

3-20-25

ORDINANCE NO. 33026

An ordinance changing the zoning classification on the following property:

BEING all of City Blocks D/2819, G/2835, H/2836, I/2331, and A/4417; all of Lots 2, 3, 6A, 7, 10, 11, 14, 15, 16, 19, 20, 21, 22, 23, and 24 in City Block C/2818; all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, and 10 in City Block F/2834; all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, and 16 in City Block L/2840; all of Lots 1, 2, 3, 4, 5, 6, 7, and 8 in City Block A/4416; all of Lot 1 in City Block F/2821; all of Lots 1, 4, 5, 8, 9, 12, 13, 16, 17, 18, 21, and 22 in City Block E/2820; all of Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13, and 14A in City Block J/2838; generally bounded by the alley between Meadow Lake Avenue and Westlake Avenue, between Lakewood Boulevard and Westlake Avenue, and between Lakewood Boulevard and Crownrich Lane on the north; Lawther Drive and Heath Street on the east; Tokalon Drive and the alley between Tokalon Drive and Pasadena Avenue and the alley between Lakeshore Drive and Lakewood Drive and Wendover Road on the west, containing approximately 54.242 acres,

from an R-7.5(A) Single Family District to Tract IV within Conservation District No. 2 (the Lakewood Conservation District); amending Ordinance No. 200009, passed by the Dallas City Council on July 13, 1988 to create a new Tract IV; approving the conceptual plan for Tract IV; providing regulations and procedures for Tract IV; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council of the City of Dallas find that the property described in Section 1 of this ordinance is an area of cultural and architectural importance and significance to the citizens of the city; and

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable ordinances of the city, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to expand and amend Conservation District No. 2 (the Lakewood Conservation District) as specified in this ordinance; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. That the zoning classification is changed from an R-7.5(A) Single Family District to Tract IV within Conservation District No. 2 (the Lakewood Conservation District) on the property described in Exhibit A, attached to and made a part of this ordinance.

SECTION 2. That Section 2, "Zoning Classification Change," of Ordinance No. 200009, "Conservation District No. 2 (the Lakewood Conservation District)," is amended to read as follows:

"SECTION 2. Zoning classification change. That CHAPTERS 51 and 51A, "DALLAS DEVELOPMENT CODE," of the Dallas City Code, as amended, are amended by establishing Conservation District No. 2 (the Lakewood Conservation District) on the following described property, to-wit:

"TRACT I:

Being all of City Block F/2792 bounded by Westlake Avenue on the north, Hillside Drive on the east, Velasco Avenue on the south and Abrams Road on the west;

Being all of City Block E/2791 bounded by Velasco Avenue on the north, Hillside Drive on the southeast, Glenrose Court on the south and Abrams Road on the west;

Being all of City Block H/2794 bounded by Velasco Avenue on the north, Cambria Boulevard on the east, Lakeshore Drive on the southeast and Hillside Drive on the northwest;

Being all of City Block D/2790 bounded by Glenrose Court on the north, Hillside Drive on the southeast, Lakeshore Drive on the south and Abrams Road on the west;

Being all of Lots 6 through 10 in City Block G/2793 and all of City Block 2983 located at the northeast corner of Hillside Drive and Velasco Avenue;

Being all of Lots 1 through 16 in City Block C-1/2789 fronting on the south and southeast lines of Lakeshore Drive between Abrams Road and Cambria Boulevard;

Being all of Lots 1 through 8 in City Block C-2/2789 fronting on both sides of Goliad Avenue, east of Abrams Road; and

Being the northern one-half of City Block J/2983 fronting on the southeast line of Lakeshore Drive between Cambria Boulevard and Pearson Drive.

TRACT II.

Being all of Lots 17 through 32 in City Block C/2789, fronting on the northwest line of Lakewood Boulevard between Abrams Road and Cambria Boulevard; and

Being all of Lots 1, 1a, 2, 2a, 3, 3a, 4, 4a, 5, 5a, 5b, 6, 6a, 6b, 7, 7a and 7b in City Block B/2788 fronting on the southeast line of Lakewood Boulevard between Abrams Road and Cambria Boulevard.

TRACT III:

Being all of Lots 8 through 15 in City Block B/2788 located at the northwest corner of Richmond Avenue and Cambria Boulevard;

Being all of Lots 10 through 19 in City Block J /2795, fronting on the northwest line of Lakewood Boulevard between Pearson Drive and Cambria Boulevard;

Being all of City Block K/2796, bounded by Lakewood Boulevard on the north, Pearson Drive on the east, Avalon Avenue on the south and Cambria Boulevard on the west;

Being all of City Block L/2797, bounded by Avalon Avenue on the north, Pearson Drive on the east, Gaston Avenue on the south and Cambria Boulevard on the west;

Being all of City Block Q/2983 fronting on the south line of Lakeshore Avenue between Pearson Drive and Copperfield Lane;

Being all of Lots 8 through 15 in City Block Q/2802 and all of Lots 7a, 8 and 9 in City Block U/2803, fronting on the north line of Lakewood Boulevard between Pearson Drive and Copperfield Lane;

Being all of City Block P/2801 bounded by Lakewood Boulevard on the north, Brendenwood Drive on the east, Avalon Avenue on the south and Pearson Drive on the west;

Being all of City Block O/2800 bounded by Avalon Avenue on the north, Brendenwood Drive on the east, Gaston Avenue on the south and Pearson Drive on the west;

Being all of City Block M/2798, bounded by Gaston Avenue on the north, Pearson Drive on the east and Country Club Circle on the south and southwest; and

Being all of City Block N/2799, bounded by Gaston Avenue on the north, Country Club Circle on the southeast and south and Pearson Drive on the west.

TRACT IV: (a non-contiguous tract)

Being all of Lots 2, 3, 6A, 7, 10, 11, 14, 15, 16, 19, 20, 21, 22, 23 and 24 in City Block C/2818; bounded by the alley between Meadow Lake Ave and Westlake Avenue on the north, West Shore Drive on the east, Westlake Avenue on the south and Wendover Road on the west;

Being all of City Block D/2819, bounded by Westlake Avenue on the north, Westshore Drive on the east, Lakewood Boulevard on the south and Wendover Road on the west;

Being all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10 in City Block F/2834; bounded by the alley south of Westlake Ave on the north, Winsted Drive on the east, Lakewood Boulevard on the south and Wendover Road on the west;

Being all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15 and 16 in City Block L/2840; bounded by the alley south of Westlake Avenue on the north, Delrose Drive on the east, Lakewood Blvd on the south and Winsted Drive on the west;

Being all of Lots 1, 2, 3, 4, 5, 6, 7 and 8 in City Block A/4416; bounded by the alley south of Crownrich Lane on the north, W. Lawther Drive on the east, Lakewood Blvd on the south and Delrose Drive on the west;

Being all of Lot 1 City Block F/2821; bounded by Lakeshore Drive on the north, Westshore Drive on the east, the alley between Lakeshore Drive and Lakewood Boulevard on the south and the common line between Lots 1 and 7 in said City Block on the west;

Being all of Lots 1, 4, 5, 8, 9, 12, 13, 16, 17, 18, 21 and 22 in City Block E/2820; bounded by Lakewood Blvd on the north, West Shore Drive on the east, the alley between Lakeshore Drive and Lakewood Boulevard on the south and Lakeshore Drive on the west;

Being all of City Block G/2835, bounded by Lakewood Boulevard on the north, Winstead Drive on the east, Lakeshore Drive on the south and West Shore Drive on the west;

Being all of Lots 1, 2, 3, 4, 5, 6, 9, 10, 11, 12, 13, 14A in City Block J/2838; bounded by Lakewood Boulevard on the north, Heath Street on the east, Lakeshore Drive on the south and Winstead Drive on the west;

Being all of City Block H/2836, bounded by Lakeshore Drive on the north, Winstead Drive on the east, Tokalon Drive on the south and West Shore Drive on the west;

Being all of City Block 1/2331, bounded by Lakeshore Drive on the north, Tokalon Drive on the east and on the south and Winstead Drive on the west;

Being all of City Block A/4417; bounded by Tokalon Drive on the north, Winstead Drive on the east, the alley between Tokalon Drive and Pasadena Avenue on the south and West Shore Drive on the west.”

SECTION 3. That Section 4, “Interpretations and Definitions,” Section 5, “Graphics,” Section 6, “Development Standards,” Section 7, “Architectural Provisions,” Section 8, “Landscaping Provisions,” Section 9, “Review Procedures,” Section 10, “Appeals,” Section 11, “Notice of Hearing,” Section 12, “Zoning District Map,” Section 13, “Penalty Clause,” Section 14, “Saving Clause,” Section 15, “Severability Clause,” and Section 16, “Effective Date,” of Ordinance No. 200009, “Conservation District No. 2 (the Lakewood Conservation District),” is designated as “Part 1: Tracts I, II, and III.”

SECTION 4. That Ordinance No. 200009, “Conservation District No. 2 (the Lakewood Conservation District),” is amended by adding a new “Part 2: Tract IV,” to read as follows:

“Part 2: Tract IV

SECTION 17. Interpretations and definitions for Tract IV.

- (a) Unless otherwise stated, all references to articles, divisions, or sections in this Part are to articles, divisions, or sections in Chapter 51A, as amended.
- (b) Unless otherwise stated, the definitions in Chapter 51A, as amended, apply to this part. In this part:
 - (1) **ACCESSORY STRUCTURE** means a structure located on the same lot as the main building that is subordinate in floor area, location, and purpose to the main building, and is used for a permitted purpose, including but not limited to garages, pergolas, arbors, workshops, storage buildings, pool houses, carports, and habitable structures.
 - (2) **ADJACENT LOT** means a lot that is contiguous to another lot that fronts on the same street.
 - (3) **ARCHITECTURAL DESIGN FEATURES and BUILDING ELEMENTS** mean chimneys; roof style, slope, and overhang; materials; window style;

vent style; balconies; towers; wing walls; eave overhangs; window sashes; front porches; crowns; pilasters; and other exterior architectural features.

- (4) ATTIC STORY means the space between the existing ceiling framing of the topmost story and the underside of the roof framing.
- (5) CIRCULAR DRIVEWAY means an impervious surface located in a front yard or cornerside yard, used to access off-street parking or for off-street parking, and that has two curb cuts onto the same street or intersecting streets.
- (6) COMPATIBLE means consistent with the architectural design features found within the district, including architectural style, scale, massing, setbacks, colors, and materials.
- (7) CONTRIBUTING means a structure listed as Spanish Eclectic/Revival, French Eclectic, Neoclassical, Tudor, or Colonial Revival. See Exhibit C for property list by address.
- (8) CORNER LOT means a lot that has frontage on two intersecting streets.
- (9) CORNERSIDE FACADE means a main building facade facing a side street.
- (10) CORNERSIDE YARD means a side yard that abuts a street.
- (11) CORNICE means any molded projection which crowns or finishes the part to which it is affixed.
- (12) COURTYARD WALL means a wall that originates and terminates at a building facade and surrounds an open courtyard.
- (13) DOCUMENTED ASSURANCE means an architectural drawing, survey, or photograph delineating the original or existing appearance, height, or footprint of the structure.
- (14) DORMER is a structure projecting above a sloping roof, usually housing a vertical window or vent. Dormers are not part of the main roof structure, but are framed separately, with no shared roof ridge or eave.
- (15) ELL is a secondary wing or extension of a building at right angles to its principal dimension.
- (16) ENTABLATURE means an elaborate horizontal band and molding supported by columns, or any similar construction that crowns a wall, window, or doorway.

