CONTROLLING MONUMENT
.....	POWER POLE WITH U/C CONDUIT	.....	MAP RECORDS, DALLAS COUNTY, TX
.....	GUY WIRE	.....	DEED RECORDS, DALLAS COUNTY, TX
.....	SDM	.....	OPTICAL PUBLIC RECORDS, DALLAS COUNTY, TX
.....	SANITARY SEWER MANHOLE	.....	INSTRUMENT NUMBER
.....	STORM SEWER MANHOLE	.....	VOL., PG.
.....	GAS MANHOLE	.....	VOLUME, PAGE
.....	TELEPHONE MANHOLE	.....	AREA DRAIN & SIZE IN INCHES
.....	ELECTRIC MANHOLE	.....	ROOF DRAIN
.....	FIBER OPTIC MANHOLE	.....	CURB DRAIN
.....	COMMUNICATIONS MANHOLE	.....	PULL BOX
.....	ELECTRIC BOX	.....	PULL BOX ELECTRIC
.....	ELECTRIC METER	.....	PULL BOX TELEPHONE
.....	TRAFFIC SIGNAL	.....	PULL BOX FIBER OPTIC
.....	TRAFFIC SIGNAL BOX	.....	CREPE MYRTLE
.....	STAND PIPE	.....	TREE

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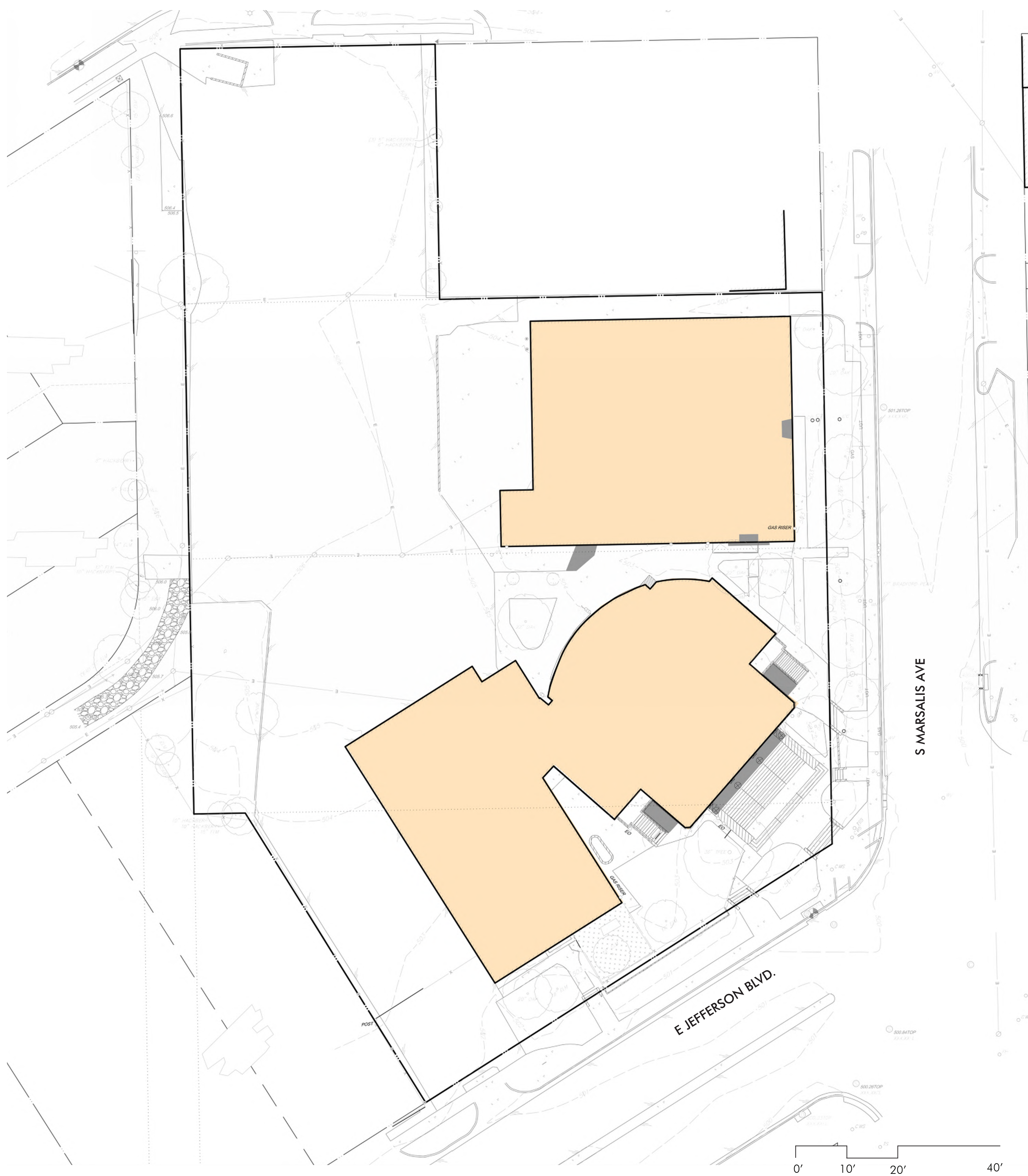
**TOPOGRAPHIC & IMPROVEMENT SURVEY**  
PART OF  
**LOT 4 & 7, BLOCK 107-3090**  
AND ALL OF  
**LOT 5 & 6, BLOCK 107-3090**  
**ORIGINAL TOWN OF OAK CLIFF SUBDIVISION**  
**W.H. HORD SURVEY, ABSTRACT NO. 560**  
IN THE  
CITY OF DALLAS, DALLAS COUNTY, TEXAS

