

South Winnetka Heights Proposed Conservation District

Post-Application Neighborhood Meeting No. 8

February 6, 2023

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Post-Application Neighborhood Meeting No. 8

Staff Contact

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Project Webpage

https://bit.ly/S_Winnetka_CD

Agenda

- Recap
 - Garage Location / Entrances
 - Fences / Retaining Walls
 - Demolition
- Discussion
 - Architectural styles – Contributing and Non-Contributing, new construction standards, remodel/addition standards
 - Building Elevations/Materials, Roofing materials, Roof Form/Pitch, windows, porches, chimneys, dormers
 - Next Steps



Purpose of a Conservation District

- Intended to provide a means of conserving an area's distinctive character by protecting or enhancing its physical attributes
- Protect the physical attributes of an area or neighborhood
- Promote development or redevelopment that is compatible with an existing area or neighborhood
- Promote economic revitalization
- Enhance the livability of the city
- Ensure harmonious, orderly, and efficient growth



CD Proposed Boundaries



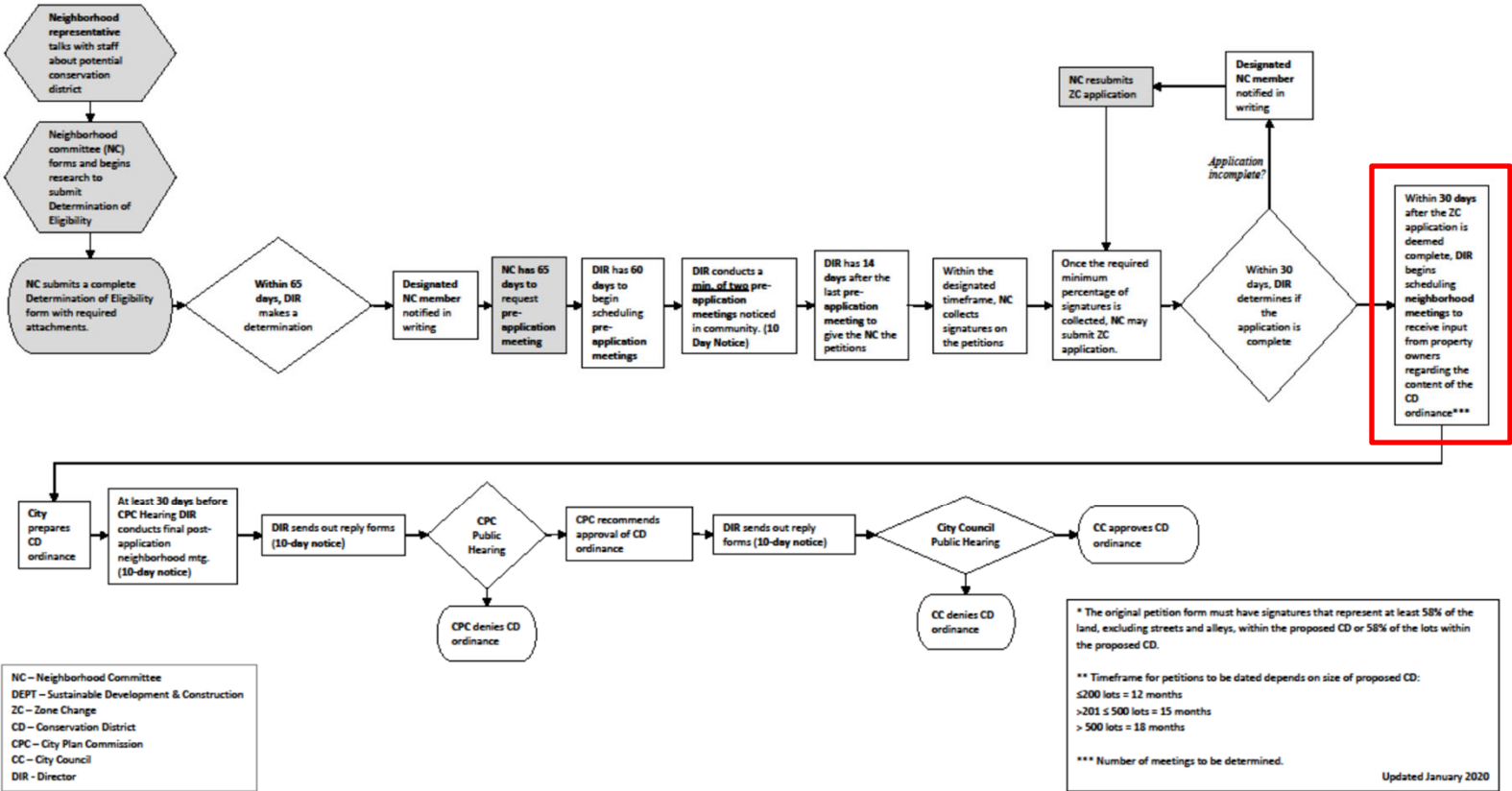
Purpose of This Meeting

- This meeting is the 8th Post-Application Neighborhood Meeting to discuss the CD creation process.
- Develop the specific details for the development standards and architectural standards your neighborhood chose for consideration.
- Agenda
 - Recap
 - Garage Location / Entrances
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 - Next Steps



CD Creation Flow Chart

General Process to Adopt a New Conservation District



Process for establishing a CD

- Neighborhood committee submits a pre-application form (complete).
- City holds pre-application meetings with property owners to discuss and establish a list of categories of development and architectural standards the property owners are interested in establishing for a new conservation district.
- The neighborhood committee meets with property owners to ensure awareness of the process and active participation throughout the neighborhood.
 - Emphasis on consensus among all property owners in neighborhood.
- Neighborhood committee and property owners convey additional comments on categories and elements.



Process for establishing a CD

- City holds additional pre-application meetings with property owners to develop and finalize categories of standards for the proposed CD
 - These categories form the basis of CD establishment petition.
- The City drafts petition language with input received from the neighborhood committee and property owners at these pre-application meetings.
- The city provides neighborhood committee with petitions.
 - Neighborhood committee will have 12 months to obtain the necessary percentage of signatures and submit them to the City. 58% of the land or 58% of the lots is required
- Staff verifies the signatures and petitions.



Process for establishing a CD

