

1-5-07

ORDINANCE NO. 26549

An ordinance amending Ordinance No. 26391, passed by the Dallas City Council on June 28, 2006, which established Conservation District No. 15 (the Vickery Place Conservation District); expanding the conservation district boundaries by changing the zoning classification on the following property which is presently zoned as an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1:

5400 and 5500 blocks of Bonita Avenue; 5100, 5200, 5500, and 5600 blocks of Goodwin Avenue; 5200 block of Vickery Boulevard; 5200 block of Richard Avenue; 5200 and 5600 blocks of Miller Avenue; and 5200, 5500, and 5600 blocks of Willis Avenue; except 2815 and 2901 Greenville Avenue and 5627, 5631, 5635, and 5639 Goodwin Avenue,

to Conservation District No. 15 (the Vickery Place Conservation District) with retention of Modified Delta Overlay No. 1; providing a revised Exhibit A to Ordinance No. 26391; providing a revised conceptual plan; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council, in accordance with the Charter of the City of Dallas, the state law, and the ordinances of the City of Dallas, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to change the zoning classification and expand Conservation District No. 15 as specified in this ordinance; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. That the zoning classification is changed from an R-7.5(A) Single Family District and an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay No. 1 to Conservation District No. 15 (the Vickery Place Conservation District) with retention of Modified Delta Overlay No. 1 on the following property:

5400 and 5500 blocks of Bonita Avenue; 5100, 5200, 5500, and 5600 blocks of Goodwin Avenue; 5200 block of Vickery Boulevard; 5200 block of Richard Avenue; 5200 and 5600 blocks of Miller Avenue; and 5200, 5500, and 5600 blocks of Willis Avenue; except 2815 and 2901 Greenville Avenue and 5627, 5631, 5635, and 5639 Goodwin Avenue.

SECTION 2. That the Exhibit A attached to Ordinance No. 26391, the Vickery Place Conservation District property description, is replaced by the Exhibit A attached to this ordinance.

SECTION 3. That the Exhibit C attached to Ordinance No. 26391, the Vickery Place Conservation District Conceptual Plan, is replaced by the Exhibit C attached to this ordinance.

SECTION 4. That, pursuant to Section 51A-4.701 of Chapter 51A of the Dallas City Code, as amended, the property description in Section 1 of this ordinance shall be construed as including the area to the centerline of all adjacent streets and alleys.

SECTION 5. That the director of development services shall correct Zoning District Map Nos. H-7, H-8, and I-8 in the offices of the city secretary, the building official, and the department of development services to reflect the changes in zoning made by this ordinance.

SECTION 6. That a person who violates a provision of this ordinance, upon conviction, is punishable by a fine not to exceed \$2,000.

SECTION 7. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of Chapter 1 of the Dallas City Code, as amended.

SECTION 9. That this ordinance shall take effect immediately from and after its passage and publication, in accordance with the Charter of the City of Dallas, and it is accordingly so ordained.

APPROVED AS TO FORM:

THOMAS P. PERKINS, JR., City Attorney

By 
Assistant City Attorney

Passed JAN 10 2007

Exhibit A - General Legal Description for Vickery Place

An area generally bounded by both sides of Goodwin Avenue to the north, from North Central Expressway to Greenville Avenue to the east, both sides of Richard Avenue to the south and Homer Street and a portion of Central Expressway to the west.

Full legal description

BEGINNING on centerline of North Central Expressway at the point of intersection of the centerline of the alley between Goodwin Avenue and Vanderbilt Avenue,

THENCE, in an easterly direction, along the centerline of the alley between Goodwin Avenue and Vanderbilt Avenue to the point of intersection with the, common line between Lots 81 and 82 in City Block 1/2076 projected north, to a point for corner;

THENCE, in a southerly direction along said common line to the point of intersection with the centerline of Goodwin Avenue, to a point for corner;

THENCE, in an easterly direction along the centerline of Goodwin Avenue to the point of intersection with the common line between Lots 9 and parcel described per DCAD as Lots 10, 11 & 12 in City Block 8/1926 projected north, to a point for corner;

THENCE, in a southerly direction along said common line to the point of intersection with the centerline of the alley between Goodwin Avenue and Vickery Avenue, to a point for corner;

THENCE, in an easterly direction along the centerline of the alley between Goodwin Avenue and Vickery Avenue, to the point of intersection with the centerline of Greenville Avenue, to a point for corner;

THENCE, in a southerly direction along the centerline of Greenville Avenue to the point of intersection with the centerline of the alley, south of Richard Ave, said point also being the centerline of Goliad Ave projected west, to a point for corner;

THENCE, in a westerly direction, along the centerline of said alley south of Richard Ave and running between, City Blocks 24/1933 and a parcel described per DCAD as all Block 2067, 1/2065 Lot 9, and 3/2067 Lots 1 & 2 to the point of intersection with the, common line between lots 8 and 9 in City Block 1/2065 projected north, to a point for corner;