SCALE: 1" = 20'	DATE: 04/24/2023	SHEET 2 OF 2
JOB NO. 2311.025	E-FILE 2311.025TP	DWG NO. 28,148W









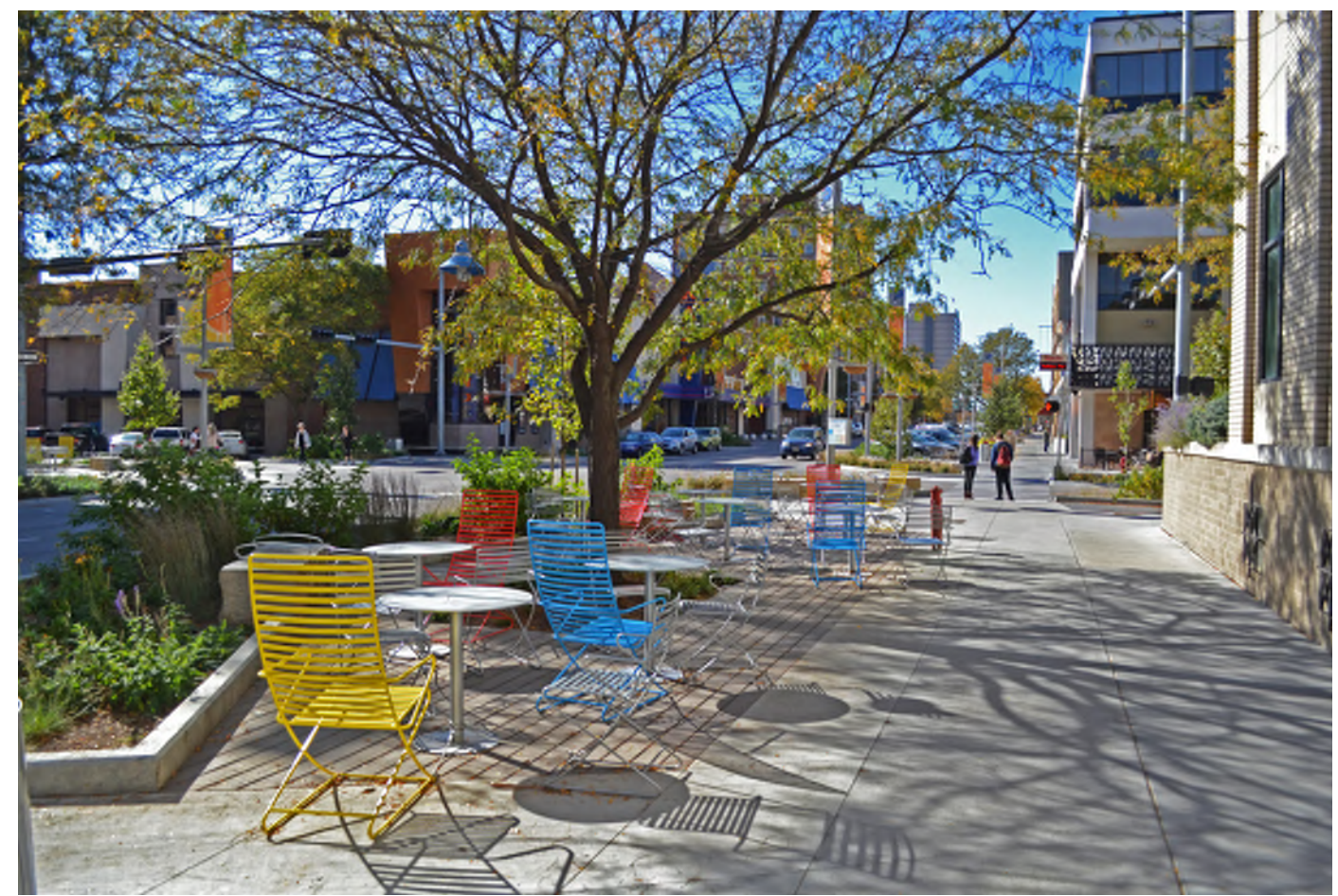
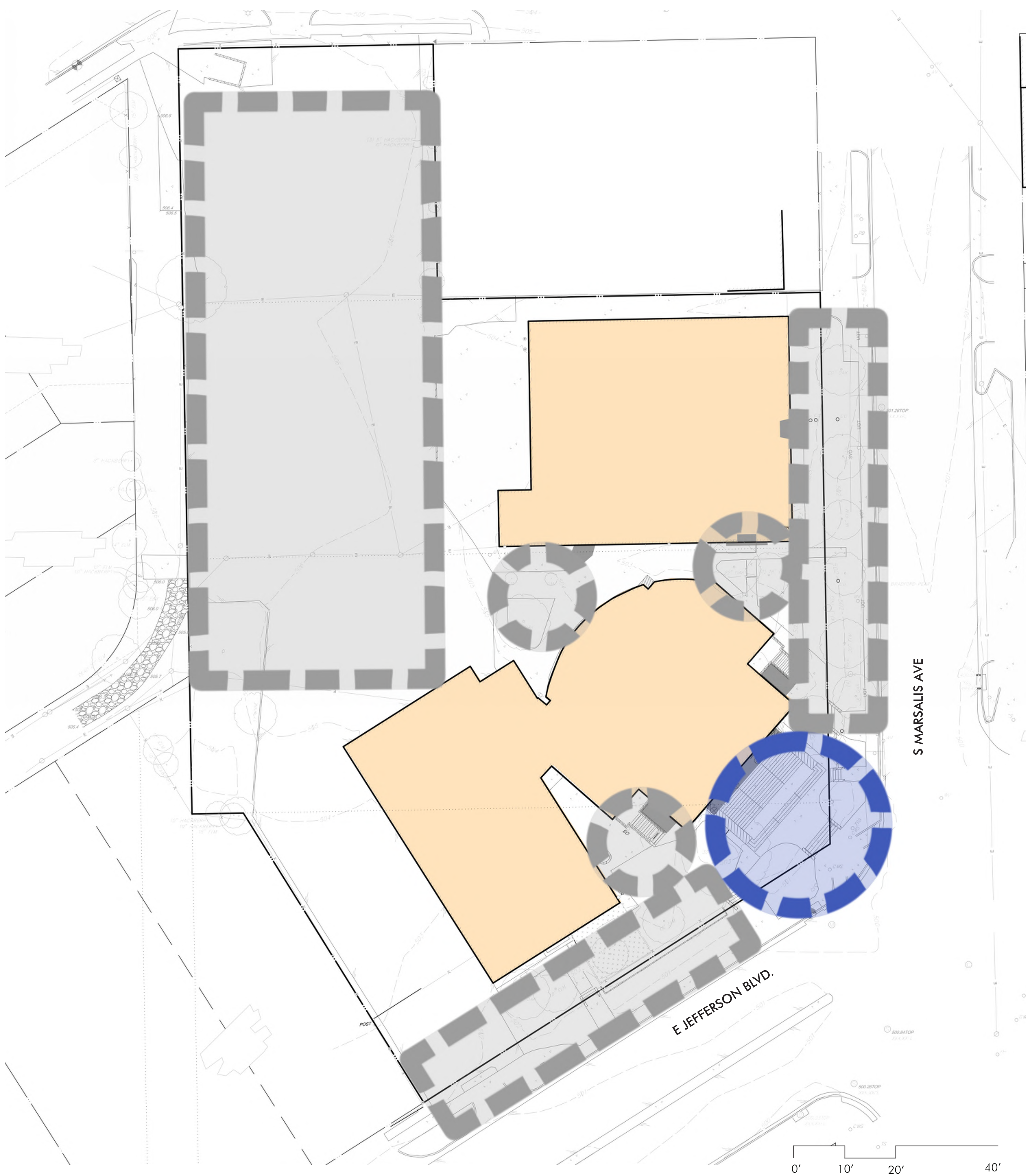


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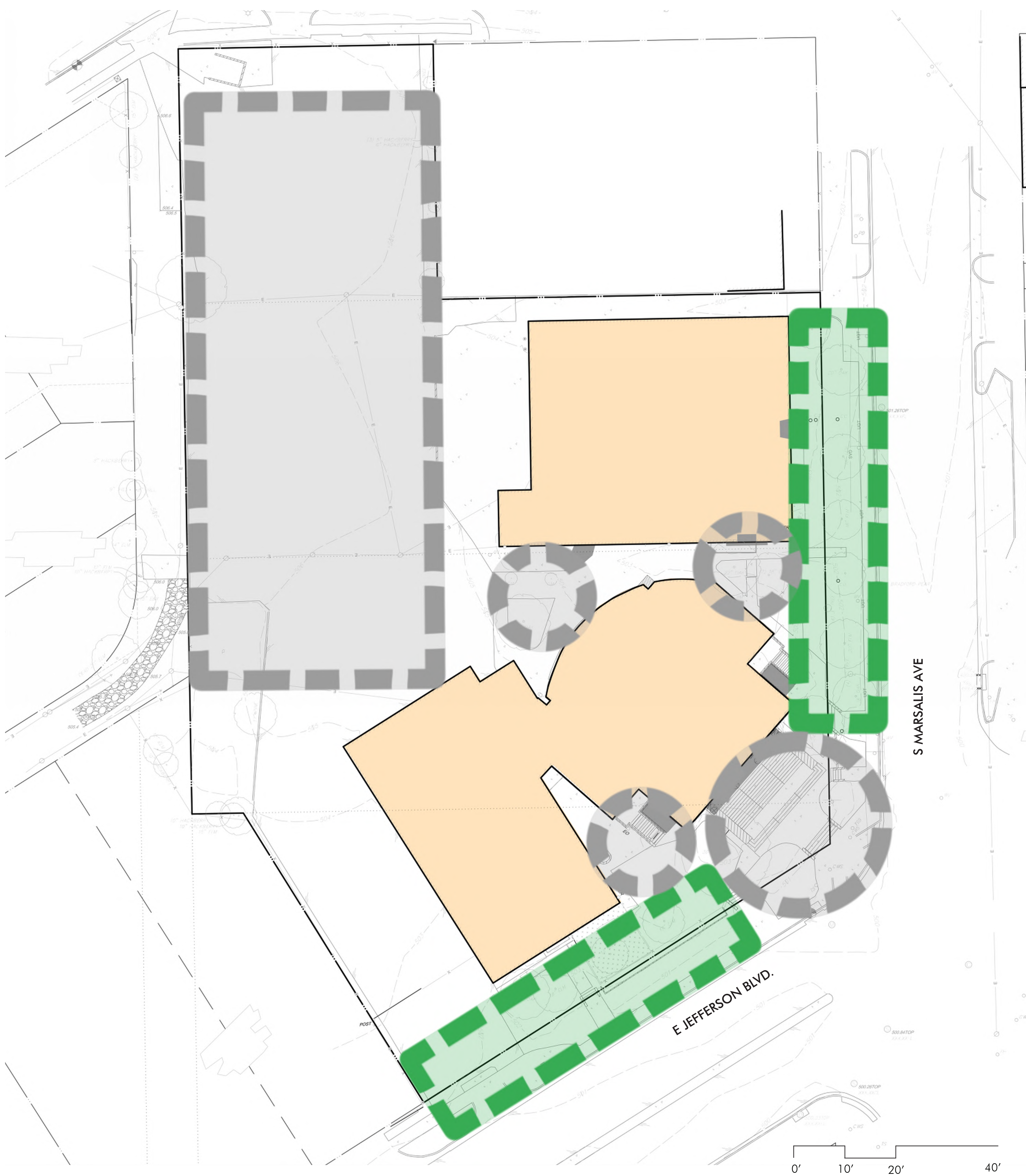
- ① CORNER PLAZA
- ② ENHANCED STREETSCAPE
- ③ MULTI-USE AREA
- ④ ENHANCED PARKING AREA



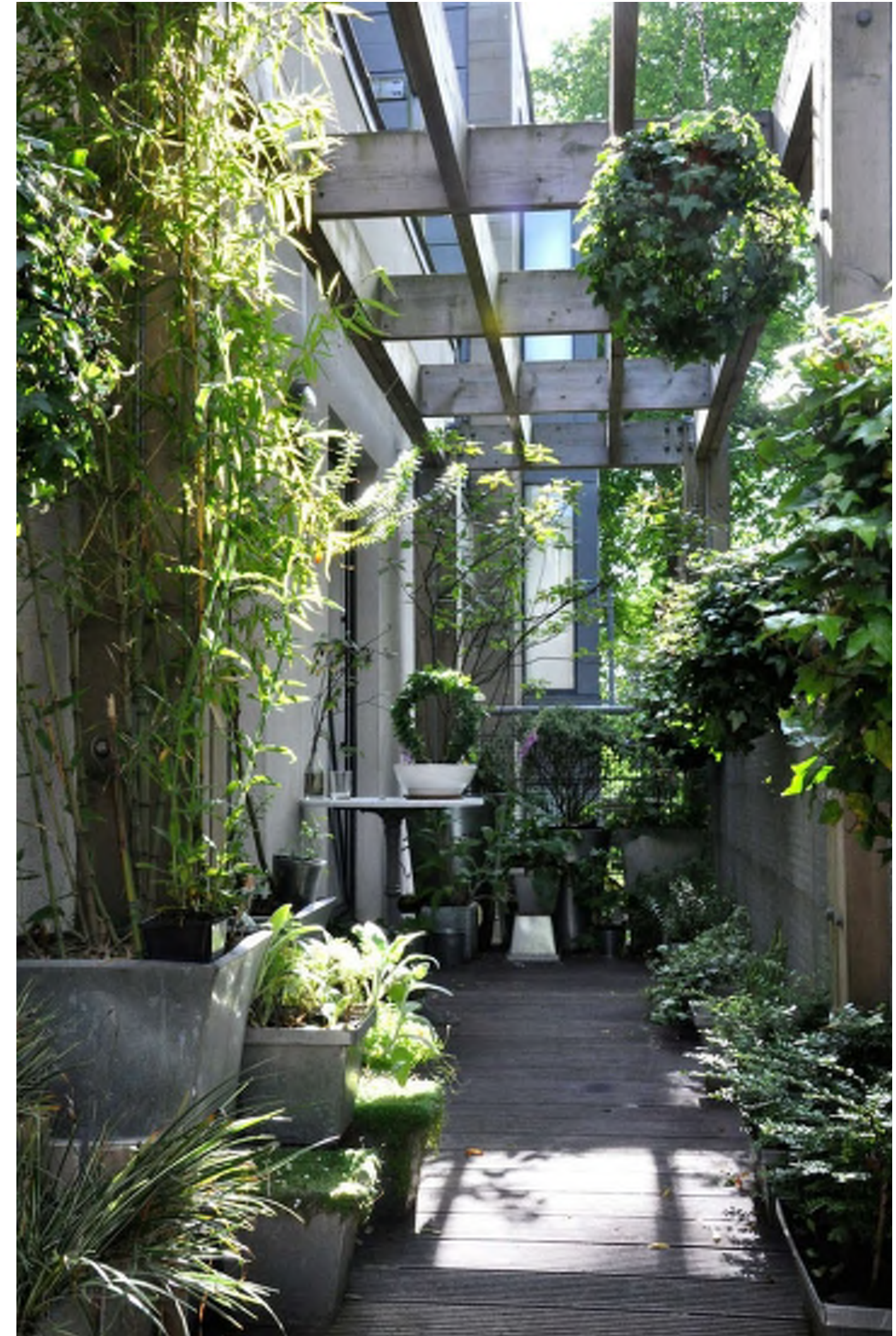
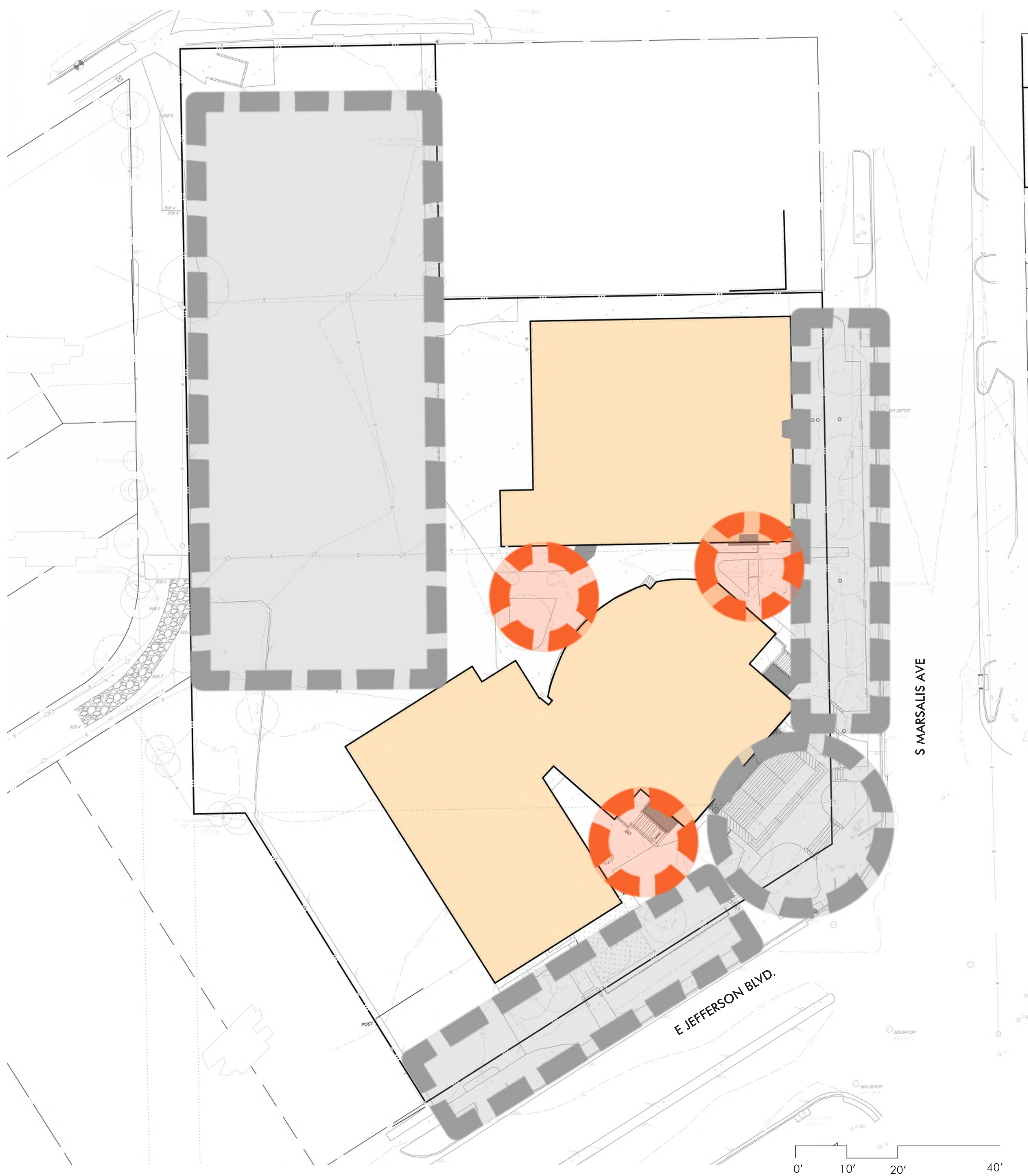




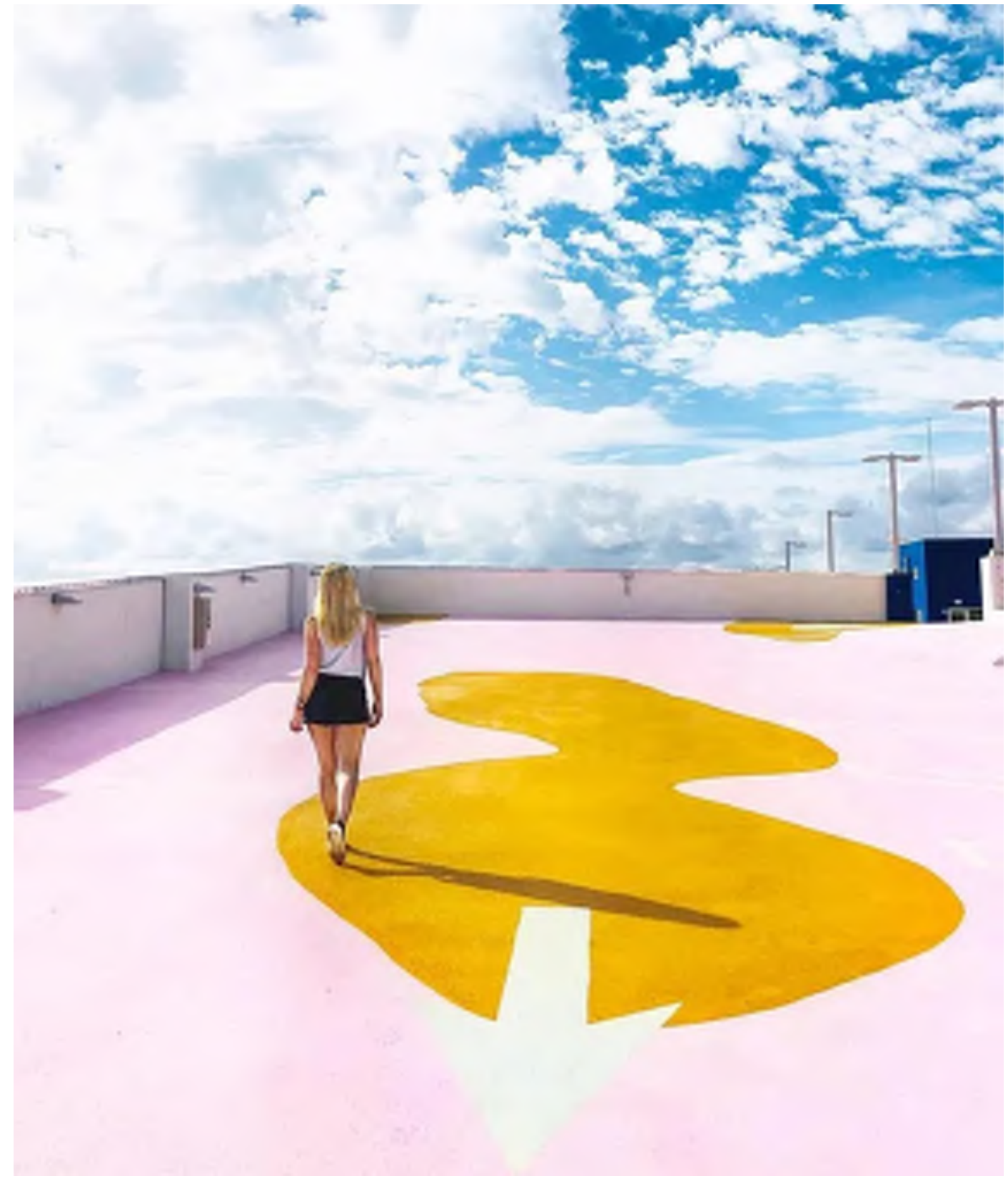
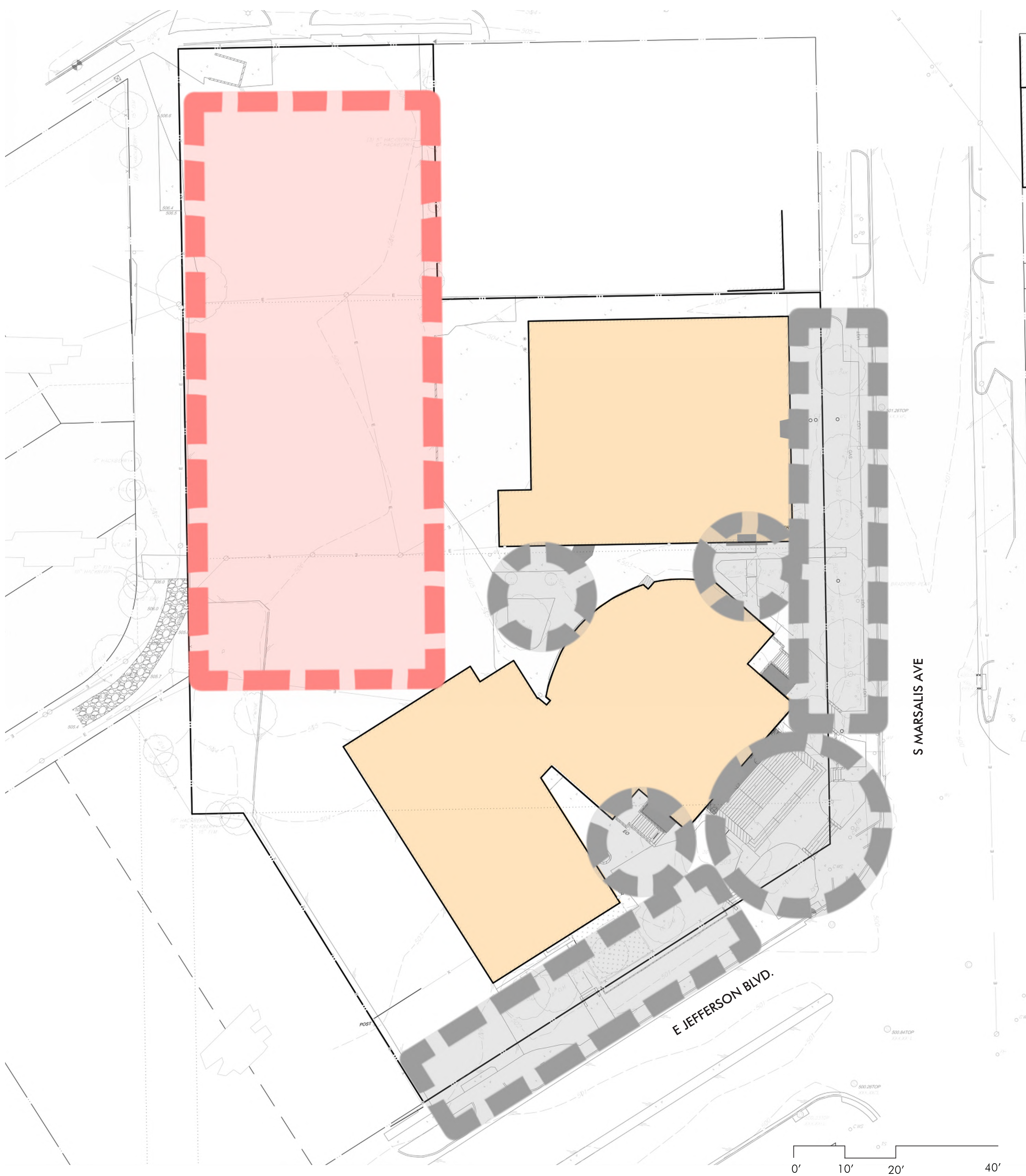
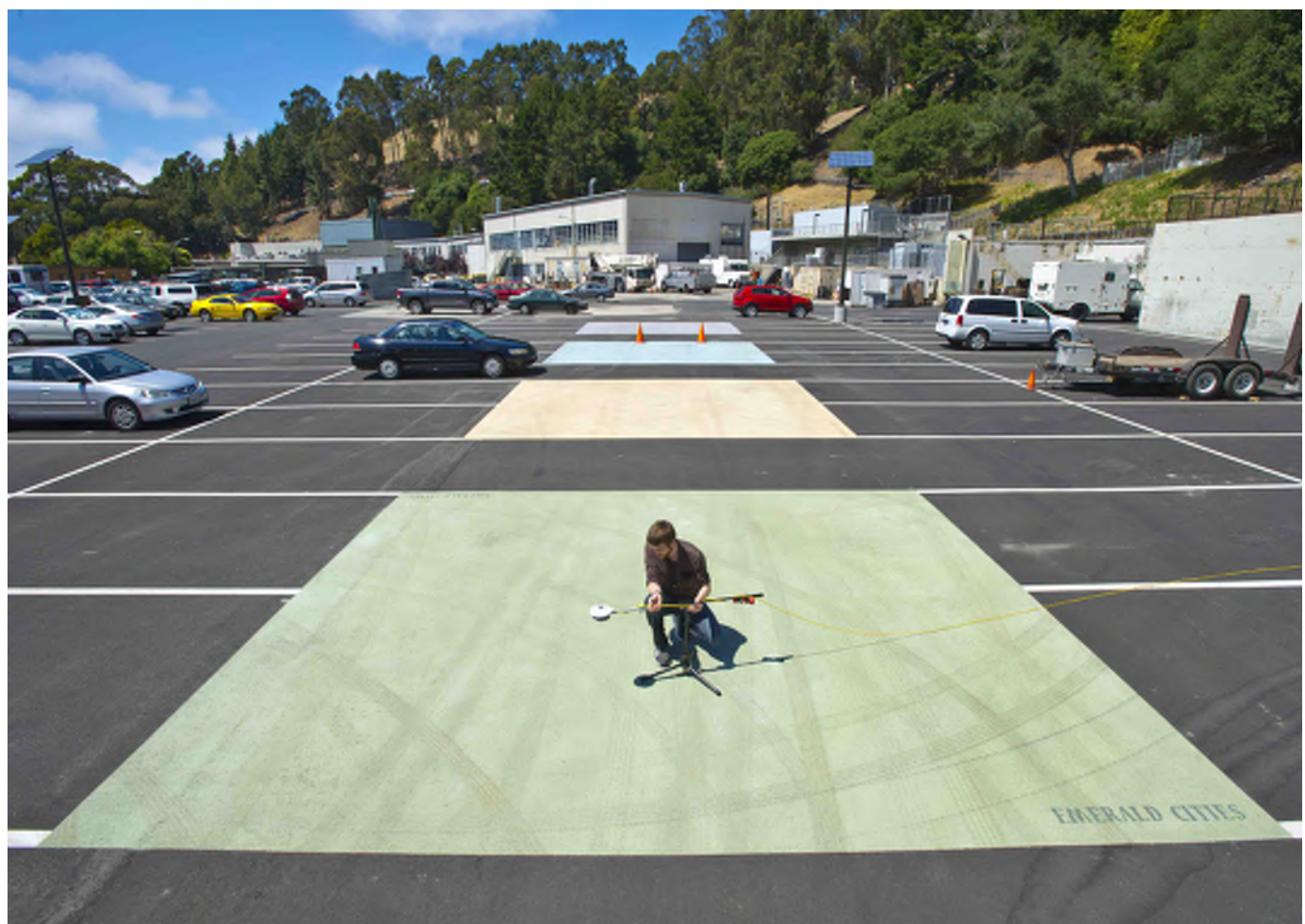










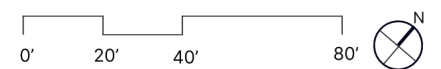




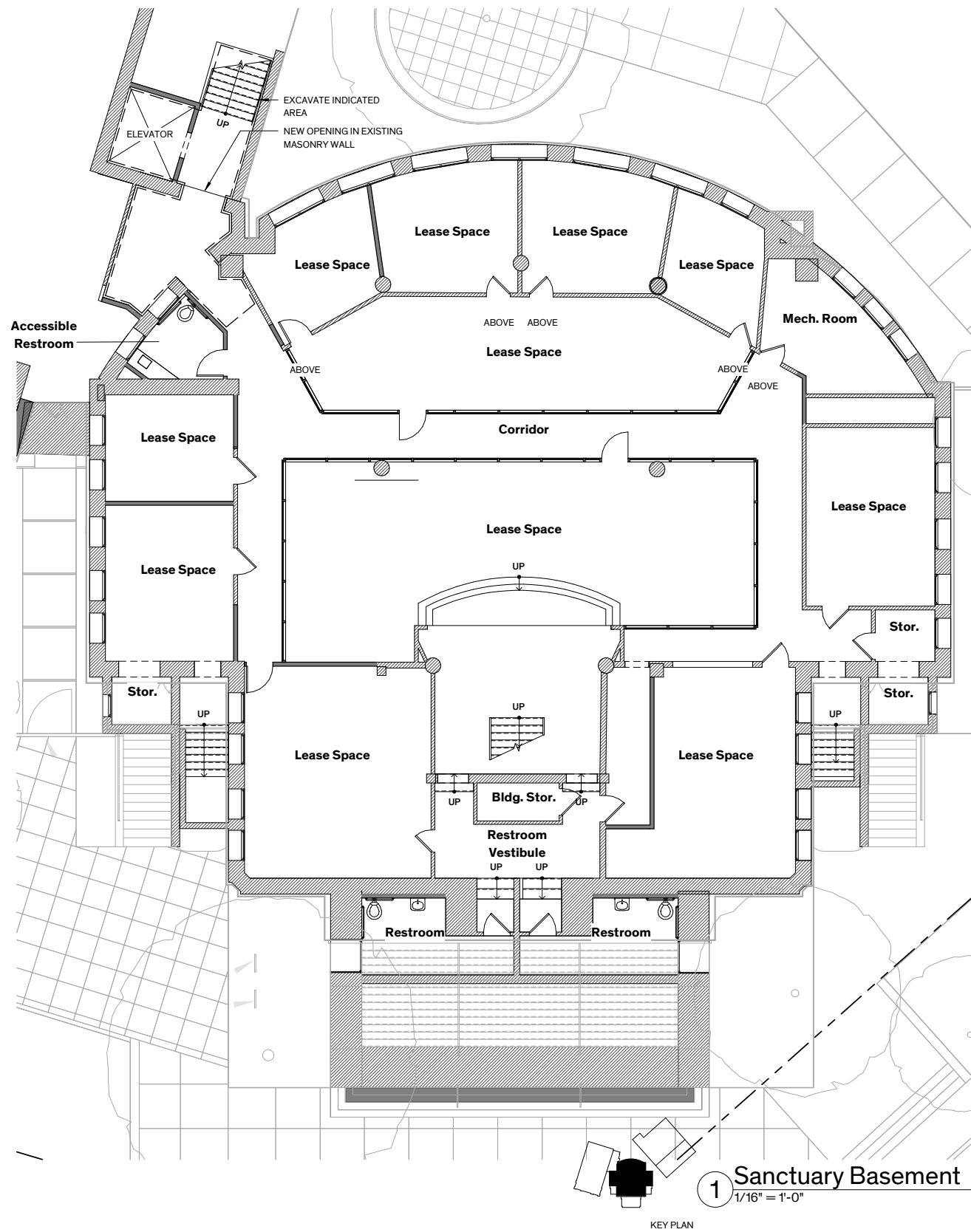


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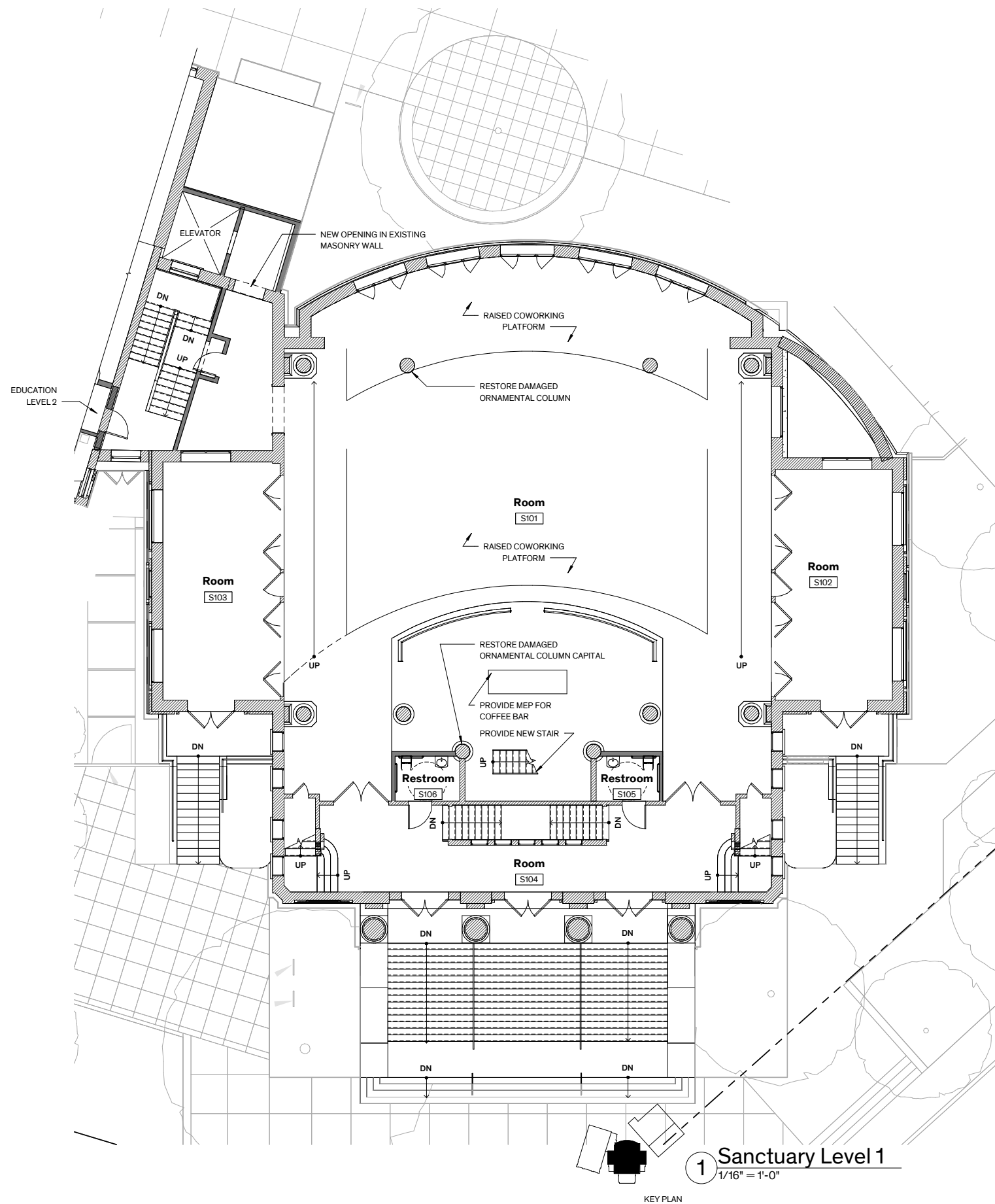
- ① Former Sanctuary / Education Building
- ② Former Youth Building
- ③ Corner Plaza
- ④ Multi-Use Area
- ⑤ Rear Entry Plaza
- ⑥ Amenity Space
- ⑦ Enhanced Streetscape
- ⑧ Enhanced Parking Area
- ⑨ Accessible Building Entrance
- ⑩ Retail Entrance















3 Sanctuary - East Elevation  
1/16" = 1'-0"



2 Sanctuary - South Elevation  
Behind Columns  
1/16" = 1'-0"



1 Sanctuary - South Elevation  
1/8" = 1'-0"



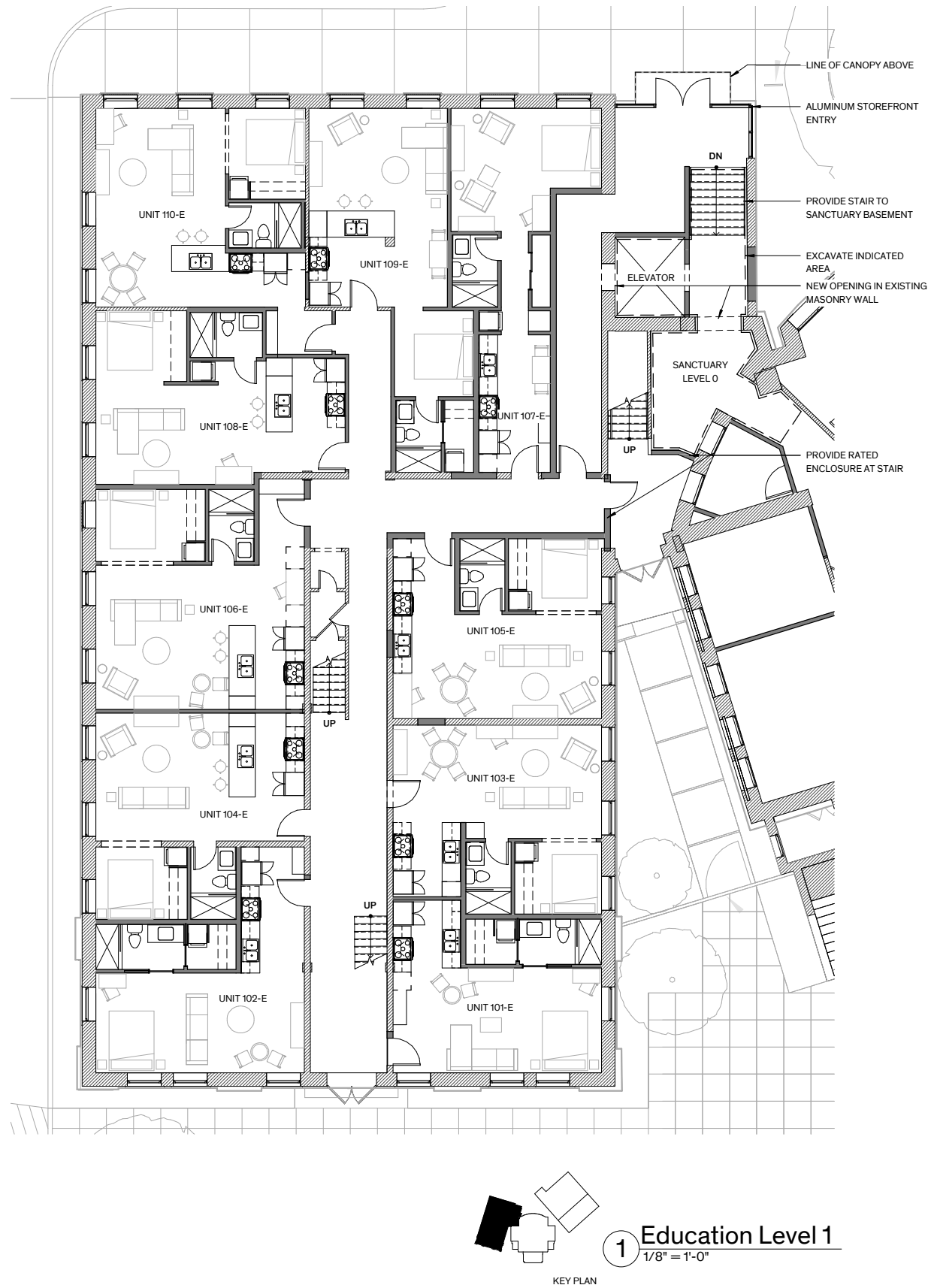


2 Sanctuary - West Elevation  
1/16" = 1'-0"

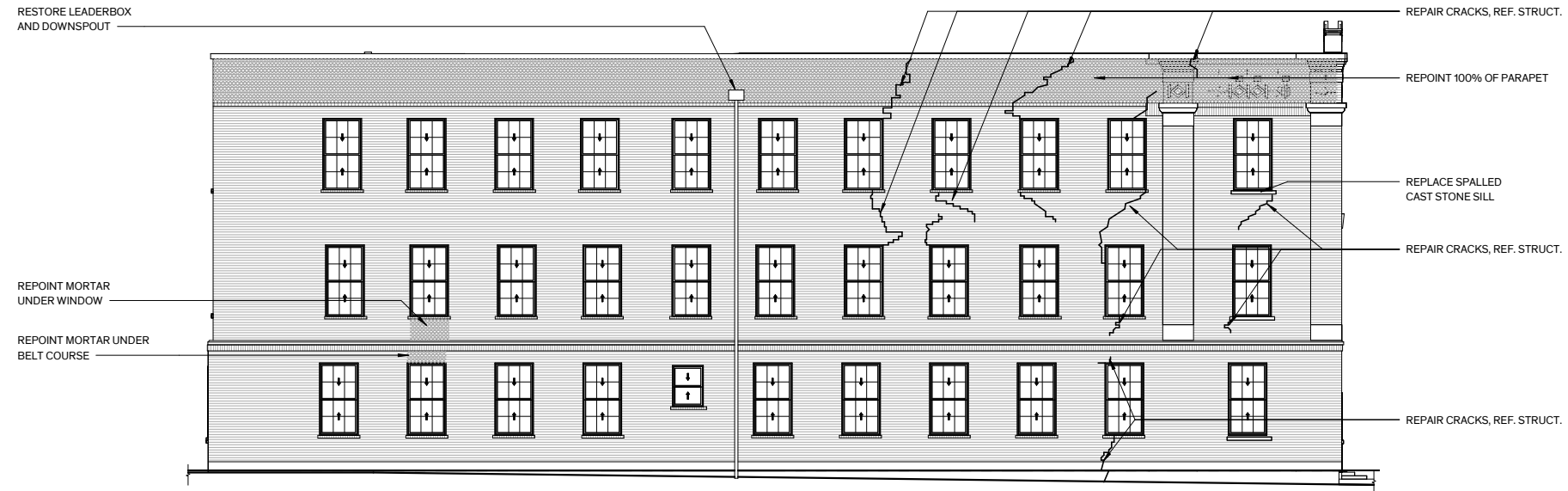


1 Sanctuary - North Elevation  
1/16" = 1'-0"



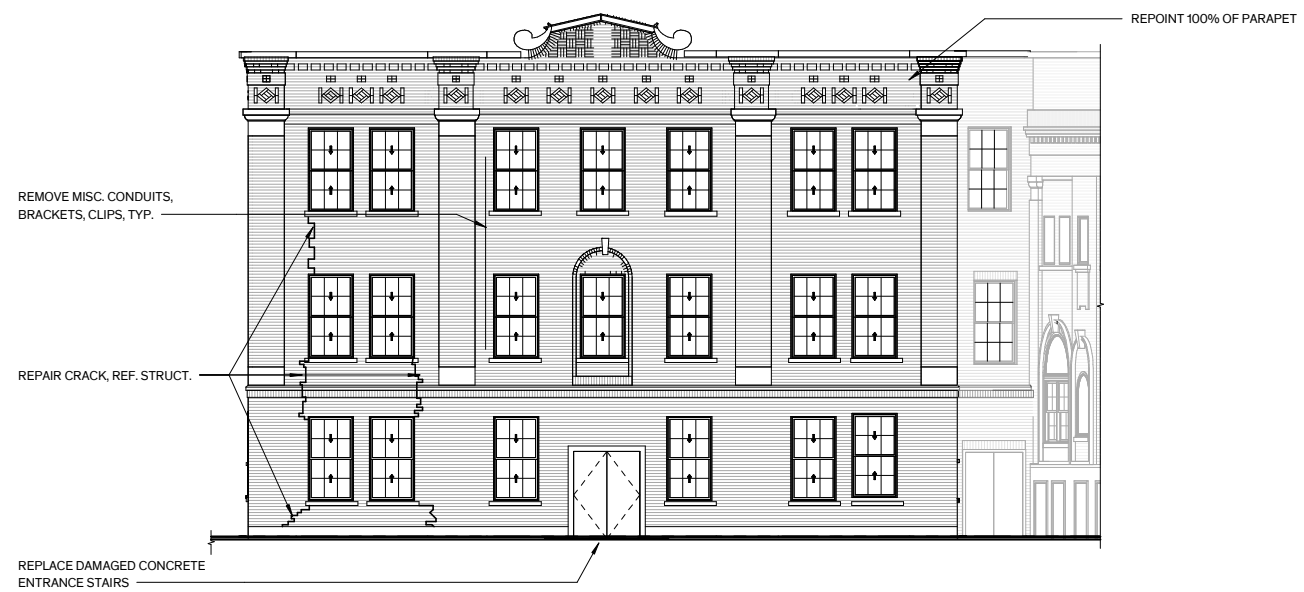






Education Building - West

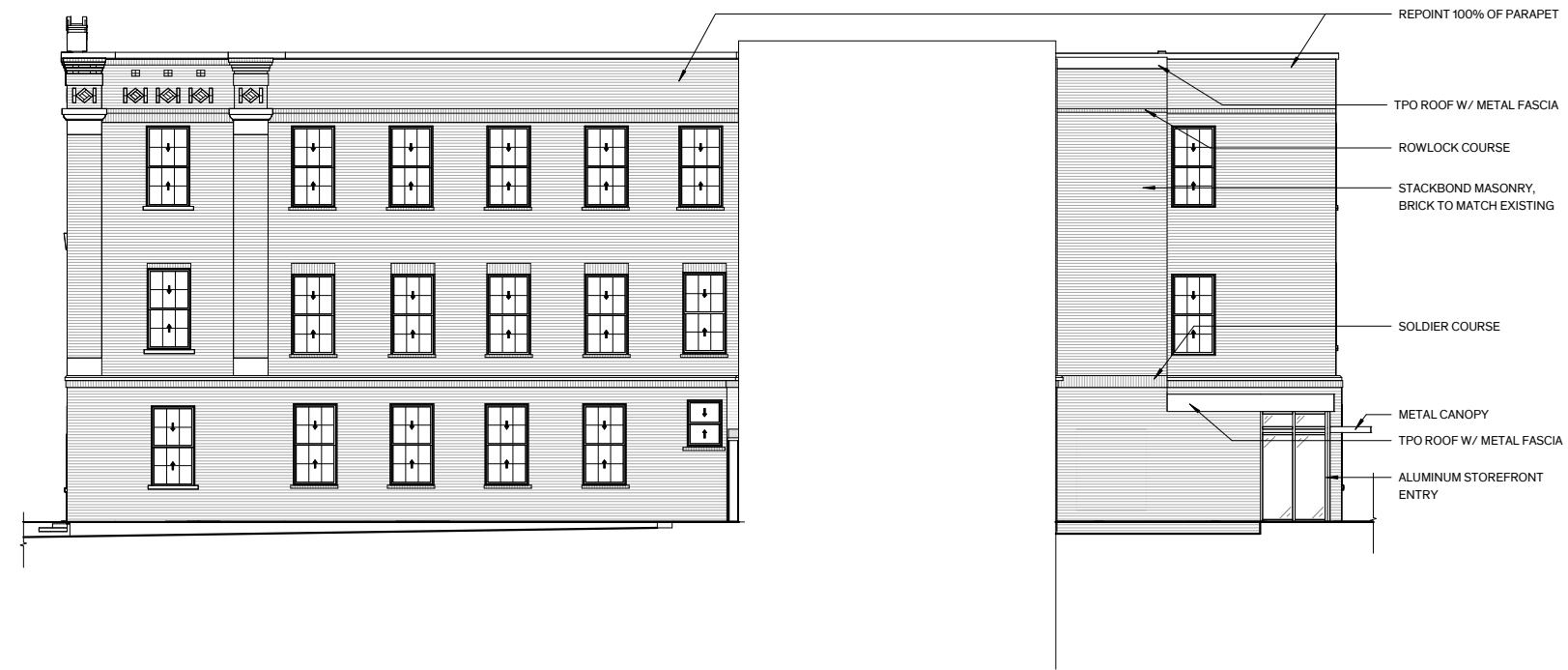
2 Elevation  
1/16" = 1'-0"



Education Building - South

1 Elevation  
1/16" = 1'-0"

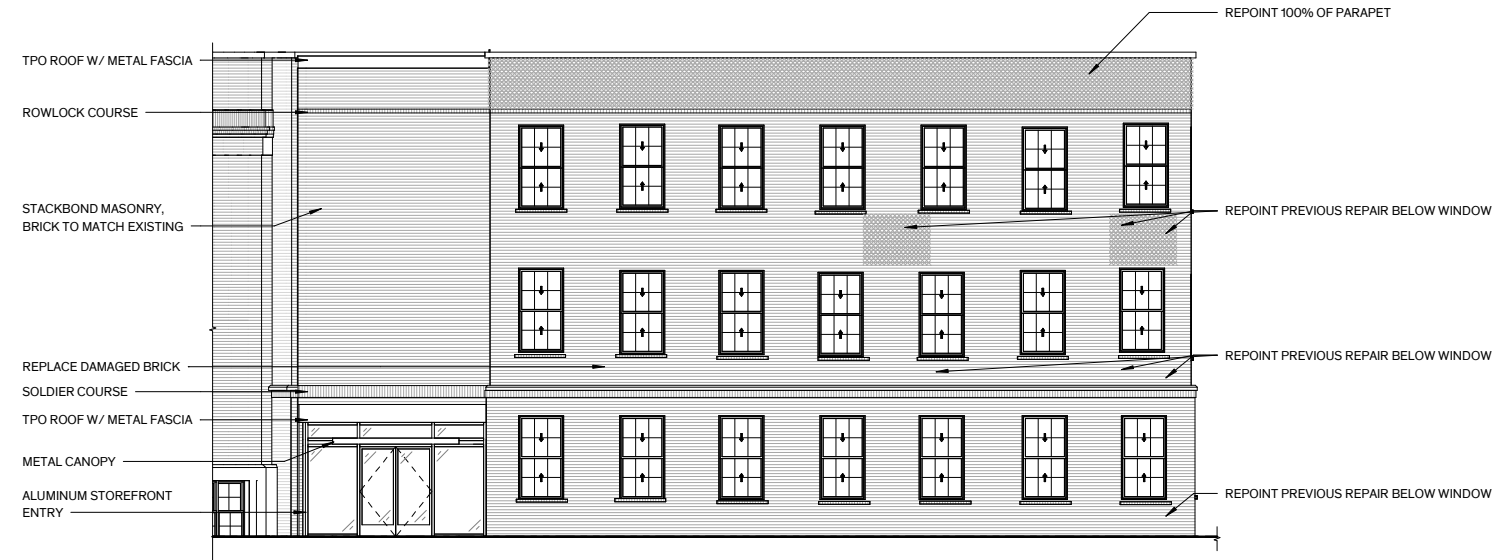




Education Building -

② East Elevation

1/16" = 1'-0"

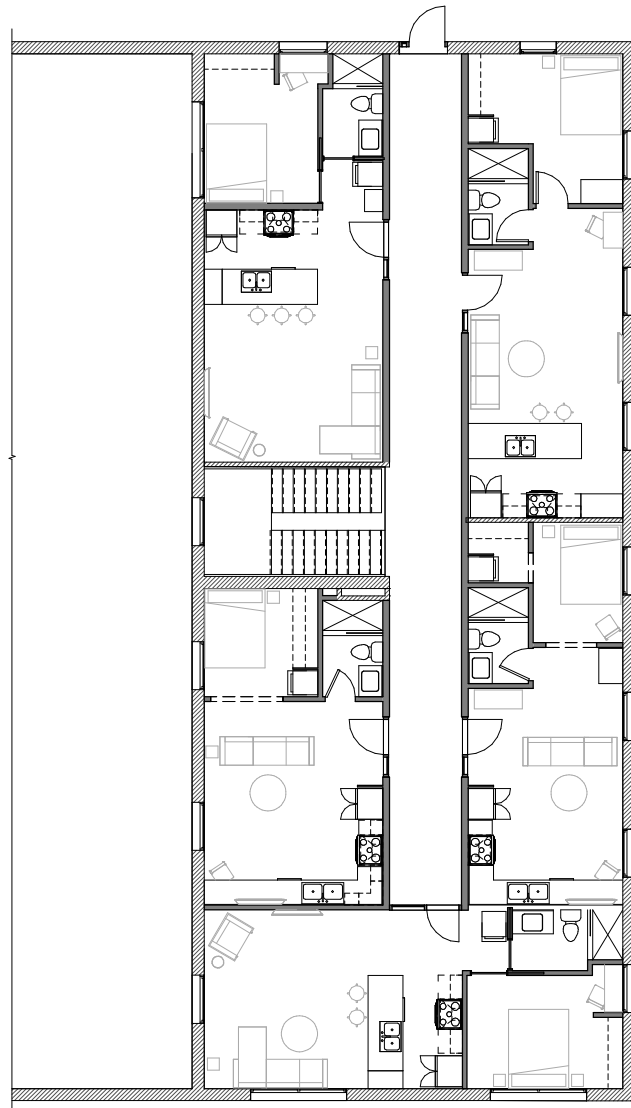


Education Building -

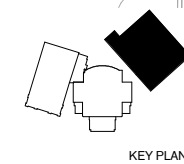
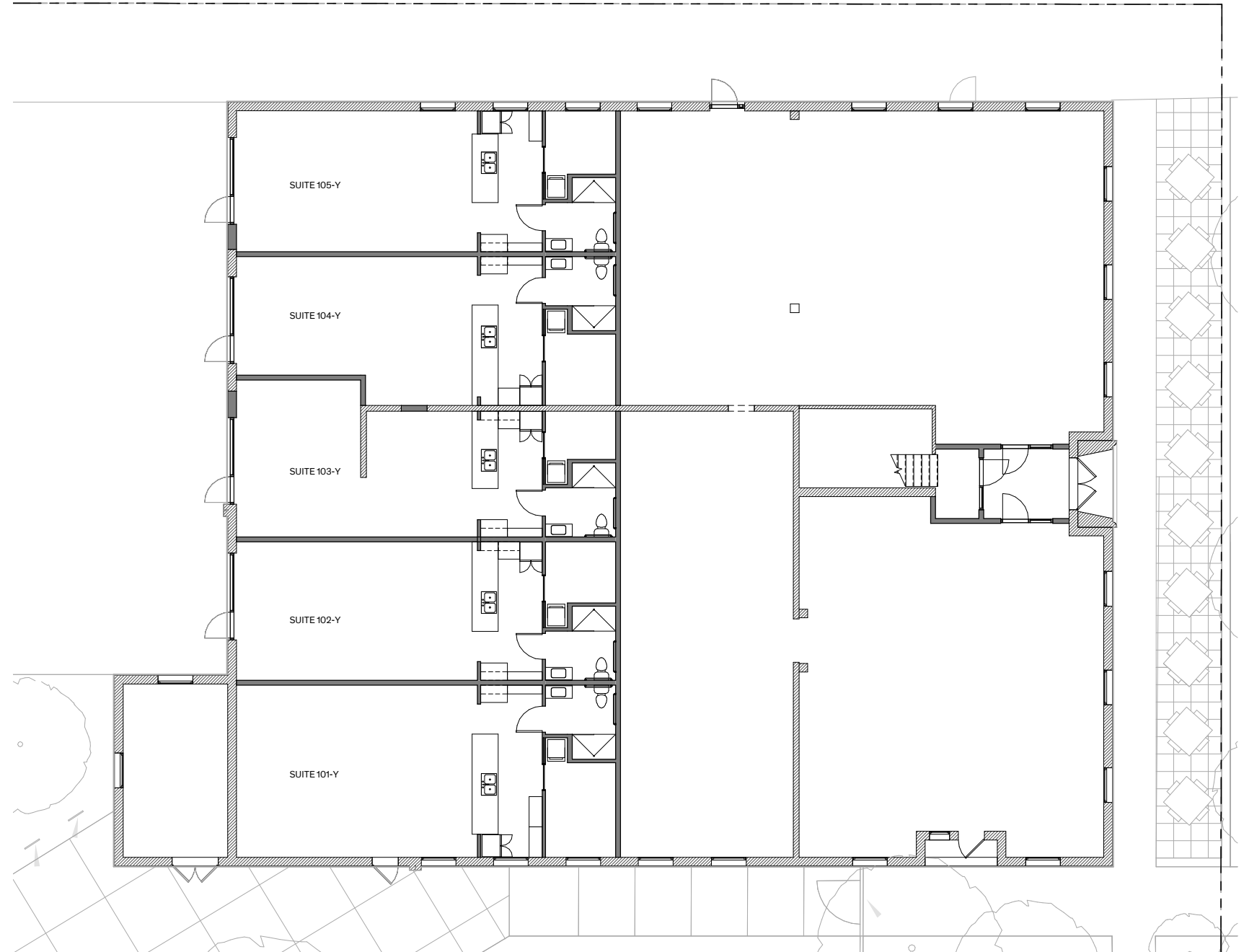
① North Elevation