- (17) FRONT FACADE means a building elevation facing the street on which the property is legally addressed.
- (18) FRONT STREET means the street that is abutting a front yard, if a lot has more than one front yard, the front street is the street that the building is facing.
- (19) FRONT YARD means the portion of a lot which abuts a street and extends across the width of the lot between the street and a main building and lines parallel to and extending outward from the front facade of a main building.
- (20) HALF-TIMBERING a treatment to mimic historic exposed heavy timber framing. See Exhibit C for examples.
- (21) HARDSCAPE means any non-plant landscape materials such as boulders, cobbles, decorative concrete, gravel, pavers, or stones.
- (22) HEIGHT, for any structure with a roof, means the vertical distance measured from average grade (highest and lowest exterior corners of a structure) to the peak of the roof structure, regardless of its style or form.
- (23) IMPERVIOUS SURFACE means any paved surface, such as asphalt, bricks, concrete, gravel, stone, or tile, or any structure, such as accessory buildings, driveways, or walkways.
- (24) INTERIOR LOT means a lot bounded by a street on one side only.
- (25) MAIN BLOCK means the largest massing of the street facade of a main building.
- (26) MAIN BUILDING means the building on a lot intended for occupancy by the main use.
- (27) MAJOR MODIFICATION means any remodeling that impacts 25 percent of the surface area or greater (using wall and window/door area affected) of front facade by altering or obscuring existing materials. Painting the exterior of the structure is not a major modification.
- (28) MATURE TREE is any species of tree identified as being a minimum of 15 caliper inches or more when measured at 4.5 feet above grade on the uphill slope of the lot.
- (29) ORIGINAL HOUSE means a main building existing within Tract IV before January 1, 1961.

- (30) PARKWAY means that area between the sidewalk and the curb, or that area between the sidewalk and the street pavement if there is no curb.
- (31) PEDIMENT means a triangular gable, usually having a horizontal cornice, with raked cornices on each side, surmounting or crowning a portico or another major division of a facade, end wall, or colonnade.
- (32) REAR YARD means:
 - (A) on an interior lot, the portion of the lot between the side lot lines that extends across the width of the lot between a main building and lines parallel to and extending outward from the rear facade of a main building and the rear lot line; and
 - (B) on a corner lot, the portion of the lot that extends between the interior side lot line and a line parallel to and extending outward from the rear corner of the cornerside facade, and between the rear lot line and a main building and a line parallel to and extending outward from the interior side corner of the rear facade.
- (33) RECONSTRUCTION means the act of rebuilding a structure or architectural feature in the same form and detailing as it had been previously.
- (34) REMODEL means improvements or repairs that change the appearance of the main building or replace materials of the main building with another material.
- (35) RETAINING WALL means a wall used to hold or retain the soil behind it and to prevent the erosion of land.
- (36) ROOF RIDGE means the apex of any roof structure, regardless of its style or form.
- (37) SIDE YARD means any portion of a lot not occupied by a main building that is not a front yard or rear yard. "Side yard" includes "cornerside yard."
- (38) SIGNIFICANT HOUSE means a structure that is associated with a noted architect or builder as listed in Exhibit C.
- (39) STREET FACADE means any part of a building that faces a public street.
- (40) STRUCTURE means that which is built or constructed, an edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner.

- (41) SUPPORTING HOUSE means a main building not listed as one of the five contributing styles in Exhibit C classified as Spanish Revival/Eclectic, French Eclectic, Neoclassical, Tudor, or Colonial Revival.
- (42) VERGEBOARD means a board which hangs from the projecting end of a roof, covering the gables.
- (43) WALL DORMER means a dormer whose face is integral with the face of the wall below, breaking the roof line at the cornice of a building.
- (44) WRAP-AROUND means the area to the midpoint of the structure measured from the furthest front wall or omitted wall line (porch) of the structure to the furthest rear wall or omitted wall line of the structure. The result is a straight line through the structure.
- (45) YARD, LOT, AND SPACE REGULATIONS means regulations related to front, side, and rear yard setbacks, density, height, lot coverage, lot size, lot width, and number of stories.

SECTION 18. Illustrations for Tract IV.

The TRACT IV Illustrations are attached to and made part of this ordinance as Exhibit C. If there is a conflict between the district regulations and Exhibit C (Illustrations), the district regulations control.

SECTION 19. Nonconforming structures in Tract IV.

- (a) Except as provided in this section, Section 51A-4.704(c), "Nonconforming Structures," applies.
- (b) Except as provided in this section, a person may renovate, remodel, repair, rebuild, or enlarge a nonconforming structure if the work does not cause the structure to become more nonconforming as to the yard, lot, space, and architectural standard regulations.
- (c) Except as provided in this section, the right to rebuild a nonconforming structure ceases if the structure is destroyed by the intentional act of the owner or the owner's agent.
- (d) Except as provided in this subsection, if the degree of nonconformity as to yard, lot, and space regulations or architectural standards is voluntarily reduced, all rights to the previous degree of nonconformity are lost:
 - (1) If the property owner provides the director with documented assurance, the portion of the structure may be renovated, remodeled, repaired, or rebuilt

within the original or previously nonconforming building footprint and height:

- (A) with materials and features shown in the documented assurance;
 - (B) in compliance with the development standards and standards in this district; or
 - (C) any combination of Subparagraphs (A) and (B); and
- (2) If a portion of a structure is renovated, remodeled, repaired, or rebuilt in accordance with Paragraph (1), the work must not increase the degree of nonconformity of the structure.
- (e) For portions of the structure without documented assurance regarding materials and features, the architectural standards apply.

SECTION 20. Development standards for Tract IV.

(a) In general.

- (1) Development standards. Except as provided in this Part, the development standards of the R-7.5(A) Single Family District apply.
- (2) Applicability. Except as provided in the architectural standards for specific styles, the following development standards apply to the entire lot.
- (3) Yard, lot, and space. The yard, lot, and space regulations in this Part must be read together with the yard, lot, and space regulations in Division 51A-4.400. If there is a conflict between this Part and Division 51A-4.400, this Part controls.

(b) Building characteristics.

- (1) Dormers.
 - (A) Dormers on a street-facing facade may not exceed six feet in width.
 - (B) Dormers must be typical in form, size, and proportions for the architectural style of the structure.
- (2) Front porches and enclosures.
 - (A) Porch enclosures must have a minimum of 75 percent transparent glass or screen.

- (B) Infill materials must match the existing materials in color, texture, dimension, and coursing.
- (C) Porte-cocheres may not be enclosed.
- (3) Windows and doors. This subsection applies to windows and doors on the front facade and the wrap-around:
 - (A) Windows must be typical of the architectural style.
 - (B) Only transparent, stained, or leaded glass is allowed in windows and doors, except that bathroom windows located on side facades may be frosted, translucent, or opaque.
 - (C) Metal window frames must be painted or factory finished.
 - (D) Window sash, muntins, and mullions must project a minimum of one-quarter inch above the exterior glass surface.
 - (E) Window screens, storm windows, screen doors, and storm doors are permitted.
- (c) Building materials.
 - (1) Except as provided in this subsection, the first story of main buildings must be brick, stone, or a combination of both.
 - (2) Wood, materials that look like wood, cast stone, wrought iron, or stucco with half-timbering may be applied in a manner and location typical of Original Houses in the district.
 - (3) Vinyl and aluminum siding are prohibited.
 - (4) On a front facade and within the wrap-around, all materials and their application must be typical of the period and architectural style, or be compatible with original main buildings designated the same architectural style in the district.
- (d) Demolition.
 - (1) Original Houses (built before 1961) identified as Tudor, Spanish Revival/Eclectic, French Eclectic, Colonial Revival, and Neoclassical, or identified as a significant house on Exhibit C may be demolished only if the cost of bringing the house into compliance with Section 27-11, "Minimum Property Standards; Responsibility of Owner," of the Dallas City Code using materials similar to the original materials is greater than 80 percent of

the value of improvements according to the Dallas Central Appraisal District (DCAD).

- (2) An applicant shall demonstrate the need for demolition under Paragraph (1) by providing:
 - (A) A building inspection report;
 - (B) An engineer's report; and
 - (C) An itemized list of required repairs, broken down into labor and material costs.
- (3) All structures not covered under Paragraph (1) may be demolished. New construction on those lots must be in one of the five contributing styles.

(e) Fences and retaining walls.

- (1) Except as provided in this section, fences and walls, excluding retaining walls, are prohibited in a front yard. For purposes of this subsection, "front yard" means the area between the front facade and the street, excluding porches, as illustrated in Exhibit C.
- (2) Courtyard walls that are four feet or less in height and surround the primary front entrance may project a maximum of five feet into the front yard.
- (3) Fences must be set back a minimum of five feet from the corner of the front facade of a main building nearest the side property line, excluding porches.
- (4) Fences and walls in a side yard may not exceed six feet in height.
- (5) Fences and walls in a rear or cornerside yard may not exceed eight feet in height.
- (6) Retaining walls may not exceed six inches above any soil being retained.
- (7) Fences may be made of brick that matches the main structure, stone, wood, wrought iron or materials that look like wrought iron, or a combination of these materials. Chain link is prohibited.

(f) Garages, carports, and accessory structures.

- (1) Style and materials. The color, style, design, and materials of accessory structures that are visible from a street must be compatible with the color, architectural style, design, and materials of the main building.

- (2) Roof slope. If a structure is visible from the street, the slope of the roof must either match the roof slope of the main building, be compatible with the architectural style of the main building or have a 5/12 or 6/12 pitch compatible with the roof slope of garages built before January 1, 1961.

(3) Setbacks.

- (A) For structures not exceeding 24 feet in height that are located in the rear third of a lot:

- (i) minimum side yard is one foot;
- (ii) no minimum rear yard is required; and
- (iii) all eaves and overhangs must be located within the confines of the lot.

- (B) For structures exceeding 24 feet in height that are located in the rear third of a lot, the minimum required side and rear yard is five feet.

- (C) For structures on corner lots, the accessory structure may not be closer to the cornerside yard lot line than the main building.

(4) Attached garages.

- (A) Garages are prohibited on the front facade and within the wrap-around.

- (B) Garage doors may only be side or rear entry.

(g) Height.

- (1) Except as provided in this subsection, maximum structure height is 30 feet on lots with a land area less than 10,000 square feet.
- (2) Except as provided in this subsection, maximum structure height is 35 feet on lots with a land area of 10,000 square feet or more.
- (3) If any portion of an existing structure's roof ridge exceeds the maximum height in Paragraphs (1) or (2), the lower portion of the structure's roof ridge may be raised to the height of the taller portion of the roof ridge. See Exhibit C for illustrations.

(h) Height looming.

