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Stevens Park Village Proposed Conservation District: Ordinance DRAFT Review

February 17, 2026

<https://bit.ly/spvconservation>



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Neighborhood Committee Members

- Donovan Westover
- Lisa Abshire
- Sue Alvarez
- Nima Baha
- Greg Boggan
- Ed Callan
- Jerry Campbell
- JB Jones
- Jennifer Lichner
- John McCall
- Brian McKenzie
- Trudy Newton
- Scott Pharr
- Kathi Chandler
- Jessica Chiles
- Ken Godlove
- Loren Rutledge
- David Preziosi
- Alice Zaccarello

Purpose of This Meeting

- Discuss the DRAFT ordinance language of the proposed Conservation District and the companion Conceptual Plan
- Discuss central changes from existing base zoning

Purpose of a Conservation District

- Intended to provide a means of conserving an area's distinctive character by protecting or enhancing its physical attributes
- Protect the physical attributes of an area or neighborhood
- Promote development or redevelopment that is compatible with an existing area or neighborhood
- Promote economic revitalization
- Enhance the livability of the city
- Ensure harmonious, orderly, and efficient growth

Procedure

To speak during the discussion portions of tonight's meeting:

- Please raise your hand and wait to be recognized before you begin speaking
- Before your comments, **state your name and address** for the record
- All comments must be related to the topic being discussed at that time
- Provide input to inform City Staff to work toward an approach to accomplish your desired objective of maintaining the character of the neighborhood.
- You may also send City staff emails with additional information or materials at any time during the process.



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Discussion Agreements for this Meeting

- **Open Mindedness:** Listen to and respect all points of view.
- **Acceptance:** Suspend judgement as best you can.
- **Curiosity:** Seek to understand rather than persuade.
- **Discovery:** Question old assumptions, look for new insights.
- **Purpose:** Speak to the topic and contribute to discourse rather than air grievances

Neighborhood Concerns Addressed in Draft

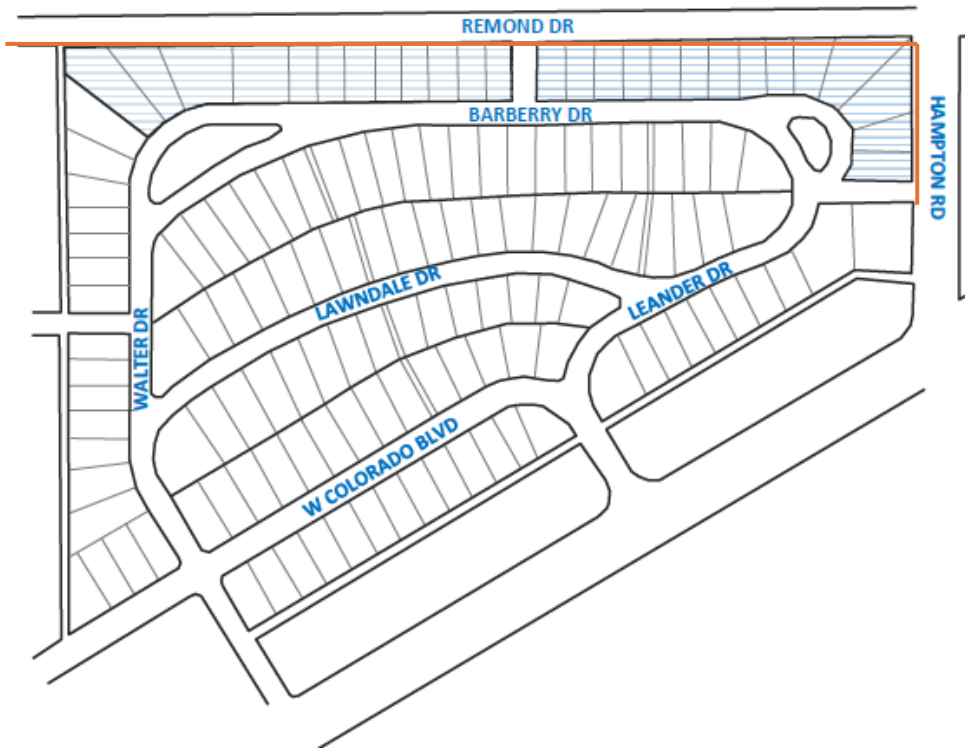
- protect architectural styles
- ensure compatibility of materials used in remodeling and new construction
- protect lot coverage
- protect consistent setbacks
- single-family land uses
- regulate height of structures
- regulate number of stories

