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# Proposed Conservation District: Ordinance DRAFT Review

February 5, 2026

<https://bit.ly/spvconservation>



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# Neighborhood Committee Members

- Donovan Westover
- Lisa Abshire
- Sue Alvarez
- Nima Baha
- Greg Boggan
- Ed Callan
- Jerry Campbell
- JB Jones
- Jennifer Lichner
- John McCall
- Brian McKenzie
- Trudy Newton
- Scott Pharr
- Kathi Chandler
- Jessica Chiles
- Ken Godlove
- Loren Rutledge
- David Preziosi
- Alice Zaccarello

# Purpose of This Meeting

- Discuss the DRAFT ordinance language of the proposed Conservation District and the companion Conceptual Plan
- Discuss central changes from existing base zoning

# Purpose of a Conservation District

- Intended to provide a means of conserving an area's distinctive character by protecting or enhancing its physical attributes
- Protect the physical attributes of an area or neighborhood
- Promote development or redevelopment that is compatible with an existing area or neighborhood
- Promote economic revitalization
- Enhance the livability of the city
- Ensure harmonious, orderly, and efficient growth

# Procedure

To speak during the discussion portions of tonight's meeting:

- Please raise your hand and wait to be recognized before you begin speaking
- Before your comments, **state your name and address** for the record
- All comments must be related to the topic being discussed at that time
- Provide input to inform City Staff to work toward an approach to accomplish your desired objective of maintaining the character of the neighborhood.
- You may also send City staff emails with additional information or materials at any time during the process.



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## Discussion Agreements for this Meeting

- **Open Mindedness:** Listen to and respect all points of view.
- **Acceptance:** Suspend judgement as best you can.
- **Curiosity:** Seek to understand rather than persuade.
- **Discovery:** Question old assumptions, look for new insights.

## Neighborhood Concerns Addressed in Draft

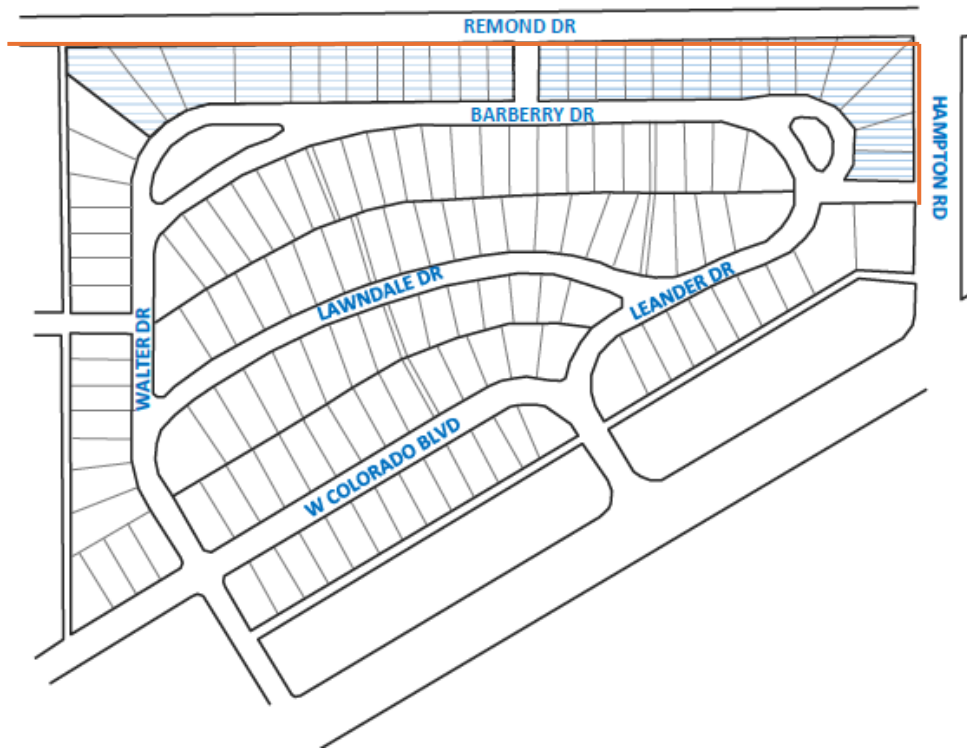
- protect architectural styles
- ensure compatibility of materials used in remodeling and new construction
- protect lot coverage
- protect consistent setbacks
- single-family land uses
- regulate height of structures
- regulate number of stories

# Accessory Structures

Standard	R7.5(A)	Draft
Accessory Structures - Setbacks	<p>In rear 30% of lot:            Under 15' in height require 0' side yard and 3' rear yard setback.            Over 15' in height require 5' side yard and 5' rear yard setback.            Outside of rear 30% of lot, accessory structures must meet main setbacks.</p>	<p>In rear 30% of lot:            Under 15' in height require 0' side yard and 3' rear yard setback.            Over 15' in height require 5' side yard and 5' rear yard setback.            Outside of rear 30% of lot, accessory structures must meet main setbacks.</p>
Density	<p>1 dwelling on the lot            - ADU may be granted by Board of Adjustment</p>	<p>1 dwelling + accessory or additional dwelling unit (ADU)</p>
Appearance/ Materials		<p>Materials, design, and roof pitch must be compatible with the main structure if visible from the street.</p>