- (1) This subsection is not to be interpreted as an overall setback for the structure, but that the highest point of a building element (wall, parapet, dormer, etc.) may not be taller than three times its distance from a side property line.
- (2) Except as provided in this paragraph, this subsection only applies to main buildings. This subsection does not apply to chimneys or to a structure that is 24 feet in height or less.
- (3) The maximum height of any portion of a structure may not exceed three times its distance from the ground level of the side property line. Height looming is measured from the ground level at the side property line. See Exhibit C for illustrations.
- (4) No portion of a building or structure exceeding 24 feet in height may be located above the height looming slope (as illustrated in Exhibit C) which extends vertically and is calculated by multiplying the distance from a side property line by three. This creates a diagonal line that slopes back proportionately from the side yard property line by one foot in horizontal distance for every three feet in vertical distance. For example, a 27-foot tall structure set back six feet from the side yard line may not exceed 18 feet in height at that distance above the ground level at the side property line, and the highest point of the roof ridge must be set back at least nine feet.

(i) Impervious surface.

- (1) Impervious materials. No more than 35 percent of the front yard may be paved or hardscaped.
- (2) Driveways, curbing, and parking.
 - (A) A driveway from the front street must be between eight and 12 feet wide.
 - (B) An interior lot may have driveway access from the front street and rear alley.
 - (C) A corner lot may have driveway access from the rear alley and either the front street or a side street, but not all three. Side street access driveways may not exceed 20 feet in width within the cornerside yard setback.
 - (D) Any new front entry driveway must extend at least 20 feet beyond the front yard setback.

- (E) Driveways must be constructed of brick, brush finished concrete, stone, pavers, permeable pavers, or similar materials. Gravel is an allowable material only when used between ribbons in ribbon driveways.
- (F) Circular and ribbon driveways are allowed.
- (3) Walkways.
 - (A) Walkways must be constructed of brush finished concrete, brick, pavers, stone, or a similar material. Gravel and asphalt are prohibited.
 - (B) Walkways must be continuous with no separation. See Exhibit C.
- (j) Landscaping.
 - (1) In general. Except as provided in this subsection, landscaping must be provided in accordance with Article X.
 - (2) Tree mitigation. This section applies only to trees located in the front yard or parkway.
 - (A) Except as provided in this subsection, Division 51A-10.130, "Urban Forest Conservation," of the Dallas Development Code, applies to the front yard of lots with single-family or handicapped group dwelling unit uses.
 - (B) A mature tree in the front yard of a lot with a single-family or handicapped group dwelling unit use is a protected tree.
 - (C) The tree mitigation regulations in this Part must be read together with Division 51A-10.130. If there is a conflict between this Part and Division 51A-10.130, this Part controls.
 - (D) A tree removal application must be approved by the building official before removal or serious injury to a mature tree.
 - (E) If a mature tree is removed from the front yard of a lot with a single-family or handicapped group dwelling unit use, it must be replaced in accordance with Division 51A-10.130.
 - (F) The exception for unrestricted zones with building permits for construction of a single family or duplex dwelling does not apply for the front yard of a lot in Tract IV.

- (G) The defenses to prosecution in Division 51A-10.130 apply to the serious injury or removal of a mature tree in the front yard of a lot with a single-family or handicapped group dwelling unit use. In addition, the director may consider the professionally-assessed direct evidence identifying substantial damage to an existing structure originating from a mature tree as a threat to public health or safety under Section 51A-10.140(b)(6).
- (k) Lot coverage.
- (1) For lots with main buildings that existed as of March 31, 2025, maximum lot coverage is 45 percent.
 - (2) For lots where a new main building is constructed after March 31, 2025, the maximum lot coverage is 40 percent.
- (l) Paint and colors.
- (1) A building facade may not be painted with more than one body color and may only have up to three trim colors.
 - (2) Certain colors are prohibited. Fluorescent and metallic colors, and the use of black as a main body color, are prohibited on the exterior of any structure in this district.
- (m) Setbacks. Except as provided in this subsection, setbacks must be open and unobstructed. Setbacks are measured to the first portion of any structure that exceeds six inches above grade except those architectural features called out in Sections 51A-4.401, 51A-4.402, and 51A-4.403, as amended.
- (1) Front yard.
- (A) Except as provided in this paragraph, all Original Houses and contributing homes are deemed to conform to the front yard setbacks. If an Original House or contributing home is demolished, new construction must meet the minimum front yard setbacks in Paragraph (B).
 - (B) For new construction and additions, the minimum front yard is equal to the average setback of the adjacent lots as determined by a state licensed architect, land surveyor, or engineer. The maximum setback may not exceed 10 feet further back than the average setback of the adjacent lots. See Exhibit C for illustrations.

- (2) Side yard.
 - (A) For lots with a land area of 10,000 square feet or less, minimum side yard is five feet.
 - (B) For lots with a land area of more than 10,000 square feet, minimum side yard is six feet.
- (3) Rear yard. Minimum rear yard is 10 feet.
- (n) Signs. Signs must comply with the provisions for non-business zoning districts in Article VII.
- (o) Slope and drainage.
 - (1) Lot-to-lot drainage is not allowed.
 - (2) The slope existing on March 31, 2025 of a lot must be maintained. This provision does not prevent minor grading as necessary to allow construction, prevent lot-to-lot drainage, or match the slope of contiguous lots.
 - (3) For purposes of this subsection, “slope” means any change in elevation from the front lot line to the rear lot line or from a side lot line to the other side lot line.
- (p) Stories. Except as provided in this subsection, the maximum number of stories above grade is two. Attic stories (as illustrated in Exhibit C) that include habitable space are allowed above both one- and two-story houses.
- (v) Uses.
 - (1) Main uses. The only main uses permitted are those main uses permitted in the R-7.5(A) Single Family District, subject to the same conditions applicable in the R-7.5(A) Single Family District, as set out in Chapter 51A. For example, a use permitted in the R-7.5(A) Single Family District only by specific use permit (SUP) is permitted in this district only by SUP; a use subject to development impact review (DIR) in the R-7.5(A) Single Family District is subject to DIR in this district; etc.
 - (2) Accessory uses. As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.

SECTION 21. Architectural standards for Tract IV.

- (a) Statement of intent. The purpose of the architectural standards is to allow the application of architectural elements and materials in such a way that allows the continuation of flexibility of design by referencing those elements as outlined in this section through documentation. Any use of a referenced architectural element must be in a manner similar to the example provided for consideration. This is in recognition of the unique and varied design of many of the original homes within Tract IV.
- (b) Accepted sources for regulation of architectural standards. Except as provided in this subsection, architectural standards are established through consideration of original, contributing architectural styles and housing stock within this district, in conjunction with images and descriptions derived from *A Field Guide to American Houses* by Virginia Savage McAlester, (et. al.), or other publications approved by the director.
- (c) Purpose statement. Inclusion of *A Field Guide to American Houses* is to provide descriptions and pictorial examples of architectural forms, styles, and features that may be utilized during construction and remodeling.
- (d) New construction. All new construction must be built in compliance with the architectural standards of one of the five contributing styles: Tudor, Spanish Revival/Eclectic, French Eclectic, Colonial Revival, or Neoclassical. The architectural standards apply to the front facade and wrap-around.
- (e) Remodeling of contributing structures.
 - (1) The architectural standards for remodeling apply only to the front facade and wrap-around.
 - (2) If a contributing structure is remodeled, the remodeling must be compatible with the standards for the appropriate architectural style for that element of the structure being remodeled.
 - (A) Maintained or replicated architectural design features. The following architectural design features must be maintained or replicated. These architectural design features may be relocated within the front facade or wrap-around.
 - (i) Balustrades.
 - (ii) Chimneys.
 - (iii) Dormers.

- (iv) Exterior stained and leaded glass.
 - (v) Front porches or porticos with columns.
 - (vi) Porte cocheres.
 - (vii) Roof eaves.
 - (viii) Turrets and towers.
 - (ix) Window and door openings.
- (B) Materials. Any remodeling must match the original materials in type, size, profile, color, coursing, texture, mortaring, and joint detailing.
- (C) Documented assurance. As an alternative to compliance with a contributing or Significant House's designated style, the property owner may provide the director with documented assurance that the proposed work will reconstruct or replicate the original or existing architectural style and materials of the structure on any additions or remodeling.
- (f) Reconstruction. Structures completely or partially destroyed, other than by the intentional act of the owner or the owner's agent, may be reconstructed in the original architectural style or a contributing architectural style.
- (g) Tudor architectural standards. The architectural standards for new construction and remodeling apply only to the front facade and wrap-around.
- (1) Roof.
- (A) Except as provided in this paragraph, Tudor structures must have a side-gabled, cross-gabled, or front facing gable with an intersecting hip, with a roof pitch between 12/12 and 20/12, or match existing roof pitch. Flat or low pitch (under 2/12 pitch) roofs are allowed if they are not visible from the street, for example, behind a crenelated portico parapet, a roof ridge, or the highest point of a main roof.
 - (B) The maximum roof eave overhang allowed is 12 inches.
 - (C) Tudor structures must have at least one front facing gable (not including gabled dormers or wall dormers), but not more than four front facing gables.

- (D) The only roofing materials allowed are: wood shingles, material that looks like wood shingles, tile, slate, materials that look like slate, or composition shingles. Roofing material colors must be compatible with Original Houses in the district.
 - (E) Copper roofing accents are allowed.
 - (F) Any flat or low pitch (under 2/12 pitch) roof not visible from a street because it is behind a pitched roof may use modified bitumen, thermoplastic polyolefin membrane, or ethylene propylene diene monomer membrane (EPDM).
- (2) Windows and doors.
- (A) Windows must be casement, single-hung, or double-hung.
 - (B) Fixed windows are only permitted for stained or leaded glass windows.
 - (C) Windows must have multiple lights.
 - (D) Windows and doors must be typical of the Tudor style of the structure.
- (3) Chimneys. A minimum of one external brick chimney that is at least six feet wide at its base is required within the wrap-around.
- (4) Required architectural features. In remodeling, the following architectural features must be maintained or duplicated. Plans for new main building construction or a major modification must include a minimum of six features, all called out and identified on the drawing sheets, from the following list:
- (A) Dominant (largest) asymmetrical front facing gable.
 - (B) Bay or oriel window on front facade.
 - (C) Patterned (decorative) brick or stone utilized between half-timbering on front facade (basket weave, herringbone, etc.).
 - (D) Decorative chimney on front facade (pattern brick panels, statue ledge, stone accents, stepped levels, multiple flues).
 - (E) Stone or cast stone accents on multiple window and door openings on the front facade.