Accessory Structures

Standard	R7.5(A)	Draft
Accessory Structures - Setbacks	<p>In rear 30% of lot: Under 15' in height require 0' side yard and 3' rear yard setback. Over 15' in height require 5' side yard and 5' rear yard setback. Outside of rear 30% of lot, accessory structures must meet main setbacks.</p>	<p>In rear 30% of lot: Under 15' in height require 0' side yard and 3' rear yard setback. Over 15' in height require 5' side yard and 5' rear yard setback. Outside of rear 30% of lot, accessory structures must meet main setbacks.</p>
Density	<p>1 dwelling on the lot - ADU may be granted by Board of Adjustment</p>	<p>1 dwelling + accessory or additional dwelling unit (ADU)</p>
Appearance/ Materials		<p>Materials, design, and roof pitch must be compatible with the main structure if visible from the street.</p>



Accessory Structures: Double-Frontage Lot Orientation

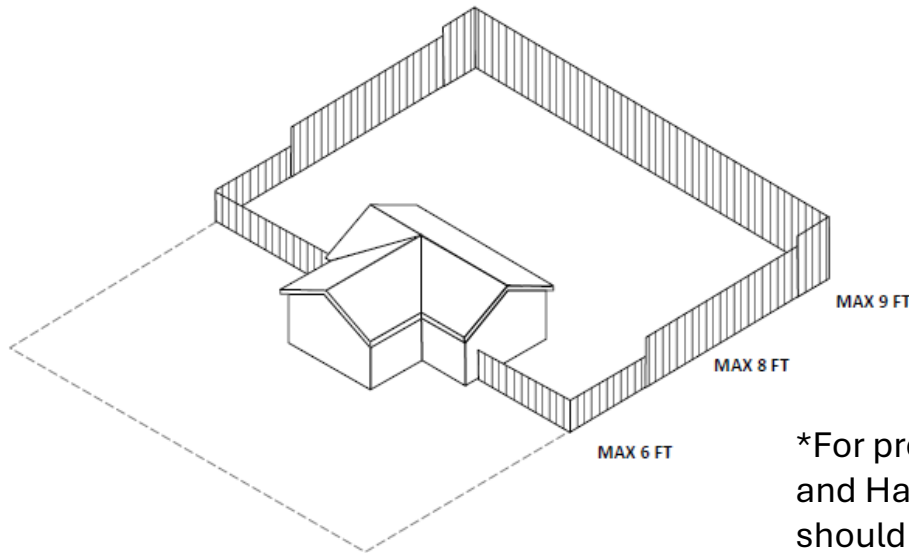


Special consideration shall be given to properties with 2 street frontages along Hampton Road and Remond Drive. These particular frontages are to be considered the rear property lines/rear yards, with Barberry and Leander respectively, considered the front of the property, and treated as such for all criteria.