- Once petitions are verified, neighborhood committee submits zoning change application with appropriate fees, if necessary.
 - Fee waived if petitions are signed by a minimum of 75% of property owners
- This application is the beginning of the zoning change process.
- The City begins scheduling neighborhood meetings as needed to work out proposed detailed regulations in each of the categories
 - Multiple meetings held
 - Neighborhood committee works to ensure all voices are heard and everyone is aware of process
- At the conclusion of the series of meetings, City prepares ordinance
- City holds neighborhood meeting to review draft language
- City Plan Commission public hearing and recommendation
- City Council public hearing and decision

YOU
ARE
HERE



Background

- August 2019 – first inquiry into a CD
- July 2020 – Determination of Eligibility for pre-application
- August 20, 2020 - Neighborhood committee (10 property owners) submitted a request for pre-application meetings to begin the process of potentially creating a new Conservation District.



Background

- November 9, 2020 - 1st Pre-application Meeting.
- July 19, 2021 - 2nd Pre-application Meeting
- July 29, 2021 - Petitions provided to Neighborhood Committee for collection of property owner signatures.
- July 29, 2022 – 71 petitions were submitted by the Neighborhood Committee for verification.
- August 29, 2022 - Planning & Urban Design staff verified 76% of the petitions.



Meeting Schedule

- Post-Application Neighborhood Meeting #1 – September 29
 - Process, schedule, driveways/curbing, front walk, front yard impervious coverage, lot size.
- Post-Application Neighborhood Meeting #2 – October 17
 - Lot size, use and parking, density, lot coverage, building height & stories, Floor Area Ratio
- Post-Application Neighborhood Meeting #3 – November 1 (Tuesday)
 - Overall goals, building height & stories, paint, solar
- Post-Application Neighborhood Meeting #4 – November 14
 - Recap of overall goals, building height & stories, Floor Area Ratio, paint, solar
- Post-Application Neighborhood Meeting #5 – December 5
 - Setbacks-main, setbacks-accessory, accessory structures
- Post-Application Neighborhood Meeting #6 – January 9
 - Foundations, steps, fences, retaining walls, demolition



Meeting Schedule

- Post-Application Neighborhood Meeting #7 – January 24
 - Garage Location/Entrance, Fences / Retaining Walls, Demolition
- Post-Application Neighborhood Meeting #8 – February 6
 - Demolition, Architectural styles – Contributing and Non-Contributing, Contributing architectural styles, new construction standards, remodel/addition standards
 - Building Elevations/Materials, Roofing materials, Roof Form/Pitch, windows, porches, chimneys, dormers
- Post-Application Neighborhood Meeting #9 – February 21
 - Architectural styles – Craftsman, Transitional Bungalow
- Post-Application Neighborhood Meeting #10 – March 6
 - Work reviews
- Post-Application Neighborhood Meeting #11 – TBD
 - If needed
- Post-Application Neighborhood Meeting #12 – TBD
 - If needed



Meeting Schedule (cont.)

- Final Post-Application Neighborhood Meeting – TBD
- Ordinance Review (30-60 days after last meeting)
- City Plan Commission – TBD
- City Council – TBD



Topics for Discussion:

- Accessory Structures - proposed regulations may include:
 - Location.
- Building & Structure Height - proposed regulations may include:
 - Modifying how height is measured.
 - Establishing the maximum allowed height for structures, including accessory structures.
- Building Width - proposed regulations may include:
 - Minimum building width.
- Density - proposed regulations may include:
 - Considering maximum density.



Topics for Discussion (cont.):

- Driveways, Curbs, and Sidewalks - proposed regulations may include:
 - Locations, access points, materials, dimensions, and types.
 - Provisions for non-conforming driveways and walks.
- Fences & Walls - proposed regulations may include:
 - Location, height, style & materials.
- Foundations - proposed regulations may include:
 - Foundation types, materials, height, and appearance.
 - Provisions for remodels or additions to existing structures.
- Lot Coverage



Topics for Discussion (cont.):

- Off-street Parking - proposed regulations may include:
 - Minimum parking standards per dwelling unit.
- Permitted Uses - proposed regulations may include:
 - Single family
- Setbacks - proposed regulations may include:
 - Modifying front, side, and rear setback requirements.
 - Provisions for non-conforming contributing structures.
- Stories - proposed regulations may include:
 - Maximum stories allowed.
 - Provisions for non-conforming contributing structures



Topics for Discussion (cont.):

- Accessory Structures - proposed regulations may include:
 - Style and materials.
 - Roof slope.
 - Replacement or Remodeling of existing accessory structures - clarifying the architectural styles, materials, size, and applicability.
- Architectural Styles - proposed regulations may include:
 - Defining the architectural styles allowed.
 - Standards for remodels and additions.
 - Standards for new construction.
 - Provisions for existing non-contributing structures.



Topics for Discussion (cont.):

- Building Elevations - proposed regulations may include:
 - Minimum architectural features required.
 - Standards for new construction.
 - Standards for remodels and additions.
 - Provisions for existing non-contributing structures.
- Building Materials - proposed regulations may include:
 - Material types.
 - Applicability and placement of certain allowed materials.
 - Provisions for existing non-contributing structures.



Topics for Discussion (cont.):

- Chimneys - proposed regulations may include:
 - Materials, form, & placement.
- Demolition - proposed regulations may include:
 - Applicability to contributing structures.
 - Provisions for existing non-contributing structures.
- Dormers - proposed regulations may include:
 - Dormer size, location, and styles.
 - Provisions for remodels or additions to non-contributing structures.



Topics for Discussion (cont.):

- Garage Location and Entrance - proposed regulations may include:
 - Garage and garage door placement.
 - Provisions for remodels or additions to non-conforming structures.
- Impervious Surfaces and Hardscaping - proposed regulations may include:
 - Materials and allowable percentage of front yard coverage.



Topics for Discussion (cont.):

- Porch Styles - proposed regulations may include:
 - Styles, materials, placement, size, and detailing.
 - Standards for enclosures.
 - Provisions for remodels or additions to existing structures.
- Roof Form and Pitch - proposed regulations may include:
 - Provisions for remodels or additions to existing structures.
- Roofing Materials - proposed regulations may include:
 - Provisions for remodels or additions to existing structures.



Topics for Discussion (cont.):

- Solar Energy Systems and Components - proposed regulations may include:
 - Locations and type.
 - Provisions for remodels or additions to existing non-contributing structures.
- Steps - proposed regulations may include:
 - Location, style, materials & dimensions.
- Windows - proposed regulations may include:
 - Placement, architectural standards, materials, and types.
 - Provisions for remodels or additions to existing structures.



Topics for Discussion (cont.):

- Work Reviews - proposed regulations may include:
 - Language to detail the requirements for a work review.



Procedure

To speak during the discussion portions of tonight's meeting:

- Please raise your hand and wait to be recognized before you begin speaking
- Before your comments, **state your name and address** for the record
- All comments must be related to the topic being discussed at that time
- Provide input to inform City Staff to work toward an approach to accomplish your desired objective of maintaining the character of the neighborhood.
- **Write name and address on comment sheets.**



Recap: Guiding Principles for CD

For what ideas has agreement been reached?

- Status Quo Insufficient - Current City of Dallas Code will allow development that is incompatible with the existing character of the neighborhood.
- Preserve Character - The neighborhood has expressed a desire to preserve its character.
- Standards Required - Some degree of additional standards will be necessary to maintain the characteristics of the neighborhood and meet the desire of the residents.
- Conservation District - We are meeting to develop the specific details for the development standards and architectural standards your neighborhood chose for consideration.



Recap: Common Themes Expressed

- Preserve architectural characteristics –
Craftsman homes
- Avoid McMansions –
Incompatible form and massing
- Retain the “feel” of the neighborhood –
Development pattern
- Allow for flexibility and individuality
- Allow for two-story homes
- Don't make people remove what currently exists



Recap – Garage Location and Entrance

What we heard:

- No front-facing attached garages.
- All garages will be to the rear of the main structure.
- Rear-entry garages from the alley are permitted.
- Pull-through garages are okay.



Recap – Garage Location and Entrance



Recap – Fences and Walls

➤ Location

- Front yard fences are allowed
- Fences in side yard must be set back from front facade (excluding porches) a minimum of three feet

➤ Height

- Front yard: not to exceed four feet in height
- Side yard: not to exceed eight feet
- Rear yard: not to exceed nine feet

➤ Style

- Allow board-on-board (not front yard), picket, wrought iron, chain link

➤ Materials

- Wood, wrought iron (or similar in appearance), wrought iron with brick columns, chain link
- Prohibit use of stone, concrete block, metal panel



Recap – Fences and Walls

➤ Location – Front Yard



Recap – Fences and Walls

➤ Location – Interior Lots



Recap – Demolition

What we heard:

- General support of some sort of demolition protection.

Further Discussion:

- What structures should be protected?
 - All houses?
 - Houses built before a certain date?
- Are other measures already discussed meant to incentivize retention of existing houses enough?



Discussion: Demolition

- Of the 95 total houses in the area 59 are Craftsman; 25 are Transitional Bungalow; 8 undefined; 2 vacant lots; 1 Transitional American Foursquare.
- In the district, according to the 2019 DCAD data, the average age of the homes is 95 years old (1925), with the following breakdown shown below:
 - From 1900 - 1919, 10 houses were built.
 - From 1920 – 1929, 61 houses were built.
 - From 1930 – 1939, 19 houses were built.
 - From 1940 – present, 3 houses have been built.



Petition Topic: Architectural Styles

Proposed regulations may include:

- Defining the architectural styles allowed.
- Standards for remodels and additions.
- Standards for new construction.
- Provisions for existing non-contributing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Architectural Styles

- What are the prominent architectural styles in your neighborhood?
- What architectural styles contribute to your neighborhood?
- What is the most important area of houses where architectural standards should apply for remodels and additions?
- What architectural standards should be put in place for new construction?
 - What do you want new construction to look like?
- Should remodeling existing non-contributing structures be held to architectural standards?
 - Do you want non-conforming structures to be more like your houses? (If they choose to remodel)
- Do you wish to define demolition for purposes of remodels and additions to existing structures?



Discussion: Architectural Styles



Discussion: Architectural Styles



Discussion: Architectural Styles



Petition Topic: Building Elevations/Materials

Proposed regulations may include:

- Minimum architectural features required.
- Material types.
- Applicability and placement of certain allowed materials.
- Provisions for existing non-contributing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Building Elevations/Materials

- What are the dominant features of prominent architectural styles in your neighborhood?
- What materials do you see most frequently for things like siding, columns, porches, etc.?
- Are you okay with modern materials meant to mimic historic materials, such as Hardie cement lap siding, or metal or vinyl siding?
- Are there materials that are not compatible with original houses?
- Are there places where you see use of different material?
 - Gable, water table, skirting



Discussion: Building Elevations/Materials



Discussion: Building Elevations/Materials



Petition Topic: Roof

Roof Form and Pitch

Proposed regulations may include:

- Provisions for remodels or additions to existing structures.

Roofing Materials

Proposed regulations may include:

- Provisions for remodels or additions to existing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Roof



Petition Topic: Dormer

Proposed regulations may include:

- Dormer size, location, and styles.
- Provisions for remodels or additions to non-contributing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Dormer



Petition Topic: Chimney

Proposed regulations may include:

- Materials, form, & placement.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Chimney



Petition Topic: Porches

Proposed regulations may include:

- Styles, materials, placement, size, and detailing.
- Standards for enclosures.
- Provisions for remodels or additions to existing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Porches



Discussion: Porches



Petition Topic: Windows

Proposed regulations may include:

- Placement, architectural standards, materials, and types.
- Provisions for remodels or additions to existing structures.

Existing Regulations – Dallas Development Code

- NONE.



Discussion: Windows

- Anything in general about windows that want for all properties outside of those standards that will be style specific?
- Materials – wood, vinyl, metal (including finish)
- Type of glass - transparent, tinted, mirrored, opaque
- Operability
- Considerations for bathrooms



Discussion: Windows



Discussion: Windows



Discussion: Windows

Grilles



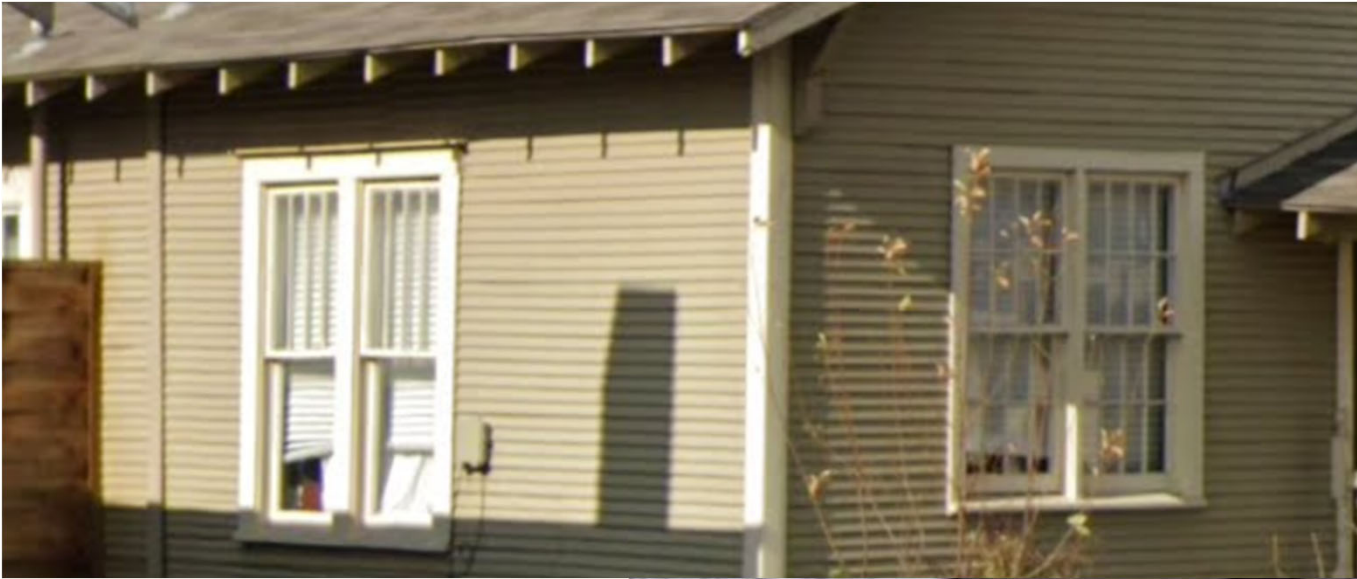
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Discussion: Windows



Discussion: Windows



Next Steps

- Neighborhood Meeting #9: February 21** (Tuesday)
- Neighborhood Meeting #10: March 6
- Neighborhood Meeting #11-12: If needed
- Final Neighborhood Meeting to review ordinance:
Date TBD
- City Plan Commission Public Hearing: Date TBD
(notified 10 days before)
- City Council Public Hearing: Date TBD (notified 14
days before)

****Tuesday Meeting ****



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Next Meeting February 21, 6:00 pm

(Tuesday)

**** Arts Mission Oak Cliff ****

410 S. Windomere Avenue

- Recap
- Discussion
 - Architectural Styles
 - Craftsman
 - Transitional Bungalow

- Next Steps



Thank You!