- (F) Uncovered front raised patio, at least 25 percent of the front facade width, with or without a balustrade or railing.
 - (G) Groupings of three or more stained or leaded glass windows on first-story of front facade.
 - (H) Porch with heavy timber posts and brackets completely within wrap-around.
 - (I) Nested gables.
 - (K) Open air front porch supported by multiple arches. This may include Tudor style, round, or segmental arches.
 - (L) Half-timbering in gable or on second story.
 - (M) Decorative vergeboard.
 - (N) Decorative cast stone (turned or twisted) columns.
 - (O) Copper accent on projecting bay roof.
 - (P) Jerkinhead or clipped gable (minimum of two).
 - (Q) Arched front doorway.
 - (R) Wrought iron accents (railings, Juliet balcony, strap hinges).
 - (S) Subordinate (not largest) asymmetrical street facing gable.
 - (T) Curved, meandering front walkway leading to the front door.
- (h) Spanish Revival/Eclectic architectural standards. The architectural standards for new construction and remodeling apply only to the front facade and wrap-around.
- (1) Front arches. A minimum of one opening on a street facing facade must have an arch.
 - (2) Porches and courtyards. Entry courtyard walls must be between three feet and six feet in height measured from grade outside the courtyard.
 - (3) Roof.
 - (A) Except as provided in this paragraph, Spanish Revival/Eclectic structures must have a cross-gabled, side-gabled, or combination hipped and gabled roof with a roof pitch between 4/12 and 7/12, or match the existing roof pitch. Flat or low pitch (under 2/12 pitch)

roofs are allowed if they are not visible from a street, for example, behind a parapet, a roof ridge, or the highest point of a main roof.

- (B) A roof eave overhang may not exceed 18 inches.
 - (C) The only roofing materials allowed are:
 - (i) Terra cotta tile in Spanish, mission, or barrel style; or
 - (ii) Materials that look like Spanish, mission, or barrel style tile in:
 - (a) Metal;
 - (b) Concrete;
 - (c) Plastic composite; or
 - (d) Composition shingles in a color palette of original Spanish tile roofs with terra cotta hips, ridge caps, and rake tiles applied to mimic original tile roofs. (See Exhibit C.)
 - (iii) Any flat or low pitch (under 2/12 pitch) roof not visible from a street because it is behind a pitched roof may use modified bitumen, thermoplastic polyolefin membrane, or ethylene propylene diene monomer membrane (EPDM).
 - (D) Material colors must be compatible with Original Houses in the district.
- (4) Windows and doors.
- (A) Windows must be focal, casement, single-hung, or double-hung.
 - (B) Fixed windows are only permitted for stained or leaded glass windows.
 - (C) Decorative iron window grilles are permitted.
 - (D) Windows and doors must be typical of the Spanish Revival/Eclectic style of the structure.
- (5) Required architectural features. In remodeling, the following architectural features must be maintained or duplicated. Plans for new main building construction or a major modification must include a minimum of six

features, all called out and identified on the drawing sheets, from the following list:

- (A) Tower, partial turret, or bell tower.
- (B) Spanish, barrel, or mission style terra cotta roofing.
- (C) Entry courtyard with walls (walls must be between three feet and six feet in height measured from grade outside courtyard).
- (D) Arcaded front porch utilizing three or more arches.
- (E) Cantilevered upper-level balcony under roof with railing.
- (F) Open air exterior staircase leading to second story.
- (G) Large focal window or parabolic arch on front facade.
- (H) Two or more stained or leaded glass windows on front facade.
- (I) Elaborate chimney tops with small tile roof within 15 feet of a street facade.
- (J) Two or more arched windows or doors on street facades.
- (K) Brick or tile gable vents.
- (L) Decorative cast stone (turned or twisted) columns.
- (M) Multicolored tile roofing.
- (N) Arched wood front door.
- (O) Wrought iron accents.
- (P) Multicolor tile accents on front facade (excluding porch floor or porch stair riser).
- (Q) Front projecting ell or wing.
- (R) Balconette or Juliet balcony.
- (S) Turned or carved wood posts on porch or balcony within wrap-around.
- (T) Cloth awnings with spiked wrought iron finials.

- (i) French Eclectic architectural standards. The architectural standards for new construction and remodeling apply only to the front facade and wrap-around.

(1) Roof.

- (A) Except as provided in this paragraph, French Eclectic structures must have a steeply pitched (between 10/12 and 20/12 pitch) hipped roof with a ridgeline that parallels the front of the house. Flat or low pitch (under 2/12 pitch) roofs are allowed if they are not visible from a street, for example, behind a parapet, a roof ridge, or the highest point of a main roof.
- (B) A roof eave overhang may not exceed 12 inches.
- (C) Dominant front facing gables that are part of the main roof are prohibited.
- (D) Front and street facing gabled roof forms are allowed on dormers, over one-story porches, entryways, or porticos, and must be subordinate to the main roof structure.
- (E) The only roofing materials allowed are: wood shingles, material that looks like wood shingles, tile, slate, materials that look like slate, and composition shingles. Roofing material colors must be compatible with Original Houses in the district.

(2) Windows and doors.

- (A) Windows must be casement, single-hung, or double-hung.
- (B) Fixed windows are only allowed for transom and stained or leaded glass windows.
- (C) Windows must have multiple lights.
- (D) Windows and doors must be typical of the French Eclectic style of the structure.

- (3) Chimneys. One external chimney is required within the front facade or wrap-around.

- (4) Required architectural features. In remodeling, the following architectural features must be maintained or duplicated. Plans for new main building construction or a major modification must include a minimum of six features, all called out and identified on the drawing sheets, from the following list:

- (A) Wall dormers on front facade.
 - (B) Tower/turret or crenelated portico on front facade.
 - (C) Open terraces or balconies with stone or cast stone balustrades.
 - (D) Two symmetrical external brick chimneys (one on each side of the house).
 - (E) Tile, slate, or wood shingle roof.
 - (F) Massive (minimum six feet wide) chimney on the front facade.
 - (G) Quoins at wall corners.
 - (H) Stone/cast stone accents.
 - (I) Leaded or stained-glass window on the front facade.
 - (J) Pedimented, crowned, or arched windows on the front facade.
 - (K) Round or oval window on front facade.
 - (L) Flared eaves.
 - (M) Symmetrically balanced fenestration.
 - (N) Dentils at cornice.
 - (O) Half-timbering.
 - (P) Balconette or Juliet balcony.
 - (Q) Decorative pediment over the main entry door.
 - (R) Solid wood door with speakeasy opening and strap hinges.
 - (S) Arched wood front door.
- (j) Colonial Revival architectural standards. The architectural standards for new construction and remodeling apply only to the front facade and wrap-around.
- (1) Porches. A front porch or portico finished floor must be raised a minimum of 12 inches above grade.

(2) Roof.

- (A) Except as provided in this paragraph, Colonial Revival structures must have a side-gabled, cross-gable, hipped, or gambrel roof with a low to moderate roof pitch between 5/12 and 12/12. Flat or low pitch (under 2/12 pitch) roofs are allowed if they are not visible from the street, for example, a flat portico roof, or behind a roof ridge, or the highest point of a main roof.
- (B) A roof eave overhang may not exceed 18 inches.
- (C) The only roofing materials allowed are: wood shingles, material that looks like wood shingles, tile, slate, materials that look like slate, or composition shingles. Roofing material colors must be compatible with Original Houses in the district.
- (D) Any flat or low pitch (under 2/12 pitch) roofs may use modified bitumen, thermoplastic polyolefin membrane, or ethylene propylene diene monomer membrane (EPDM).

(3) Windows and doors.

- (A) Windows must have multiple light upper sashes.
- (B) Muntins and mullions must be expressed.
- (C) Windows and doors must be typical of the Colonial Revival style of the structure.

(4) Chimneys. All chimneys must be constructed of masonry.

(5) Required architectural features. In remodeling, the following architectural features must be maintained or duplicated. Plans for new main building construction or a major modification must include a minimum of six features, all called out and identified on the drawing sheets, from the following list:

- (A) One-story recessed wing.
- (B) Gabled center bay.
- (C) Symmetrical fenestration pattern on main block of house.
- (D) Quoins at wall corners.
- (E) One-story, centered portico.

- (F) Symmetrical dormers.
 - (G) Sidelights on both sides of front door.
 - (H) Fan light or transom over front entrance.
 - (I) Bay window on the front facade.
 - (J) External chimney centered on the side gable.
 - (K) Dentil cornice.
 - (L) Rooftop balustrade on the portico.
 - (M) Straight walkway leading to main entrance.
 - (N) Soldier course or cast stone lintels.
 - (O) Round shaft classical columns.
 - (P) Dentil cornice on the portico.
 - (Q) Cast stone accents.
 - (R) Copper accent roof on bay windows.
 - (S) Decorative round, oval, or bullseye window on the front facade.
- (k) Neoclassical architectural standards. The architectural standards for new construction and remodeling apply only to the front facade and wrap-around.
- (1) Form. The main block of a structure must be symmetrical with a centered front door.
 - (2) Porch. A full height (two-story) entry portico or full width porch is required.
 - (3) Roofs.
 - (A) Except as provided in this paragraph, roofs must be hipped or side gabled with a roof pitch between 5/12 and 12/12. Flat or low pitch (under 2/12 pitch) roofs are allowed if they are not visible from the street, for example, a flat porch roof, or behind a roof ridge, or the highest point of a main roof.
 - (B) A roof eave overhang may not exceed 24 inches.

- (C) Portico or porch roofs may be flat or low pitched.
 - (D) Any flat or low pitch (under 2/12 pitch) roofs may use modified bitumen, thermoplastic polyolefin membrane, or ethylene propylene diene monomer membrane (EPDM).
 - (E) The only roofing materials allowed are: wood shingles, material that looks like wood shingles, tile, slate, materials that look like slate, or composition shingles. Roofing material colors must be compatible with Original Houses in the district.
- (4) Windows and doors.
- (A) Windows must have multiple lights and an equally divided sash.
 - (B) Windows must be rectangular with single- hung or double-hung sashes.
 - (C) Fixed windows are only permitted for stained or leaded glass sidelight and transom windows.
 - (D) Windows must be symmetrically balanced on the front facade.
 - (E) A front door must have either a transom window, sidelights, or both a transom window and sidelights.
 - (F) Windows and doors must be typical of the Neoclassical style of the structure.
- (5) Chimney.
- (A) A chimney is required.
 - (B) Chimneys are prohibited on a front facade.
- (6) Required architectural features. In remodeling, the following architectural features must be maintained or duplicated. Plans for new main building construction or a major modification must include a minimum of six features, all called out and identified on the drawing sheets, from the following list:
- (A) Large symmetrical brick chimneys on main block of house.
 - (B) Recessed subordinate wing.
 - (C) Doric, Ionic, or Corinthian columns on front porch or portico.

- (D) Front door surround with full width transom window or decorative pediment above.
 - (E) Small gabled dormers with windows or decorative vents on the main block.
 - (F) Sidelights on each side of the front door.
 - (G) Dentils or modillions under eaves.
 - (H) Roofline balustrade on either a portico or full width front porch.
 - (I) Pedimented front gable with entablature.
 - (J) Greek key detail.
 - (K) Quoins at wall corners.
 - (M) Full height (two-story) entry porch or portico on front facade.
 - (N) Cast stone window lintels.
 - (O) Leaded glass on front facade.
 - (P) Fluted columns.
 - (Q) Round or oval window in front gable.
- (I) New Traditional architectural standards. The architectural standards for remodeling apply only to the front facade and wrap-around.
- (1) Structures identified as New Traditional may remodel in the existing style of architecture to include windows, materials, roof material, and roof pitch to be compatible to the main building.
 - (2) Structures identified as New Traditional Tudor, Spanish Revival/Eclectic, French Eclectic, Colonial Revival, or Neoclassical may be remodeled using the standards for the contributing architectural style it models after.
 - (3) Any remodeling of architectural features listed under the designated contributing classification must be retained, but additional features from that style can be added without having to meet the required six architectural features. For example, for a New Traditional Tudor with half-timbering in the gables, the remodel cannot remove that feature from the front facade or wrap-around, but elements like brick pattern or iron details may be added.