**also applies to fences

Fences

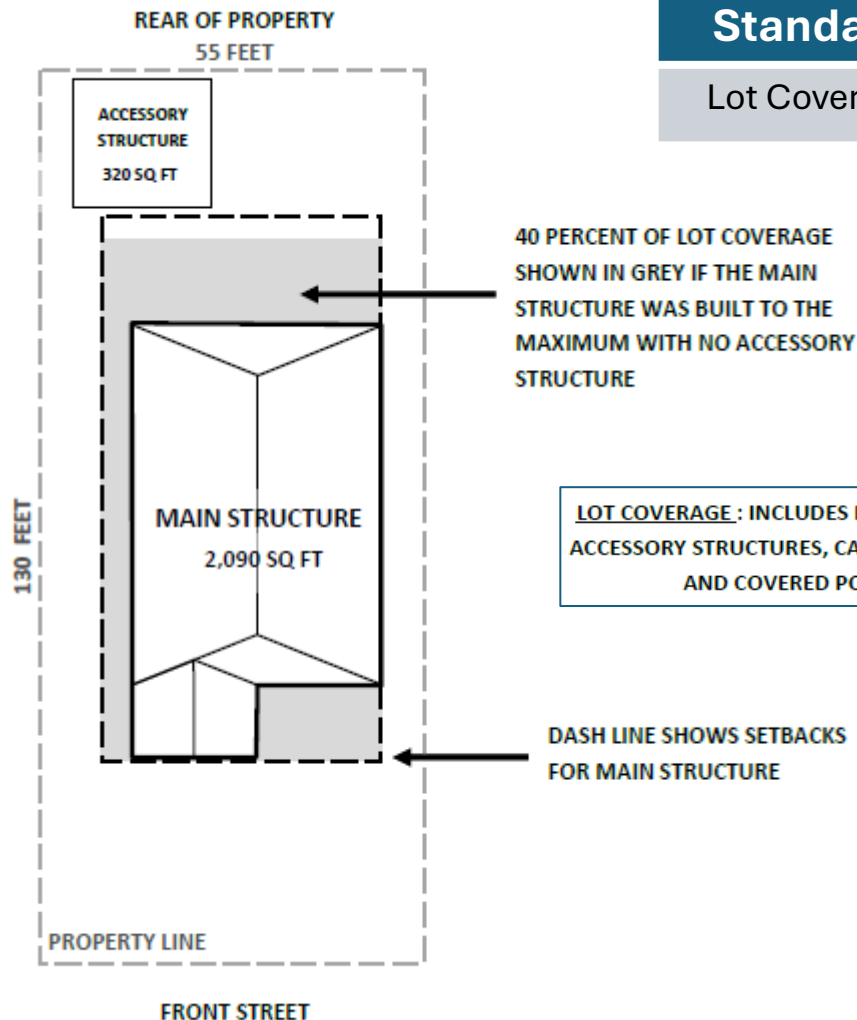
Standard	R7.5(A)	Draft
Fences –Front Yard	4' maximum	Not Permitted
Fences – Side Yard	9' maximum	6' maximum in the front 50% of property line and being setback a minimum of 5' from facade 8' maximum in the rear 50% of side property line
Fences – Rear Yard	9' maximum	9' maximum along rear property line



Materials: The consensus favored standard fencing materials like wood, brick, stone, wrought iron, and chain-link, or combinations of these materials. There was strong opposition to concrete, concrete block, and fabricated metal panels such as sheet or corrugated metal.

*For properties along Remond Drive and Hampton Road, these frontages should be treated as rear yards to allow rear fencing without variances.