THENCE, in a southerly direction along said common line to the point of intersection with the centerline, Bonita Ave;

THENCE, in a westerly direction, along the centerline of, Bonita Ave to the point of intersection with the centerline of Summit Avenue, to a point for corner;

THENCE, in a southerly direction along the centerline of Summit Avenue to the point of intersection with the centerline of the alley between Bonita Avenue and Belmont Avenue, to a point for corner;

THENCE, in a westerly direction, along the centerline of said alley to the point of intersection with the centerline of Glencoe Street;

THENCE, in a northerly direction along the centerline of Glencoe Street to the point of intersection with the centerline of the alley between Bonita Avenue and Richard Avenue, to a point for corner;

THENCE, in a westerly direction, along the centerline of the alley between Bonita Avenue and Richard Avenue to the point of intersection with the centerline of Homer Street, to a point for corner;

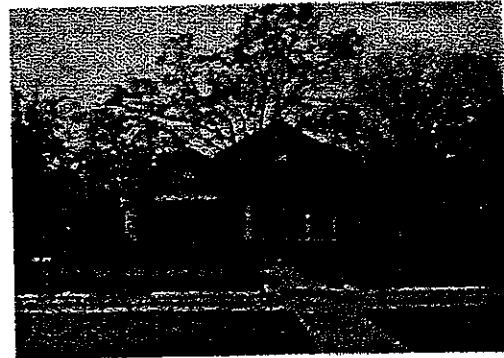
THENCE, in a northerly direction along the centerline of Homer Street to the point of intersection with the centerline of the alley, between Vickery Blvd and Goodwin Ave, to a point for corner;

THENCE, in a westerly direction, along the centerline of the alley between Vickery Blvd and Goodwin Ave to the point of intersection with the centerline of North Central Expressway, the PLACE OF BEGINNING.

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EXHIBIT C
VICKERY PLACE
CONSERVATION DISTRICT
CONCEPTUAL PLAN



**AN EARLY TWENTIETH CENTURY
COMMUNITY MAINTAINING THE TURN OF
THE CENTURY CHARACTER**

CITY OF DALLAS
DEPARTMENT OF DEVELOPMENT SERVICES
LONG-RANGE PLANNING DIVISION
MAY 4, 2006

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Vickery Place Conservation District Conceptual Plan

CITY OF DALLAS
DEPARTMENT OF DEVELOPMENT SERVICES
LONG-RANGE PLANNING DIVISION

May 4, 2006

Theresa O'Donnell, Director of Development Services
Janet Tharp, Interim Assistant Director, Long-Range Planning Division

Project Manager
Nathaniel Barnett, Senior Planner, Long-Range Planning Division



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CONCEPTUAL PLAN FOR VICKERY PLACE

Vickery Place is one of the oldest neighborhoods in the city of Dallas. Originally platted in 1911, this neighborhood has been home to many influential citizens throughout the city's history. Using advertisement on the back of street cars, citizens were encouraged to move to the area and take advantage of the middle class lifestyle. The area also became the original location of the Hockaday School for Girls at the corner of Belmont and Greenville.

As construction began to take place in the area, it emulated the styles being built in other areas during the early twentieth century. These included Craftsman bungalows, Prairie School House and Tudor style homes. The area was also serviced by streetcars to make access to the central business district convenient. After the success of the neighborhood, many other neighborhoods began to spring up around it. These include the neighborhoods of Greenland Hills, Belmont Addition and Greenville Crest. Today, all of those neighborhoods are conservation districts.

Study Area Architecture

The area has similar architectural styles of the other neighborhoods that surround them. These styles include Tudor, Colonial Revival, Craftsman, and Prairie. Almost all of the houses have an architectural style that was prevalent from the early twentieth century. The diversity of styles in the area adds to the richness of the neighborhood. Of the original homes, almost all are one story structures with the exception of the Prairies which are two stories. Most of the new constructions in the area have been two story structures. However, even the newer construction primarily has been built in an architectural style reminiscent or an adaptation of a style original to the area.



Tudor in Greenland Hills



Colonial Revival in Greenville Crest



Craftsman in Belmont Addition



New construction in Vickery Place



Property owners began to become concerned with their neighborhood as the residential areas near downtown became attractive for development. With basic zoning in place and no set architectural guidelines for in-fill development, they slowly began to see the original characteristics of the area fade away with each new home. Many were worried that new construction would simply focus on the individual structure and not focus on the relevance of the neighborhood. They began searching for ways to protect the neighborhood characteristics without deterring new development or renovations in the neighborhood. After multiple discussions, it was decided to pursue a conservation district.