- (m) Architectural standards for all other supporting houses. The architectural standards for remodeling apply only to the front facade and wrap-around.
- (1) Remodeling of supporting housing.
- (A) Except as provided in this subsection, if a supporting house is remodeled, the remodeling must comply with the standards of this section.
- (B) A supporting house may be remodeled in one of the five contributing styles (Tudor, Spanish Revival/Eclectic, French Eclectic, Colonial Revival, or Neoclassical) for that element of the structure being remodeled.
- (3) Materials. Metal cladding of any type is prohibited on a front facade.
- (4) Roof.
- (A) Except as provided in this section, structures must have a gable or hipped roof, with a roof pitch between 4/12 and 12/12 or match the documented existing roof pitch of the main structure.
- (B) A roof eave overhang may not exceed two feet.
- (C) Except as provided in Paragraph (A), flat and shed style roofs are allowed for entry porch roofs only.
- (D) The only roofing materials allowed are: wood shingles, material that looks like wood shingles, tile, materials that look like tile, slate, materials that look like slate, standing seam metal, or composition shingles. Roofing material colors must be compatible with Original Houses in the district.
- (E) Any flat or low pitch (under 2/12 pitch) roof may use modified bitumen, thermoplastic polyolefin membrane, or ethylene propylene diene monomer membrane (EPDM).
- (5) Windows.
- (A) Individual window units must be taller than they are wide on the front facade.
- (B) Except as provided in this paragraph, all windows on a front facade must be:

- (i) single or double-hung one-over-one;
 - (ii) single or double-hung with a divided light upper sash;
 - (iii) single or double-hung with a divided light upper and lower sash;
 - (iv) divided light casement;
 - (v) divided light fixed/non-operable;
 - (vi) stained or leaded glass; or
 - (vii) match or be compatible with existing windows on March 31, 2025.
- (C) Fixed plate glass windows are permitted only when utilized immediately between two operable windows.

SECTION 22. Procedures for Tract IV.

(a) Work reviews.

- (1) Review form applications. A review form application must be submitted to the director for any work covered by the standards contained in this part.
- (2) Responsibility of applicant. It is the responsibility of the applicant to provide examples from the district or accepted sources for justification of any element called into question during review.
- (3) Work requiring a building permit.
 - (A) Upon receipt of a review form application for work requiring a building permit, the building official shall refer it to the director to determine whether the work meets the standards of this part. The director shall make this determination within 30 days after submission of a complete application.
 - (B) If the director determines that the work complies with the standards of this part, the director shall approve the application and send it back to the building official, who shall issue the building permit if all requirements of the construction codes and other applicable part have been met.
 - (C) If the director determines that the work does not comply with the standards of this part, the director shall state in writing the specific

requirements to be met before issuance of a building permit and send it back to the building official, who shall deny the building permit. The director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. The notice to the applicant must be sent to the address given on the application.

(4) Work not requiring a building permit.

- (A) Upon receipt of a review form application for work not requiring a building permit, the building official shall refer it to the director to determine whether the work meets the standards of this part. The director shall make this determination within 10 days after submission of a complete application.
- (B) If the director determines that the work complies with the standards of this part, the director shall approve the application and give written notice to the applicant.
- (C) If the director determines that the work does not comply with the standards of this part, the director shall state in writing the specific requirements to be met before an approval can be granted. The director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. The notice to the applicant must be sent to the address given on the application.

(b) Appeals.

- (1) An applicant may appeal any decision made by the director to the board of adjustment by filing written appeal with the director within 20 days after notice is given to the applicant of the director's decision.
- (2) The board of adjustment shall hold a public hearing on all appeals.
 - (A) The director shall send written notice of the appeal to the applicant, the neighborhood association, and all owners of real property located within 200 feet, including streets and alleys, of the boundary of the area for which the application was made. The notice must be given not less than 10 days before the day set for the hearing. Notice is given by depositing the notice properly addressed and postage paid in the United States mail to the property owners as evidenced by the last approved city tax roll.
 - (B) In considering the appeal, the sole issue before the board of adjustment is whether the director erred in the decision. The board

shall consider the same standards that were required to be considered by the director.

- (C) Appeals to the board of adjustment are the final administrative remedy.”

SECTION 5. That the building official shall not issue a building permit or a certificate of occupancy for a use on the Property until there has been full compliance with this ordinance, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the City of Dallas.

SECTION 6. That a person who violates a provision of this ordinance is guilty of a separate offense for each day or portion of a day during which the violation is committed, continued, or permitted, and each offense is punishable by a fine not to exceed \$2,000.

SECTION 7. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of Chapter 1 of the Dallas City Code, as amended.

SECTION 9. That this ordinance shall take effect on March 31, 2025 and it is accordingly so ordained.

APPROVED AS TO FORM:

TAMMY L. PALOMINO, City Attorney

By 
Assistant City Attorney

Passed FEB 26 2025

33026

250408

EXHIBIT "C"

LAKEWOOD CONSERVATION DISTRICT

Tract IV

ILLUSTRATIONS

A GUIDE FOR THE
DEVELOPMENT STANDARDS
AND
ARCHITECTURAL STANDARDS



Colonial Revival

1) One-story wing

2) Symmetrical fenestration pattern

3) One-story centered portico

4) Sidelights at front door

5) Transom over front door

6) Dentil cornice

7) Rooftop balustrade on portico

8) Straight walkway leading to main entrance

9) Soldier course or cast stone lintels



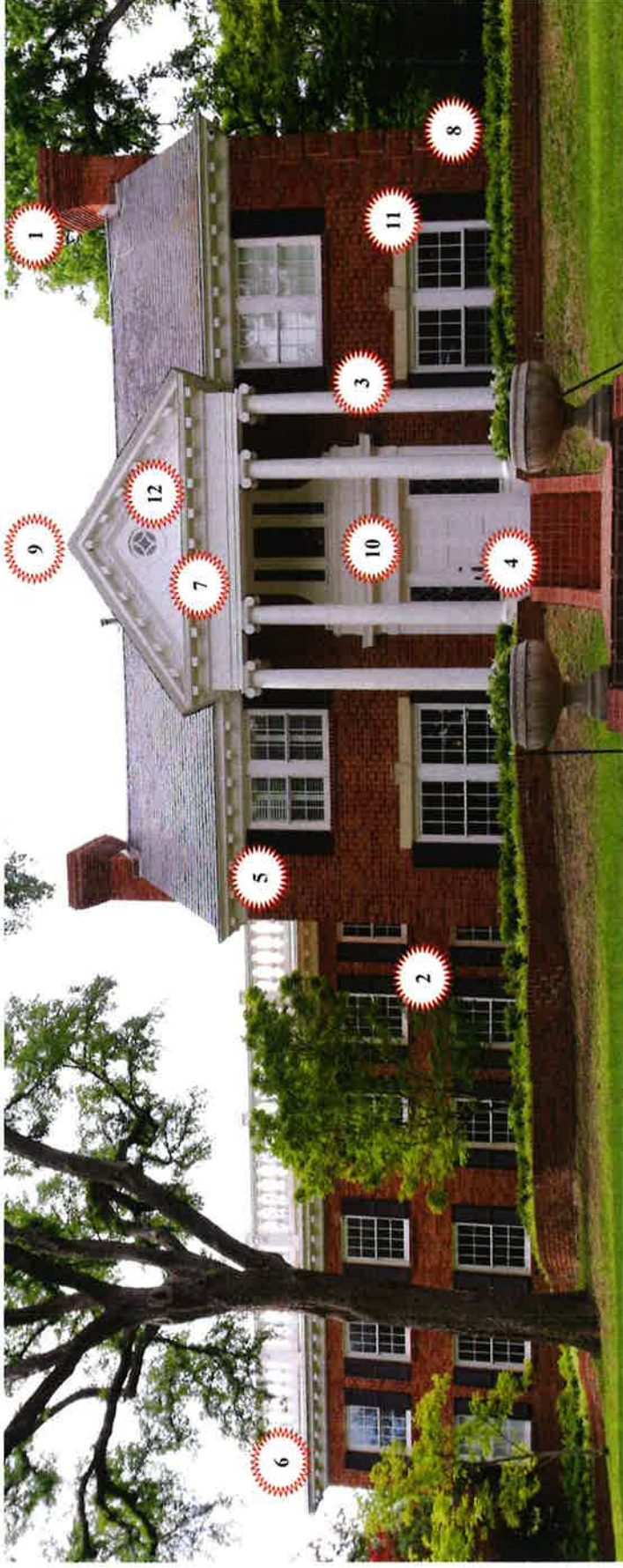
French Eclectic

- 1) Tower on facade
- 2) Wall dormers
- 3) Tile roof
- 4) Flared eaves

- 5) Leaded windows

- 6) Solid wood door with speakeasy opening and strap hinges

- 7) Balconet (Juliet balcony)



Neoclassical

- | | |
|--|--|
| 1) Large, symmetrical brick chimneys on main block of building | 7) Pedimented front gable with entablature |
| 2) Recessed subordinate wing | 8) Quoins at wall corners |
| 3) Ionic or Corinthian columns of front porch or portico | 9) Symmetrical main block |
| 4) Sidelights at front door | 10) Full height entry porch |
| 5) Dentils or modillions under eaves | 11) Cast stone lintels |
| 6) Roofline balustrade | 12) Round or oval window in front gable |



Spanish Revival/Eclectic

- 1) Parabolic arched focal window
- 2) Round tower
- 3) Spanish tile roof (multicolor)
- 4) Courtyard with low wall
- 5) Cantilevered balcony with railing
- 6) Staircase (open air)

- 7) Decorative tile accents (multicolor) on facade
- 8) Wrought iron accents
- 9) Tile gable vents
- 10) Elaborated chimney top
- 11) Front projecting ell/wing



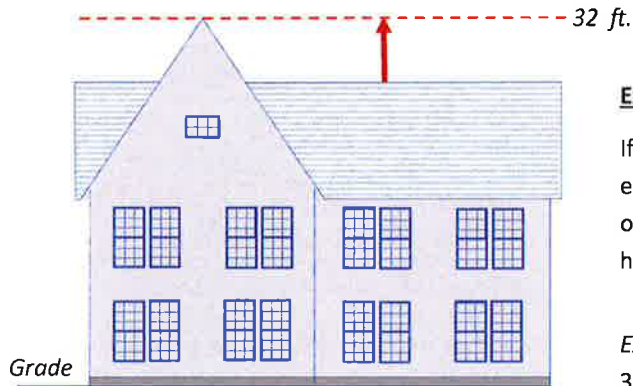
Tudor— 2 story

- | | |
|--|--|
| 1) Crenellation or battlements | 5) Half-timbering on second story or in gable |
| 2) Patterned decorative brick between half-timbering | 6) Decorative vergeboard |
| 3) Decorative chimney on front facade | 7) Stone or cast stone accents on multiple window or door openings |
| 4) Groupings of stained or leaded glass windows | 8) Arched front doorway |

Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

Height - For any structure with a roof, height means the vertical distance measured from average grade (highest and lowest exterior corners of a structure) to the peak of any roof structure, regardless of its style or form.

for structures on lots smaller than 10,000 square feet, maximum structure height is **30 feet**. For structures on lots 10,000 square feet or greater, maximum height is **35 feet**.