Lot Coverage



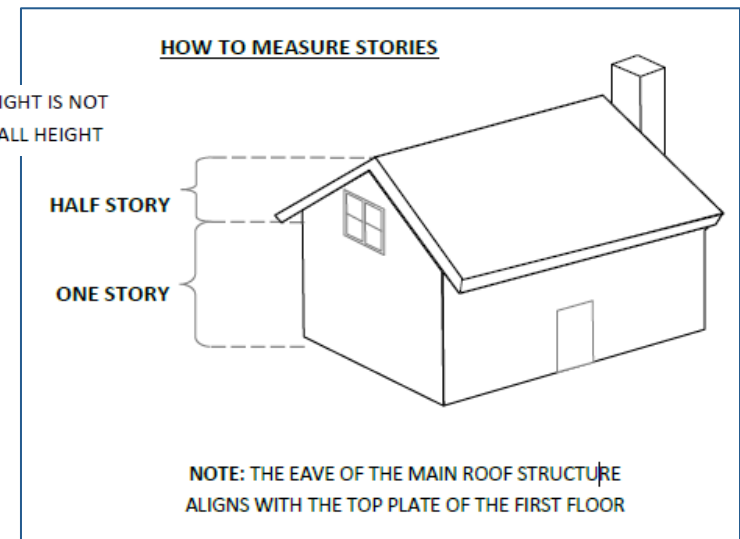
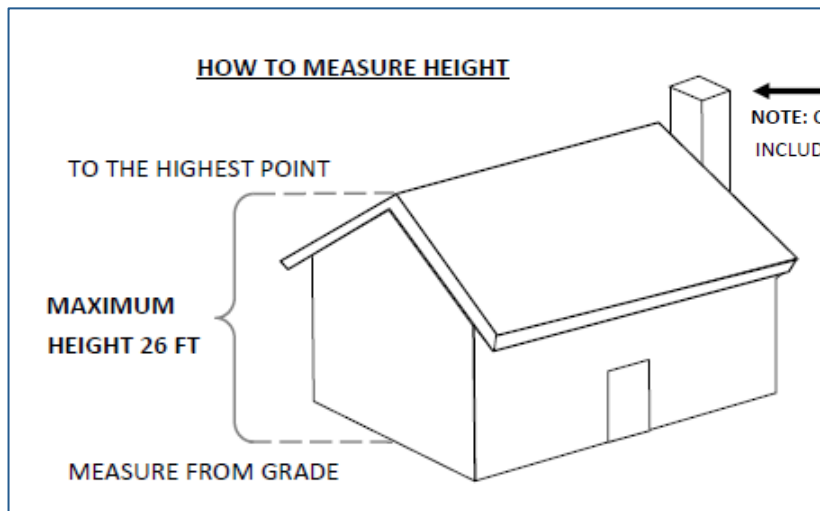
Standard	R7.5(A)	Draft
Lot Coverage	45%	40%

LOT COVERAGE : INCLUDES MAIN STRUCTURE, ACCESSORY STRUCTURES, CARPORTS, GARAGES AND COVERED PORCHES.

While the current standard allows for a maximum of 45% lot coverage, assessment of property surveys provided by neighborhood residents revealed in practice, **the majority of the lots are closer to 30% lot coverage.** It was determined that a maximum lot coverage of **40% would allow for continued growth on the lots while maintaining something compatible to the existing conditions.**

Height & Stories

Standard	R7.5(A)	Draft
Height	30' max at midpoint of roof	26' maximum height measured from grade to highest point (excluding chimneys)
Stories	No maximum	1.5 story maximum on front 50% of main structure 2 story maximum on rear 50%

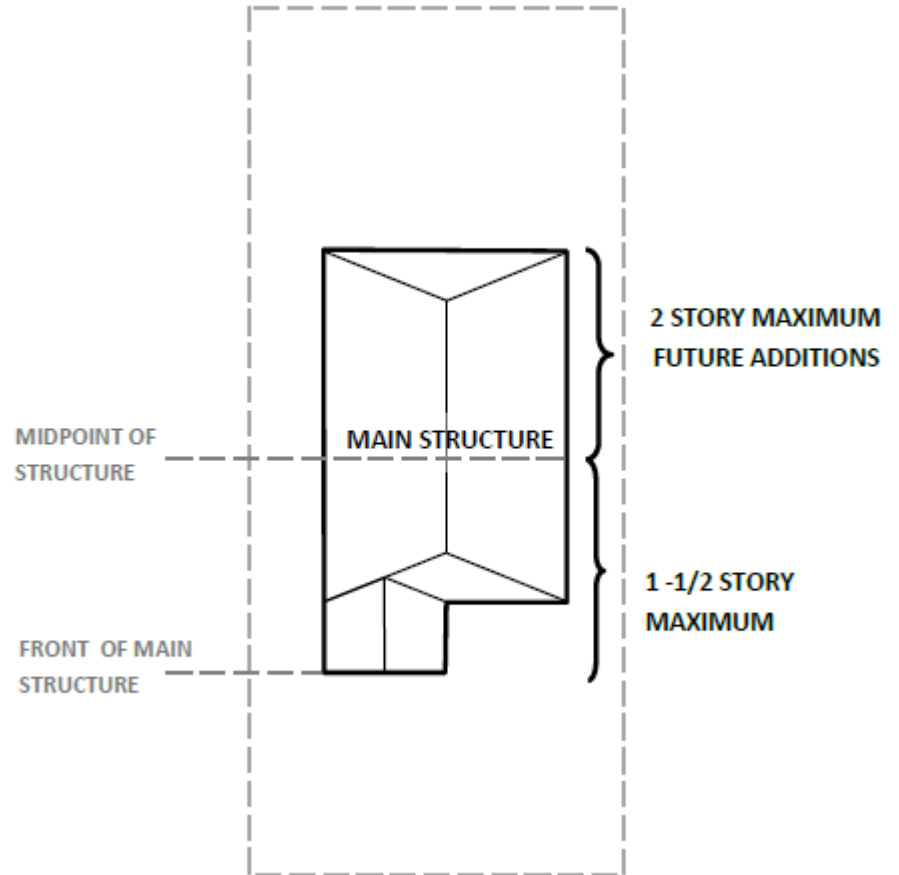


Height & Stories (continued)

EXAMPLES OF A ONE—AND ONE HALF STORY



EXAMPLES OF A REAR TWO—STORY POP UP ADDITION



Setbacks – Front Yard

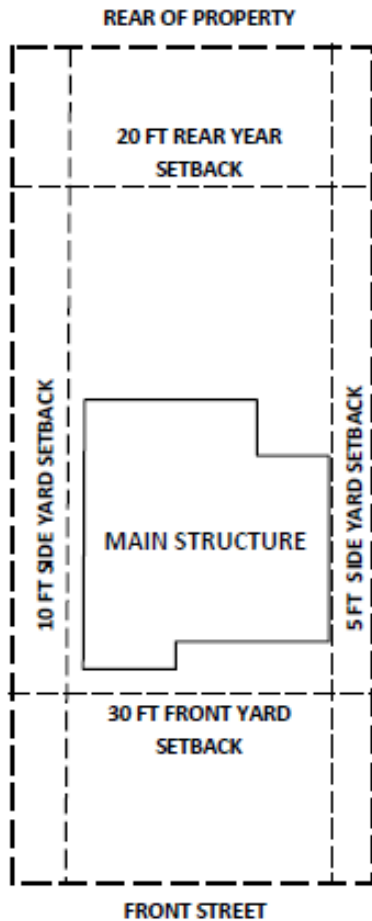
Standard	R7.5(A)	Draft
Front Yard Setback	25'	30' 25' for lots on south side of W. Colorado and Leander



Surveys provided determined that a standard setback of 30-foot would be in line with the original development pattern in the district. However, lots on the south side (even number address) of W. Colorado and Leander would require a 25-foot setback to match existing homes on those lots.

Setbacks – Side Yard

Standard	R7.5(A)	Draft
Side Yard Setback	5'	5' on one side and 10' on the other

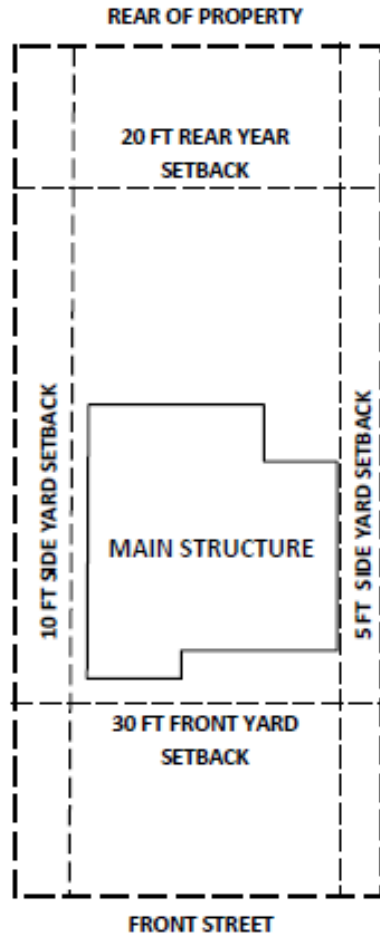


The consensus did want to allow for non-conforming setbacks to be maintained, with an allowance for vertical and horizontal additions to continue an existing setback.

**Irregular lots in gray below – 5' and 5'



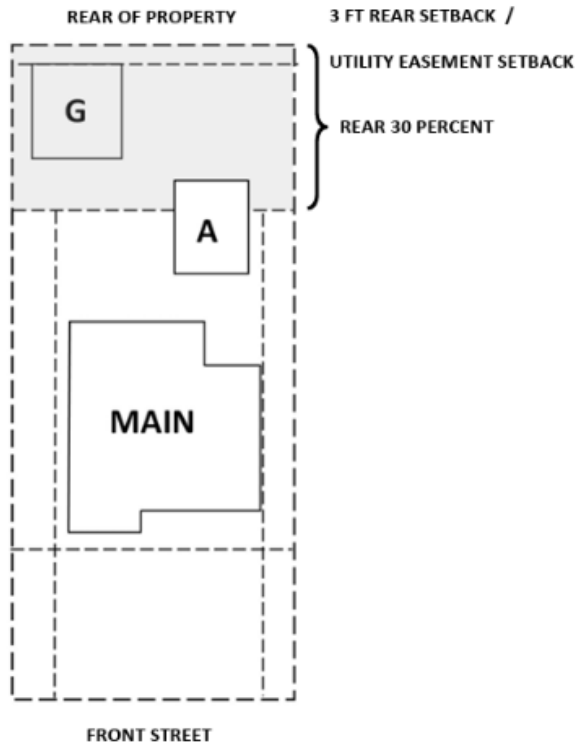
Setbacks – Rear Yard



Standard	R7.5(A)	Draft
Rear Yard Setback	5'	20'

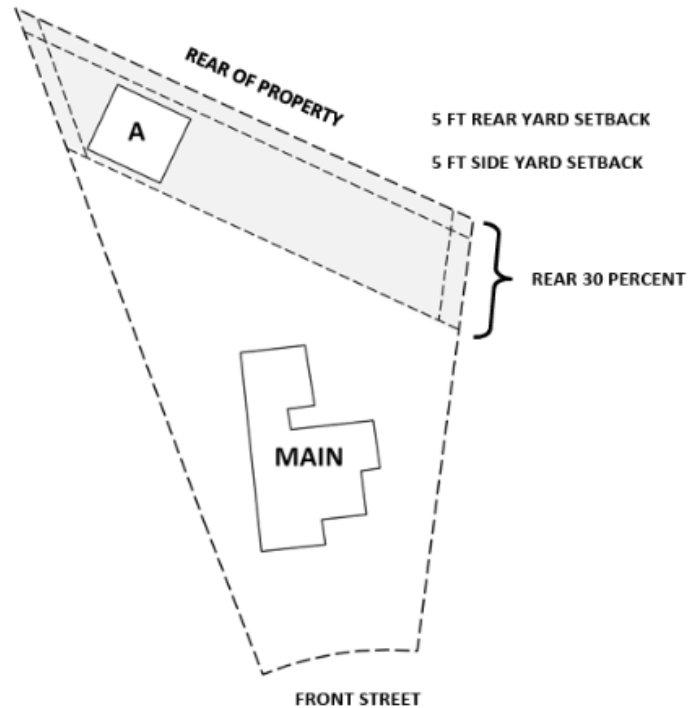
Consensus was that neighbors did not want to allow for construction to run the entire length of lots, and that backyards should have some open space. To account for this, it was determined that a 20-foot rear yard setback would suffice. ***Only applicable to the main structure. Accessory structures have separate setbacks**

Accessory Structures



REGULAR PROPERTY LOT

ACCESSORY STRUCTURE OUTSIDE OF THE REAR 30 PERCENT MUST MEET SIDE YARD SETBACKS OF THE MAIN STRUCTURE



IRREGULAR PROPERTY LOT

IF THE ACCESSORY STRUCTURE WITHIN THE REAR 30 PERCENT AND OVER 15 FT THEN SIDE AND REAR YARD ACCESSORY SETBACKS APPLY

Architectural Standards

- Two styles – Minimal Traditional & Ranch
- Standards apply to the front facade and first 25 feet of each side facade
- Standards for New Construction and Remodeling
 - Remodeling focus on materials and windows
 - New Construction focus on materials, roof type, windows, and minimum number of architectural features to be compatible with existing houses

Architectural Standards

- (5) Architectural standards for the front facade and within the wrap-around.
 - (a) Building materials. The following standards apply to the front facade and within the wrap-around.
 - (1) All materials and their application must be typical of the period and architectural style or be compatible with original main buildings designated with the same architectural style in the district.
 - (2) Cladding on a main building must be:
 - (i) Standard dimension brick in color blends of red/brown/orange or white/buff/blond are permitted.
 - (ii) Austin stone or materials that look like Austin stone.
 - (iii) Wood or materials that look like wood lap siding.
 - (3) Vinyl and metal siding are prohibited.

Architectural Standards

- (5) Architectural standards for the front facade and within the wrap-around.
 - (b) Front porches and enclosures.
 - (1) Front porches (stoops, raised patios/terraces) must comply with applicable architectural standards. Front porches must be typical of the district.
 - (2) A minimum of two front porch steps (with two risers) are required. See illustration in Exhibit C.
 - (3) Front porches, stoops, and raised patios/terraces must have a minimum depth of four feet.
 - (4) Front porches and stoop floors must be constructed of concrete.
 - (5) Porch supports or columns may be constructed of wood, wrought iron, brick, stone, or a combination of these materials.
 - (6) Front porches may not be enclosed. Infill, glass, and screening are prohibited.
 - (7) Porch roofs must have a minimum 2/12 roof pitch.

Architectural Standards

- (5) Architectural standards for the front facade and within the wrap-around.
- (c) Roofs.
- (1) Roofs must comply with the applicable architectural standards.
 - (2) Any flat or low pitch (roofs under 2/12 pitch) may use modified bitumen, thermoplastic polyolefin membrane (TPO), or ethylene propylene diene terpolymer membrane (EPDM).
 - (3) Compatible materials include standard shingles and standing seam metal, with any metal roofing in warm or muted earth tones such as brown, gray, weathered wood, or bronze/copper that will patina. Standing seam and shingle-like metal or solar products are allowed if non-reflective, while corrugated and R-panel metal are prohibited.

Architectural Standards

(5) Architectural standards for the front facade and within the wrap-around.

(d) Windows and doors.

- (1) Windows and doors must comply with the applicable architectural standards.
- (2) The following applies to windows and doors on the front facade and the wrap-around:
 - (A) Windows and doors must be typical of the style and period of the district.
 - (B) All windows must fit the wall opening. Infill surrounding windows is prohibited.
 - (C) Only transparent, stained, or leaded glass is allowed in windows and doors, except that bathroom windows located on side facades may be frosted, translucent, or opaque.
 - (D) Fixed windows are prohibited, except that fixed divided light windows are allowed in corner windows, dormers or gables located above the eaves.
 - (E) Window muntins and mullions must be expressed by a minimum of one-fourth inch. Grilles are prohibited between the glass. Window assemblies must have a profile depth of at least three inches.
 - (F) Window screens, storm windows, screen doors, and storm doors are permitted.

Areas of Concern

These are the areas that we have heard the most feedback from neighbors, meriting more discussion

- Window type – exterior divided light vs. between the glass grilles
- Window style – muntins/mullions (“grid”) vs. plate glass window
- Height

Windows

Feedback from last meeting:

- Okay with between the glass grilles and non-operable windows
- Many want to allow plate glass (no division, just one sheet of glass) but there is a need to restrict size or area that can have them
- Maintain openings consistent with original houses

Windows

Divided Light



Between the Glass Grille



Plate Glass

Windows



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Windows



Windows



Windows



Windows

Questions:

- How important is it that new windows, including plate glass, reflect the typical window patterns and rhythm of contributing buildings in the district?
- Should between-the-glass grilles be considered an acceptable substitute for true divided-light or exterior muntin windows on street-facing facades?
- Should plate glass windows be required to include mullions, divided lights, or framing patterns to reduce the appearance of a single large pane?