# Accessory Structures: Double-Frontage Lot Orientation

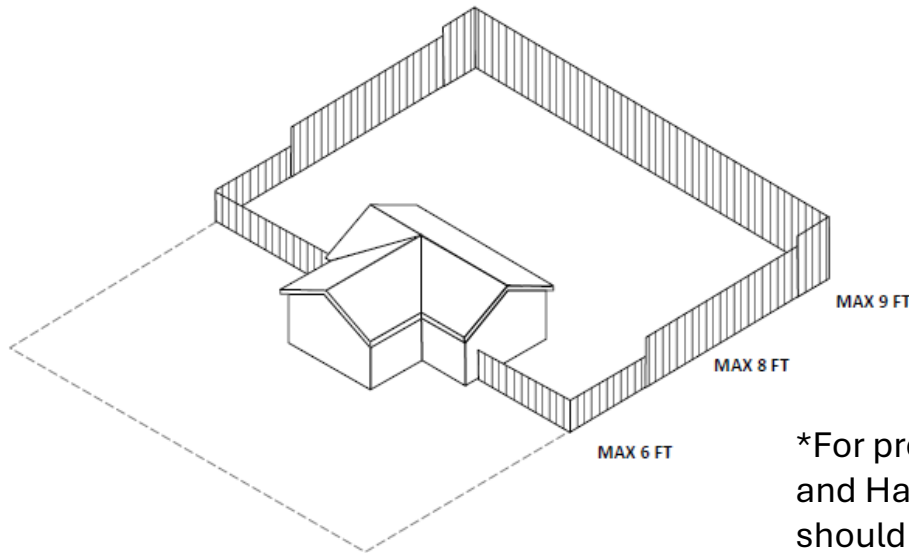


Special consideration shall be given to properties with 2 street frontages along Hampton Road and Remond Drive. These particular frontages are to be considered the rear property lines/rear yards, with Barberry and Leander respectively, considered the front of the property, and treated as such for all criteria.

\*\*also applies to fences

# Fences

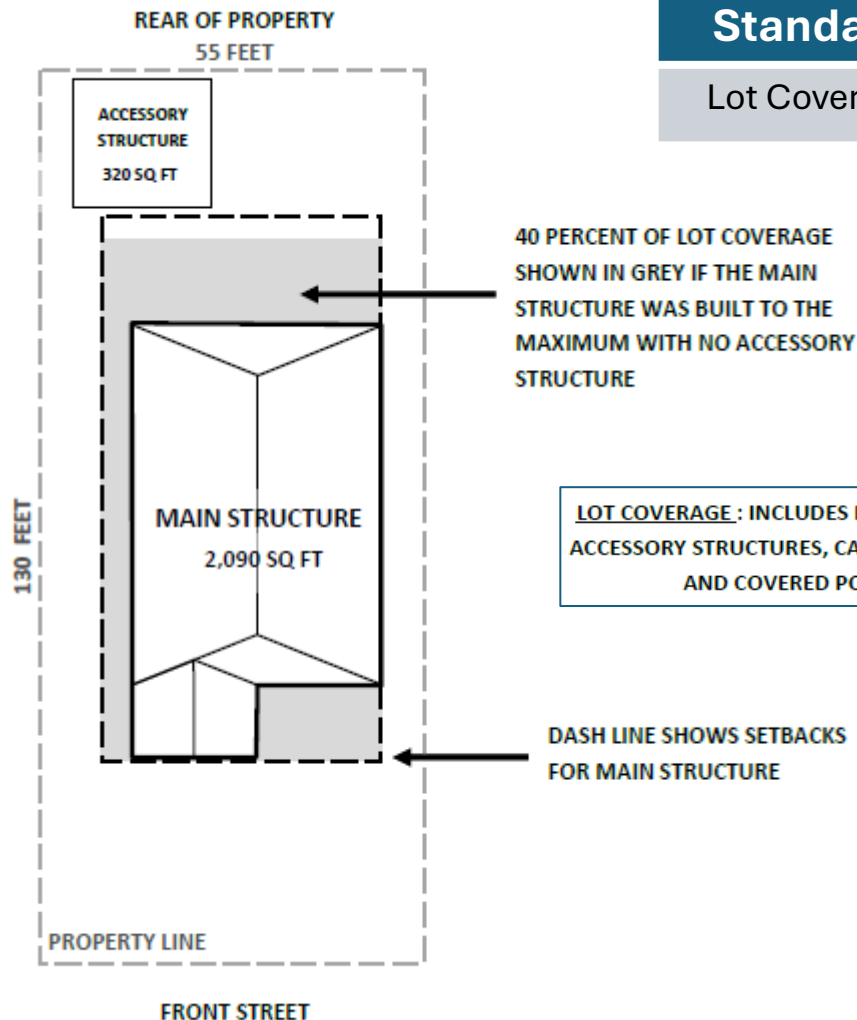
Standard	R7.5(A)	Draft
Fences –Front Yard	4' maximum	Not Permitted
Fences – Side Yard	9' maximum	6' maximum in the front 50% of property line and being setback a minimum of 5' from facade 8' maximum in the rear 50% of side property line
Fences – Rear Yard	9' maximum	9' maximum along rear property line



**Materials:** The consensus favored standard fencing materials like wood, brick, stone, wrought iron, and chain-link, or combinations of these materials. There was strong opposition to concrete, concrete block, and fabricated metal panels such as sheet or corrugated metal.

\*For properties along Remond Drive and Hampton Road, these frontages should be treated as rear yards to allow rear fencing without variances.