**Existing Height Provision**

If any portion of an existing structure's roof ridge exceeds the maximum height, the lower portion of the structure's roof ridge may be raised to the height of the taller portion of the roof ridge.

Example: For a structure with a maximum height of 30 feet, if a portion of that existing structure is 32 ft in height, the roof ridge may be raised to 32 ft.

Stories

The maximum number of stories above grade is two. Attic stories (as illustrated) that include habitable space are allowed above both one- and two-story houses

Attic Story means the space between the existing ceiling framing of the topmost story and the underside of the roof framing.

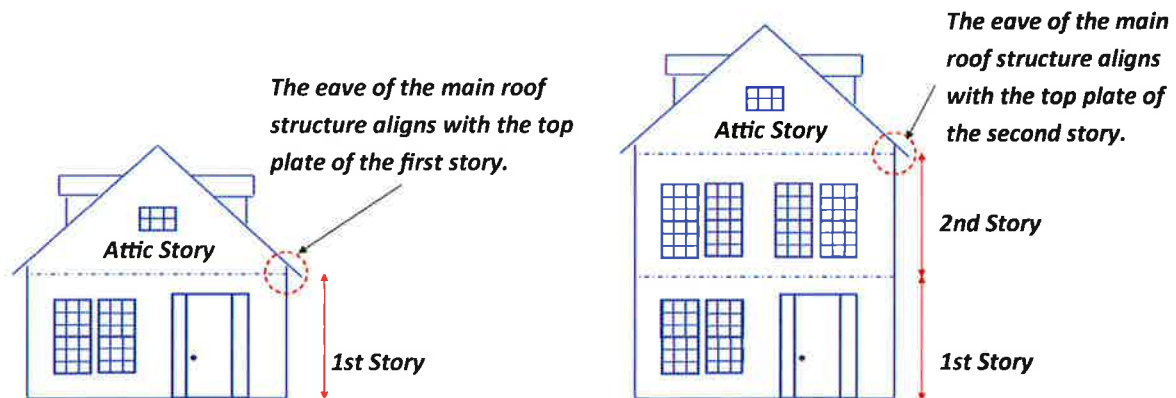


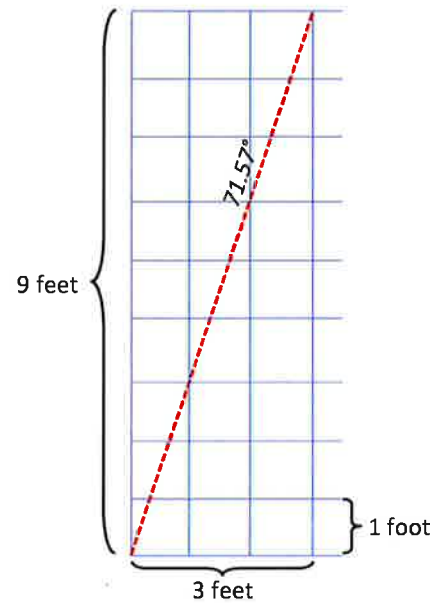
Illustration: One-story house and two-story house with attic story above.

Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

Height Looming Explanation

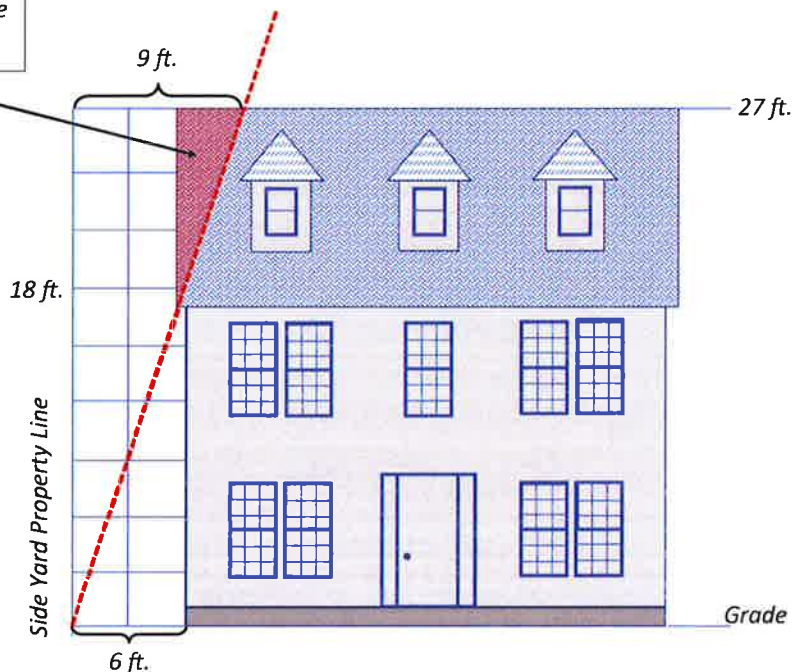
Height Looming is not to be interpreted as an overall setback for the structure. The highest point of a building element (wall, parapet, dormer, etc.) may not be taller than three times its distance from a side property line.

No portion of a building or structure greater than 24 feet in height may be located above the *height looming slope* (as illustrated) which extends vertically and is calculated by multiplying the distance from a side property line by three. This creates a diagonal line that slopes back proportionately from the side yard property line by one foot in horizontal distance for every three feet in vertical distance.



No portion of a building or structure may be located above the height looming slope.

The maximum height of any portion of a main structure may not be greater than three times its distance from the ground level of the side property line, with the height looming being measured from the ground level at the side property line.



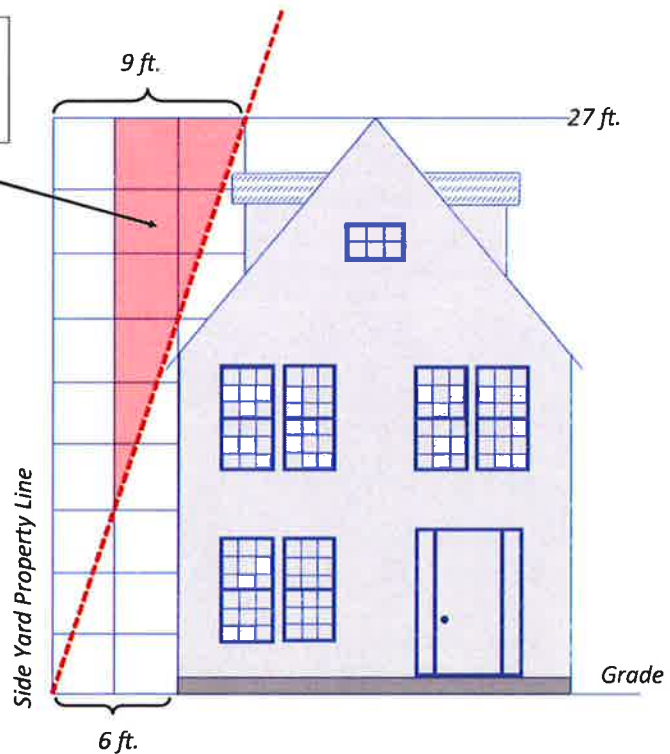
Example: A 27-foot tall structure set back six feet from the side yard line may not exceed 18 feet in height at that distance above the ground level at the side property line, and the highest point of the roof ridge must be set back at least nine feet. Chimneys are not subject to this height looming provision.

Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

Height Looming Explanation (continued)

No portion of a building or structure may be located above the height looming slope

The maximum height of any portion of a main structure may not be greater than three times its distance from the ground level of the side property line, with the height looming being measured from the ground level at the side property line.



Example: This 27-foot tall structure complies with the ordinance because no portion of the structure is above or within the area of the height looming slope.

Height Looming only applies to main buildings and does not apply to a structure that is 24-feet in height or lower.

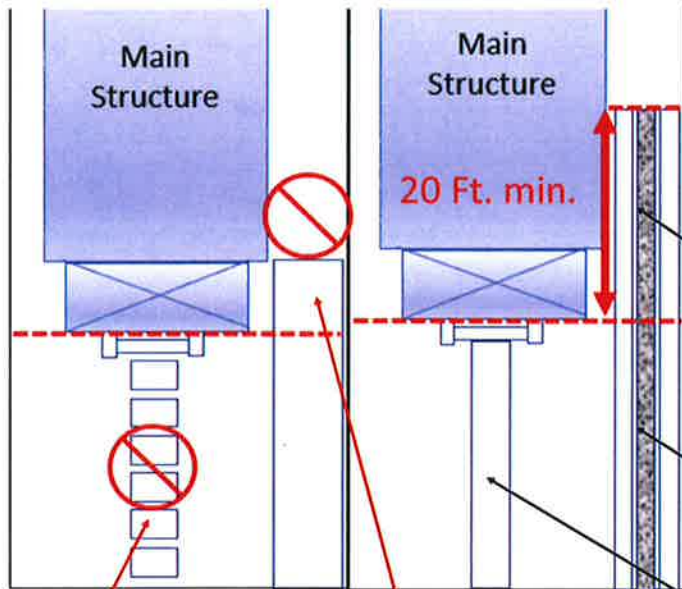
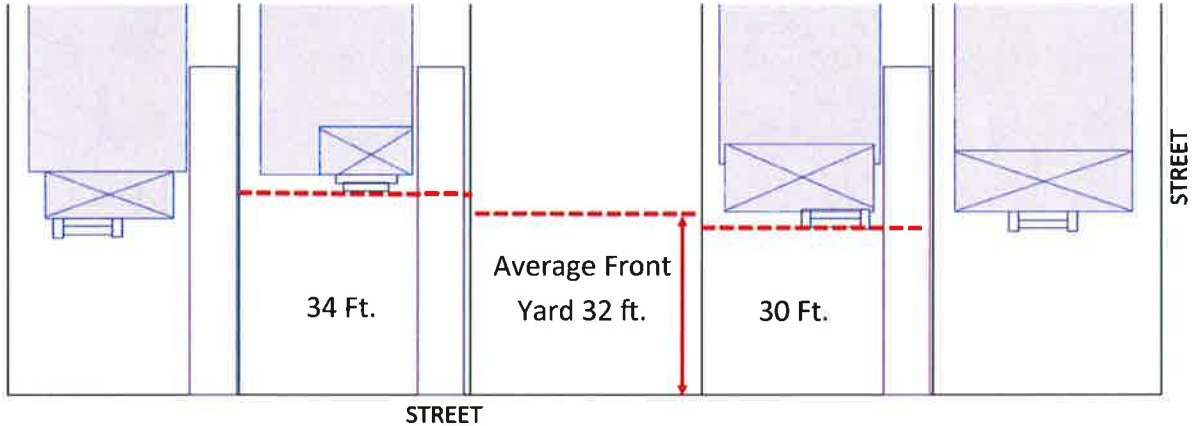


Example: Height Looming does not apply.

Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

Front Yard Setback

For new construction and additions, the minimum front yard is equal to the average of the adjacent lots as determined by a state licensed architect, land surveyor, or engineer. The maximum setback may not exceed more than ten feet further back than the average.

**Impervious Surfaces**Impervious Materials.

No more than 35 percent of the front yard may be paved or hardscaped.

Driveways, Curbing, and Parking.

Any new front entry driveway must extend at least 20 feet beyond the front yard setback

Driveways must be constructed of brick, brush finished concrete, stone, pavers, permeable pavers, or similar materials.

Gravel is an allowable material only when used between ribbons in ribbon driveways.

Walkways

Walkways must be continuous with no separation.

Not allowed—The concrete sections of this walkway are not connected or continuous but instead are separated.

Not allowed—This front entry driveway does not extend at least 20 feet beyond the front yard setback.

Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

FencesLocation

- Fences and walls, excluding retaining walls, are not allowed in a front yard. For purposes of this subsection, "front yard" means that area between the front facade and street, excluding porches.
- Courtyard walls surrounding the primary front entrance that are four feet in height or less may project into the front yard a maximum of five feet.
- Fences must be set back a minimum of five feet from the corner of the front facade of a main building nearest the side property line, excluding porches.

Height

- Fences in the side yard must not exceed six feet.
- Fences in the rear yard must not exceed eight feet.
- Fences in a cornerside yard must not exceed eight feet.
- Retaining walls may not exceed six inches above any soil being retained.

Materials

- Fences may be made of brick that matches the main structure, stone, wood, wrought iron or materials that look like wrought iron, or a combination of these materials.
- Chain link is prohibited.

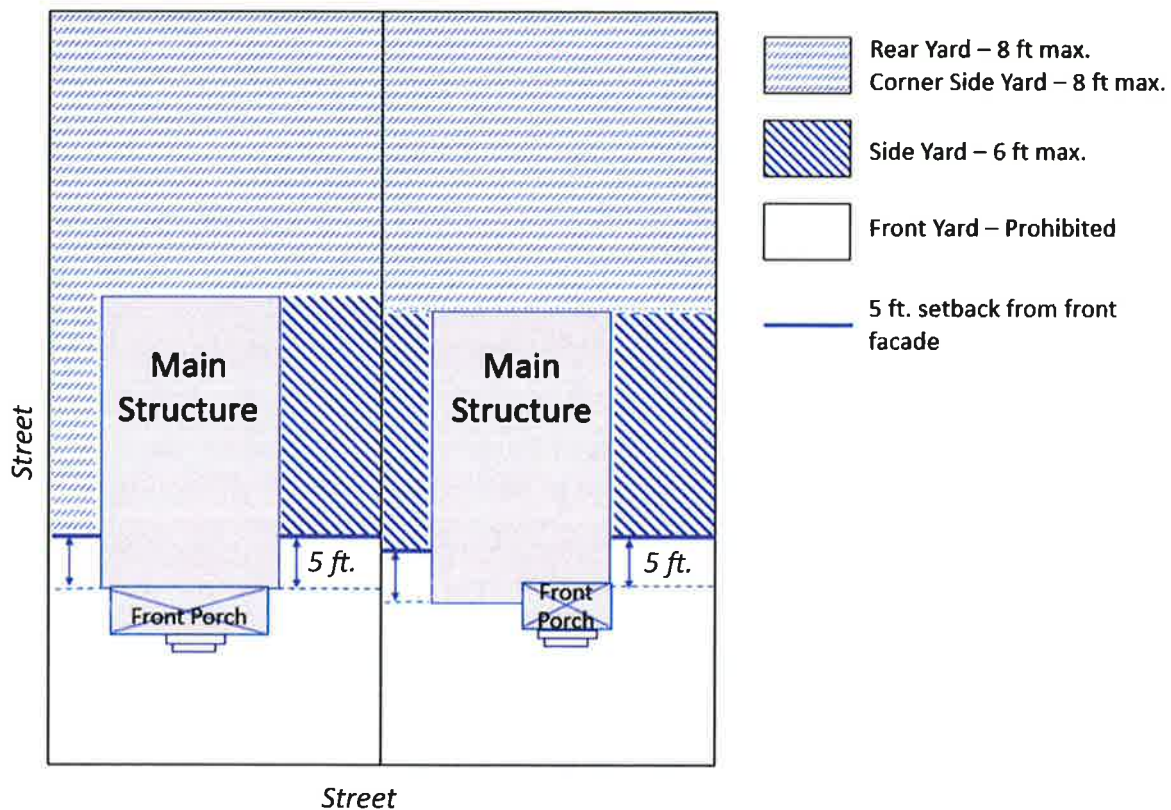


Exhibit C: Illustrations for Lakewood Conservation District - Tract IV

Roof Materials for Spanish Revival / Eclectic

Only the following roofing materials are allowed on structures in the Spanish Revival/Eclectic architectural style within the wrap-around.

- i. Terra cotta tile in Spanish, mission, or barrel style; or
- ii. Materials that look like Spanish, mission, or barrel style tile in:
 - a. Metal
 - b. Concrete
 - c. Plastic composite
 - d. Composition shingles in a color palette of original Spanish tile roofs with terra cotta hips, ridge caps, and rake tiles applied to mimic original tile roofs.



Example: Roof materials that look like Spanish, mission, or barrel style tile in metal, concrete, or plastic composite.



Example: Composition shingles in a color palette of original Spanish tile roofs with terra cotta hips, ridge caps, and rake tiles applied to mimic original tile roofs.

33026
LIST OF ARCHITECTURAL STYLES
BY ADDRESS

250408

Address	Street Name	Architectural Style	Year Built
7000	Lakeshore Dr	French Eclectic	1936
7001	Lakeshore Dr	Tudor	1927
7007	Lakeshore Dr	Tudor	1930
7008	Lakeshore Dr	New Traditional-Tudor	1952
7009	Lakeshore Dr	Tudor	1928
7012	Lakeshore Dr	French Eclectic	1936
7015	Lakeshore Dr	Tudor	1929
7016	Lakeshore Dr	Tudor	1930
7017	Lakeshore Dr	Tudor	1929
7021	Lakeshore Dr	New Traditional-Tudor	1929
7022	Lakeshore Dr	Tudor	1952
7025	Lakeshore Dr	Tudor	1928
7028	Lakeshore Dr	French Eclectic	1935
7031	Lakeshore Dr	Colonial Revival	1940
7034	Lakeshore Dr	Tudor	1931
7035	Lakeshore Dr	French Eclectic	1936
7038	Lakeshore Dr	Minimal Traditional	1935
7039	Lakeshore Dr	Spanish Revival/Eclectic	1936
7100	Lakeshore Dr	Tudor	1928
7103	Lakeshore Dr	Colonial Revival	1986
7107	Lakeshore Dr	Tudor	1935
7110	Lakeshore Dr	Colonial Revival	1948
7115	Lakeshore Dr	Colonial Revival	1935
7119	Lakeshore Dr	Ranch	1950
7123	Lakeshore Dr	Ranch	1949
6861	Lakewood Blvd	Tudor	1928
6903	Lakewood Blvd	Minimal Traditional	1954
6906	Lakewood Blvd	French Eclectic	1941
6907	Lakewood Blvd	Tudor	1927
6909	Lakewood Blvd	French Eclectic	1935
6910	Lakewood Blvd	Spanish Revival/Eclectic	1926
6911	Lakewood Blvd	Tudor	1926
6913	Lakewood Blvd	Colonial Revival	1935
6915	Lakewood Blvd	Tudor	1925
6920	Lakewood Blvd	French Eclectic	1926
6921	Lakewood Blvd	Tudor	1929
6926	Lakewood Blvd	Colonial Revival	1938
6930	Lakewood Blvd	Tudor	1925
6931	Lakewood Blvd	Spanish Revival/Eclectic	1964
6936	Lakewood Blvd	New Traditional - Colonial Revival	1987
6940	Lakewood Blvd	Tudor	1926
6941	Lakewood Blvd	Spanish Revival/Eclectic	1936
6944	Lakewood Blvd	Contemporary	2017
6949	Lakewood Blvd	New Traditional-Tudor	2021
6952	Lakewood Blvd	Tudor	1926
6955	Lakewood Blvd	Spanish Revival/Eclectic	1965
6956	Lakewood Blvd	Colonial Revival	1946
6961	Lakewood Blvd	Colonial Revival	1969
6969	Lakewood Blvd	Spanish Revival/Eclectic	1936

LIST OF ARCHITECTURAL STYLES
BY ADDRESS

Address	Street Name	Architectural Style	Year Built
7002	Lakewood Blvd	New Traditional-Spanish Revival/Eclectic	2011
7003	Lakewood Blvd	Monterey	1935
7006	Lakewood Blvd	Spanish Revival/Eclectic	1930
7007	Lakewood Blvd	Tudor	1927
7010	Lakewood Blvd	Tudor	1926
7011	Lakewood Blvd	Spanish Revival/Eclectic	1929
7012	Lakewood Blvd	Tudor	1925
7015	Lakewood Blvd	French Eclectic	1936
7018	Lakewood Blvd	Tudor	1930
7019	Lakewood Blvd	Spanish Revival/Eclectic	1928
7022	Lakewood Blvd	Tudor	1936
7023	Lakewood Blvd	Spanish Revival/Eclectic	1930
7026	Lakewood Blvd	Spanish Revival/Eclectic	1936
7027	Lakewood Blvd	Spanish Revival/Eclectic	1937
7030	Lakewood Blvd	Tudor	1925
7031	Lakewood Blvd	Spanish Revival/Eclectic	1926
7034	Lakewood Blvd	Tudor	1929
7035	Lakewood Blvd	Spanish Revival/Eclectic	1930
7038	Lakewood Blvd	Spanish Revival/Eclectic	1930
7102	Lakewood Blvd	Monterey	1930
7103	Lakewood Blvd	Spanish Revival/Eclectic	1928
7106	Lakewood Blvd	Spanish Revival/Eclectic	1925
7107	Lakewood Blvd	Spanish Revival/Eclectic	1930
7110	Lakewood Blvd	Colonial Revival	1989
7111	Lakewood Blvd	Spanish Revival/Eclectic	1928
7114	Lakewood Blvd	Tudor	1930
7117	Lakewood Blvd	Tudor	1926
7118	Lakewood Blvd	Spanish Revival/Eclectic	1930
7122	Lakewood Blvd	Contemporary	2022
7203	Lakewood Blvd	Spanish Revival/Eclectic	1931
7207	Lakewood Blvd	Spanish Revival/Eclectic	1931
7209	Lakewood Blvd	Colonial Revival	1939
7215	Lakewood Blvd	New Traditional-Colonial Revival	1938
7223	Lakewood Blvd	Colonial Revival	1939
7227	Lakewood Blvd	Colonial Revival	1939
7231	Lakewood Blvd	Minimal Traditional	1945
7235	Lakewood Blvd	Colonial Revival	1939
7239	Lakewood Blvd	Monterey	1941
7303	Lakewood Blvd	Spanish Revival/Eclectic	1937
7307	Lakewood Blvd	Tudor	1936
7311	Lakewood Blvd	Spanish Revival/Eclectic	1937
7315	Lakewood Blvd	Spanish Revival/Eclectic	1937
7319	Lakewood Blvd	Spanish Revival/Eclectic	1935
7323	Lakewood Blvd	Spanish Revival/Eclectic	1937
7327	Lakewood Blvd	Spanish Revival/Eclectic	1936
7331	Lakewood Blvd	Spanish Revival/Eclectic	1937
7335	Lakewood Blvd	Spanish Revival/Eclectic	1937
7339	Lakewood Blvd	Tudor	1950
7003	Tokalon Dr	Ranch	1961