Height & Stories

Feedback from last meeting:

- Consider measuring height from the finish floor level rather than grade. Still okay with 26' maximum.
- Some felt that restricting to two stories behind the 50% mark was too restrictive. Consider allowing to go up closer to front or allow full two story.
- Only 9%, or 13 of 137, of existing houses are 1.5 or 2 stories or have a 2-story rear addition.



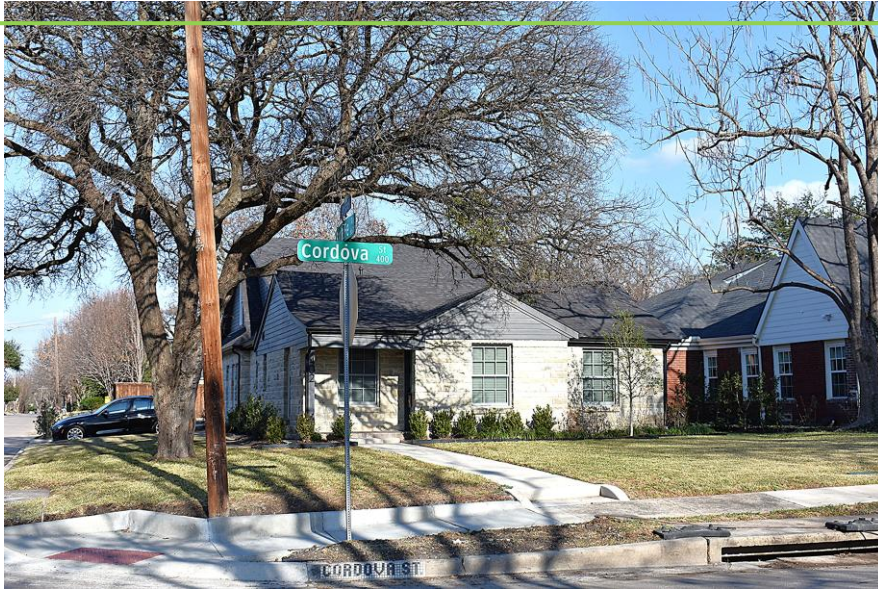
2219 W Colorado
Height: 25'1"
Roof Pitch: 5/12
Square Footage: 2,213 SF





1817 Marydale
CD-20 Stevens Park
Height: 26' 9"
Roof Pitch: 8/12, 6/12
Square Footage: 3,398 SF





402 Cordova
CD-6 Hollywood/Santa Monica
Height: 24-feet
Roof Pitch: 5/12, 14/12
Square Footage: 3,277 SF



2704 Sunset
Not a CD
Height: 24'
Roof Pitch: 4/12
Square Footage: 2,397 SF





1522 W 12th Street
CD-4 Grenier
Height: 26'
Roof Pitch: 5/12, 4/12
Square Footage: 2,228 SF



Height & Stories



Height & Stories



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Height & Stories

Search Google Maps



6107 Anita St

Dallas, Texas

Google Street View

Apr 2022 See latest date



6107 Anita St

Dallas, Texas

Google Street View

Oct 2025 See latest date



Height & Stories

Questions:

- Do you feel like the size of existing houses is a character defining feature of the neighborhood?
- Should regulations address perceived height (overall massing and bulk) in addition to measured height?
- Should upper stories be required to be stepped back from the primary façade to reduce the visual impact of taller homes?
- What are your biggest concerns regarding height of houses?

Neighborhood Committee Members

- Donovan Westover
- Lisa Abshire
- Sue Alvarez
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- Kathi Chandler
- Jessica Chiles
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- Loren Rutledge
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- Alice Zaccarello

Feedback & Input

- Express any concerns (preferably in writing) to members of the Neighborhood Committee for discussion
- Email City staff and include your name, address, and area of concern in the subject line of email

Next Steps

- Gather additional feedback on the draft
- City will work with Neighborhood Committee to address any loose ends
- Revise draft ordinance to reflect discussion
- Final review by City Attorneys Office
- **City Plan Commission (notices mailed with comment reply card ahead of meeting)**
- **City Council (notices mailed with comment reply card ahead of meeting)**



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**All presentations and
recordings of meetings are
available on website:**

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Questions?

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