# Lot Coverage



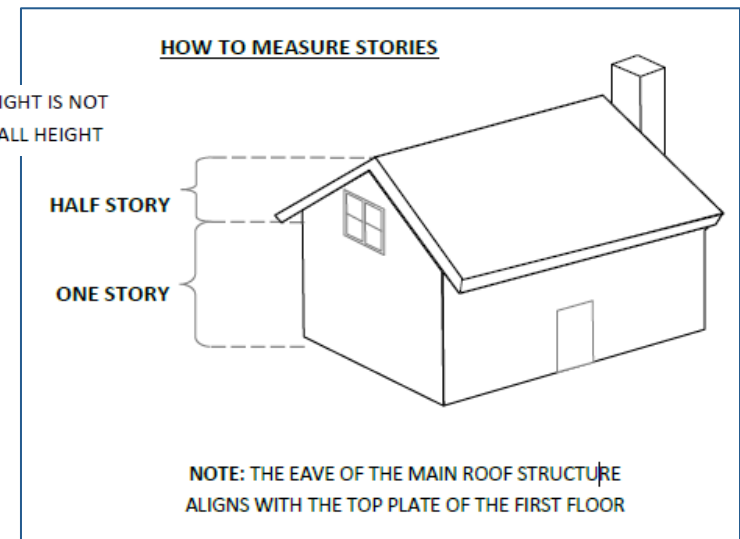
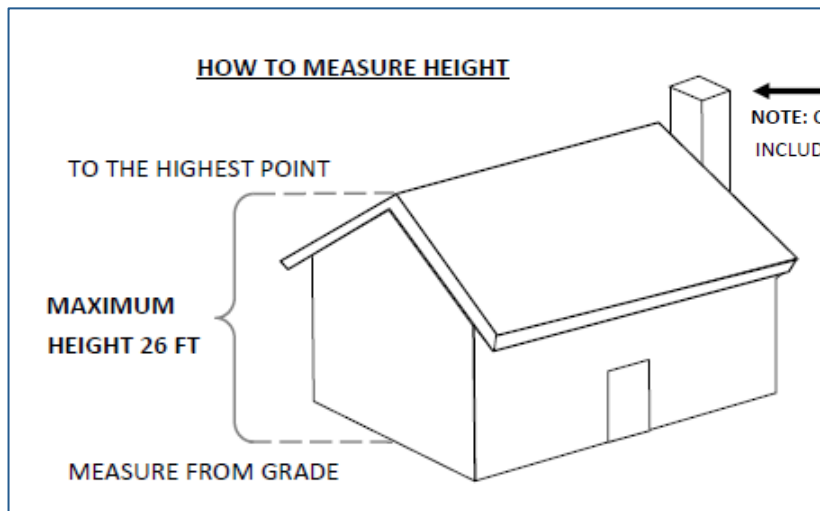
Standard	R7.5(A)	Draft
Lot Coverage	45%	40%

LOT COVERAGE : INCLUDES MAIN STRUCTURE, ACCESSORY STRUCTURES, CARPORTS, GARAGES AND COVERED PORCHES.

While the current standard allows for a maximum of 45% lot coverage, assessment of property surveys provided by neighborhood residents revealed in practice, **the majority of the lots are closer to 30% lot coverage.** It was determined that a maximum lot coverage of **40% would allow for continued growth on the lots while maintaining something compatible to the existing conditions.**

# Height & Stories

Standard	R7.5(A)	Draft
Height	30' max at midpoint of roof	26' maximum height measured from grade to highest point (excluding chimneys)
Stories	No maximum	1.5 story maximum on front 50% of main structure 2 story maximum on rear 50%

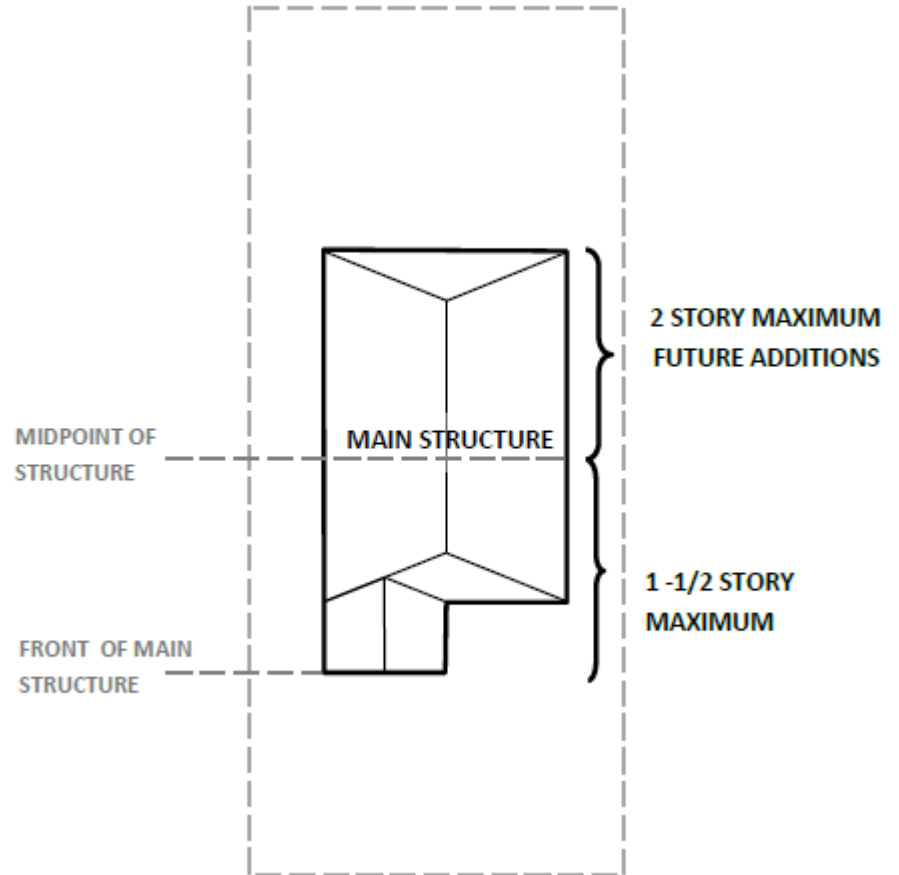


# Height & Stories (continued)

EXAMPLES OF A ONE—AND ONE HALF STORY



EXAMPLES OF A REAR TWO—STORY POP UP ADDITION



# Setbacks – Front Yard

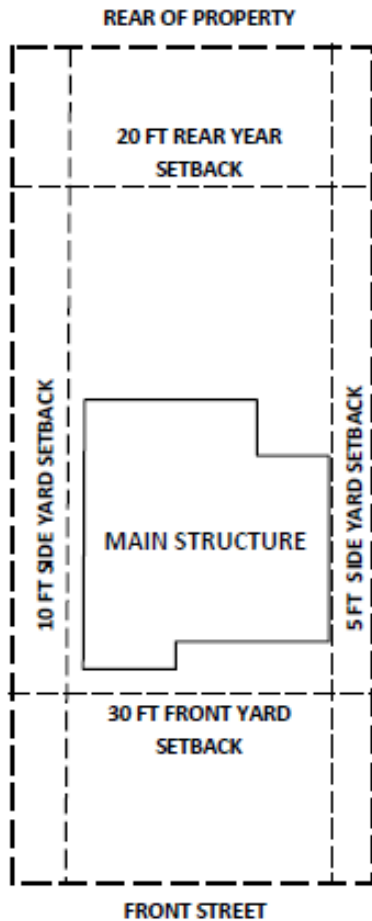
Standard	R7.5(A)	Draft
Front Yard Setback	25'	30' 25' for lots on south side of W. Colorado and Leander



Surveys provided determined that a standard setback of 30-foot would be in line with the original development pattern in the district. However, lots on the south side (even number address) of W. Colorado and Leander would require a 25-foot setback to match existing homes on those lots.

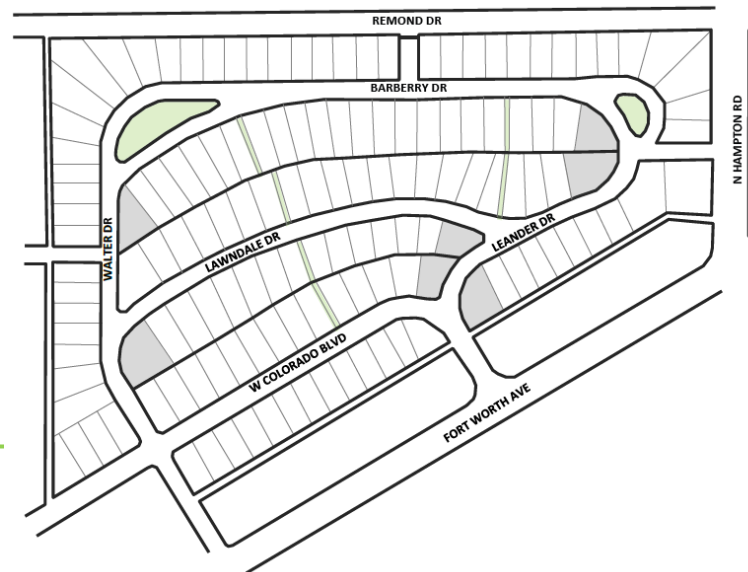
# Setbacks – Side Yard

Standard	R7.5(A)	Draft
Side Yard Setback	5'	5' on one side and 10' on the other

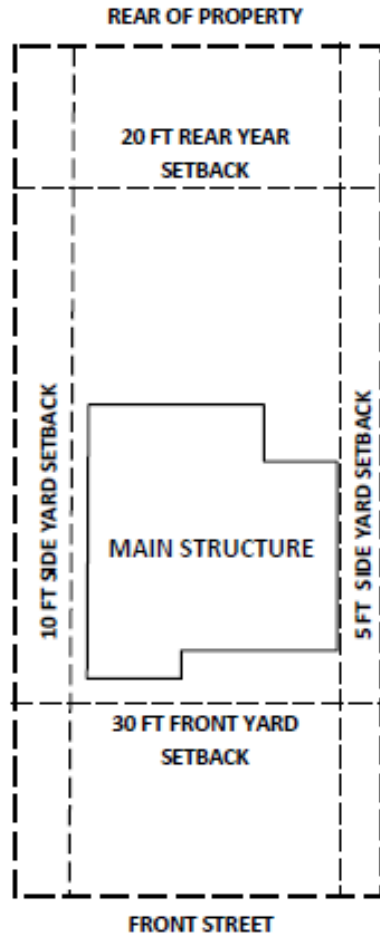


The consensus did want to allow for non-conforming setbacks to be maintained, with an allowance for vertical and horizontal additions to continue an existing setback.

\*\*Irregular lots in gray below – 5' and 5'



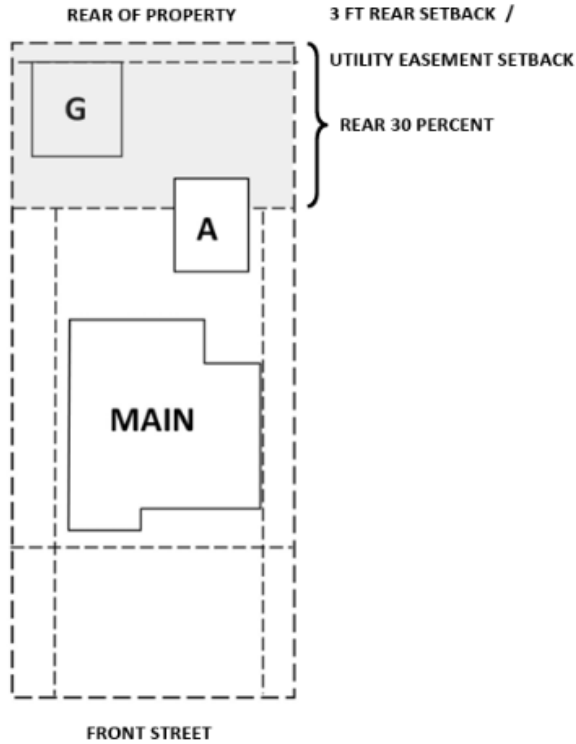
# Setbacks – Rear Yard



Standard	R7.5(A)	Draft
Rear Yard Setback	5'	20'

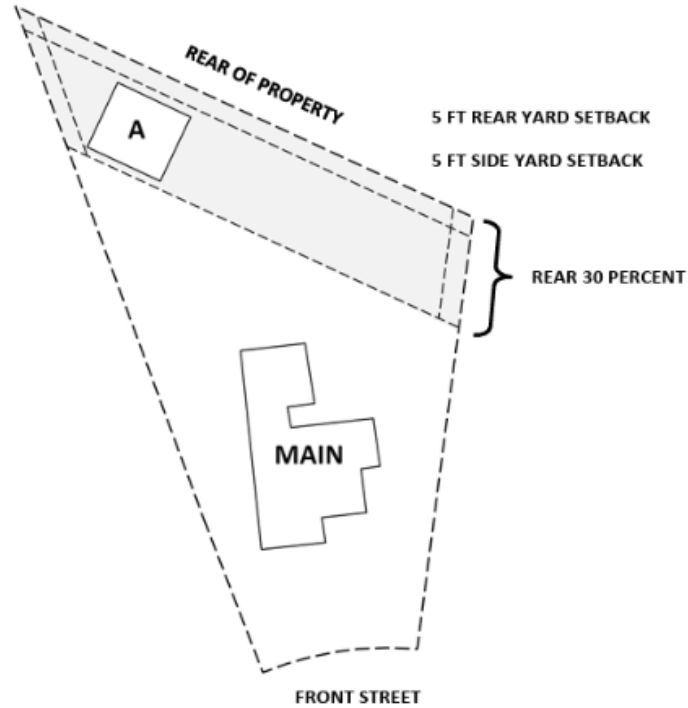
Consensus was that neighbors did not want to allow for construction to run the entire length of lots, and that backyards should have some open space. To account for this, it was determined that a 20-foot rear yard setback would suffice. **\*Only applicable to the main structure. Accessory structures have separate setbacks**

# Accessory Structures



## REGULAR PROPERTY LOT

ACCESSORY STRUCTURE OUTSIDE OF THE REAR 30 PERCENT MUST MEET SIDE YARD SETBACKS OF THE MAIN STRUCTURE



## IRREGULAR PROPERTY LOT

IF THE ACCESSORY STRUCTURE WITHIN THE REAR 30 PERCENT AND OVER 15 FT THEN SIDE AND REAR YARD ACCESSORY SETBACKS APPLY

# Architectural Standards

- Two styles – Minimal Traditional & Ranch
- Standards apply to the front facade and first 25 feet of each side facade
- Standards for New Construction and Remodeling
  - Remodeling focus on materials and windows
  - New Construction focus on materials, roof type, windows, and minimum number of architectural features to be compatible with existing houses

# Architectural Standards

- (5) Architectural standards for the front facade and within the wrap-around.
  - (a) Building materials. The following standards apply to the front facade and within the wrap-around.
    - (1) All materials and their application must be typical of the period and architectural style or be compatible with original main buildings designated with the same architectural style in the district.
    - (2) Cladding on a main building must be:
      - (i) Standard dimension brick in color blends of red/brown/orange or white/buff/blond are permitted.
      - (ii) Austin stone or materials that look like Austin stone.
      - (iii) Wood or materials that look like wood lap siding.
    - (3) Vinyl and metal siding are prohibited.

# Architectural Standards

- (5) Architectural standards for the front facade and within the wrap-around.
  - (b) Front porches and enclosures.
    - (1) Front porches (stoops, raised patios/terraces) must comply with applicable architectural standards. Front porches must be typical of the district.
    - (2) A minimum of two front porch steps (with two risers) are required. See illustration in Exhibit C.
    - (3) Front porches, stoops, and raised patios/terraces must have a minimum depth of four feet.
    - (4) Front porches and stoop floors must be constructed of concrete.
    - (5) Porch supports or columns may be constructed of wood, wrought iron, brick, stone, or a combination of these materials.
    - (6) Front porches may not be enclosed. Infill, glass, and screening are prohibited.
    - (7) Porch roofs must have a minimum 2/12 roof pitch.

# Architectural Standards

(5) Architectural standards for the front facade and within the wrap-around.

(c) Roofs.

- (1) Roofs must comply with the applicable architectural standards.
- (2) Any flat or low pitch (roofs under 2/12 pitch) may use modified bitumen, thermoplastic polyolefin membrane (TPO), or ethylene propylene diene terpolymer membrane (EPDM).
- (3) Compatible materials include standard shingles and standing seam metal, with any metal roofing in warm or muted earth tones such as brown, gray, weathered wood, or bronze/copper that will patina. Standing seam and shingle-like metal or solar products are allowed if non-reflective, while corrugated and R-panel metal are prohibited.

# Architectural Standards

## (5) Architectural standards for the front facade and within the wrap-around.

### (d) Windows and doors.

- (1) Windows and doors must comply with the applicable architectural standards.
- (2) The following applies to windows and doors on the front facade and the wrap-around:
  - (A) Windows and doors must be typical of the style and period of the district.
  - (B) All windows must fit the wall opening. Infill surrounding windows is prohibited.
  - (C) Only transparent, stained, or leaded glass is allowed in windows and doors, except that bathroom windows located on side facades may be frosted, translucent, or opaque.
  - (D) Fixed windows are prohibited, except that fixed divided light windows are allowed in corner windows, dormers or gables located above the eaves.
  - (E) Window muntins and mullions must be expressed by a minimum of one-fourth inch. Grilles are prohibited between the glass. Window assemblies must have a profile depth of at least three inches.
  - (F) Window screens, storm windows, screen doors, and storm doors are permitted.

## Areas of Concern

These are the areas that we have heard the most feedback from neighbors, meriting more discussion

- Window type – exterior divided light vs. between the glass grilles
- Window style – muntins/mullions (“grid”) vs. plate glass window
- Height