LIST OF ARCHITECTURAL STYLES
BY ADDRESS

Address	Street Name	Architectural Style	Year Built
7004	Tokalon Dr	Ranch	1953
7007	Tokalon Dr	Ranch	1954
7010	Tokalon Dr	Tudor	1930
7011	Tokalon Dr	Ranch	1955
7015	Tokalon Dr	New Traditional-Spanish Revival/Eclectic	1987
7019	Tokalon Dr	Spanish Revival/Eclectic	1930
7022	Tokalon Dr	New Traditional-Tudor	2024
7023	Tokalon Dr	Spanish Revival/Eclectic	1929
7026	Tokalon Dr	Tudor	1925
7027	Tokalon Dr	Tudor	1929
7030	Tokalon Dr	French Eclectic	1941
7031	Tokalon Dr	Spanish Revival/Eclectic	1945
7040	Tokalon Dr	French Eclectic	1928
7041	Tokalon Dr	Tudor	1928
7044	Tokalon Dr	French Eclectic	1924
7047	Tokalon Dr	Spanish Revival/Eclectic	1928
7048	Tokalon Dr	Tudor	1935
2716	West Shore Dr	Ranch	1946
6901	Westlake Ave	New Traditional-Tudor	1989
6902	Westlake Ave	Tudor	1925
6903	Westlake Ave	Tudor	1929
6906	Westlake Ave	Tudor	1926
6907	Westlake Ave	Tudor	1927
6911	Westlake Ave	Spanish Revival/Eclectic	1927
6912	Westlake Ave	Tudor	1928
6914	Westlake Ave	Tudor	1928
6917	Westlake Ave	Tudor	1927
6918	Westlake Ave	Tudor	1936
6919	Westlake Ave	Minimal Traditional	1938
6921	Westlake Ave	Tudor	1927
6922	Westlake Ave	Tudor	1934
6925	Westlake Ave	Tudor	1927
6926	Westlake Ave	Tudor	1926
6930	Westlake Ave	Tudor	1927
6933	Westlake Ave	Tudor	1934
6934	Westlake Ave	Tudor	1925
6937	Westlake Ave	New Traditional-Tudor	2019
6938	Westlake Ave	Tudor	1927
6941	Westlake Ave	Tudor	1949
6942	Westlake Ave	Tudor	1926
6945	Westlake Ave	Contemporary	1941
6946	Westlake Ave	Tudor	1927
6950	Westlake Ave	Tudor	1927
6953	Westlake Ave	Minimal Traditional	1947
6954	Westlake Ave	Tudor	1927
6957	Westlake Ave	Ranch	1941
6960	Westlake Ave	Tudor	1927
6964	Westlake Ave	New Traditional-Colonial Revival	1985

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LIST OF SIGNIFICANT HOUSES

BY ADDRESS

ADDRESS	ARCHITECT	YEAR OF CONSTRUCTION
7000 Lakeshore	Dines & Kraft	1936
7039 Lakeshore	Hutsell	1935
6861 Lakewood	B. Hill	1928
6907 Lakewood	B. Hill	1927
6910 Lakewood	B. Hill	1926
6915 Lakewood	B. Hill	1925
6920 Lakewood	Dines & Kraft	1926
6930 Lakewood	B. Hill	1925
6952 Lakewood	Dines & Kraft	1926
6969 Lakewood	Hutsell	1937
7003 Lakewood	Hutsell	1931
7007 Lakewood	Hutsell	1938
7011 Lakewood	Hutsell	1929
7015 Lakewood	Hutsell	1931
7019 Lakewood	Hutsell	1928
7022 Lakewood	Hutsell	1931
7023 Lakewood	Hutsell	1930
7026 Lakewood	Hutsell	1928
7027 Lakewood	Hutsell	1931
7031 Lakewood	Hutsell	1926
7034 Lakewood	Hutsell	1929
7035 Lakewood	Hutsell	1930
7038 Lakewood	Hutsell	1930
7102 Lakewood	Hutsell	1930
7103 Lakewood	Hutsell	1928
7106 Lakewood	Hutsell	1926
7107 Lakewood	Hutsell	1931
7111 Lakewood	Hutsell	1930
7114 Lakewood	Hutsell	1930
7118 Lakewood	Hutsell	1931
7203 Lakewood	Hutsell	1931
7207 Lakewood	Hutsell	1930
7303 Lakewood	Hutsell	1937
7307 Lakewood	Hutsell	1936
7311 Lakewood	Hutsell	1937
7315 Lakewood	Hutsell	1936
7319 Lakewood	Hutsell	1936
7323 Lakewood	Hutsell	1937
7327 Lakewood	Hutsell	1936
7331 Lakewood	Hutsell	1937
7335 Lakewood	Hutsell	1937
7019 Tokalon	Hutsell	1931

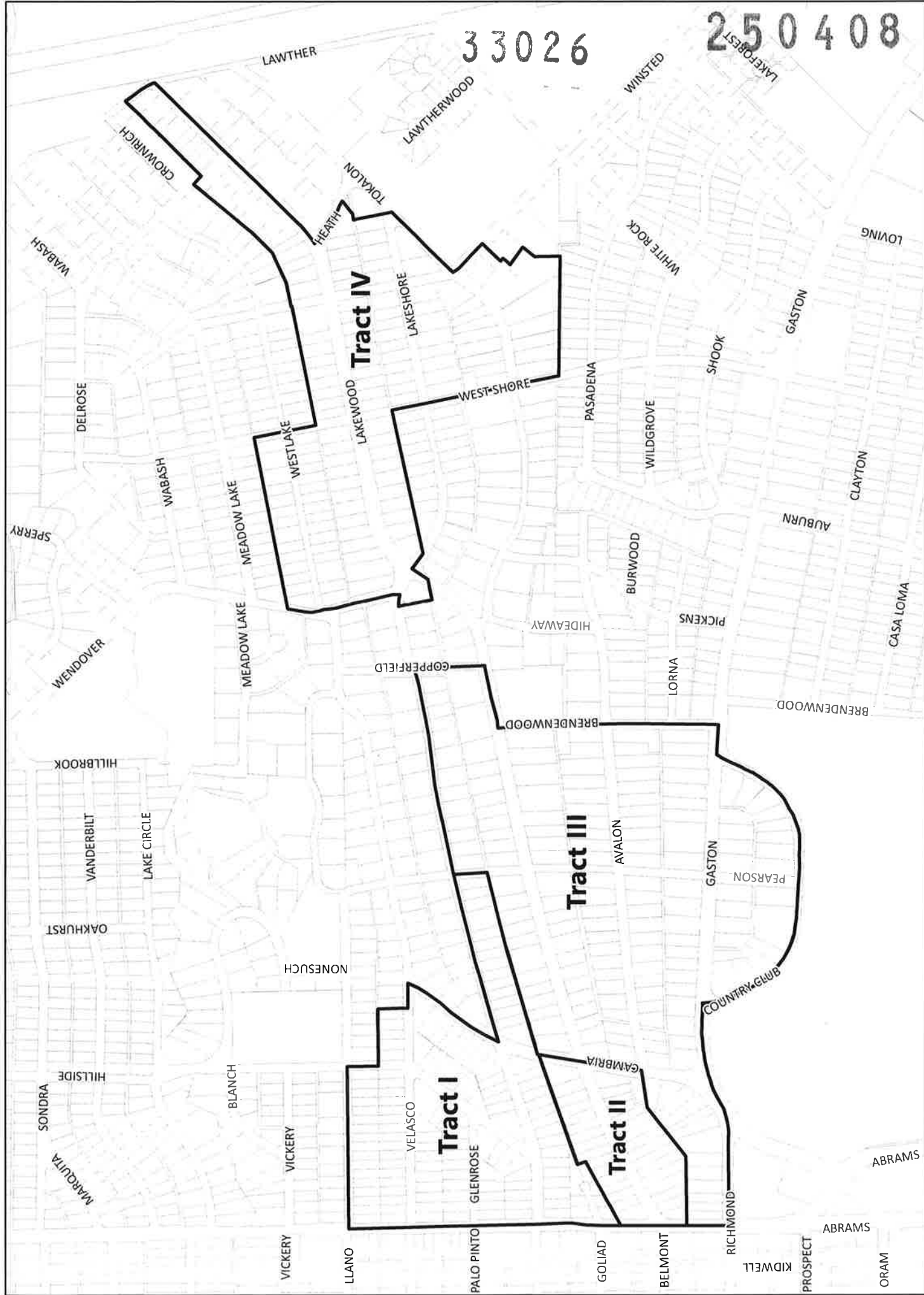
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LIST OF SIGNIFICANT HOUSES

BY ADDRESS

ADDRESS	ARCHITECT	YEAR OF CONSTRUCTION
7023 Tokalon	Hutsell	1929
7027 Tokalon	Hutsell	1929
7030 Tokalon	V.E. Shanklin	1929
7031 Tokalon	Hutsell	1931
7040 Tokalon	Dahl	1928
7047 Tokalon	Hutsell	1930
2716 West Shore	Hutsell	1946
6903 Westlake	Dines & Kraft	1929
6906 Westlake	B. Hill	1926
6918 Westlake	Dines & Kraft	1936
6925 Westlake	Dines & Kraft	1927
6957 Westlake	Dines & Kraft, G. Marble	1941



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Z212-315(TB)_CD 2 expansion (Non-contiguous) and new Tract 4

CD 2 Lakewood Conservation District Tract Map



250408

Z212-315(TB)_CD 2 expansion (Non-contiguous) and new Tract 4

Tract IV

LAWTHER

LAWTHERWOOD

WHITE ROCK

CROWN RICH

DELROSE

LAKELWOOD

HEALTH

STOKALON

WINSTED

LAKESHORE

WEST-SHORE

PASADENA

AUBURN

AVALON

PICKENS

HIDEAWAY

COPPERFIELD

MEADOW LAKE

MEADOW LAKE

WESTLAKE

WABASH

DELROSE

SPERRY

WENDOVER



1:4,800



PROOF OF PUBLICATION – LEGAL ADVERTISING

The legal advertisement required for the noted ordinance was published in the Dallas Morning News, the official newspaper of the city, as required by law, and the Dallas City Charter, Chapter XVIII, Section 7.

DATE ADOPTED BY CITY COUNCIL FEB 26 2025

ORDINANCE NUMBER 33026

DATE PUBLISHED MAR 01 2025

ATTESTED BY: