

6-21-06

ORDINANCE NO. 26391

An ordinance amending the zoning ordinances of the City of Dallas, as amended, by changing the zoning classification on the following described property:

An area bounded by Laneri Avenue on the west, the alley north of Goodwin Avenue on the north, Greenville Avenue on the east, and the alley south of Richard Avenue on the south, from an R-7.5(A) Single Family District, an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1, and a TH-3(A)-MD-1 Townhouse District with Modified Delta Overlay No. 1 to Conservation District No. 15 (the Vickery Place Conservation District) with retention of Modified Delta Overlay No. 1; approving the conceptual plan for this conservation district; providing a purpose statement; providing regulations and procedures for this conservation district; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council of the City of Dallas find that the property described in Section 1 of this ordinance is an area of cultural and architectural importance and significance to the citizens of the city; and

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable ordinances of the city, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to establish this conservation district; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. Creation of the conservation district. That the zoning classification is changed from an R-7.5(A) Single Family District, an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1, and a TH-3(A)-MD-1 Townhouse District with Modified Delta Overlay No. 1 to Conservation District No. 15 (the Vickery Place Conservation District) with retention of Modified Delta Overlay No. 1 on the property described in Exhibit A, attached to and made a part of this ordinance.

SECTION 2. Approval of the conceptual plan. That the conceptual plan for the Vickery Place Conservation District, which is attached to and made a part of this ordinance as Exhibit C, is approved.

SECTION 3. Purpose. That this conservation district is established to conserve the Vickery Place neighborhood, and to protect and enhance its significant architectural and cultural attributes. The conservation district regulations ensure that new construction, renovation, and remodeling are done in a manner that is compatible with the architectural and cultural attributes of the conservation district. The conservation district regulations also address landscaping within the district. The conservation district regulations are attached to and made part of this ordinance as Exhibit B.

SECTION 4. Zoning district maps. That the director of the department of development services shall correct Zoning District Map Nos. H-8 and I-8 in the offices of the city secretary, the building official, and the department of development services, to reflect the changes in zoning made by this ordinance.

SECTION 5. Penalty clause. That a person who violates a provision of this ordinance is guilty of a separate offense for each day or portion of a day during which the violation is committed, continued, or permitted, and each offense is punishable by a fine not to exceed \$2,000.

SECTION 6. Saving clause. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 7. Severability clause. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of Chapter 1 of the Dallas City Code, as amended.

SECTION 8. Effective date. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas and it is accordingly so ordained.

APPROVED AS TO FORM:

THOMAS P. PERKINS, JR., City Attorney

By 
Assistant City Attorney

Passed JUN 28 2006

Exhibit A - General Legal Description for Vickery Place

An area generally bounded by both sides of Goodwin Avenue to the north, Greenville Avenue to the east, both sides of Richard Avenue to the south and Laneri Avenue to the west.

Full legal description

BEGINNING on Laneri Avenue at the point of intersection of the centerline of the alley between Goodwin Avenue and Vanderbilt Avenue,

THENCE, in an easterly direction, along the centerline of the alley between Goodwin Avenue and Vanderbilt Avenue to the point of intersection with the centerline of McMillan Avenue, to a point for corner;

THENCE, in a southerly direction along the centerline of McMillan Avenue to the point of intersection with the centerline of the alley between Goodwin Avenue and Vickery Avenue,

THENCE, in an easterly direction, along the centerline of the alley between Goodwin Avenue and Vickery Avenue, to the point of intersection with the centerline of Greenville Avenue, to a point for corner;

THENCE, in a southerly direction along the centerline of Greenville Avenue to the point of intersection with the centerline of the alley between Miller Avenue and Vickery Avenue,

THENCE, in a westerly direction, along the centerline of the alley between Miller Avenue and Vickery Avenue, to the point of intersection with the centerline of Worcola Street,

THENCE, in a southerly direction along the centerline of Worcola Street to the point of intersection with the centerline of the alley between Miller Avenue and Willis Avenue,

THENCE, in a westerly direction, along the centerline of the alley between Miller Avenue and Willis Avenue, to the point of intersection with the centerline of McMillan Avenue,

THENCE, in a southerly direction along the centerline of McMillan Avenue to the point of intersection with the centerline of the alley between Richard Avenue and Willis Avenue,

THENCE, in an easterly direction, along the centerline of the alley between Richard Avenue and Willis Avenue, to the point of intersection with the centerline of Greenville Avenue, to a point for corner;

THENCE, in a southerly direction along the centerline of Greenville Avenue to the point of intersection with the centerline of the alley south of Richard Avenue,

THENCE, in a westerly direction, along the centerline of the alley south of Richard Avenue, to the point of intersection with the centerline of Laneri Avenue,

THENCE, in a northerly direction along the centerline of Laneri Avenue, to a point of intersection with the centerline of the alley between Goodwin Avenue and Vanderbilt Avenue, the PLACE OF BEGINNING.

EXHIBIT B

VICKERY PLACE CONSERVATION DISTRICT REGULATIONS

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(1) Interpretations and definitions.

- (a) Unless otherwise stated, all references to articles, divisions, or sections in this ordinance are to articles, divisions, or sections in Chapter 51A.
- (b) Unless otherwise stated, the definitions in Chapter 51A, as amended, apply to this ordinance. In this ordinance:
- (1) CIRCULAR DRIVEWAY means an area in a front yard or cornerside yard used to access off-street parking or for off-street parking that has two access points onto the same street or perpendicular streets.
 - (2) COMPATIBLE means consistent with the architecture found within the district, including architectural style, scale, massing, setbacks, colors, and materials.
 - (3) CONTRIBUTING ARCHITECTURAL STYLE means the Craftsman, Prairie, or Tudor architectural style as shown in Exhibit C.
 - (4) CORNER LOT means a lot that has frontage on two intersecting streets.
 - (5) CORNERSIDE YARD means a side yard that is adjacent to a street.
 - (6) CRAFTSMAN means Craftsman architectural style as shown in Exhibit C.
 - (7) DIRECTOR means the director of the department of development services or the director's representative.
 - (8) DISTRICT means the Vickery Place Conservation District.
 - (9) EXISTING HOUSE means a main building that existed as of June 28, 2006, the date of creation of this conservation district.
 - (10) FENCE means a structure or hedgerow that provides a physical barrier.
 - (11) FRONT FACADE means the face of a building facing the front yard.
 - (12) FRONT STREET means a street abutting the front yard.
 - (13) HARDSCAPE means any non-plant landscape materials such as boulders, cobbles, decorative concrete, gravel, mulch, pavers, or stones.
 - (14) HEIGHT means the vertical distance measured from grade to the highest point of the structure.

- (15) IMPERVIOUS SURFACE means any paved surface, such as asphalt, bricks, concrete, gravel, stone, or tile; or any structure, such as accessory structures, driveways, or walkways.
 - (16) MAIN BUILDING means the building on a lot intended for occupancy by the main use.
 - (17) NEW HOUSE means any main building constructed after June 28, 2006, the date of creation of this conservation district.
 - (18) ONE-AND-ONE-HALF STORIES means that the space within the roof structure of a main building has been converted to livable space.
 - (19) ORIGINAL ARCHITECTURAL STYLE means the architectural style of the original main building for that lot only. The original architectural style of each house in this district is listed in Exhibit C.
 - (20) ORIGINAL HOUSE means a main building that existed on a lot as of December 31, 1939.
 - (21) PARKWAY means that area between the sidewalk and the curb or that area between the sidewalk and the street pavement if there is no curb.
 - (22) PRAIRIE means Prairie architectural style as shown in Exhibit C.
 - (23) REMODEL means alterations, improvements, or repairs that change the exterior appearance of the main building or replace exterior materials of the main building.
 - (24) SIDE STREET means a street abutting a side yard.
 - (25) SLOPE means any change in elevation from the front lot line to the rear lot line or from a side lot line to the other side lot line.
 - (26) TUDOR means Tudor architectural style as shown in Exhibit C.
 - (27) WRAP AROUND means that portion of a side facade of a main building 25 feet behind the corner of the front facade, including the front porch, as shown in Exhibit C.
- (2) Conceptual plan. The Vickery Place Conservation District Conceptual Plan is attached to and made a part of this ordinance as Exhibit C. In the event of a conflict between Exhibit B, the district regulations, and Exhibit C, the conceptual plan, Exhibit B controls.

- (3) Nonconforming structures. Section 51A-4.704(c), "Nonconforming Structures," applies, except that if the degree of nonconformity is voluntarily reduced, all rights to the previous degree of nonconformity are lost.
- (4) Development standards.
- (a) In general.
- (1) Except as otherwise provided in this Exhibit B, the development standards of the R-7.5(A) Single Family District apply to this district.
- (2) The yard, lot, and space regulations in this Exhibit B must be read together with the yard, lot, and space regulations in Division 51A-4.400. In the event of a conflict between this Exhibit B and Division 51A-4.400, this Exhibit B controls.
- (b) Accessory structures.
- (1) Location.
- (A) Accessory structures must be located to the rear of the main building.
- (B) Garages, whether attached or detached, must be located to the rear of the main building.
- (2) Style and materials. The color, style, design, and materials of accessory buildings that are visible from a street must be compatible with the main building.
- (3) Roof slope. If an accessory structure is visible from a street, the slope of the roof must either match the roof slope of the main building or comply with the architectural standard for the roof slope for the style of the main building as shown in Exhibit C.
- (c) Density.
- (A) The number of dwelling units on a lot may not be increased.
- (B) If the number of dwelling units in an existing multifamily use is reduced, the number of dwelling units may not thereafter be increased.
- (d) Drainage. No lot-to-lot drainage is allowed.

- (e) Driveways and curbing.
- (1) A new house constructed on an interior lot may have driveway access from the front street or alley.
 - (2) A corner lot may have front, alley, or side street driveway access.
 - (3) Circular driveways are not allowed.
 - (4) Driveways must be constructed of brick, concrete, or stone including decomposed granite. Gravel, asphalt, exposed aggregate, or similar materials are not allowed.
 - (5) Front street access driveways may not exceed 10 feet in width. Side street access driveways may not exceed 24 feet in width.
- (f) Environmental performance standards. See Article VI, "Environmental Performance Standards."
- (g) Fences.
- (1) Front yard. Front yard fences are not allowed.
 - (2) Side and rear yard.
 - (A) Side yard fences may not exceed six feet in height.
 - (B) Side yard fences must be set back a minimum of five feet from the front corner of the main building, excluding porches.
 - (C) Rear yard fences may not exceed nine feet in height.
 - (D) Side and rear yard fences must be constructed of chain link, wood or materials that look like wood, or wrought iron or materials that look like wrought iron.
- (h) Foundations. Foundations of main buildings must be raised a minimum of 12 inches above grade.
- (i) Height. Except where a lesser height is provided in this Exhibit B (for example, fences), the maximum height for all structures is 30 feet.
- (j) Landscaping. See Article X, "Landscape and Tree Preservation Regulations."

- (k) Lot coverage. Maximum lot coverage is 40 percent for new and existing houses. Maximum lot coverage is 45 percent for original houses.
- (l) Lot size. Minimum lot size is 7,500 square feet.
- (m) Porches.
- (1) New houses must have a front porch constructed with openings compatible with original houses as shown in Exhibit C.
 - (2) Front porches must have a minimum depth of six feet.
- (n) Roofs.
- (1) Corrugated metal, standing seam metal, and tar-and-gravel roofing materials are not allowed within the front facade and wrap around.
 - (2) Solar panels and satellite dishes must be located on the rear 50 percent of the roof.
- (o) Setbacks.
- (1) Front yard setback.
 - (A) The minimum front yard setback is the average of the front yard setback of the contributing main buildings on the block face as listed in Exhibit C.
 - (B) The impervious surface in the front yard may not exceed 30 percent.
 - (C) The parkway may not be paved or hardscaped except for curb cuts and sidewalk extensions.
 - (2) Rear yard setback. Minimum rear yard setback for main buildings is 20 feet.
 - (3) Side yard setback.
 - (A) Minimum side yard setback is 10 feet on the east side of the property and five feet on the west side of the property.

(B) Vertical or horizontal additions to original houses may maintain or continue the existing side yard setback. For example, if an original house has a four-foot side yard setback, a second-story addition or rear addition may also have a four-foot side yard setback.

(p) Signs.

- (1) See Article VII, "Sign Regulations."
- (2) Signs must comply with the provisions for non-business zoning districts in Article VII.

(q) Slope.

- (1) The existing slope of a lot must be maintained. This provision does not prevent minor grading as necessary to allow construction, prevent lot-to-lot drainage, or match the slope of contiguous lots.
- (2) A driveway with retaining walls may be cut into the slope of a lot provided that the driveway is straight.

(r) Steps.

- (1) Existing waterfall steps leading from the sidewalk to the main building must be retained. Where the original waterfall steps have been removed or damaged, they must be replaced or repaired to match the original waterfall steps. An example of waterfall steps is illustrated in Exhibit C.
- (2) Steps must be made of concrete.

(s) Stories. Maximum number of stories above grade is two for Craftsman style and Prairie style main buildings. Maximum number of stories above grade is one-and-one-half stories for the front facade and the wrap around and two stories in the rear, subject to the line of site criteria, for Tudor style main buildings as shown in Exhibit C.

(t) Use. The only use allowed is single family and handicapped group dwelling unit.

(5) Architectural standards for new houses.

- (a) The front facade and wrap-around of new houses may only be built in a contributing architectural style in compliance with the architectural standards for that style or in the original architectural style. See Exhibit C for the architectural standards for each style.

- (b) Architectural standards for new houses apply only to the front facade and wrap-around.
- (6) Architectural standards for remodeling and reconstruction.
- (a) If an original house is remodeled, the remodeling must be compatible with its original architectural style. Original houses completely or partially destroyed other than by the intentional act of the owner or the owner's agent must be reconstructed in the original architectural style or a contributing architectural style.
 - (b) If an existing house is remodeled, the remodeling must be compatible with its existing architectural style. Existing houses completely or partially destroyed other than by the intentional act of the owner or the owner's agent must be reconstructed in the existing architectural style or in a contributing architectural style.
 - (c) If a new house is remodeled, the remodeling must be compatible with its architectural style. New houses completely or partially destroyed other than by the intentional act of the owner or the owner's agent must be reconstructed in a contributing architectural style.
- (7) Architectural standards for Craftsman style.
- (a) Applicability.
 - (1) If a new house is a Craftsman style house, it must comply with the Craftsman style architectural standards in this section.
 - (2) Craftsman style houses that are remodeled must comply with the Craftsman style architectural standards in this section.
 - (3) This section applies only to the front facade and wrap-around.
 - (b) Front porches.
 - (1) Front porches may not be enclosed.
 - (2) The front porch must be a minimum of 50 percent of the width of the front facade.
 - (3) The front porch roof must be supported by tapered or square box columns.

(c) Materials.

- (1) Craftsman style houses must be clad in brick, wood, materials that look like wood, or a combination of these materials. Stone accents are allowed. Stucco is allowed in the gables only.
- (2) Any materials used for remodeling must be appropriate to the Craftsman style in type, size, color, coursing, texture, and joint detailing.

(d) Optional architectural design features. New houses must incorporate at least four of the following architectural design features into the front facade (see Exhibit C):

- (1) Decorative molding with or without dentils.
- (2) Craftsman style wood door in the entryway.
- (3) Tapered wood box columns a minimum of one-third to a maximum of two-thirds of the total column length with square masonry column bases a minimum of one-third to a maximum of two-thirds of the total column length (see Exhibit C).
- (4) Icicles on columns.
- (5) Roof over porch that is independent of the main roof plain.
- (6) Wood balustrade or railing surrounding the front porch.
- (7) Ventilation louvers or decorative windows and gables.
- (8) Masonry chimney. Austin chalk chimneys are not allowed.

(e) Porte cocheres.

- (1) A one-story porte cochere may be built to the side property line.
- (2) A porte cochere with a second story must be set back a minimum of five feet from the side property line.
- (3) Porte cocheres visible from the front or side street and not located in the rear yard must be the same architectural style as the main building.
- (4) Porte cochere columns must match front porch columns.

- (f) Roofs.
- (1) Craftsman style houses must have a front-gabled roof with a shallow roof slope between 20 degrees and 40 degrees.
 - (2) Minimum roof overhang is 24 inches.
 - (3) Roofs must have exposed roof rafter tails.
 - (4) The following roof materials are allowed: composition shingles, slate tiles, wood shingles, synthetic wood shingles, and synthetic slate tiles.
- (g) Windows.
- (1) At least one group of windows in a cluster of two or three must be located on the front facade, excluding the area above the eave.
 - (2) Muntins and mullions must be expressed (have a profile).
 - (3) Windows may be vinyl.
 - (4) Windows must be typical of the Craftsman style (see Exhibit C).
 - (5) Picture windows are not allowed.
- (8) Architectural standards for Prairie style.
- (a) Applicability.
- (1) If a new house is a Prairie style house, it must comply with the Prairie style architectural standards in this section.
 - (2) Prairie style houses that are remodeled must comply with the Prairie style architectural standards in this section.
 - (3) This section applies only to the front facade and wrap-around.
- (b) Front porches.
- (1) Front porches must be at least 75 percent of the width of the front facade as illustrated in Exhibit C.

- (2) Columns typical to the Prairie style must be used across the full length of the porch.
 - (3) The front porch may not be enclosed.
 - (4) Porte cochere columns must match front porch columns.
- (c) Materials.
- (1) Prairie style houses must be clad in brick, stone, wood, materials that look like wood, or a combination of these materials.
 - (2) Any materials used for remodeling must be appropriate to the Prairie style in type, size, color, coursing, texture, and joint detailing.
- (d) Optional architectural design features. New houses must incorporate at least four of the following architectural design features into the front facade (see Exhibit C):
- (1) Square or tapered columns.
 - (2) Centered hipped dormer.
 - (3) Decorative window in dormer.
 - (4) Decorative soffit.
 - (5) Buttresses adjacent to front porch steps.
 - (6) Porch railing.
 - (7) Brick chimney.
 - (8) Windows with multiple pane upper sashes.
- (e) Porte cocheres.
- (1) A one-story porte cochere may be built to the side property line.
 - (2) A porte cochere with a second story must be set back a minimum of five feet from the side property line.
 - (3) Porte cocheres visible from the front or side street and not located in the rear yard must be the same architectural style as the main building.
 - (4) Porte cochere columns must match front porch columns.

- (f) Roofs.
- (1) Prairie style houses must have a hipped roof form with a low-pitched roof slope between 20 degrees and 40 degrees.
 - (2) Minimum roof overhang is 24 inches.
 - (3) The following roof materials are allowed: composition shingles, slate tiles, wood shingles, synthetic wood shingles, and synthetic slate tiles.
- (g) Windows.
- (1) Muntins and mullions must be expressed (have a profile).
 - (2) Windows must be typical to the Prairie style.
 - (3) Windows may be vinyl.
 - (4) Picture windows are not allowed.
- (9) Architectural standards for Tudor style.
- (a) Applicability.
- (1) If a new house is a Tudor style house, it must comply with the Tudor style architectural standards in this section.
 - (2) Tudor style houses that are remodeled must comply with the Tudor style architectural standards in this section.
 - (3) This section applies only to the front facade and wrap-around.
- (b) Front porches.
- (1) Front porches may not be enclosed.
 - (2) Front porches must be at least 25 percent and no more than 50 percent of the width of the front facade.
- (c) Materials.
- (1) Tudor style houses must be clad in brick. Stone accents are allowed. Brick, stucco with wooden half-timbering, wood shingles or material that looks like wood shingles, and wood siding or materials that look like wood siding are allowed in gables.

- (2) Any material used for remodeling must be appropriate to the Tudor style in type, size, color, coursing, texture, and joint detailing.
- (d) Optional architectural design features. New houses must incorporate at least five of the following architectural design features into the front facade (see Exhibit C):
- (1) Arched doorway and window.
 - (2) Stair-stepped chimney.
 - (3) Stone accents.
 - (4) Stucco with half-timbering in gables.
 - (5) Decorative verge board.
 - (6) Multiple arched front porch.
 - (7) Gabled or eyebrow dormer on the front facade.
 - (8) Chimney on the front facade.
 - (9) Art glass windows including leaded and stained glass.
- (e) Porte cocheres.
- (1) A one-story porte cochere may be built to the side property line.
 - (2) A porte cochere with a second story must be set back a minimum of five feet from the side property line.
 - (3) Porte cocheres visible from the front or side street and not located in the rear yard must be the same architectural style as the main building.
 - (4) Porte cochere columns must match front porch columns.
- (f) Roofs.
- (1) Tudor style houses must have a gabled roof form with a steep roof slope between 45 and 65 degrees.
 - (2) Maximum roof overhang is 12 inches.
 - (3) Tudor style houses must have at least one front-facing gable.

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- (4) The following roof materials are allowed: composition shingles, slate tiles, wood shingles, synthetic wood shingles, and synthetic slate tiles.
- (g) Windows.
- (1) Muntins and mullions must be expressed (have a profile).
 - (2) The windows must be typical of the Tudor style.
 - (3) Windows may be vinyl.
 - (4) Picture windows are not allowed.
- (10) Procedures.
- (a) Review form applications. A review form application must be submitted to the Director for any work covered by the standards contained in this ordinance.
 - (b) Work requiring a building permit.
 - (1) Upon receipt of a review form application for work requiring a building permit, the building official shall refer it to the Director to determine whether the work meets the standards of this ordinance. The Director shall make this determination within 30 days after submission of a complete application.
 - (2) If the Director determines that the work complies with the standards of this ordinance, the Director shall approve the application and send it back to the building official, who shall issue the building permit if all requirements of the construction codes and other applicable ordinances have been met.
 - (3) If the Director determines that the work does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before issuance of a building permit and send it back to the building official, who shall deny the building permit. The Director shall give written notice to the applicant stating the reasons for the denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. The notice to the applicant must be sent to the address given on the application.

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(c) Work not requiring a building permit.

- (1) Upon receipt of a review form application for work not requiring a building permit, the building official shall refer it to the Director to determine whether the work meets the standards of this ordinance. The Director shall make this determination within 10 days after submission of a complete application.
- (2) If the Director determines that the work complies with the standards of this ordinance, the Director shall approve the application and give written notice to the applicant.
- (3) If the Director determines that the work does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before an approval can be granted. The Director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. The notice to the applicant must be sent to the address given on the application.

(d) Appeals.

- (1) An applicant may appeal any decision made by the Director to the board of adjustment by filing a written appeal with the Director within 10 days after notice is given to the applicant of the Director's decision.
- (2) The Director shall send written notice of the appeal to the applicant, the neighborhood association, and all owners of real property located within 200 feet, including streets and alleys, of the boundary of the area for which the application was made. The notice must be given not less than 10 days before the day set for the hearing. Notice is given by depositing the notice properly addressed and postage paid in the United States mail to the property owners as evidenced by the last approved city tax roll.
- (3) The board of adjustment shall hold a public hearing on all appeals.
- (4) In considering the appeal, the sole issue before the board of adjustment shall be whether the Director erred in the decision, and the board shall consider the same standards that were required to be considered by the Director.
- (5) Appeals to the board of adjustment are the final administrative remedy.

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EXHIBIT C
VICKERY PLACE
CONSERVATION DISTRICT
CONCEPTUAL PLAN



**AN EARLY TWENTIETH CENTURY
COMMUNITY MAINTAINING THE TURN OF
THE CENTURY CHARACTER**

CITY OF DALLAS
DEPARTMENT OF DEVELOPMENT SERVICES
LONG-RANGE PLANNING DIVISION
MAY 4, 2006

26391

061763



Vickery Place Conservation District Conceptual Plan

CITY OF DALLAS
DEPARTMENT OF DEVELOPMENT SERVICES
LONG-RANGE PLANNING DIVISION

May 4, 2006

Theresa O'Donnell, Director of Development Services
Janet Tharp, Interim Assistant Director, Long-Range Planning Division

Project Manager
Nathaniel Barnett, Senior Planner, Long-Range Planning Division



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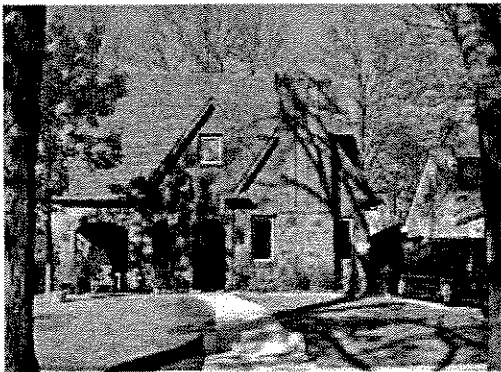
CONCEPTUAL PLAN FOR VICKERY PLACE

Vickery Place is one of the oldest neighborhoods in the city of Dallas. Originally platted in 1911, this neighborhood has been home to many influential citizens throughout the city's history. Using advertisement on the back of street cars, citizens were encouraged to move to the area and take advantage of the middle class lifestyle. The area also became the original location of the Hockaday School for Girls at the corner of Belmont and Greenville.

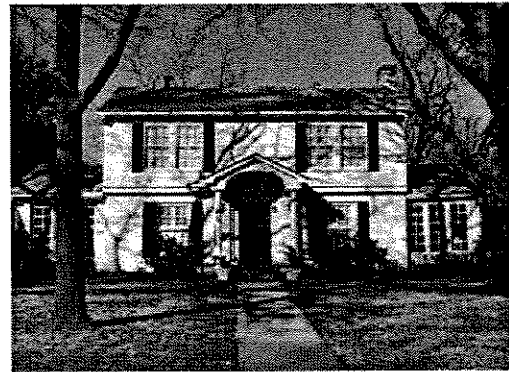
As construction began to take place in the area, it emulated the styles being built in other areas during the early twentieth century. These included Craftsman bungalows, Prairie School House and Tudor style homes. The area was also serviced by streetcars to make access to the central business district convenient. After the success of the neighborhood, many other neighborhoods began to spring up around it. These include the neighborhoods of Greenland Hills, Belmont Addition and Greenville Crest. Today, all of those neighborhoods are conservation districts.

Study Area Architecture

The area has similar architectural styles of the other neighborhoods that surround them. These styles include Tudor, Colonial Revival, Craftsman, and Prairie. Almost all of the houses have an architectural style that was prevalent from the early twentieth century. The diversity of styles in the area adds to the richness of the neighborhood. Of the original homes, almost all are one story structures with the exception of the Prairies which are two stories. Most of the new constructions in the area have been two story structures. However, even the newer construction primarily has been built in an architectural style reminiscent or an adaptation of a style original to the area.



Tudor in Greenland Hills



Colonial Revival in Greenville Crest



Craftsman in Belmont Addition



New construction in Vickery Place



Property owners began to become concerned with their neighborhood as the residential areas near downtown became attractive for development. With basic zoning in place and no set architectural guidelines for in-fill development, they slowly began to see the original characteristics of the area fade away with each new home. Many were worried that new construction would simply focus on the individual structure and not focus on the relevance of the neighborhood. They began searching for ways to protect the neighborhood characteristics without deterring new development or renovations in the neighborhood. After multiple discussions, it was decided to pursue a conservation district.

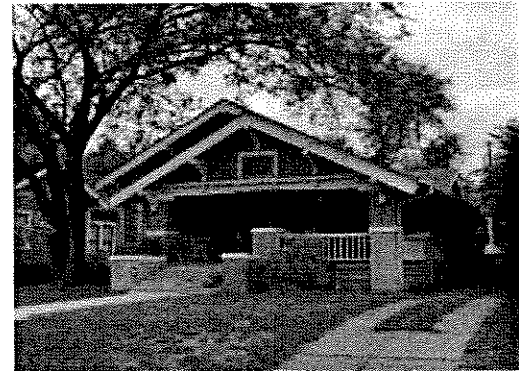
The Neighborhood



Tree-lined street in Vickery Place

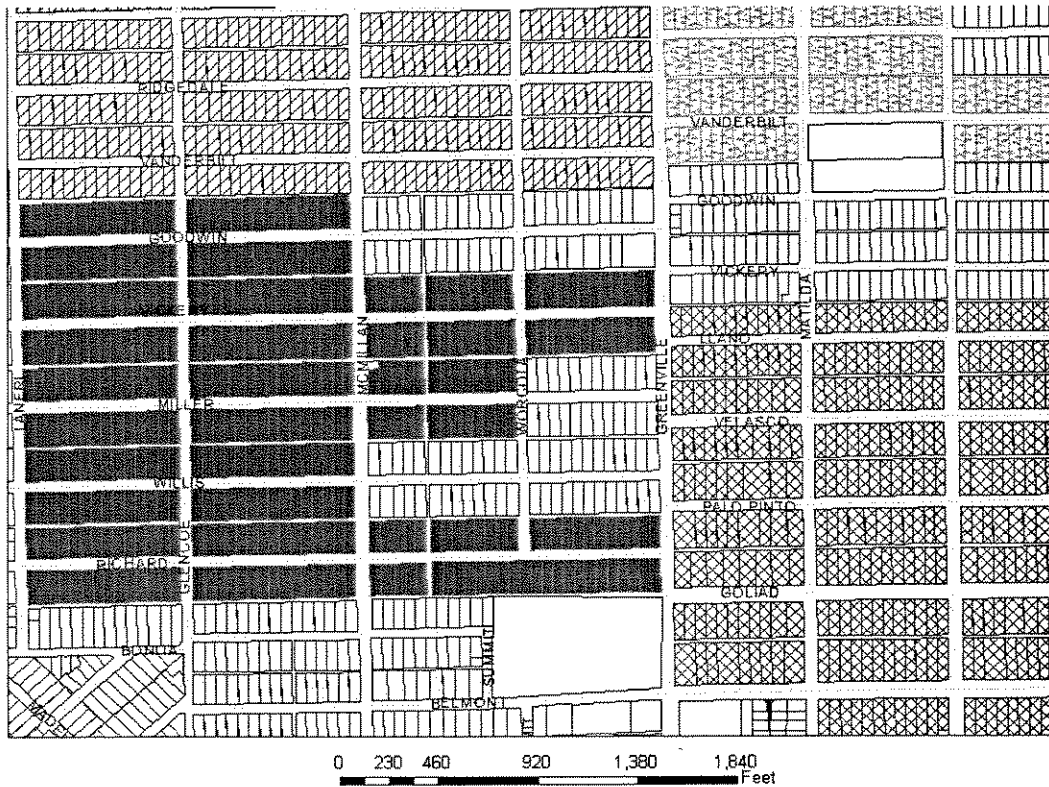
The neighborhood is located just two miles north of downtown Dallas east of U.S. 75 North Central Expressway. Bordered to the north, northeast, and east by conservation districts, the Vickery Place neighborhood shares many of the characteristics of these areas. Tree-lined streets, consistent front yard setbacks, consistent driveway location, and early twentieth century architecture are all prevalent in this area. As well, many of the original structures built in the neighborhood are still standing today. However, in recent years, these original structures have been demolished more readily to build new homes. From 1955 until 1999 only eleven new homes were constructed. Since 2000, 27 new homes have been built with approximately ten more under construction.

Architecture in Vickery Place







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Study Area Map



Study Area of the Vickery Place neighborhood

Legend

-  Proposed Vickery
-  M Streets CD
-  M Streets East CD
-  Belmont CD



City of Dallas
 Department of Development Services
 Long-Range Planning
 January 2006

Neighborhood Application

The property owners submitted a comprehensive application with historical references, photographs, original plat maps and details of the architectural styles in the area to the City of Dallas in June of 2004. This application included approximately 75% signatures of the property owners in the study area who supported the city conducting a study of their neighborhood. Much of the information characterized the origins and development patterns of the neighborhood. In September of 2005, City of Dallas Department of Development Services' staff began conducting community meetings to determine the aspects the neighborhood property owners wished to conserve. After conducting four community meetings, the staff along with the City Attorneys drafted an ordinance to incorporate all of the development standards that had been discussed.



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Community Meetings

Four community meetings were held to discuss the neighborhood, its characteristics, the potential of becoming a conservation district and the difference between the different zoning tools available for residential areas in the city. The meetings were held at the Vickery Towers Retirement complex at the corner of Belmont Avenue and Greenville Avenue, the original location for the Hockaday School for Girls. The meetings were held on Monday evenings approximately two months apart. The table below details each of the meetings:

Meeting date	Attendance	Discussion topic
September 12, 2005	120	General overview of conservation districts
November 15, 2005	65	Neighborhood survey and results
January 30, 2006	78	Potential development standards for the area
February 27, 2006	47	Review of standards discussed and voted on
March 13, 2006	114	Review of draft ordinance and conceptual plan

The first determination conducted by the city staff was to ensure that the area met the criteria in the City Code to be a conservation district. In the Code, four criteria must be met prior to the city proceeding with a feasibility study. These criteria, and the neighborhoods results (in italics) are:

- The area must contain at least one block face
There are 15 blocks in the study area
- The area must be either “stable” or “stabilizing”
The Vickery Place neighborhood has been a residential community in the city of Dallas for almost 100 years
- The area must contain significant architectural or cultural attributes
Vickery Place has a significant number of Craftsman and Prairie style homes in a concentrated area which were built in the early twentieth century
- The area must have a distinctive atmosphere or character which can be conserved by protecting or enhancing its architectural or cultural attributes
By protecting the architectural styles in the area, the area helps to form a region in East Dallas that showcases the style of homes built in the early years of the city

Upon establishing that the area did meet the criteria for the Code, the meetings began by informing the property owners of the process to become a conservation district and what it entailed should a conservation district be adopted for the area. At the end of the first meeting, after a question and answer session, the property owners in attendance were asked if they wanted to proceed with a conservation district study for the area. A response of yes was given by approximately 95%.

In the successive meetings, presentations were given by city staff detailing what was presently regulated, what prevalent characteristics existed in the area, what surrounding conservation districts regulated, and general information as requested by participants. Through the use of charts, diagrams, photographs, and other examples, the staff reviewed multiple development standards and asked for votes on the preferred option. After going through a list of over 30 development standards, the list was narrowed to 22 standards that would be proposed to guide new construction and renovation of properties within the neighborhood.



Guidelines for the Neighborhood

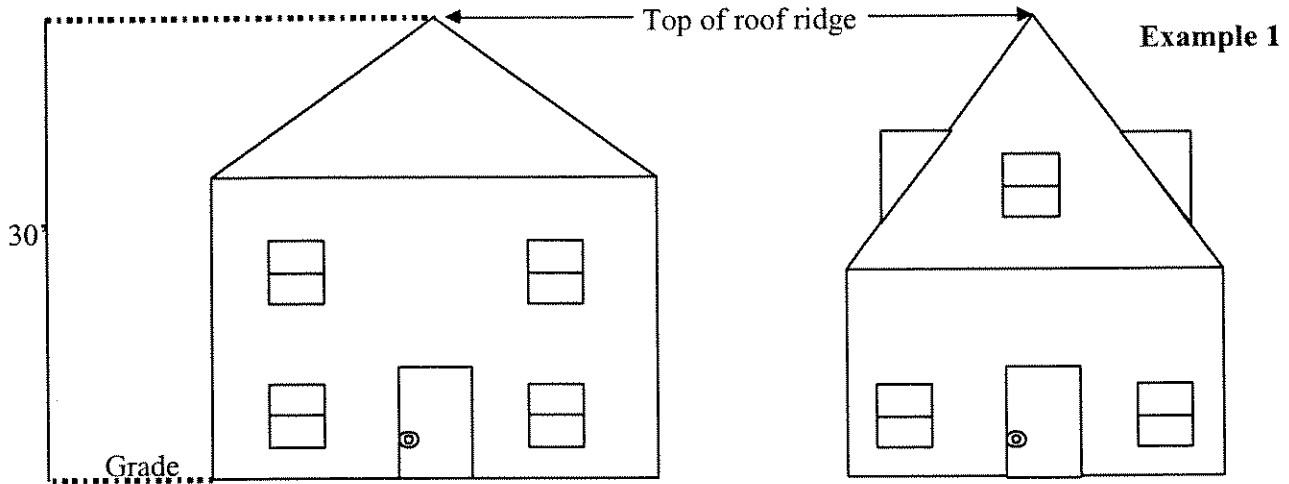
In the chart below are all of the development standards that property owners agreed to include in a proposal to guide development in the area. There were 22 development standards addressed. Ten of these standards are already regulated by R-7.5(A) zoning. Of these that are already regulated, property owners wanted the regulations to be more appropriate to the neighborhood. Therefore, adjustments were made to reflect the original built environment. Twelve of the standards were not addressed by basic zoning but were thought to be important characteristics of the neighborhood necessary to maintain the look and feel of the area.

	Standard	R-7.5 (A)	Potential standard
1	Height	30 ft max.	30 ft. max to the ridge
2	Front setback	25 ft min.	Average FY setback of block
3	Side setback	5 ft min.	5' on west side and 10' on east side
4	Rear setback	5 ft min.	20 ft min.
5	Front yard fences	4 ft max.	No front yard fences
6	Side yard fences	9 ft max.	6' height maximum Materials: chain link, wood, wrought iron or similar Minimum setback 5' from front corner of house (excluding porches)
7	Rear yard fences	9 ft max.	9' height maximum Materials: chain link, wood, wrought iron or similar
8	Lot coverage	45%	45% for homes built pre-1940 40% for homes built 1940 and after
9	Lot size	7500 sq. ft. min.	7500 sq. ft. minimum
10	Stories	No max.	2 stories for Craftsman and Prairie; 1 ½ for Tudor in front, 2 in back
Standards not presently regulated by the City Code			
	Standard		Potential standard
1	Architectural Style		Craftsman, Prairie, and Tudor (with stated criteria for each)
2	Building materials		Brick, stone, wood, stucco (where appropriate)
3	Garage location		In the rear
4	Remodeling		Keep with existing style
5	Driveways		Materials: concrete, brick or pavers, stone (including decomposed granite). No gravel, asphalt, or exposed aggregate. Drives allowed from front, side or alley.
6	Front yard coverage		30% impervious surface
7	Front porches		Require front porch with 6 foot depth minimum
8	Demolition		
9	Raised foundation		
10	Roofing material		
11	Waterfall steps		
12	Maintain grade		

Proposed Development Standards – presently regulated by R-7.5(A)

1. Height

The measurement for height in the area would be 30 feet maximum measured from grade (the ground) to the peak of all structures (*example 1*). Basic zoning measures height from grade to the mid-point of the lowest eave and highest ridge (peak) of a structure. On a structure with a very steep roof pitch, measuring to the mid-point could result in a total height of nearly 40 feet. The tallest original structures in the area are approximately 30 feet in total height.



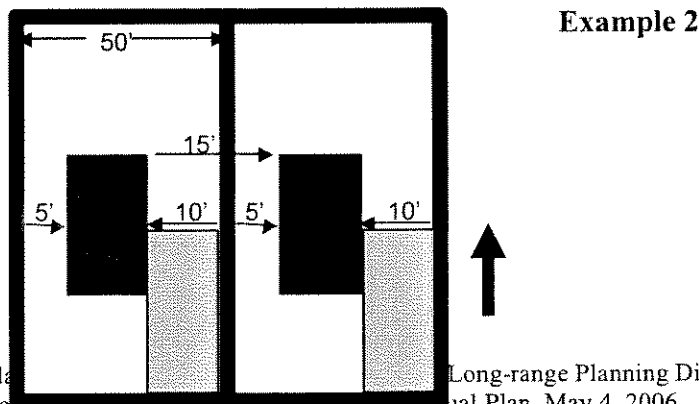
30' Height measurement example for 1 and 2 story structures

2. Front yard setback

The front yard setbacks in the area are very consistent by block. While many adhere to the basic zoning minimum setback of 25 feet, others measured a little deeper (as much as 30 feet). The consensus was to maintain the average setback of the block of the original houses in the neighborhood (structures built prior to 1940) to keep the building line consistent.

3. Side yard setback

Another standard that was very consistent in the area was an increased side yard setback on one side of the structure. Because driveways coming from the street are very common in the area, the separation between the houses is very common. This feature also helps control the “looming” aspect of houses that are larger located next to smaller structures. Thus, it was decided to have a greater side yard setback on the east side of the lot, which is typically the side the driveway is located on in the area. The minimum side yard setbacks would be 10 feet on the east and 5 feet on the west (*example 2*). This is also consistent with the other three conservation districts surrounding Vickery Place.



4. Rear yard setback

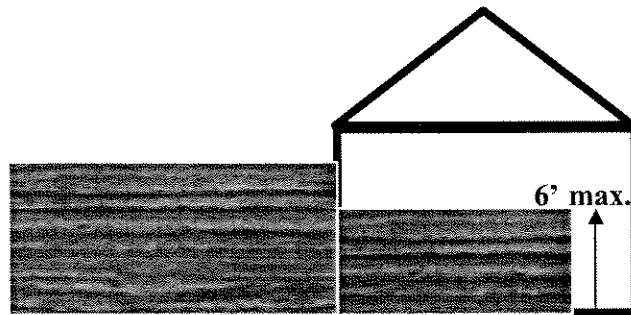
To maintain green space in the front and rear yards, a minimum rear yard setback requirement was increased over the basic zoning rear yard setback. It was overwhelmingly voted to require a 20 foot minimum rear yard setback for the main structure. This would not apply to accessory structures which would be allowed a minimum 3 – 5 foot rear yard setback depending on the height of the structure.

5. Front yard fences

Very few front yard fences exist in the area, therefore the consensus was to not allow any front yard fences.

6. Side yard fences

Fences in the side yard would have to start at least 5 feet from the main plane of the house. This would not include porches. Fences in the side yard, which is the area from the front of the house to the back plane of the house, would be allowed to be a maximum of 6 feet tall (*example 3*). This would allow more light, air and space to exist between houses as opposed to a taller fence that could actually touch the eaves of neighboring houses making it difficult for a homeowner to paint, repair or even access the side of their home. It would also be more difficult to grow grass or plants due to the area not being able to get any sunlight. Materials allowed for the fence would be chain link, wood or wood-like material, and wrought iron or similar material.



Example 3

7. Rear yard fences

Fences in the rear yard would continue to be allowed to be privacy fences with a maximum height of 9 feet. However, the materials would be limited to the same materials used in the side yard fences, chain link, wood or wood-like material, and wrought iron or similar material. This was decided because the primary materials used for fencing historically in this neighborhood have been these three materials.

8. Lot coverage

Basic zoning allows for 45% lot coverage in the area. However, when looking at existing coverage in the area, it was found that the vast majority of properties range between 25 – 30% total lot coverage. As a means to encourage the retention of older structures, it was decided that original homes would be allowed lot coverage of 45% while non-original homes and new construction would be allowed lot coverage of 40%. Since many of the lots are 8,000 square feet and greater, this would still allow new construction to be a maximum of 4,800 – 7,200 square feet. The largest home in the area today was just over 4,100 square feet. Although large homes

would still be allowed to be built in the area, the increased side and rear yard setbacks and height limitations would prevent the larger homes from looming over the smaller houses.

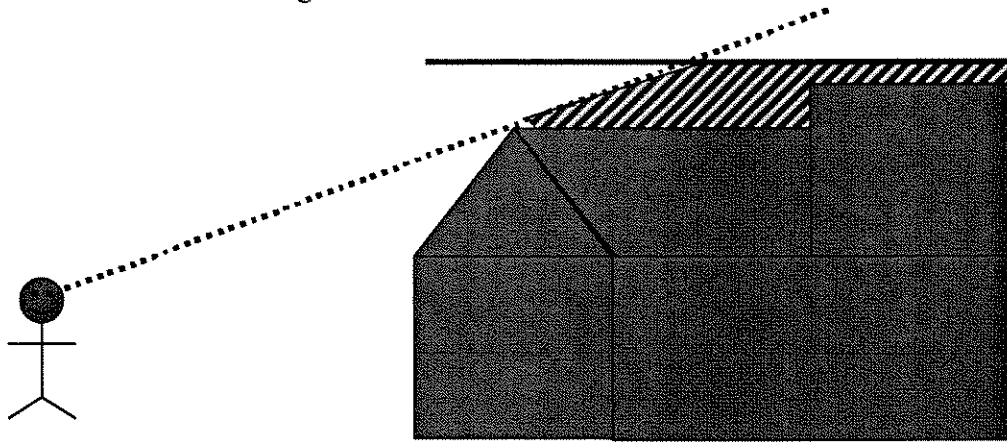
9. Lot size

In keeping with the basic zoning, the minimum lot size for the area would be 7,500 square feet. Almost all of the lots in the area are greater than this size today.

10. Stories

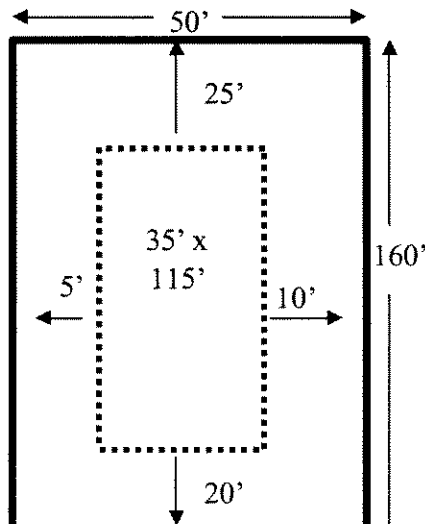
The maximum stories for Craftsman and Prairie structures would be 2. For Tudor structures, the maximum would be 1 1/2 stories in the front and up to 2 stories in the rear. This is consistent with the regulation for Tudor structures in the M Streets conservation district which is adjacent to Vickery Place to the north. The 2 story rear limit would be subjected to a line of sight criteria. Line of sight would be determined by a six foot tall person standing in the middle of the street and in the center of the front of the house. The person looking at the house should not be able to see anything in the rear above the front roof ridge line (example 4). This criteria is contingent upon the front of the house being less than 30 feet tall. Thus, it is most pertinent for renovations and additions of existing structures.

Example 4



Area of construction

Given the setbacks allowed for the front, side, and rear yards, new construction would be allowed to be built in an area on the lot of 4,025 square feet in size. 35% lot coverage would allow the placement of a 2,400* – 2,800 square feet main structure (*given 400 square feet for a detached garage) maximum size footprint.



Proposed Development Standards – not presently regulated by R-7.5(A)

1. Architectural styles

Most of the original homes in the area are Craftsman styled homes. There are also a number of Prairie structures. Other styles that exist in the area include Tudor, Colonial Revival, Spanish Eclectic, Mediterranean, and Post War (Minimal Traditional) structures. During the course of the meetings when discussing architecture, it was noted that consistency in styles would be highly recommended. Therefore, it was voted to allow new construction coming into the area to reflect one of three styles; Craftsman, Prairie, or Tudor. Each style would incorporate certain criteria that were required and a choice of certain optional features.

Required characteristics for Craftsman

- 1) Gabled roof form
- 2) Low-pitched roof 20 – 40 degrees
- 3) 24" minimum overhang
- 4) Exposed rafter tails
- 5) Minimum 50% front porch with 6 feet depth
- 6) Boxed columns on front porch
- 7) Braces
- 8) Windows typical to style with expressed muntins (vinyl is acceptable)
- 9) No picture windows



Braces

Optional characteristics for Craftsman (4 of 8 optional features required)

- 1) Decorative molding/Dentils
- 2) Craftsman style door
- 3) Tapered wood columns on masonry base with 1/3, 2/3 demensions
- 4) Icicles on columns (Wrightian capitals or decorative wood work)
- 5) Independent roof over porch
- 6) Wood balustrade or railing surrounding the front porch
- 7) Ventilation louvers
- 8) Masonry chimney (no Austin Chalk)



Required characteristics for Prairie

- 1) Hipped roof form
- 2) Low-pitched roof 20 – 40 degrees
- 3) Any type of Columns typical to the style
- 4) 2 foot minimum overhang
- 5) Front porch across minimum of 75% of the front facade
- 6) Windows typical to the style with expressed muntins (vinyl is acceptable)
- 7) No picture windows



Optional characteristics for Prairie (4 of 8 optional features required)

- 1) Square or tapered columns
- 2) Centered hipped dormer
- 3) Decorative window in dormer
- 4) Decorative soffit
- 5) Buttresses adjacent to front porch steps
- 6) Porch railing
- 7) Brick chimney
- 8) Windows with multiple pane upper sashes



Required characteristics for Tudor

- 1) Steeply pitched roof 45 – 65 degrees
- 2) Gabled roof form
- 3) Brick is primary material below the eaves with use of accent material
- 4) Large front facing gable
- 5) Front facing side or entry porch 25 – 50% of front façade width at least 6 feet depth
- 6) Windows typical of style with expressed muntins (vinyl is acceptable)
- 7) No picture windows

Optional characteristics for Tudor (5 of 9 optional features required)

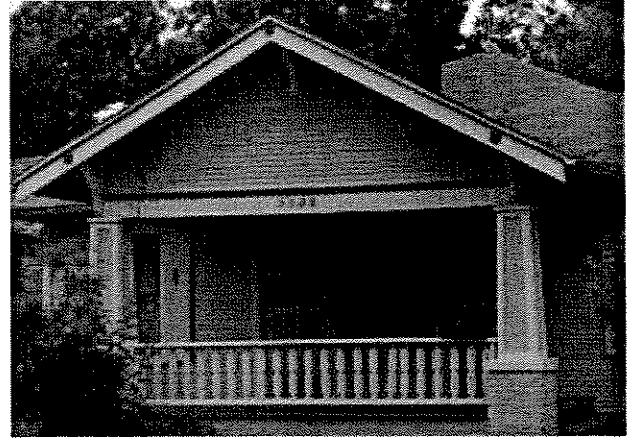
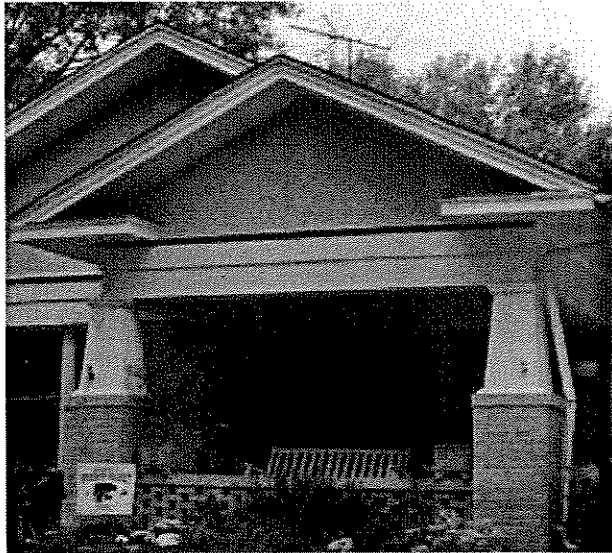
- 1) Arched doorway and/or windows
- 2) Stair-stepped chimney
- 3) Stone accents
- 4) Stucco with half-timbering in gables
- 5) Decorative vergeboard
- 6) Multiple arched front porch
- 7) Gabled or eyebrow dormer(s) on front facade
- 8) Chimney on the front facade
- 9) Stained glass windows



CRAFTSMAN Characteristics



Dentils and Decorative Molding

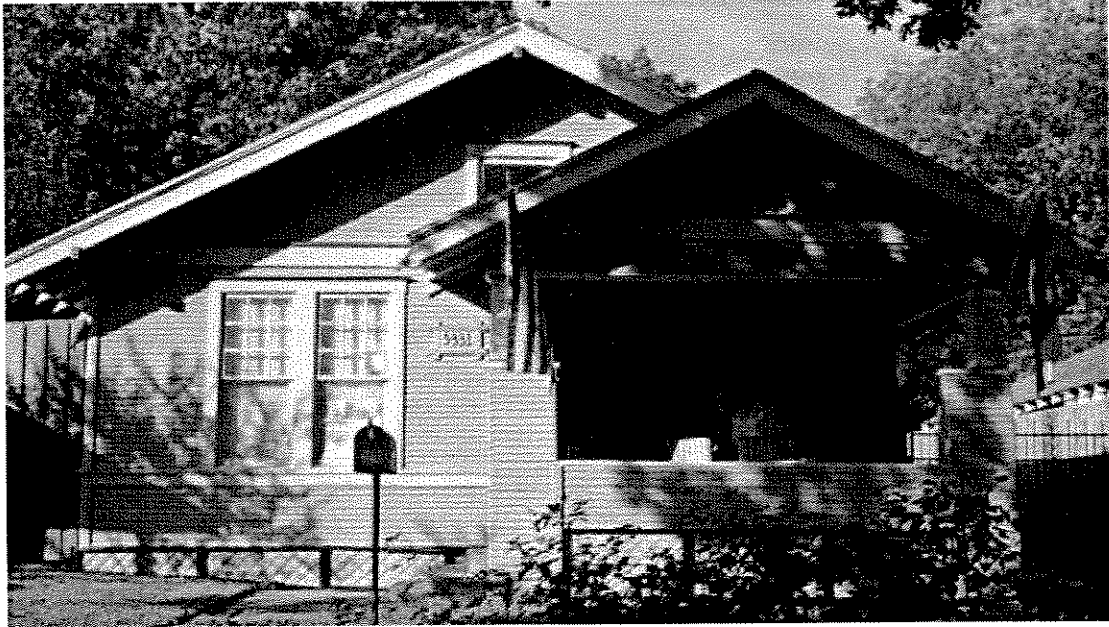


Tapered square box columns with masonry base

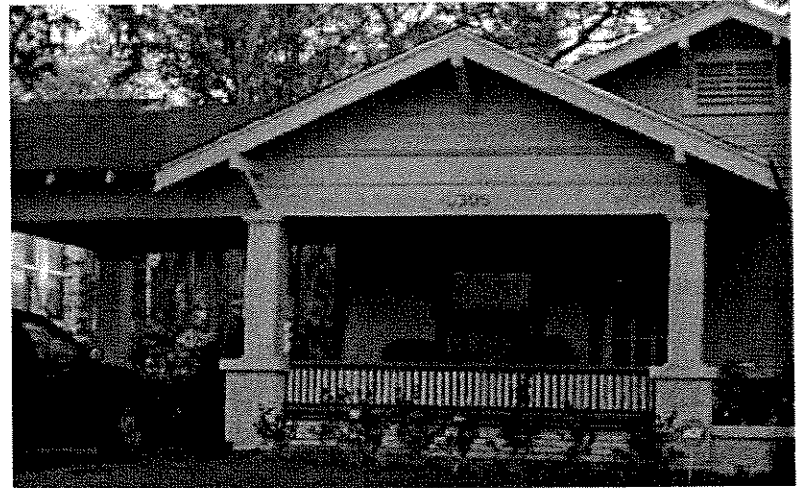


Icicles (decorative woodwork) below column capitals

CRAFTSMAN Characteristics



Roof over porch that is independent of the main roof plain

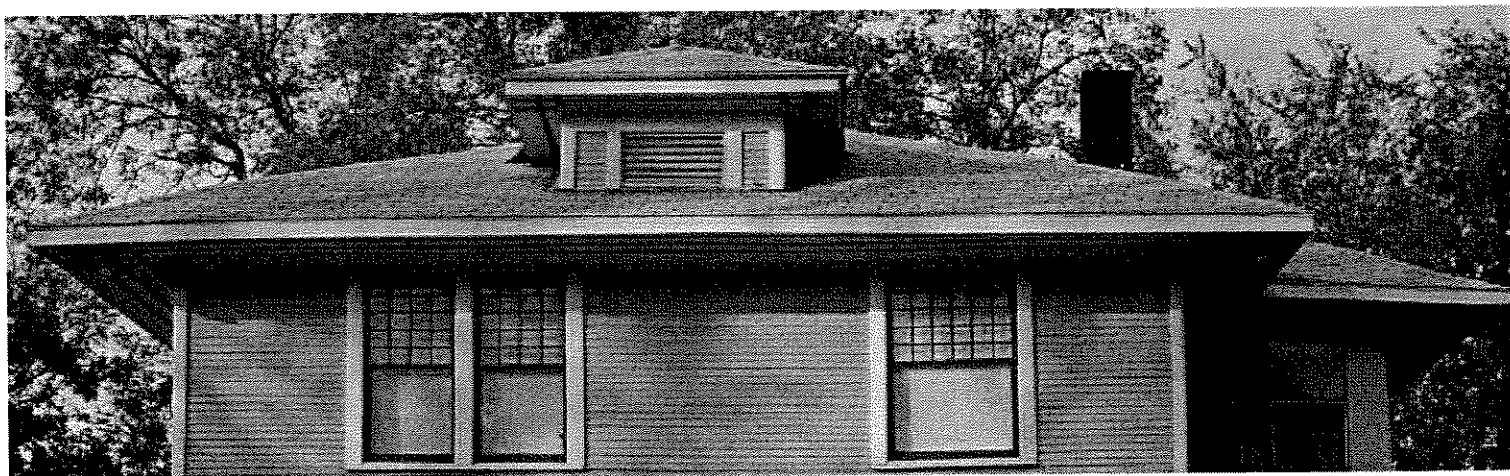


Wood balustrade or railing surrounding the front porch

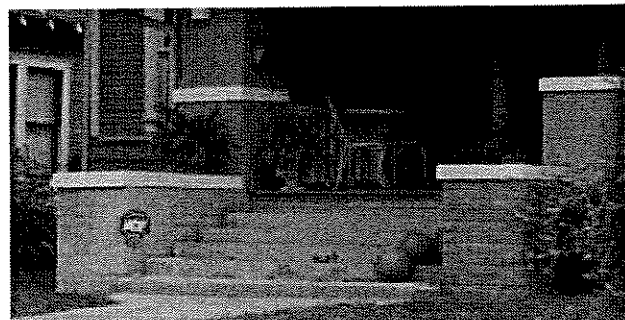
PRAIRIE Characteristics



Front porch columns typical of the Prairie style

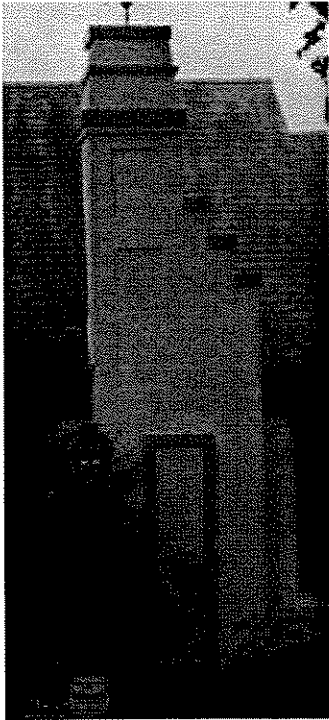


Decorative soffit



Buttresses adjacent to the front porch steps

TUDOR Characteristics



Stair-stepped chimney



Stucco with half-timbering in gable



Decorative verge board



Eyebrow dormer

2. Building materials

The requirement of quality building materials that reflect the use of materials commonly found in the area was considered a key to maintaining the craftsmanship of the original structures. A list of materials consisting of brick, stone, wood or wood-like, and stucco (where appropriate) was derived. These are the materials found on over 90% of the structures in the neighborhood today.

3. Garage location

One of the main features that exist not only in the neighborhood but in the surrounding areas as well was the location of the garage to the rear of the main structure. In keeping with this feature, it was voted by a large majority to maintain the garage location in the rear of the main structure. The garage could be attached to the main structure in the rear or detached. Detached garages would have to have a common roof slope of typical garages in the area. Garages that were detached and under 15 feet tall and located in the rear 30% of the lot would not have a side yard setback requirement and would be subjected to only a three feet rear yard setback. Garages over 15 feet would require a three feet side yard setback and a five feet rear yard setback.

4. Remodeling

Although only three architectural styles would be allowed for new construction, any existing home in the neighborhood could be remodeled in the style presently on the lot. The criteria for remodeling were established as maintaining the characteristics of the identified style. For houses with no identifiable style, it had the option of remodeling in a style acceptable for new construction or maintaining its non-style using allowable building materials. A list of each property and its architectural style is to be incorporated in this conceptual plan as an exhibit.

5. Driveways

As was mentioned earlier with regards to side yard setbacks, it was recognized that over 70% of the driveways in the area were located on the east side of the lot. The property owners voted to establish the east side as the side to locate driveways for all new construction, with the exception of corner lots. Corner lots had the option of an east side driveway or a driveway entering from the side street. All properties, with the exception of corner lots, would be required to have a driveway entering from the front street. However, rear entry drives would also be allowed for those wanting to have garages entering from the alley. Driveway material must consist of concrete, brick or pavers, or stone (including decomposed granite). Driveway material that would be prohibited would be gravel, asphalt, or exposed aggregate. Circular driveways are prohibited in the area.

6. Front yard coverage

Greenery in the area is very prevalent. To maintain this environmentally friendly condition, a requirement of no more than 30% impervious surfaces was incorporated. The aesthetic value of greenery in the front yard was mentioned to be a quality of life characteristic intrinsic to the neighborhood.

7. Front porches

All of the architectural styles feature a front porch element. This is common throughout the neighborhood as most homes in the area have large front porches.



1/3 wood, 2/3 masonry base columns



2/3 wood, 1/3 masonry base columns



Craftsman Porches



Prairie Porches



Tudor Porches



8. Raised foundation

Foundations for homes in the area are typical pier and beam which generally raises the house 12 – 24” above grade. This was seen as a key feature in the neighborhood. Thus, new construction would be required to have a minimum raised foundation of 12”.

Raised Foundations



24” Raised Foundation



18” Raised Foundation

9. Roofing materials

Traditional roofing materials would be required for the construction of new homes in the area. Certain materials would be prohibited as they were deemed inappropriate for the area. The materials prohibited would be corrugated metal, standing seam metal and tar and gravel roofing materials.

10. Waterfall steps

For properties with higher sloping lots, many have steps leading up to the walkway from the front of the yard. The steps typically have a rolling feature on the side of the steps and are commonly referred to as waterfall steps (example 5). Where these exist in the area, they would be required to be maintained.



Example 5

11. Maintaining the grade

The grade of the properties must be maintained. This is to prevent lot to lot drainage or the leveling on a lot for new construction.

STAFF RECOMMENDATIONS

Having collected data and analyzed the area, staff recommends this area to be established as a conservation district based on the following reasons:

- Meets the criteria of the Development Code for creating a conservation district
- The setback regulations will maintain consistent spacing from the street and between houses
- The probability of the existing architectural styles being replicated
- The neighborhood is well preserved as almost all of the homes in the area are the original homes built on the lot
- The height of structures would be maintained to consistent levels with original homes
- Required rear yards would enhance the environmental aspects of the neighborhood

The adoption of the proposed development standards would not prohibit large houses but would protect key characteristics of the area such as early twentieth century architecture, garage locations in the rear of the main structure, spacing between houses preventing a looming effect, and consistent use of building materials typically found in the area.

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APPENDIX A



NEIGHBORHOOD CHARACTERISTICS

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5300	GOODWIN AVE	1923	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5303	GOODWIN AVE	1924	NEO-TUDOR		<input type="checkbox"/>	
5306	GOODWIN AVE	1920	CRAFTSMAN	27	<input type="checkbox"/>	
5307	GOODWIN AVE	1926	COLONIAL REVIVAL	20	<input type="checkbox"/>	
5310	GOODWIN AVE	1922	TUDOR	24	<input type="checkbox"/>	
5311	GOODWIN AVE	1926	CRAFTSMAN	21	<input checked="" type="checkbox"/>	
5314	GOODWIN AVE	1922	CRAFTSMAN ALTERED	26	<input checked="" type="checkbox"/>	
5315	GOODWIN AVE	1926	TUDOR	26	<input type="checkbox"/>	
5318	GOODWIN AVE	1920	CRAFTSMAN		<input type="checkbox"/>	
5319	GOODWIN AVE	1926	TUDOR	25	<input type="checkbox"/>	
5322	GOODWIN AVE	1920	CRAFTSMAN	25	<input type="checkbox"/>	
5323	GOODWIN AVE	1926	CRAFTSMAN	26	<input type="checkbox"/>	
5327	GOODWIN AVE	1926	TUDOR	24	<input type="checkbox"/>	
5330	GOODWIN AVE	1920	COLONIAL REVIVAL	25	<input type="checkbox"/>	
5331	GOODWIN AVE	2003	NEO-TUDOR		<input type="checkbox"/>	
5334	GOODWIN AVE	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5335	GOODWIN AVE	2004	NEO-TUDOR		<input type="checkbox"/>	
5338	GOODWIN AVE	2000	NEO-TUDOR		<input type="checkbox"/>	
5341	GOODWIN AVE	1926	CRAFTSMAN	25	<input type="checkbox"/>	
5342	GOODWIN AVE	1920	CRAFTSMAN ALTERED		<input type="checkbox"/>	
5343	GOODWIN AVE	1926	CRAFTSMAN	24	<input type="checkbox"/>	
5345	GOODWIN AVE	1926	CRAFTSMAN	27	<input type="checkbox"/>	
5346	GOODWIN AVE	1920	COLONIAL REVIVAL	27	<input type="checkbox"/>	
5348	GOODWIN AVE	1920	CRAFTSMAN	26	<input type="checkbox"/>	
5349	GOODWIN AVE	1930	CRAFTSMAN	23	<input type="checkbox"/>	
5354	GOODWIN AVE	1920	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5355	GOODWIN AVE	1926	CRAFTSMAN	23	<input type="checkbox"/>	
5400	GOODWIN AVE	1922	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5403	GOODWIN AVE	1926	MINIMAL TRADITIONAL	31	<input checked="" type="checkbox"/>	
5404	GOODWIN AVE	1922	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5407	GOODWIN AVE	1926	PRAIRIE		<input checked="" type="checkbox"/>	
5410	GOODWIN AVE	1922	COLONIAL REVIVAL	23	<input checked="" type="checkbox"/>	
5411	GOODWIN AVE	1926	CRAFTSMAN ALTERED	26	<input checked="" type="checkbox"/>	
5412	GOODWIN AVE	1922	CRAFTSMAN	24	<input type="checkbox"/>	
5413	GOODWIN AVE	1926	CRAFTSMAN		<input type="checkbox"/>	
5417	GOODWIN AVE	1926	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5418	GOODWIN AVE	1922	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5420	GOODWIN AVE	1922	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5423	GOODWIN AVE	1926	CRAFTSMAN ALTERED	25	<input checked="" type="checkbox"/>	
5424	GOODWIN AVE	1922	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5425	GOODWIN AVE	1926	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5429	GOODWIN AVE	1926	CRAFTSMAN	21	<input checked="" type="checkbox"/>	
5430	GOODWIN AVE	1922	CRAFTSMAN	24	<input type="checkbox"/>	
5433	GOODWIN AVE	1926	CRAFTSMAN	26	<input type="checkbox"/>	
5434	GOODWIN AVE	1922	CRAFTSMAN	24	<input type="checkbox"/>	Circular Drive
5436	GOODWIN AVE	1922	COLONIAL REVIVAL	26	<input checked="" type="checkbox"/>	
5439	GOODWIN AVE	1926	CRAFTSMAN	25	<input type="checkbox"/>	
5440	GOODWIN AVE	2001	NEO-TUDOR		<input type="checkbox"/>	
5443	GOODWIN AVE	1926	CRAFTSMAN	23	<input checked="" type="checkbox"/>	

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5444	GOODWIN AVE	1922	CRAFTSMAN	25	<input type="checkbox"/>	
5445	GOODWIN AVE	2004	SPANISH ECLECTIC		<input type="checkbox"/>	
5449	GOODWIN AVE	1926	CRAFTSMAN	29	<input checked="" type="checkbox"/>	
5450	GOODWIN AVE	1922	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5452	GOODWIN AVE	1922	CRAFTSMAN	26	<input type="checkbox"/>	
5453	GOODWIN AVE	1926	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5458	GOODWIN AVE	1930	COLONIAL REVIVAL		<input type="checkbox"/>	
5459	GOODWIN AVE	1926	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5301	MILLER AVE	1920	PRAIRIE	31	<input type="checkbox"/>	
5302	MILLER AVE	1920	CRAFTSMAN	25	<input type="checkbox"/>	
5306	MILLER AVE	2003	PRAIRIE		<input type="checkbox"/>	
5307	MILLER AVE	1920	CRAFTSMAN	27	<input type="checkbox"/>	
5308	MILLER AVE	1920	CRAFTSMAN	23	<input type="checkbox"/>	
5309	MILLER AVE	1930	PRAIRIE DUPLEX	31	<input type="checkbox"/>	
5312	MILLER AVE	1920	CRAFTSMAN	24	<input type="checkbox"/>	
5313	MILLER AVE	1920	CRAFTSMAN	26	<input type="checkbox"/>	
5318	MILLER AVE	1920	CRAFTSMAN	27	<input type="checkbox"/>	
5319	MILLER AVE	1920	MINIMAL TRADITIONAL	26	<input type="checkbox"/>	
5322	MILLER AVE	1920	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5323	MILLER AVE	1920	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5327	MILLER AVE	1920	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5328	MILLER AVE	1918	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5330	MILLER AVE	1920	CRAFTSMAN	26	<input type="checkbox"/>	
5331	MILLER AVE	2004	CRAFTSMAN		<input type="checkbox"/>	
5332	MILLER AVE	1920	CRAFTSMAN		<input type="checkbox"/>	
5333	MILLER AVE	1920	PRAIRIE	29	<input checked="" type="checkbox"/>	
5336	MILLER AVE	1920	CRAFTSMAN	26	<input checked="" type="checkbox"/>	Porte Cochere
5337	MILLER AVE	1920	PRAIRIE	29	<input checked="" type="checkbox"/>	
5342	MILLER AVE	1920	COLONIAL REVIVAL	26	<input type="checkbox"/>	
5343	MILLER AVE	1920	CRAFTSMAN	29	<input checked="" type="checkbox"/>	
5346	MILLER AVE	1920	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5347	MILLER AVE	1920	PRAIRIE	24	<input checked="" type="checkbox"/>	
5348	MILLER AVE	1920	CRAFTSMAN	22	<input checked="" type="checkbox"/>	
5351	MILLER AVE	1920	CRAFTSMAN	27	<input type="checkbox"/>	
5354	MILLER AVE	1920	TRANSITIONAL VICTORIAN	30	<input type="checkbox"/>	
5355	MILLER AVE	1920	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5401	MILLER AVE	1920	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5402	MILLER AVE	1930	TUDOR DUPLEX	24	<input checked="" type="checkbox"/>	
5404	MILLER AVE	1917	PRAIRIE	23	<input type="checkbox"/>	Circular Drive
5405	MILLER AVE	1920	CRAFTSMAN	29	<input checked="" type="checkbox"/>	
5408	MILLER AVE	1917	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5411	MILLER AVE		PRAIRIE		<input type="checkbox"/>	
5411	MILLER AVE	1920	PRAIRIE	24	<input checked="" type="checkbox"/>	
5414	MILLER AVE	1910	CRAFTSMAN	26	<input type="checkbox"/>	
5416	MILLER AVE	1940	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5419	MILLER AVE	2002	PRAIRIE		<input checked="" type="checkbox"/>	
5420	MILLER AVE	1940	PRAIRIE DUPLEX	25	<input checked="" type="checkbox"/>	
5422	MILLER AVE	1940	PRAIRIE DUPLEX	25	<input checked="" type="checkbox"/>	
5424	MILLER AVE	1920	COLONIAL REVIVAL	25	<input checked="" type="checkbox"/>	

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5425	MILLER AVE	1920	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5427	MILLER AVE	1920	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5428	MILLER AVE	1938	TUDOR DUPLEX	30	<input checked="" type="checkbox"/>	
5429	MILLER AVE	1920	TUDOR ALTERED	29	<input checked="" type="checkbox"/>	
5432	MILLER AVE	1920	CRAFTSMAN	24	<input type="checkbox"/>	
5435	MILLER AVE	1920	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5436	MILLER AVE	1939	CRAFTSMAN ALTERED DU		<input checked="" type="checkbox"/>	
5437	MILLER AVE	1920	COLONIAL REVIVAL		<input checked="" type="checkbox"/>	
5440	MILLER AVE	1945	PRAIRIE DUPLEX		<input checked="" type="checkbox"/>	
5441	MILLER AVE	1920	CRAFTSMAN	34	<input type="checkbox"/>	
5442	MILLER AVE	1945	PRAIRIE DUPLEX		<input checked="" type="checkbox"/>	
5444	MILLER AVE	1935	PRAIRIE DUPLEX	27	<input type="checkbox"/>	Partial Parking in Front Yard
5446	MILLER AVE	1935	PRAIRIE DUPLEX	27	<input type="checkbox"/>	
5447	MILLER AVE	1920	CRAFTSMAN	37	<input checked="" type="checkbox"/>	
5450	MILLER AVE	1930	CRAFTSMAN	29	<input checked="" type="checkbox"/>	
5451	MILLER AVE	1920	CRAFTSMAN		<input type="checkbox"/>	
5454	MILLER AVE	1945	CRAFTSMAN		<input checked="" type="checkbox"/>	
5455	MILLER AVE	1915	CRAFTSMAN	27	<input type="checkbox"/>	
5456	MILLER AVE	1930	PRAIRIE DUPLEX		<input checked="" type="checkbox"/>	
5458	MILLER AVE	1930	PRAIRIE DUPLEX		<input checked="" type="checkbox"/>	
5459	MILLER AVE	1920	CRAFTSMAN		<input checked="" type="checkbox"/>	
5503	MILLER AVE	1922	ECLECTIC	31	<input checked="" type="checkbox"/>	
5506	MILLER AVE	1927	SPANISH MULTIFAMILY	26	<input type="checkbox"/>	
5507	MILLER AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5509	MILLER AVE	1918	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5515	MILLER AVE	1922	CRAFTSMAN	28	<input type="checkbox"/>	
5516	MILLER AVE	1923	CRAFTSMAN		<input type="checkbox"/>	
5518	MILLER AVE	1997	CONTEMPORARY		<input type="checkbox"/>	
5519	MILLER AVE	1920	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5523	MILLER AVE	1920	CRAFTSMAN ALTERED		<input type="checkbox"/>	
5524	MILLER AVE	1924	CRAFTSMAN	28	<input type="checkbox"/>	
5527	MILLER AVE	1916	CRAFTSMAN	25	<input type="checkbox"/>	
5528	MILLER AVE	1921	CRAFTSMAN		<input type="checkbox"/>	
5532	MILLER AVE	1923	CRAFTSMAN		<input type="checkbox"/>	
5533	MILLER AVE	1916	CRAFTSMAN	26	<input type="checkbox"/>	
5536	MILLER AVE	1914	CRAFTSMAN		<input type="checkbox"/>	
5537	MILLER AVE	1916	CRAFTSMAN DUPLEX	27	<input checked="" type="checkbox"/>	
5540	MILLER AVE	1923	CRAFTSMAN		<input checked="" type="checkbox"/>	
5541	MILLER AVE	1916	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5543	MILLER AVE	1922	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5544	MILLER AVE	1917	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5547	MILLER AVE	1921	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5548	MILLER AVE	1922	CRAFTSMAN	25	<input checked="" type="checkbox"/>	Circular Drive
5551	MILLER AVE	2002	NEO-TUDOR		<input type="checkbox"/>	
5552	MILLER AVE	1922	TUDOR DUPLEX	25	<input type="checkbox"/>	
5300	RICHARD AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	
5303	RICHARD AVE	1940	TUDOR	23	<input type="checkbox"/>	
5307	RICHARD AVE	1930	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5308	RICHARD AVE	1930	CRAFTSMAN	24	<input type="checkbox"/>	

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5311	RICHARD AVE	1930	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5314	RICHARD AVE	1930	CRAFTSMAN	26	<input type="checkbox"/>	
5315	RICHARD AVE	1930	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5316	RICHARD AVE	1930	CRAFTSMAN ALTERED	26	<input type="checkbox"/>	Circular Drive
5319	RICHARD AVE	1930	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5320	RICHARD AVE	1930	CRAFTSMAN	26	<input type="checkbox"/>	Circular Drive
5323	RICHARD AVE	1930	CRAFTSMAN ALTERED	27	<input checked="" type="checkbox"/>	
5326	RICHARD AVE	1930	CRAFTSMAN ALTERED	26	<input type="checkbox"/>	
5327	RICHARD AVE	1930	COLONIAL REVIVAL	26	<input checked="" type="checkbox"/>	
5330	RICHARD AVE		VACANT		<input type="checkbox"/>	
5331	RICHARD AVE	1918	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5334	RICHARD AVE	1930	CRAFTSMAN	27	<input type="checkbox"/>	
5335	RICHARD AVE	1930	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5336	RICHARD AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	
5339	RICHARD AVE	1930	CRAFTSMAN DUPLEX	27	<input checked="" type="checkbox"/>	
5341	RICHARD AVE	1930	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5342	RICHARD AVE	1999	NEO-TUDOR		<input type="checkbox"/>	
5343	RICHARD AVE	1930	PRAIRIE	22	<input checked="" type="checkbox"/>	
5344	RICHARD AVE	1930	TRANSITIONAL VICTORIAN	25	<input type="checkbox"/>	
5350	RICHARD AVE	1999	NEO-TUDOR		<input type="checkbox"/>	
5351	RICHARD AVE	1930	TUDOR	25	<input checked="" type="checkbox"/>	
5354	RICHARD AVE	1995	CONTEMPORARY		<input type="checkbox"/>	
5355	RICHARD AVE	1930	CRAFTSMAN	26	<input type="checkbox"/>	
5400	RICHARD AVE	1922	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5402	RICHARD AVE	1930	CRAFTSMAN	26	<input type="checkbox"/>	
5405	RICHARD AVE	1930	CRAFTSMAN DUPLEX	27	<input checked="" type="checkbox"/>	
5407	RICHARD AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	
5410	RICHARD AVE	1930	CRAFTSMAN	23	<input type="checkbox"/>	
5411	RICHARD AVE	1940	CRAFTSMAN	24	<input type="checkbox"/>	
5414	RICHARD AVE	1930	CRAFTSMAN	23	<input type="checkbox"/>	
5415	RICHARD AVE	1918	CRAFTSMAN ALTERED	25	<input checked="" type="checkbox"/>	
5417	RICHARD AVE	1930	CRAFTSMAN	28	<input type="checkbox"/>	
5418	RICHARD AVE	1930	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5421	RICHARD AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	
5422	RICHARD AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	Porte Cochere
5424	RICHARD AVE		NEO-TUDOR		<input type="checkbox"/>	Circular Drive
5425	RICHARD AVE	2003	NEO-TUDOR		<input checked="" type="checkbox"/>	
5428	RICHARD AVE	2004	NEO-TUDOR		<input type="checkbox"/>	
5429	RICHARD AVE	2002	NEO-TUDOR		<input type="checkbox"/>	
5432	RICHARD AVE	1930	CRAFTSMAN		<input type="checkbox"/>	
5433	RICHARD AVE	1930	PRAIRIE	23	<input type="checkbox"/>	
5436	RICHARD AVE	2002	PRAIRIE		<input type="checkbox"/>	
5437	RICHARD AVE	1939	MINIMAL TRADITIONAL	25	<input type="checkbox"/>	Circular Drive
5439	RICHARD AVE	1939	?	25	<input type="checkbox"/>	
5440	RICHARD AVE	2003	NEO-TUDOR		<input type="checkbox"/>	
5443	RICHARD AVE	1930	CRAFTSMAN	21	<input type="checkbox"/>	
5444	RICHARD AVE	1930	CRAFTSMAN	23	<input type="checkbox"/>	
5445	RICHARD AVE	1930	CRAFTSMAN	23	<input type="checkbox"/>	
5448	RICHARD AVE	2001	NEO-CRAFTSMAN		<input type="checkbox"/>	

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5451	RICHARD AVE	1930	CRAFTSMAN		<input type="checkbox"/>	
5454	RICHARD AVE	1930	CRAFTSMAN	22	<input type="checkbox"/>	
5455	RICHARD AVE	1930	PRAIRIE		<input type="checkbox"/>	
5457	RICHARD AVE	1922	CRAFTSMAN		<input checked="" type="checkbox"/>	
5458	RICHARD AVE	1930	CRAFTSMAN	21	<input checked="" type="checkbox"/>	
5502	RICHARD AVE	1923	CRAFTSMAN	26	<input type="checkbox"/>	
5503	RICHARD AVE	1927	CRAFTSMAN	24	<input type="checkbox"/>	Porte Cochere
5505	RICHARD AVE	1927	CRAFTSMAN	25	<input type="checkbox"/>	
5506	RICHARD AVE	1922	CRAFTSMAN	26	<input type="checkbox"/>	
5509	RICHARD AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5510	RICHARD AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5512	RICHARD AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5513	RICHARD AVE	1922	CRAFTSMAN	26	<input type="checkbox"/>	
5516	RICHARD AVE	1927	PRAIRIE	25	<input type="checkbox"/>	
5519	RICHARD AVE	1922	CRAFTSMAN	25	<input type="checkbox"/>	
5523	RICHARD AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5524	RICHARD AVE	1922	CRAFTSMAN	27	<input type="checkbox"/>	
5527	RICHARD AVE	1922	CRAFTSMAN ALTERED	27	<input type="checkbox"/>	
5528	RICHARD AVE	1918	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5532	RICHARD AVE	1923	CRAFTSMAN	21	<input checked="" type="checkbox"/>	
5535	RICHARD AVE	1921	CRAFTSMAN	30	<input type="checkbox"/>	
5536	RICHARD AVE	1923	CRAFTSMAN	36	<input checked="" type="checkbox"/>	Porte Cochere
5537	RICHARD AVE	1922	CRAFTSMAN	29	<input type="checkbox"/>	
5538	RICHARD AVE	1921	CRAFTSMAN	32	<input type="checkbox"/>	
5541	RICHARD AVE	1922	CRAFTSMAN	30	<input type="checkbox"/>	
5544	RICHARD AVE	1915	CRAFTSMAN	25	<input type="checkbox"/>	Circular Drive
5545	RICHARD AVE		VACANT		<input type="checkbox"/>	
5548	RICHARD AVE	1915	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5551	RICHARD AVE	1923	TUDOR	25	<input type="checkbox"/>	
5554	RICHARD AVE	1923	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5555	RICHARD AVE	1915	CRAFTSMAN	25	<input type="checkbox"/>	
5556	RICHARD AVE	1923	CRAFTSMAN	27	<input checked="" type="checkbox"/>	Porte Cochere
5600	RICHARD AVE	1923	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5601	RICHARD AVE	1919	CRAFTSMAN	28	<input type="checkbox"/>	
5605	RICHARD AVE	2003	PRAIRIE		<input type="checkbox"/>	
5606	RICHARD AVE	1923	CRAFTSMAN	28	<input checked="" type="checkbox"/>	Porte Cochere
5609	RICHARD AVE	1922	CRAFTSMAN	24	<input type="checkbox"/>	
5610	RICHARD AVE	1918	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5614	RICHARD AVE	1923	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5615	RICHARD AVE	1922	CRAFTSMAN	25	<input type="checkbox"/>	
5618	RICHARD AVE	1922	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5619	RICHARD AVE	1938	CRAFTSMAN	29	<input type="checkbox"/>	
5620	RICHARD AVE	1922	CRAFTSMAN	27	<input checked="" type="checkbox"/>	Porte Cochere
5621	RICHARD AVE	1920	PRAIRIE	28	<input type="checkbox"/>	
5627	RICHARD AVE	2000	NEO-TUDOR		<input type="checkbox"/>	
5628	RICHARD AVE	1920	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5629	RICHARD AVE	1921	CRAFTSMAN	29	<input type="checkbox"/>	
5630	RICHARD AVE	1916	CRAFTSMAN	20	<input checked="" type="checkbox"/>	
5634	RICHARD AVE	1922	CRAFTSMAN ALTERED	17	<input checked="" type="checkbox"/>	

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5635	RICHARD AVE	1919	CRAFTSMAN	31	<input type="checkbox"/>	
5638	RICHARD AVE	1924	SPANISH MULTIFAMILY	27	<input type="checkbox"/>	
5639	RICHARD AVE	1916	CRAFTSMAN	32	<input type="checkbox"/>	
5642	RICHARD AVE	1940	SPANISH MULTIFAMILY	27	<input checked="" type="checkbox"/>	
5643	RICHARD AVE	1920	COLONIAL REVIVAL	28	<input type="checkbox"/>	
5644	RICHARD AVE	1927	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5647	RICHARD AVE	1930	CRAFTSMAN	26	<input type="checkbox"/>	
5300	VICKERY BLVD	1920	PRAIRIE DUPLEX		<input type="checkbox"/>	
5303	VICKERY BLVD	1999	NEO-TUDOR		<input type="checkbox"/>	Circular Drive
5304	VICKERY BLVD	1920	CRAFTSMAN	25	<input type="checkbox"/>	
5305	VICKERY BLVD	1930	COLONIAL REVIVAL DUPL		<input type="checkbox"/>	
5307	VICKERY BLVD	1930	COLONIAL REVIVAL DUPL		<input type="checkbox"/>	
5310	VICKERY BLVD	2004	NEO-PRAIRIE		<input type="checkbox"/>	
5311	VICKERY BLVD	1920	PRAIRIE DUPLEX		<input type="checkbox"/>	
5313	VICKERY BLVD	1922	COLONIAL REVIVAL	28	<input type="checkbox"/>	
5314	VICKERY BLVD	1920	CRAFTSMAN	27	<input type="checkbox"/>	
5318	VICKERY BLVD	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5319	VICKERY BLVD	1920	CRAFTSMAN ALTERED		<input type="checkbox"/>	
5322	VICKERY BLVD	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5323	VICKERY BLVD	1998	NEO-CRAFTSMAN		<input type="checkbox"/>	
5325	VICKERY BLVD	1920	PRAIRIE	33	<input type="checkbox"/>	
5326	VICKERY BLVD	1920	PRAIRIE		<input type="checkbox"/>	
5330	VICKERY BLVD	1920	CRAFTSMAN	32	<input type="checkbox"/>	
5331	VICKERY BLVD	1922	TUDOR	34	<input type="checkbox"/>	
5334	VICKERY BLVD	1920	CRAFTSMAN	29	<input type="checkbox"/>	
5335	VICKERY BLVD	1920	CRAFTSMAN	34	<input checked="" type="checkbox"/>	
5336	VICKERY BLVD	1920	TUDOR	30	<input checked="" type="checkbox"/>	
5339	VICKERY BLVD	1952	MINIMAL TRADITIONAL		<input type="checkbox"/>	
5342	VICKERY BLVD	1920	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5343	VICKERY BLVD	1920	CRAFTSMAN DUPLEX	33	<input checked="" type="checkbox"/>	
5345	VICKERY BLVD	1920	CRAFTSMAN DUPLEX	33	<input checked="" type="checkbox"/>	
5346	VICKERY BLVD	1920	TUDOR	31	<input checked="" type="checkbox"/>	
5347	VICKERY BLVD	1920	CRAFTSMAN	36	<input type="checkbox"/>	
5350	VICKERY BLVD	1920	COLONIAL REVIVAL	28	<input checked="" type="checkbox"/>	
5351	VICKERY BLVD	1920	CRAFTSMAN	33	<input checked="" type="checkbox"/>	
5354	VICKERY BLVD	1920	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5357	VICKERY BLVD	1920	PRAIRIE	32	<input type="checkbox"/>	
5400	VICKERY BLVD	1920	PRAIRIE	28	<input type="checkbox"/>	
5403	VICKERY BLVD	1922	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5405	VICKERY BLVD	1922	CRAFTSMAN	30	<input checked="" type="checkbox"/>	
5406	VICKERY BLVD	2002	NEO-PRAIRIE		<input type="checkbox"/>	
5407	VICKERY BLVD	1936	CRAFTSMAN DUPLEX	34	<input checked="" type="checkbox"/>	
5409	VICKERY BLVD	1936	CRAFTSMAN DUPLEX	34	<input checked="" type="checkbox"/>	
5410	VICKERY BLVD	1920	PRAIRIE	28	<input type="checkbox"/>	
5411	VICKERY BLVD	2004	UNDEFINED		<input checked="" type="checkbox"/>	
5414	VICKERY BLVD	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5418	VICKERY BLVD	1923	CRAFTSMAN	32	<input type="checkbox"/>	
5419	VICKERY BLVD	1935	PRAIRIE		<input checked="" type="checkbox"/>	Porte Cochere w/Room Above
5422	VICKERY BLVD	1920	CRAFTSMAN	31	<input type="checkbox"/>	

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5424	VICKERY BLVD	1920	PRAIRIE DUPLEX	31	<input type="checkbox"/>	
5425	VICKERY BLVD	1955	MINIMAL TRADITIONAL		<input type="checkbox"/>	
5430	VICKERY BLVD	1920	CRAFTSMAN	35	<input type="checkbox"/>	
5431	VICKERY BLVD	1914	CRAFTSMAN		<input type="checkbox"/>	
5434	VICKERY BLVD		VACANT		<input type="checkbox"/>	
5435	VICKERY BLVD	1914	PRAIRIE	30	<input checked="" type="checkbox"/>	Porte Cochere w/ Room Above
5436	VICKERY BLVD	1920	CRAFTSMAN	32	<input type="checkbox"/>	
5440	VICKERY BLVD	1920	CRAFTSMAN	25	<input type="checkbox"/>	
5443	VICKERY BLVD	1950	MINIMAL TRADITIONAL		<input type="checkbox"/>	
5446	VICKERY BLVD	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5447	VICKERY BLVD	1927	CRAFTSMAN	33	<input type="checkbox"/>	
5450	VICKERY BLVD	1920	CRAFTSMAN	30	<input type="checkbox"/>	
5451	VICKERY BLVD	1922	CRAFTSMAN		<input type="checkbox"/>	
5454	VICKERY BLVD	1984	MEDITERRANEAN		<input type="checkbox"/>	
5455	VICKERY BLVD	1922	CRAFTSMAN	33	<input checked="" type="checkbox"/>	
5457	VICKERY BLVD	1922	CRAFTSMAN		<input checked="" type="checkbox"/>	
5458	VICKERY BLVD	1920	PRAIRIE	31	<input checked="" type="checkbox"/>	
5502	VICKERY BLVD	1923	CRAFTSMAN ALTERED		<input type="checkbox"/>	
5503	VICKERY BLVD	1936	CRAFTSMAN	30	<input checked="" type="checkbox"/>	
5506	VICKERY BLVD	1923	CRAFTSMAN	29	<input type="checkbox"/>	
5507	VICKERY BLVD	1993	NEO-TUDOR		<input type="checkbox"/>	
5508	VICKERY BLVD	2002	NEO-TUDOR		<input type="checkbox"/>	
5509	VICKERY BLVD	1936	PRAIRIE	27	<input checked="" type="checkbox"/>	Porte Cochere
5514	VICKERY BLVD	1923	CRAFTSMAN	30	<input checked="" type="checkbox"/>	
5515	VICKERY BLVD	1936	CRAFTSMAN	33	<input checked="" type="checkbox"/>	
5516	VICKERY BLVD	1935	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5519	VICKERY BLVD	2004	NEO-TUDOR		<input type="checkbox"/>	
5523	VICKERY BLVD	2004	NEO-PRAIRIE		<input type="checkbox"/>	
5524	VICKERY BLVD	1923	CRAFTSMAN		<input checked="" type="checkbox"/>	
5527	VICKERY BLVD	1926	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5528	VICKERY BLVD	1922	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5533	VICKERY BLVD	1920	MINIMAL TRADITIONAL		<input type="checkbox"/>	Circular Drive
5534	VICKERY BLVD	1923	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5535	VICKERY BLVD	1936	ECLECTIC		<input checked="" type="checkbox"/>	
5536	VICKERY BLVD	1988	CONTEMPORARY		<input type="checkbox"/>	
5539	VICKERY BLVD	1936	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5540	VICKERY BLVD	1932	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5544	VICKERY BLVD	1999	NEO-TUDOR		<input type="checkbox"/>	
5545	VICKERY BLVD	1936	CRAFTSMAN		<input checked="" type="checkbox"/>	
5550	VICKERY BLVD	1923	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5551	VICKERY BLVD	1936	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5554	VICKERY BLVD	1993	NEO-TUDOR		<input checked="" type="checkbox"/>	
5555	VICKERY BLVD	2002	NEO-CRAFTSMAN		<input type="checkbox"/>	
5601	VICKERY BLVD	1948	CRAFTSMAN DUPLEX ALTE		<input checked="" type="checkbox"/>	
5602	VICKERY BLVD	1922	PRAIRIE		<input checked="" type="checkbox"/>	
5605	VICKERY BLVD	1926	PRAIRIE	27	<input checked="" type="checkbox"/>	Porte Cochere w/ Room Above
5606	VICKERY BLVD	2004	PRAIRIE		<input type="checkbox"/>	Porte Cochere w/ Room Above
5609	VICKERY BLVD	1916	PRAIRIE	29	<input checked="" type="checkbox"/>	Porte Cochere w/ Room Above
5610	VICKERY BLVD	1926	PRAIRIE DUPLEX	28	<input checked="" type="checkbox"/>	

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5611	VICKERY BLVD	1936	PRAIRIE	27	<input checked="" type="checkbox"/>	
5618	VICKERY BLVD	1926	PRAIRIE DUPLEX	27	<input checked="" type="checkbox"/>	
5622	VICKERY BLVD	1922	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5623	VICKERY BLVD	1922	CRAFTSMAN	27	<input checked="" type="checkbox"/>	Porte Cochere
5626	VICKERY BLVD	1922	CRAFTSMAN		<input type="checkbox"/>	
5627	VICKERY BLVD	1923	CRAFTSMAN		<input type="checkbox"/>	Porte Cochere
5630	VICKERY BLVD	1924	CRAFTSMAN	31	<input checked="" type="checkbox"/>	
5631	VICKERY BLVD	1948	SPANISH ECLECTIC		<input checked="" type="checkbox"/>	
5634	VICKERY BLVD	1923	CRAFTSMAN	31	<input checked="" type="checkbox"/>	Porte Cochere
5635	VICKERY BLVD	1918	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5636	VICKERY BLVD	2004	MEDITERRANEAN		<input type="checkbox"/>	
5637	VICKERY BLVD	1940	PRAIRIE DUPLEX	29	<input checked="" type="checkbox"/>	
5640	VICKERY BLVD	1924	TRANSITIONAL VICTORIAN		<input type="checkbox"/>	
5643	VICKERY BLVD	1917	CRAFTSMAN		<input checked="" type="checkbox"/>	
5644	VICKERY BLVD	1922	CRAFTSMAN		<input type="checkbox"/>	
5645	VICKERY BLVD	1926	TUDOR ALTERED	22	<input checked="" type="checkbox"/>	
5300	WILLIS AVE	1930	CRAFTSMAN	25	<input type="checkbox"/>	
5303	WILLIS AVE	1920	CRAFTSMAN	33	<input type="checkbox"/>	
5304	WILLIS AVE	1945	PRAIRIE DUPLEX	29	<input type="checkbox"/>	
5306	WILLIS AVE	1945	PRAIRIE DUPLEX	29	<input type="checkbox"/>	
5307	WILLIS AVE	1930	CRAFTSMAN		<input type="checkbox"/>	
5310	WILLIS AVE	1930	CRAFTSMAN	28	<input type="checkbox"/>	
5311	WILLIS AVE	1920	CRAFTSMAN	35	<input type="checkbox"/>	
5314	WILLIS AVE	1930	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5315	WILLIS AVE	1920	CRAFTSMAN	35	<input checked="" type="checkbox"/>	
5318	WILLIS AVE	1926	CRAFTSMAN	27	<input type="checkbox"/>	Porte Cochere
5319	WILLIS AVE	2000	TUDOR		<input type="checkbox"/>	
5320	WILLIS AVE	1930	NEO-TUDOR		<input type="checkbox"/>	
5323	WILLIS AVE	1920	CRAFTSMAN	33	<input checked="" type="checkbox"/>	
5324	WILLIS AVE	1930	MINIMAL TRADITIONAL ALT	32	<input type="checkbox"/>	
5327	WILLIS AVE	1920	CRAFTSMAN	35	<input checked="" type="checkbox"/>	
5330	WILLIS AVE	1930	CRAFTSMAN	25	<input checked="" type="checkbox"/>	
5331	WILLIS AVE	1920	CRAFTSMAN	32	<input checked="" type="checkbox"/>	
5334	WILLIS AVE	1930	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5335	WILLIS AVE	1920	NEO-CRAFTSMAN		<input type="checkbox"/>	
5336	WILLIS AVE	1930	PRAIRIE		<input type="checkbox"/>	
5339	WILLIS AVE	1930	CRAFTSMAN	30	<input checked="" type="checkbox"/>	
5341	WILLIS AVE	1950	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5342	WILLIS AVE	1930	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5346	WILLIS AVE	1930	CRAFTSMAN		<input type="checkbox"/>	
5347	WILLIS AVE	1920	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5349	WILLIS AVE	1930	PRAIRIE	29	<input checked="" type="checkbox"/>	
5350	WILLIS AVE	1930	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5355	WILLIS AVE	1920	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5358	WILLIS AVE	1945	PRAIRIE DUPLEX	25	<input checked="" type="checkbox"/>	
5401	WILLIS AVE	1930	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5402	WILLIS AVE	1930	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5404	WILLIS AVE	1940	CRAFTSMAN ALTERED	25	<input type="checkbox"/>	
5405	WILLIS AVE	1935	CRAFTSMAN	27	<input checked="" type="checkbox"/>	Porte Cochere

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Num	Street Name	YearBuilt	Architectural Style	FYSetback	RollingSteps	Comments
5410	WILLIS AVE	1924	COLONIAL REVIVAL	27	<input checked="" type="checkbox"/>	
5411	WILLIS AVE	1930	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5414	WILLIS AVE	1924	PRAIRIE	29	<input checked="" type="checkbox"/>	
5415	WILLIS AVE	1930	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5417	WILLIS AVE	1930	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5418	WILLIS AVE	1930	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5420	WILLIS AVE	1923	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5423	WILLIS AVE	1950	MINIMAL TRADITIONAL	33	<input type="checkbox"/>	
5424	WILLIS AVE	1922	CRAFTSMAN	27	<input checked="" type="checkbox"/>	
5427	WILLIS AVE	1930	COLONIAL REVIVAL	29	<input checked="" type="checkbox"/>	
5430	WILLIS AVE	1923	CRAFTSMAN	23	<input checked="" type="checkbox"/>	
5431	WILLIS AVE	1930	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5434	WILLIS AVE	1923	CRAFTSMAN	24	<input type="checkbox"/>	
5435	WILLIS AVE	1930	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5437	WILLIS AVE	1921	NEO-PRAIRIE		<input type="checkbox"/>	
5438	WILLIS AVE	1923	CRAFTSMAN	26	<input type="checkbox"/>	
5440	WILLIS AVE	1940	PRAIRIE	23	<input checked="" type="checkbox"/>	
5441	WILLIS AVE	1940	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5444	WILLIS AVE	1923	PRAIRIE	27	<input checked="" type="checkbox"/>	
5447	WILLIS AVE	1945	TUDOR DUPLEX	31	<input checked="" type="checkbox"/>	
5450	WILLIS AVE	1923	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5451	WILLIS AVE	1925	CRAFTSMAN	24	<input checked="" type="checkbox"/>	
5452	WILLIS AVE	1918	CRAFTSMAN	28	<input checked="" type="checkbox"/>	
5455	WILLIS AVE	2003	NEO-TUDOR		<input checked="" type="checkbox"/>	
5458	WILLIS AVE	1930	CRAFTSMAN	26	<input checked="" type="checkbox"/>	
5459	WILLIS AVE	2004	SPANISH ECLECTIC		<input type="checkbox"/>	

APPENDIX B

FRONT YARD SETBACKS AND AVERAGES PER BLOCKFACE

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Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5300	GOODWIN AVE	
5306	GOODWIN AVE	27
5310	GOODWIN AVE	24
5314	GOODWIN AVE	26
5318	GOODWIN AVE	
5322	GOODWIN AVE	25
5330	GOODWIN AVE	25
5334	GOODWIN AVE	30
5338	GOODWIN AVE	
5342	GOODWIN AVE	
5346	GOODWIN AVE	27
5348	GOODWIN AVE	26
5349	GOODWIN AVE	23
5354	GOODWIN AVE	
Average		26

Num	Street Name	FYSetback
5303	GOODWIN	
5307	GOODWIN	20
5311	GOODWIN	21
5315	GOODWIN	26
5319	GOODWIN	25
5323	GOODWIN	26
5327	GOODWIN	24
5331	GOODWIN	
5335	GOODWIN	
5341	GOODWIN	25
5343	GOODWIN	24
5345	GOODWIN	27
5349	GOODWIN	23
5355	GOODWIN	
Average		24

5400	GOODWIN AVE	24
5404	GOODWIN AVE	25
5410	GOODWIN AVE	23
5412	GOODWIN AVE	24
5418	GOODWIN AVE	25
5420	GOODWIN AVE	27
5424	GOODWIN AVE	23
5430	GOODWIN AVE	24
5434	GOODWIN AVE	24
5436	GOODWIN AVE	26
5440	GOODWIN AVE	
5444	GOODWIN AVE	25
5450	GOODWIN AVE	28
5452	GOODWIN AVE	26
5458	GOODWIN AVE	
Average		25

5403	GOODWIN	31
5407	GOODWIN	
5411	GOODWIN	26
5413	GOODWIN	
5417	GOODWIN	23
5423	GOODWIN	25
5425	GOODWIN	23
5429	GOODWIN	21
5433	GOODWIN	26
5439	GOODWIN	25
5443	GOODWIN	23
5445	GOODWIN	
5449	GOODWIN	29
5453	GOODWIN	24
5459	GOODWIN	27
Average		25

Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5302	MILLER AVE	25
5306	MILLER AVE	
5308	MILLER AVE	23
5312	MILLER AVE	24
5318	MILLER AVE	27
5322	MILLER AVE	25
5328	MILLER AVE	26
5330	MILLER AVE	26
5332	MILLER AVE	
5336	MILLER AVE	26
5342	MILLER AVE	26
5346	MILLER AVE	26
5348	MILLER AVE	22
5354	MILLER AVE	30
Average		26

5402	MILLER AVE	24
5404	MILLER AVE	23
5408	MILLER AVE	24
5414	MILLER AVE	26
5416	MILLER AVE	25
5420	MILLER AVE	25
5422	MILLER AVE	25
5424	MILLER AVE	25
5428	MILLER AVE	30
5432	MILLER AVE	24
5436	MILLER AVE	
5440	MILLER AVE	
5442	MILLER AVE	
5444	MILLER AVE	27
5446	MILLER AVE	27
5450	MILLER AVE	29
5454	MILLER AVE	
5456	MILLER AVE	
5458	MILLER AVE	
Average		26

5506	MILLER AVE	26
5516	MILLER AVE	
5518	MILLER AVE	
5524	MILLER AVE	28
5528	MILLER AVE	
5532	MILLER AVE	
5536	MILLER AVE	
5540	MILLER AVE	
5544	MILLER AVE	24
5548	MILLER AVE	25
5552	MILLER AVE	25
Average		26

Num	Street Name	FYSetback
5301	MILLER AVE	31
5307	MILLER AVE	27
5309	MILLER AVE	31
5313	MILLER AVE	26
5319	MILLER AVE	26
5323	MILLER AVE	27
5327	MILLER AVE	27
5331	MILLER AVE	
5333	MILLER AVE	29
5337	MILLER AVE	29
5343	MILLER AVE	29
5347	MILLER AVE	24
5351	MILLER AVE	27
5355	MILLER AVE	27
Average		28

5401	MILLER AVE	23
5405	MILLER AVE	29
5411	MILLER AVE	24
5419	MILLER AVE	
5425	MILLER AVE	23
5427	MILLER AVE	27
5429	MILLER AVE	29
5435	MILLER AVE	32
5437	MILLER AVE	
5441	MILLER AVE	34
5447	MILLER AVE	37
5451	MILLER AVE	
5455	MILLER AVE	27
5459	MILLER AVE	
Average		29

5503	MILLER AVE	31
5507	MILLER AVE	27
5509	MILLER AVE	25
5515	MILLER AVE	28
5519	MILLER AVE	24
5523	MILLER AVE	
5527	MILLER AVE	25
5533	MILLER AVE	26
5537	MILLER AVE	27
5541	MILLER AVE	26
5543	MILLER AVE	25
5547	MILLER AVE	31
5551	MILLER AVE	
Average		27

Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5300	RICHARD AVE	25
5308	RICHARD AVE	24
5314	RICHARD AVE	26
5316	RICHARD AVE	26
5320	RICHARD AVE	26
5334	RICHARD AVE	27
5326	RICHARD AVE	26
5330	RICHARD AVE	
5336	RICHARD AVE	25
5342	RICHARD AVE	
5344	RICHARD AVE	25
5350	RICHARD AVE	
5354	RICHARD AVE	
Average		26

Num	Street Name	FYSetback
5303	RICHARD	23
5307	RICHARD	23
5311	RICHARD	23
5315	RICHARD	27
5319	RICHARD	23
5323	RICHARD	27
5327	RICHARD	26
5331	RICHARD	27
5335	RICHARD	27
5339	RICHARD	27
5341	RICHARD	24
5343	RICHARD	22
5351	RICHARD	25
5355	RICHARD	26
Average		25

5400	RICHARD AVE	24
5402	RICHARD AVE	26
5410	RICHARD AVE	23
5414	RICHARD AVE	23
5418	RICHARD AVE	25
5422	RICHARD AVE	25
5424	RICHARD AVE	
5428	RICHARD AVE	
5432	RICHARD AVE	
5436	RICHARD AVE	
5440	RICHARD AVE	
5444	RICHARD AVE	23
5448	RICHARD AVE	
5454	RICHARD AVE	22
5458	RICHARD AVE	21
Average		24

5405	RICHARD	27
5407	RICHARD	25
5411	RICHARD	24
5415	RICHARD	25
5417	RICHARD	28
5421	RICHARD	25
5425	RICHARD	
5429	RICHARD	
5433	RICHARD	23
5437	RICHARD	25
5439	RICHARD	25
5443	RICHARD	21
5445	RICHARD	23
5451	RICHARD	
5455	RICHARD	
5457	RICHARD	
Average		25

5502	RICHARD AVE	26
5506	RICHARD AVE	26
5510	RICHARD AVE	27
5512	RICHARD AVE	27
5516	RICHARD AVE	25
5524	RICHARD AVE	27
5528	RICHARD AVE	26
5532	RICHARD AVE	21
5536	RICHARD AVE	36
5538	RICHARD AVE	32
5544	RICHARD AVE	25
5548	RICHARD AVE	25
5554	RICHARD AVE	26
5556	RICHARD AVE	27
Average		27

5503	RICHARD	24
5505	RICHARD	25
5509	RICHARD	27
5513	RICHARD	26
5519	RICHARD	25
5523	RICHARD	27
5527	RICHARD	27
5535	RICHARD	30
5537	RICHARD	29
5541	RICHARD	30
5545	RICHARD	
5551	RICHARD	25
5555	RICHARD	25
Average		27

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Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5600	RICHARD AVE	28
5606	RICHARD AVE	28
5610	RICHARD AVE	25
5614	RICHARD AVE	26
5618	RICHARD AVE	25
5620	RICHARD AVE	27
5628	RICHARD AVE	26
5630	RICHARD AVE	20
5634	RICHARD AVE	17
5638	RICHARD AVE	27
5642	RICHARD AVE	27
5644	RICHARD AVE	27
Average		25

Num	Street Name	FYSetback
5601	RICHARD	28
5605	RICHARD	
5609	RICHARD	24
5615	RICHARD	25
5619	RICHARD	29
5621	RICHARD	28
5627	RICHARD	
5629	RICHARD	29
5635	RICHARD	31
5639	RICHARD	32
5643	RICHARD	28
5647	RICHARD	26
Average		28

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Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5300	VICKERY BLVD	
5304	VICKERY BLVD	25
5310	VICKERY BLVD	
5314	VICKERY BLVD	27
5318	VICKERY BLVD	30
5322	VICKERY BLVD	30
5326	VICKERY BLVD	
5330	VICKERY BLVD	32
5334	VICKERY BLVD	29
5336	VICKERY BLVD	30
5342	VICKERY BLVD	28
5346	VICKERY BLVD	31
5350	VICKERY BLVD	28
5354	VICKERY BLVD	31
Average		29

Num	Street Name	FYSetback
5303	VICKERY	
5305	VICKERY	
5307	VICKERY	
5311	VICKERY	
5313	VICKERY	28
5319	VICKERY	
5323	VICKERY	
5325	VICKERY	33
5331	VICKERY	34
5335	VICKERY	34
5339	VICKERY	
5343	VICKERY	33
5345	VICKERY	33
5347	VICKERY	36
5351	VICKERY	33
5357	VICKERY	32
Average		33

5400	VICKERY BLVD	28
5406	VICKERY BLVD	
5410	VICKERY BLVD	28
5414	VICKERY BLVD	30
5418	VICKERY BLVD	32
5422	VICKERY BLVD	31
5424	VICKERY BLVD	31
5430	VICKERY BLVD	35
5434	VICKERY BLVD	
5436	VICKERY BLVD	32
5440	VICKERY BLVD	25
5446	VICKERY BLVD	30
5450	VICKERY BLVD	30
5454	VICKERY BLVD	
5458	VICKERY BLVD	31
Average		30

5403	VICKERY	32
5405	VICKERY	30
5407	VICKERY	34
5409	VICKERY	34
5411	VICKERY	
5419	VICKERY	
5425	VICKERY	
5431	VICKERY	
5435	VICKERY	30
5443	VICKERY	
5447	VICKERY	33
5451	VICKERY	
5455	VICKERY	33
5457	VICKERY	
Average		32

5502	VICKERY BLVD	
5506	VICKERY BLVD	29
5508	VICKERY BLVD	
5514	VICKERY BLVD	30
5516	VICKERY BLVD	31
5524	VICKERY BLVD	
5528	VICKERY BLVD	31
5534	VICKERY BLVD	31
5536	VICKERY BLVD	
5540	VICKERY BLVD	32
5544	VICKERY BLVD	
5550	VICKERY BLVD	31
5554	VICKERY BLVD	
Average		31

5503	VICKERY	30
5507	VICKERY	
5509	VICKERY	27
5515	VICKERY	33
5519	VICKERY	
5523	VICKERY	
5527	VICKERY	32
5533	VICKERY	
5535	VICKERY	
5539	VICKERY	32
5545	VICKERY	
5551	VICKERY	31
5555	VICKERY	
Average		31

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Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5602	VICKERY BLVD	
5606	VICKERY BLVD	
5610	VICKERY BLVD	28
5618	VICKERY BLVD	27
5622	VICKERY BLVD	28
5626	VICKERY BLVD	
5630	VICKERY BLVD	31
5634	VICKERY BLVD	31
5636	VICKERY BLVD	
5640	VICKERY BLVD	
5644	VICKERY BLVD	
Average		29

Num	Street Name	FYSetback
5601	VICKERY	
5605	VICKERY	27
5609	VICKERY	29
5611	VICKERY	27
5623	VICKERY	27
5627	VICKERY	
5631	VICKERY	
5635	VICKERY	27
5637	VICKERY	29
5643	VICKERY	
5645	VICKERY	22
Average		27

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Front Yard Setbacks and Averages per blockface for Vickery Place

Num	Street Name	FYSetback
5300	WILLIS AVE	25
5304	WILLIS AVE	29
5306	WILLIS AVE	29
5310	WILLIS AVE	28
5314	WILLIS AVE	28
5318	WILLIS AVE	27
5320	WILLIS AVE	
5324	WILLIS AVE	32
5330	WILLIS AVE	25
5334	WILLIS AVE	24
5336	WILLIS AVE	
5342	WILLIS AVE	27
5346	WILLIS AVE	
5350	WILLIS AVE	26
5358	WILLIS AVE	25
Average		27

5402	WILLIS AVE	26
5404	WILLIS AVE	25
5410	WILLIS AVE	27
5414	WILLIS AVE	29
5418	WILLIS AVE	27
5420	WILLIS AVE	28
5424	WILLIS AVE	27
5430	WILLIS AVE	23
5434	WILLIS AVE	24
5438	WILLIS AVE	26
5440	WILLIS AVE	23
5444	WILLIS AVE	27
5450	WILLIS AVE	26
5452	WILLIS AVE	28
5458	WILLIS AVE	26
Average		26

Num	Street Name	FYSetback
5303	WILLIS AVE	33
5307	WILLIS AVE	
5311	WILLIS AVE	35
5315	WILLIS AVE	35
5319	WILLIS AVE	
5323	WILLIS AVE	33
5327	WILLIS AVE	35
5331	WILLIS AVE	32
5335	WILLIS AVE	
5339	WILLIS AVE	30
5341	WILLIS AVE	28
5347	WILLIS AVE	28
5349	WILLIS AVE	29
5355	WILLIS AVE	27
Average		31

5401	WILLIS AVE	26
5405	WILLIS AVE	27
5411	WILLIS AVE	28
5415	WILLIS AVE	28
5417	WILLIS AVE	26
5423	WILLIS AVE	33
5427	WILLIS AVE	29
5431	WILLIS AVE	28
5435	WILLIS AVE	24
5437	WILLIS AVE	
5441	WILLIS AVE	26
5447	WILLIS AVE	31
5451	WILLIS AVE	24
5455	WILLIS AVE	
5459	WILLIS AVE	
Average		28