# Windows

Divided Light



Between the Glass Grille



Plate Glass

# Windows



# Windows



# Windows



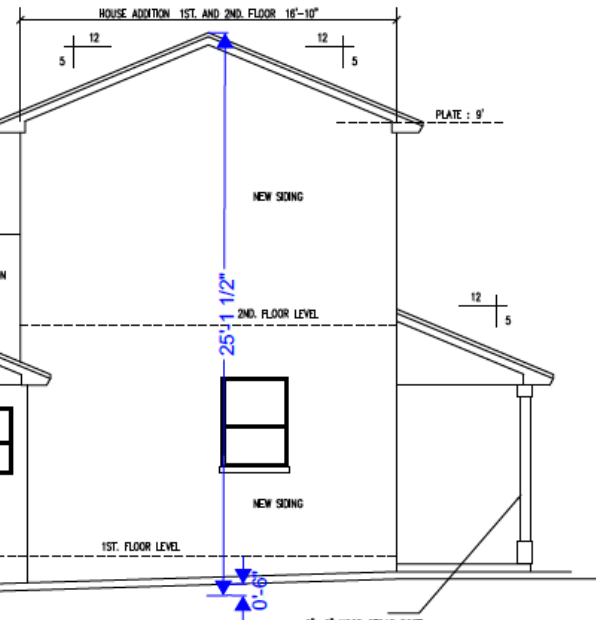
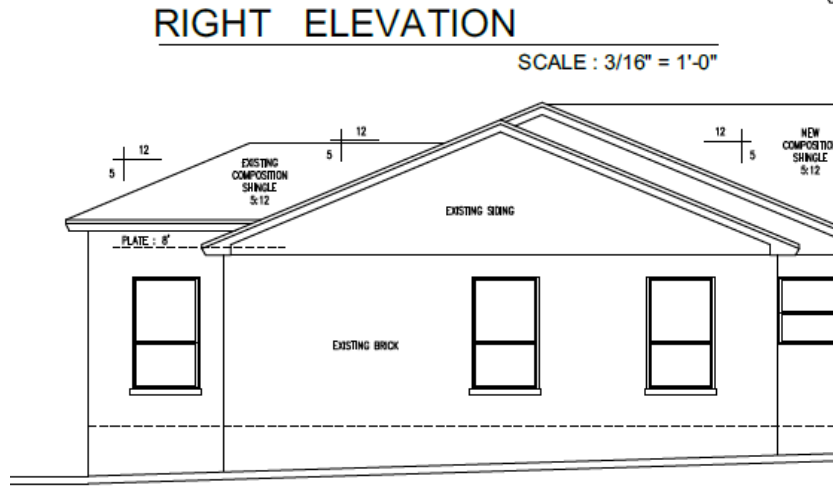
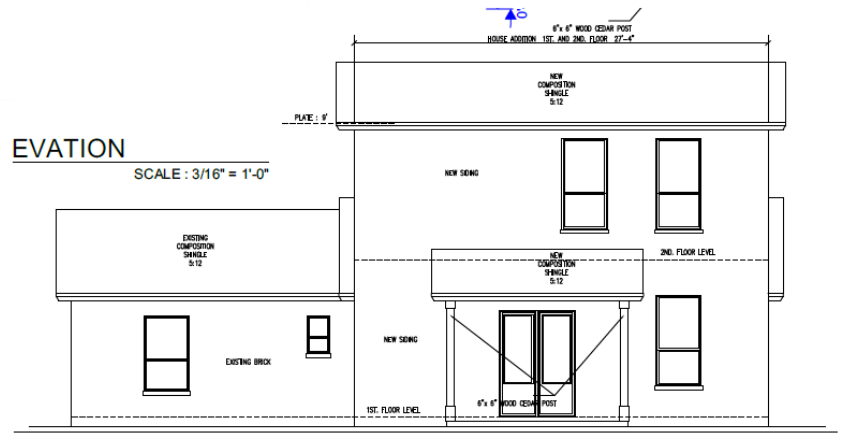
# Windows



2219 W Colorado  
 Height: 25'1"  
 Roof Pitch: 5/12  
 Square Footage: 2,213 SF

CT TO FIELD  
 OR APPROVAL

25'-1 1/2" HEIGHT  
 30' MAX HEIGHT





2219 W Colorado  
Height: 25'1"  
Roof Pitch: 5/12  
Square Footage: 2,213 SF

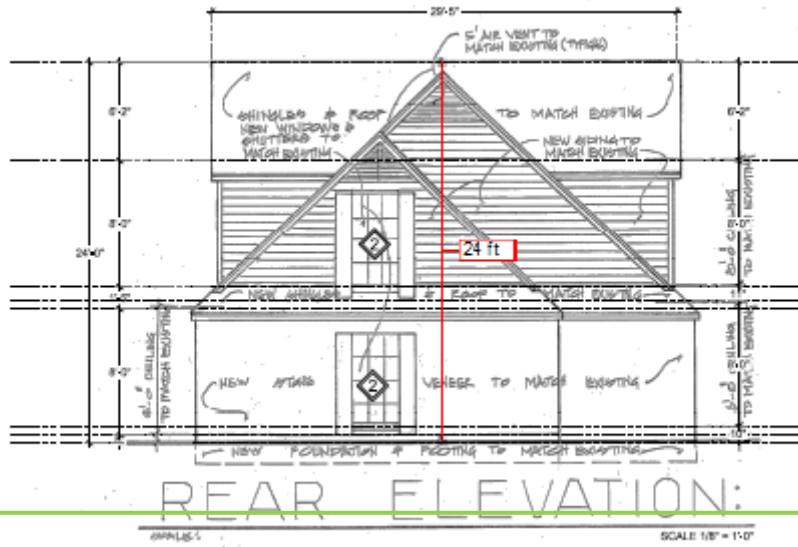
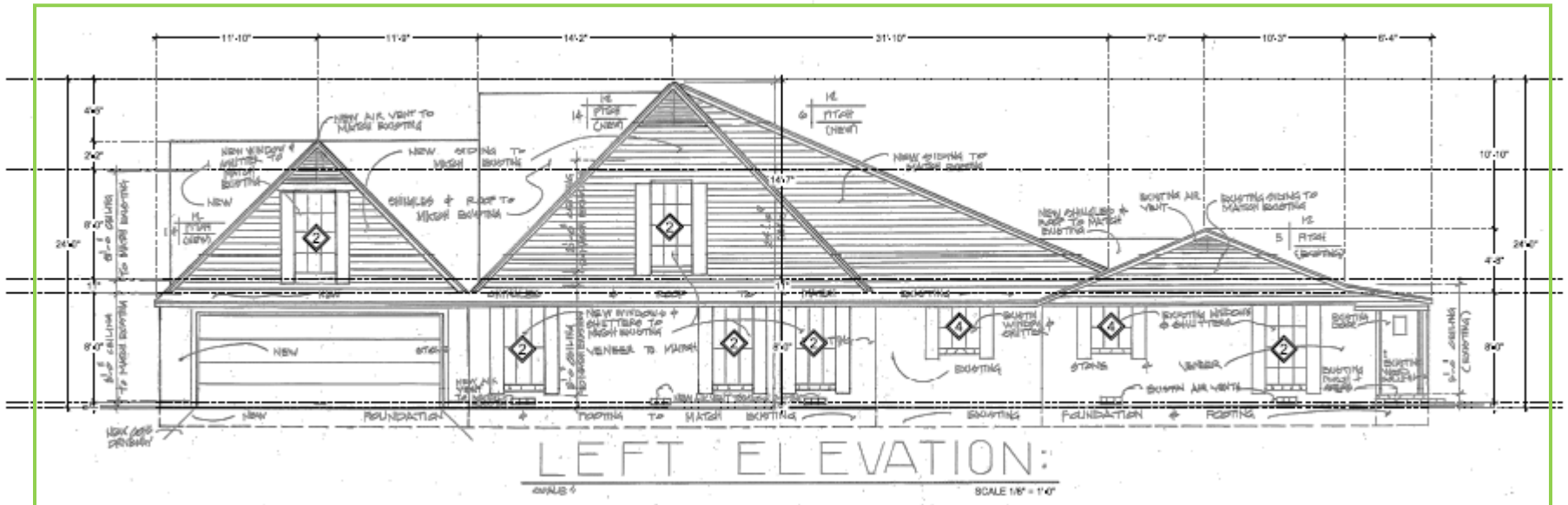




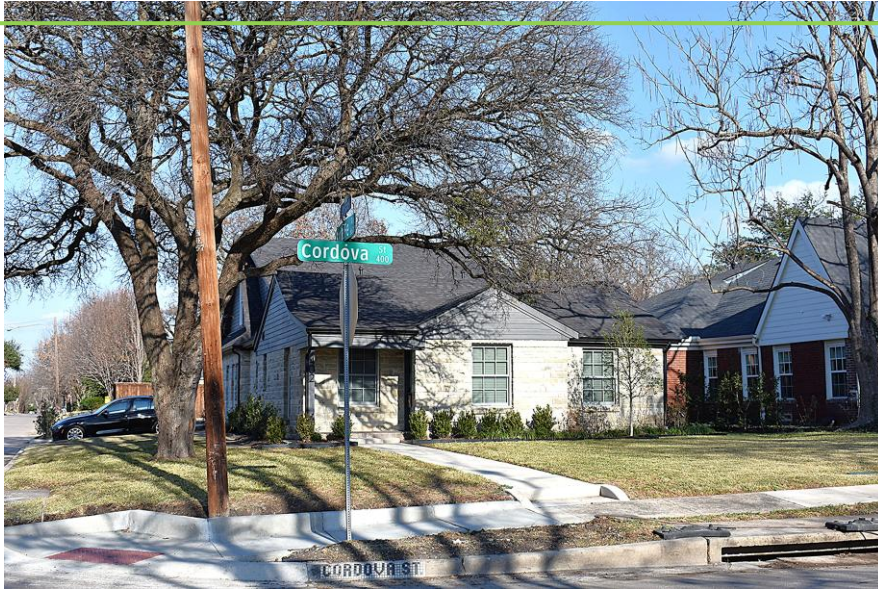


1817 Marydale  
CD-20 Stevens Park  
Height: 26' 9"  
Roof Pitch: 8/12, 6/12  
Square Footage: 3,398 SF





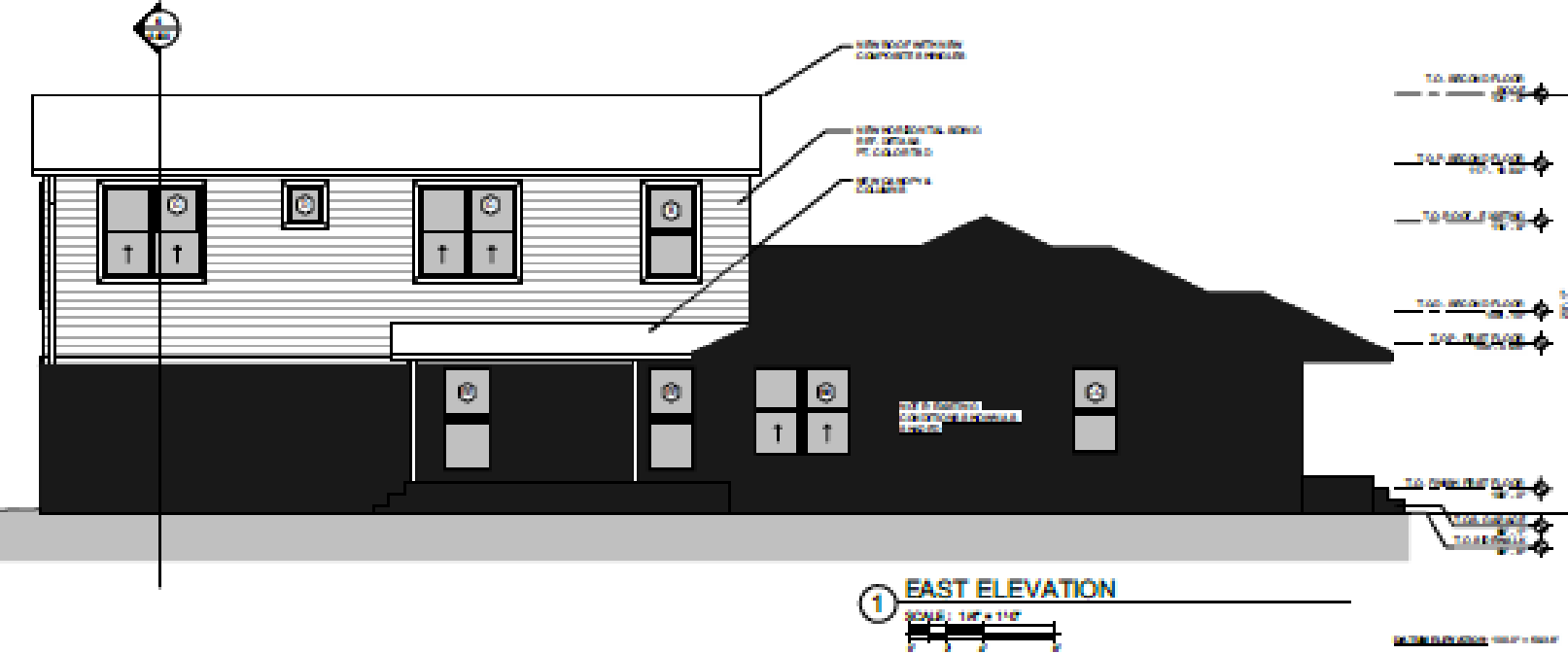
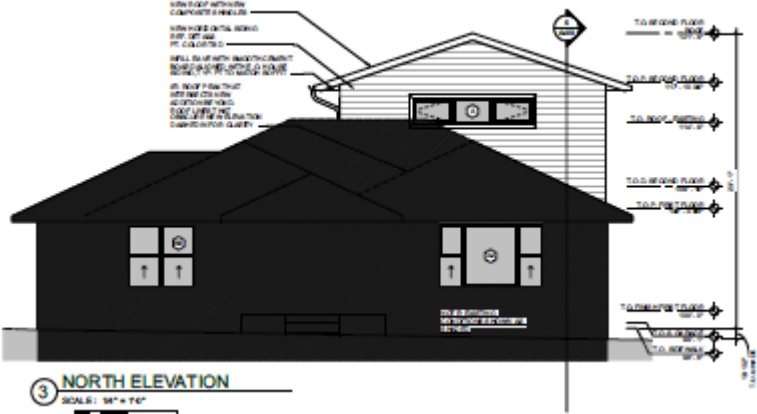
402 Cordova  
 CD-6 Hollywood/Santa Monica  
 Height: 24-feet  
 Roof Pitch: 5/12, 14/12  
 Square Footage: 3,277 SF



402 Cordova  
CD-6 Hollywood/Santa Monica  
Height: 24-feet  
Roof Pitch: 5/12, 14/12  
Square Footage: 3,277 SF



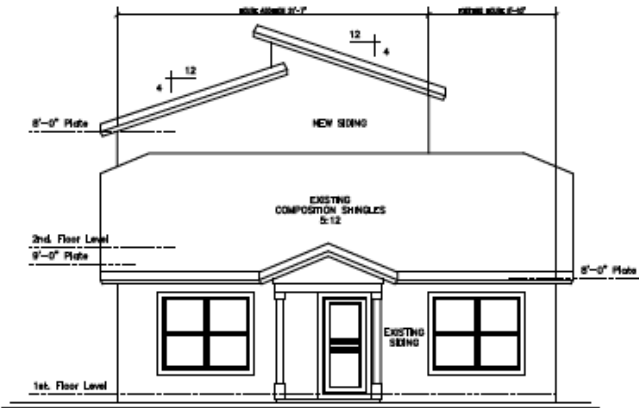
2704 Sunset  
 Height: 24'  
 Roof Pitch: 4/12  
 Square Footage: 2,397 SF



2704 Sunset  
Not a CD  
Height: 24'  
Roof Pitch: 4/12  
Square Footage: 2,397 SF

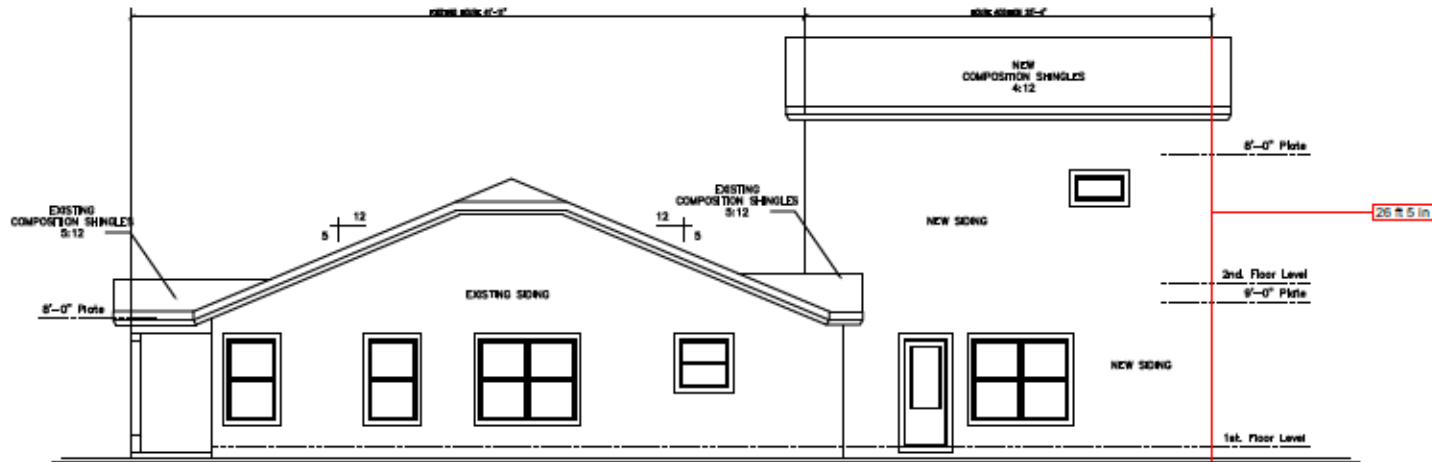


1522 W 12<sup>th</sup> Street  
 CD-4 Grenier  
 Height: 26'  
 Roof Pitch: 5/12, 4/12  
 Square Footage: 2,228 SF



## FRONT ELEVATION

SCALE : 3/16" = 1'-0"



## RIGHT ELEVATION

SCALE : 3/16" = 1'-0"



1522 W 12<sup>th</sup> Street  
CD-4 Grenier  
Height: 26'  
Roof Pitch: 5/12, 4/12  
Square Footage: 2,228 SF



## Next Steps

- **Next DRAFT review meeting February 17 at 6 pm**
- Providing any final edits from feedback on the draft.
- Final review by City Attorneys Office
- **City Plan Commission (notices mailed with comment reply card ahead of meeting)**
- **City Council (notices mailed with comment reply card ahead of meeting)**



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# Questions?

**Trevor Brown**

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**Melissa Parent**

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