1/16" = 1'-0"





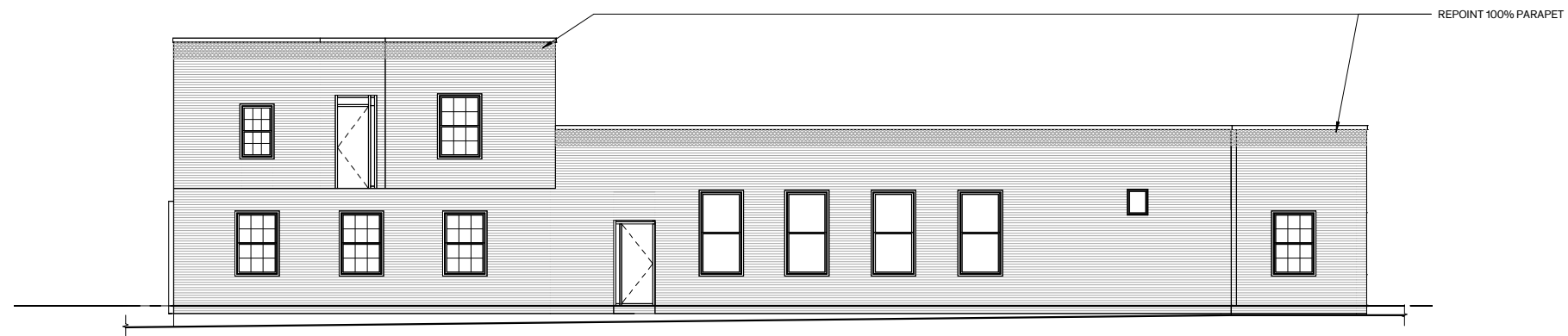
2 Youth Building Level 2  
1/8" = 1'-0"



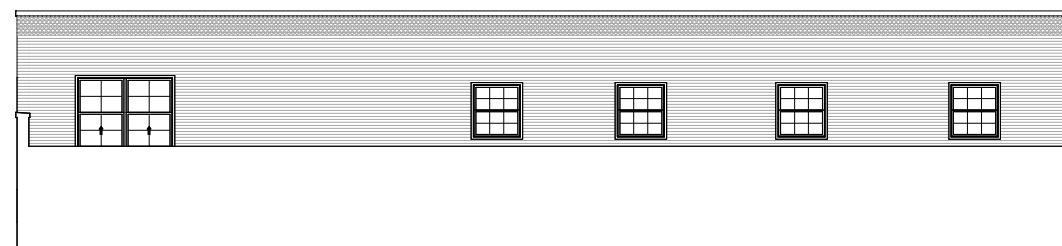
1 Youth Building Level 1  
1/16" = 1'-0"

KEY PLAN





③ Youth Building - North Elevation  
1/16" = 1'-0"

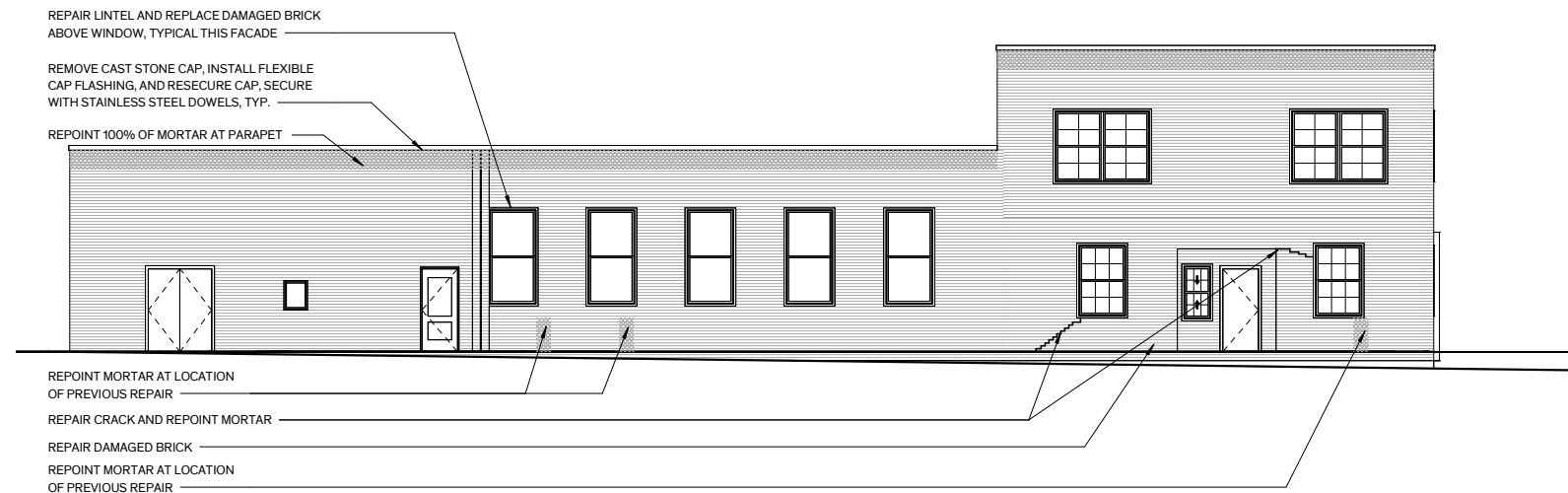


Youth Building - West Upper  
Elevation  
② 1/16" = 1'-0"

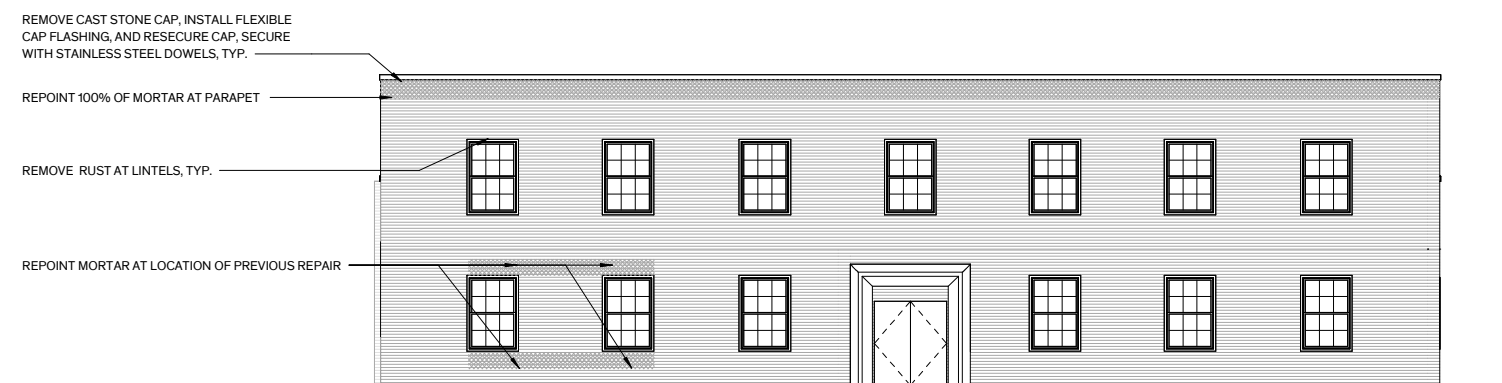


① Youth Building - West Elevation  
1/8" = 1'-0"





② Youth Building - South Elevation  
1/16" = 1'-0"



① Youth Building - East Elevation  
1/16" = 1'-0"