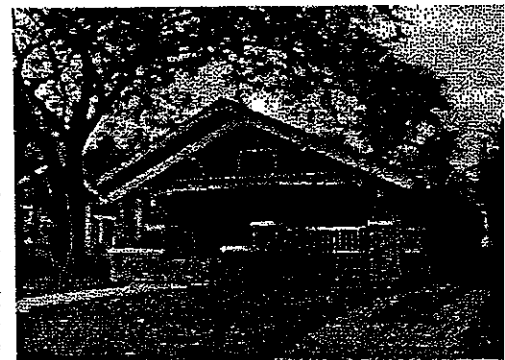
The Neighborhood



Tree-lined street in Vickery Place

The neighborhood is located just two miles north of downtown Dallas east of U.S. 75 North Central Expressway. Bordered to the north, northeast, and east by conservation districts, the Vickery Place neighborhood shares many of the characteristics of these areas. Tree-lined streets, consistent front yard setbacks, consistent driveway location, and early twentieth century architecture are all prevalent in this area. As well, many of the original structures built in the neighborhood are still standing today. However, in recent years, these original structures have been demolished more readily to build new homes. From 1955 until 1999 only eleven new homes were constructed. Since 2000, 27 new homes have been built with approximately ten more under construction.

**Architecture in
Vickery Place**



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Community Meetings

Four community meetings were held to discuss the neighborhood, its characteristics, the potential of becoming a conservation district and the difference between the different zoning tools available for residential areas in the city. The meetings were held at the Vickery Towers Retirement complex at the corner of Belmont Avenue and Greenville Avenue, the original location for the Hockaday School for Girls. The meetings were held on Monday evenings approximately two months apart. The table below details each of the meetings:

Meeting date	Attendance	Discussion topic
September 12, 2005	120	General overview of conservation districts
November 15, 2005	65	Neighborhood survey and results
January 30, 2006	78	Potential development standards for the area
February 27, 2006	47	Review of standards discussed and voted on
March 13, 2006	114	Review of draft ordinance and conceptual plan

The first determination conducted by the city staff was to ensure that the area met the criteria in the City Code to be a conservation district. In the Code, four criteria must be met prior to the city proceeding with a feasibility study. These criteria, and the neighborhoods results (in italics) are:

- The area must contain at least one block face
There are 15 blocks in the study area
- The area must be either "stable" or "stabilizing"
The Vickery Place neighborhood has been a residential community in the city of Dallas for almost 100 years
- The area must contain significant architectural or cultural attributes
Vickery Place has a significant number of Craftsman and Prairie style homes in a concentrated area which were built in the early twentieth century
- The area must have a distinctive atmosphere or character which can be conserved by protecting or enhancing its architectural or cultural attributes
By protecting the architectural styles in the area, the area helps to form a region in East Dallas that showcases the style of homes built in the early years of the city

Upon establishing that the area did meet the criteria for the Code, the meetings began by informing the property owners of the process to become a conservation district and what it entailed should a conservation district be adopted for the area. At the end of the first meeting, after a question and answer session, the property owners in attendance were asked if they wanted to proceed with a conservation district study for the area. A response of yes was given by approximately 95%.

In the successive meetings, presentations were given by city staff detailing what was presently regulated, what prevalent characteristics existed in the area, what surrounding conservation districts regulated, and general information as requested by participants. Through the use of charts, diagrams, photographs, and other examples, the staff reviewed multiple development standards and asked for votes on the preferred option. After going through a list of over 30 development standards, the list was narrowed to 22 standards that would be proposed to guide new construction and renovation of properties within the neighborhood.



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Guidelines for the Neighborhood

In the chart below are all of the development standards that property owners agreed to include in a proposal to guide development in the area. There were 22 development standards addressed. Ten of these standards are already regulated by R-7.5(A) zoning. Of these that are already regulated, property owners wanted the regulations to be more appropriate to the neighborhood. Therefore, adjustments were made to reflect the original built environment. Twelve of the standards were not addressed by basic zoning but were thought to be important characteristics of the neighborhood necessary to maintain the look and feel of the area.

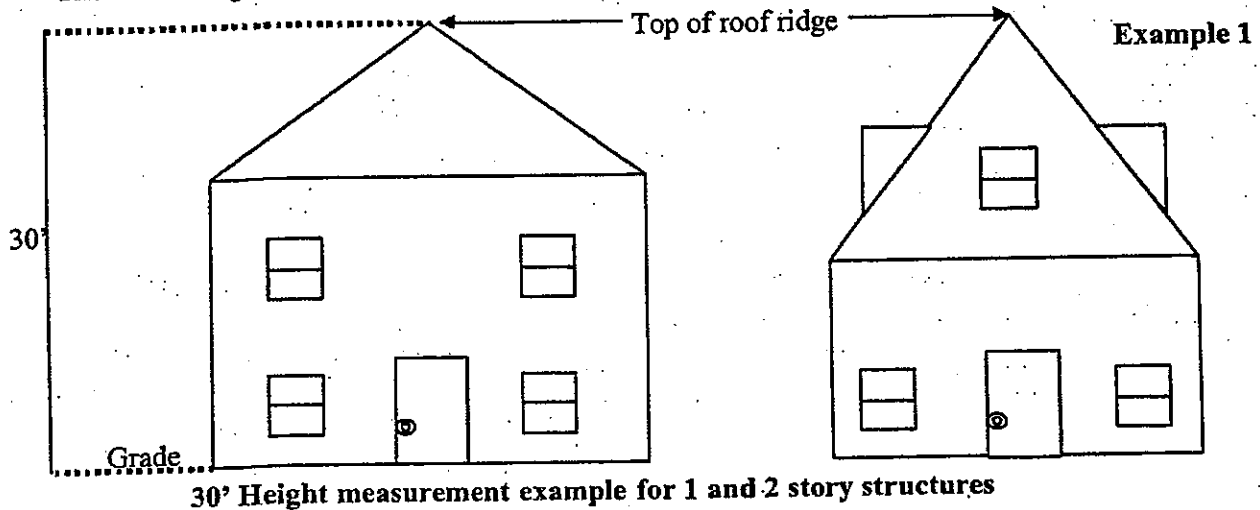
	Standard	R-7.5 (A)	Potential standard
1	Height	30 ft max.	30 ft. max to the ridge
2	Front setback	25 ft min.	Average FY setback of block
3	Side setback	5 ft min.	5' on west side and 10' on east side
4	Rear setback	5 ft min.	20 ft min.
5	Front yard fences	4 ft max.	No front yard fences
6	Side yard fences	9 ft max.	6' height maximum Materials: chain link, wood, wrought iron or similar Minimum setback 5' from front corner of house (excluding porches)
7	Rear yard fences	9 ft max.	9' height maximum Materials: chain link, wood, wrought iron or similar
8	Lot coverage	45%	45% for homes built pre-1940 40% for homes built 1940 and after
9	Lot size	7500 sq. ft. min.	7500 sq. ft. minimum
10	Stories	No max.	2 stories for Craftsman and Prairie; 1 1/2 for Tudor in front, 2 in back
Standards not presently regulated by the City Code			
	Standard		Potential standard
1	Architectural Style		Craftsman, Prairie, and Tudor (with stated criteria for each)
2	Building materials		Brick, stone, wood, stucco (where appropriate)
3	Garage location		In the rear
4	Remodeling		Keep with existing style
5	Driveways		Materials: concrete, brick or pavers, stone (including decomposed granite). No gravel, asphalt, or exposed aggregate. Drives allowed from front, side or alley.
6	Front yard coverage		30% impervious surface
7	Front porches		Require front porch with 6 foot depth minimum
8	Demolition		
9	Raised foundation		
10	Roofing material		
11	Waterfall steps		
12	Maintain grade		



Proposed Development Standards – presently regulated by R-7.5(A)

1. Height

The measurement for height in the area would be 30 feet maximum measured from grade (the ground) to the peak of all structures (example 1). Basic zoning measures height from grade to the mid-point of the lowest eave and highest ridge (peak) of a structure. On a structure with a very steep roof pitch, measuring to the mid-point could result in a total height of nearly 40 feet. The tallest original structures in the area are approximately 30 feet in total height.

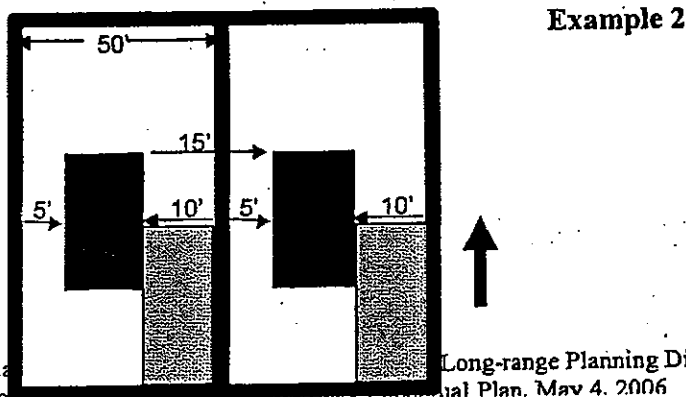


2. Front yard setback

The front yard setbacks in the area are very consistent by block. While many adhere to the basic zoning minimum setback of 25 feet, others measured a little deeper (as much as 30 feet). The consensus was to maintain the average setback of the block of the original houses in the neighborhood (structures built prior to 1940) to keep the building line consistent.

3. Side yard setback

Another standard that was very consistent in the area was an increased side yard setback on one side of the structure. Because driveways coming from the street are very common in the area, the separation between the houses is very common. This feature also helps control the "looming" aspect of houses that are larger located next to smaller structures. Thus, it was decided to have a greater side yard setback on the east side of the lot, which is typically the side the driveway is located on in the area. The minimum side yard setbacks would be 10 feet on the east and 5 feet on the west (example 2). This is also consistent with the other three conservation districts surrounding Vickery Place.



4. Rear yard setback

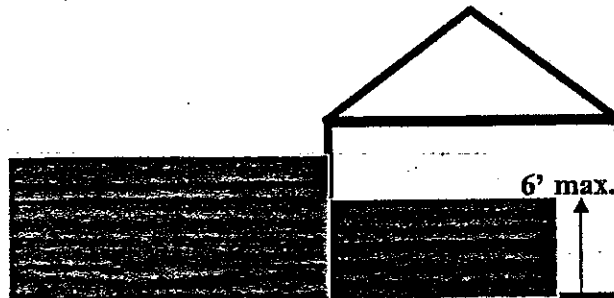
To maintain green space in the front and rear yards, a minimum rear yard setback requirement was increased over the basic zoning rear yard setback. It was overwhelmingly voted to require a 20 foot minimum rear yard setback for the main structure. This would not apply to accessory structures which would be allowed a minimum 3 – 5 foot rear yard setback depending on the height of the structure.

5. Front yard fences

Very few front yard fences exist in the area, therefore the consensus was to not allow any front yard fences.

6. Side yard fences

Fences in the side yard would have to start at least 5 feet from the main plane of the house. This would not include porches. Fences in the side yard, which is the area from the front of the house to the back plane of the house, would be allowed to be a maximum of 6 feet tall (*example 3*). This would allow more light, air and space to exist between houses as opposed to a taller fence that could actually touch the eaves of neighboring houses making it difficult for a homeowner to paint, repair or even access the side of their home. It would also be more difficult to grow grass or plants due to the area not being able to get any sunlight. Materials allowed for the fence would be chain link, wood or wood-like material, and wrought iron or similar material.



Example 3

7. Rear yard fences

Fences in the rear yard would continue to be allowed to be privacy fences with a maximum height of 9 feet. However, the materials would be limited to the same materials used in the side yard fences, chain link, wood or wood-like material, and wrought iron or similar material. This was decided because the primary materials used for fencing historically in this neighborhood have been these three materials.

8. Lot coverage

Basic zoning allows for 45% lot coverage in the area. However, when looking at existing coverage in the area, it was found that the vast majority of properties range between 25 – 30% total lot coverage. As a means to encourage the retention of older structures, it was decided that original homes would be allowed lot coverage of 45% while non-original homes and new construction would be allowed lot coverage of 40%. Since many of the lots are 8,000 square feet and greater, this would still allow new construction to be a maximum of 4,800 – 7,200 square feet. The largest home in the area today was just over 4,100 square feet. Although large homes

would still be allowed to be built in the area, the increased side and rear yard setbacks and height limitations would prevent the larger homes from looming over the smaller houses.

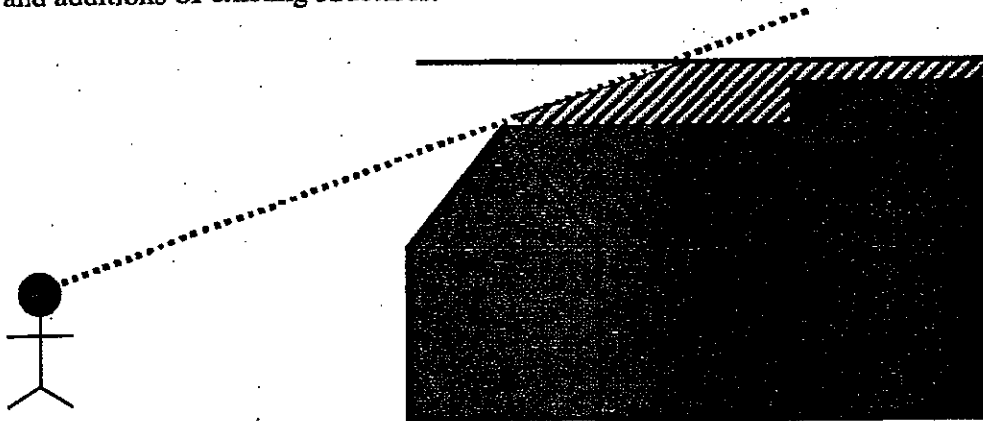
9. Lot size

In keeping with the basic zoning, the minimum lot size for the area would be 7,500 square feet. Almost all of the lots in the area are greater than this size today.

10. Stories

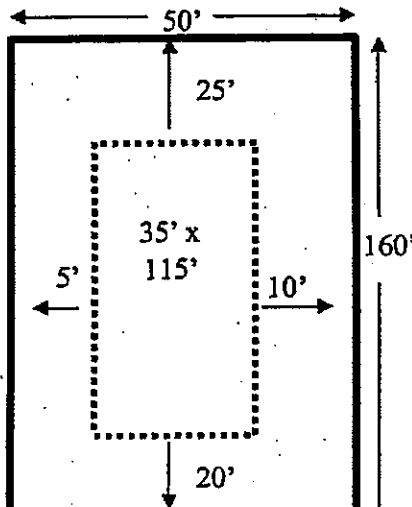
The maximum stories for Craftsman and Prairie structures would be 2. For Tudor structures, the maximum would be 1 1/2 stories in the front and up to 2 stories in the rear. This is consistent with the regulation for Tudor structures in the M Streets conservation district which is adjacent to Vickery Place to the north. The 2 story rear limit would be subjected to a line of sight criteria. Line of sight would be determined by a six foot tall person standing in the middle of the street and in the center of the front of the house. The person looking at the house should not be able to see anything in the rear above the front roof ridge line (example 4). This criteria is contingent upon the front of the house being less than 30 feet tall. Thus, it is most pertinent for renovations and additions of existing structures.

Example 4



Area of construction

Given the setbacks allowed for the front, side, and rear yards, new construction would be allowed to be built in an area on the lot of 4,025 square feet in size. 35% lot coverage would allow the placement of a 2,400* - 2,800 square feet main structure (*given 400 square feet for a detached garage) maximum size footprint.



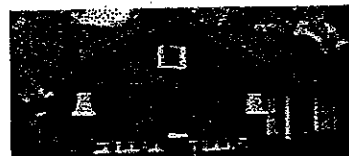
Proposed Development Standards – not presently regulated by R-7.5(A)

1. Architectural styles

Most of the original homes in the area are Craftsman styled homes. There are also a number of Prairie structures. Other styles that exist in the area include Tudor, Colonial Revival, Spanish Eclectic, Mediterranean, and Post War (Minimal Traditional) structures. During the course of the meetings when discussing architecture, it was noted that consistency in styles would be highly recommended. Therefore, it was voted to allow new construction coming into the area to reflect one of three styles; Craftsman, Prairie, or Tudor. Each style would incorporate certain criteria that were required and a choice of certain optional features.

Required characteristics for Craftsman

- 1) Gabled roof form
- 2) Low-pitched roof 20 – 40 degrees
- 3) 24" minimum overhang
- 4) Exposed rafter tails
- 5) Minimum 50% front porch with 6 feet depth
- 6) Boxed columns on front porch
- 7) Braces
- 8) Windows typical to style with expressed muntins (vinyl is acceptable)
- 9) No picture windows



Braces

Optional characteristics for Craftsman (4 of 8 optional features required)

- 1) Decorative molding/Dentils
- 2) Craftsman style door
- 3) Tapered wood columns on masonry base with 1/3, 2/3 deminsions
- 4) Icicles on columns (Wrightian capitals or decorative wood work)
- 5) Independent roof over porch
- 6) Wood balustrade or railing surrounding the front porch
- 7) Ventilation louvers
- 8) Masonry chimney (no Austin Chalk)



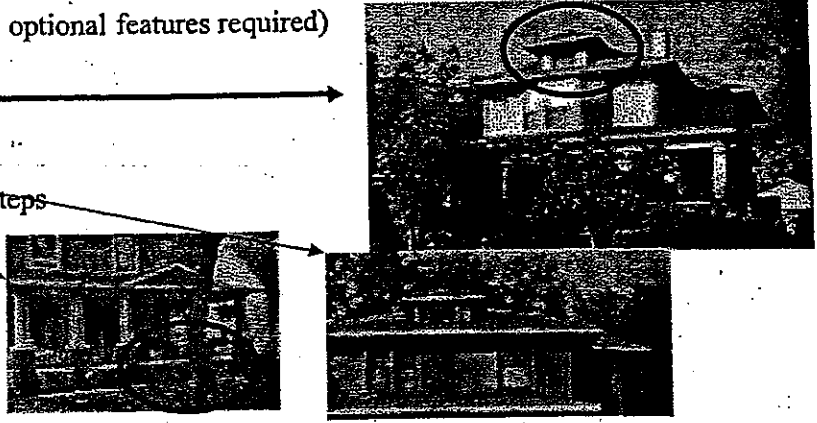
Required characteristics for Prairie.

- 1) Hipped roof form
- 2) Low-pitched roof 20 – 40 degrees
- 3) Any type of Columns typical to the style
- 4) 2 foot minimum overhang
- 5) Front porch across minimum of 75% of the front facade
- 6) Windows typical to the style with expressed muntins (vinyl is acceptable)
- 7) No picture windows



Optional characteristics for Prairie (4 of 8 optional features required)

- 1) Square or tapered columns
- 2) Centered hipped dormer
- 3) Decorative window in dormer
- 4) Decorative soffit
- 5) Buttresses adjacent to front porch steps
- 6) Porch railing
- 7) Brick chimney
- 8) Windows with multiple pane upper sashes

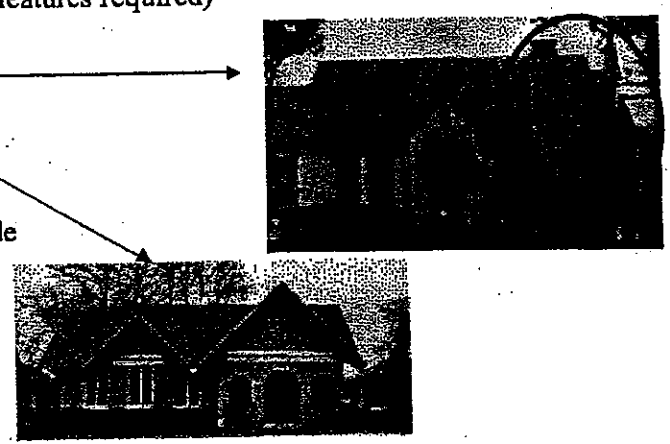


Required characteristics for Tudor

- 1) Steeply pitched roof 45 – 65 degrees
- 2) Gabled roof form
- 3) Brick is primary material below the eaves with use of accent material
- 4) Large front facing gable
- 5) Front facing side or entry porch 25 – 50% of front façade width at least 6 feet depth
- 6) Windows typical of style with expressed muntins (vinyl is acceptable)
- 7) No picture windows

Optional characteristics for Tudor (5 of 9 optional features required)

- 1) Arched doorway and/or windows
- 2) Stair-stepped chimney
- 3) Stone accents
- 4) Stucco with half-timbering in gables
- 5) Decorative vergeboard
- 6) Multiple arched front porch
- 7) Gabled or eyebrow dormer(s) on front facade
- 8) Chimney on the front facade
- 9) Stained glass windows



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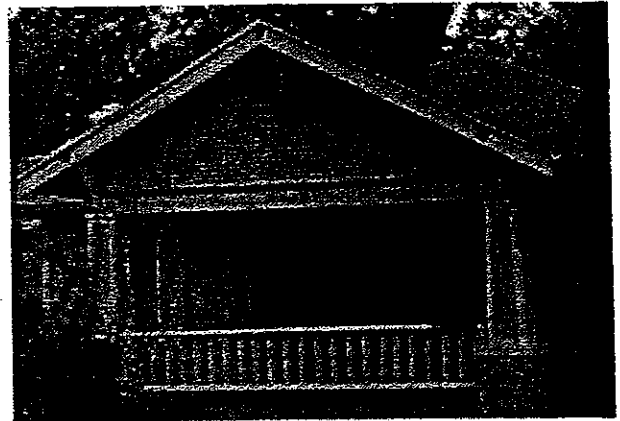
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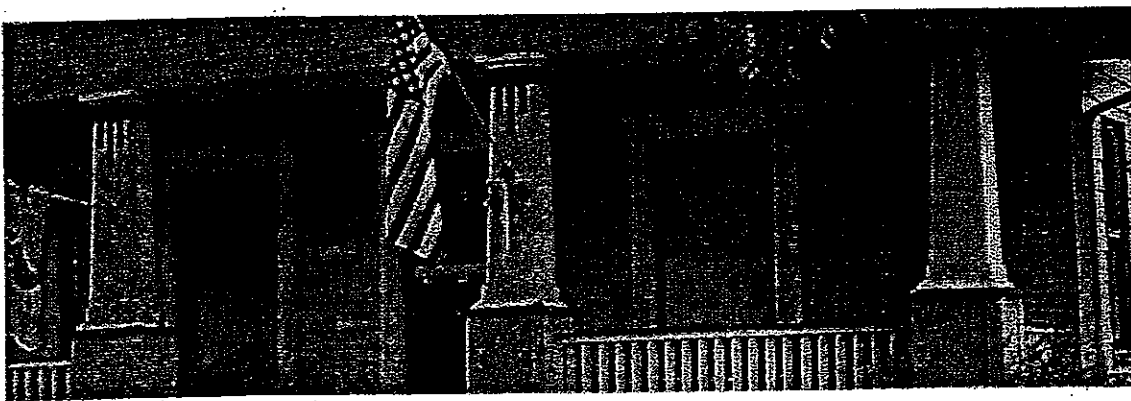
CRAFTSMAN Characteristics



Dentils and Decorative Molding



Tapered square box columns with masonry base



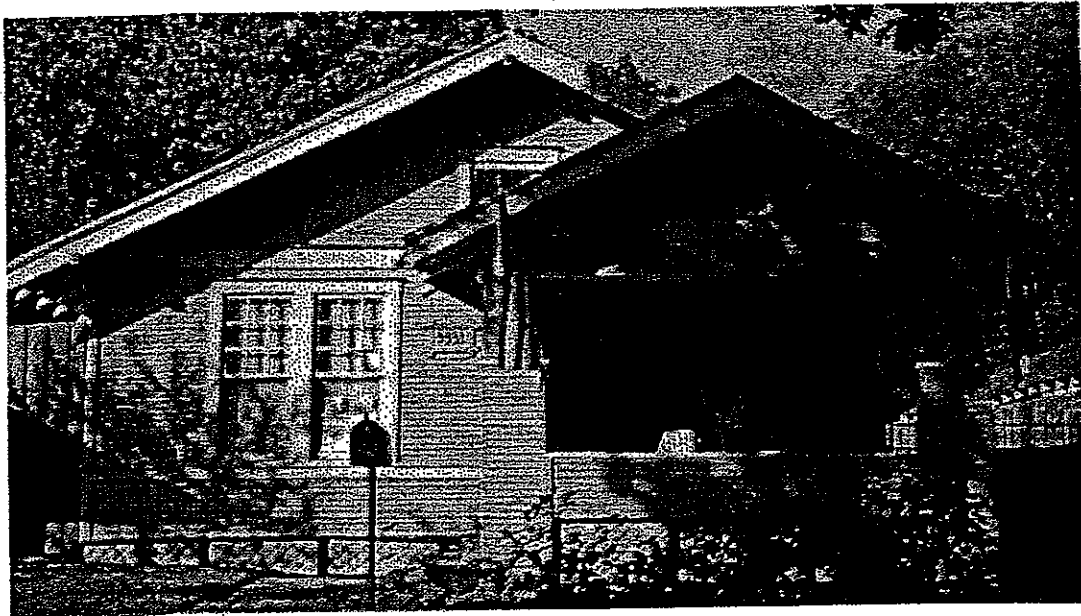
Icicles (decorative woodwork) below column capitals



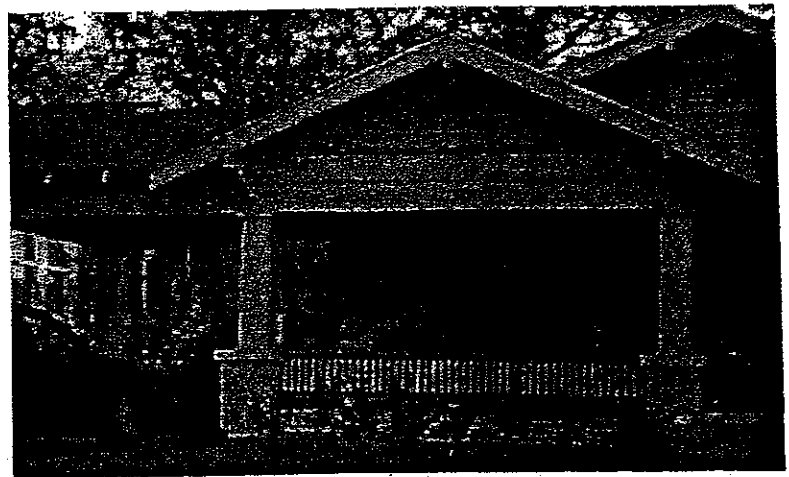
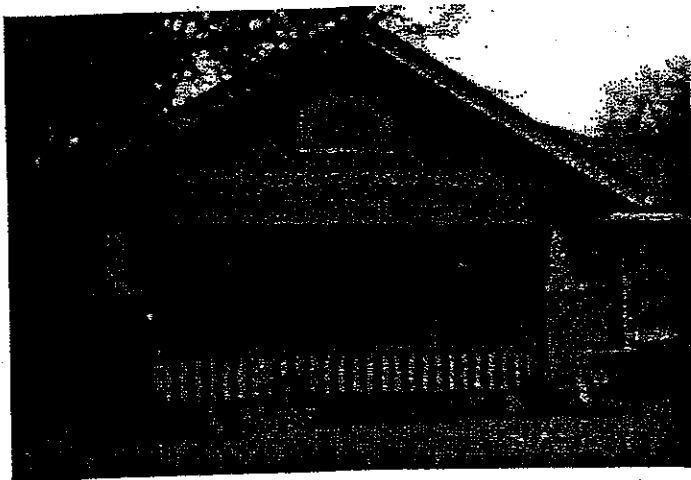
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CRAFTSMAN Characteristics



Roof over porch that is independent of the main roof plain



Wood balustrade or railing surrounding the front porch



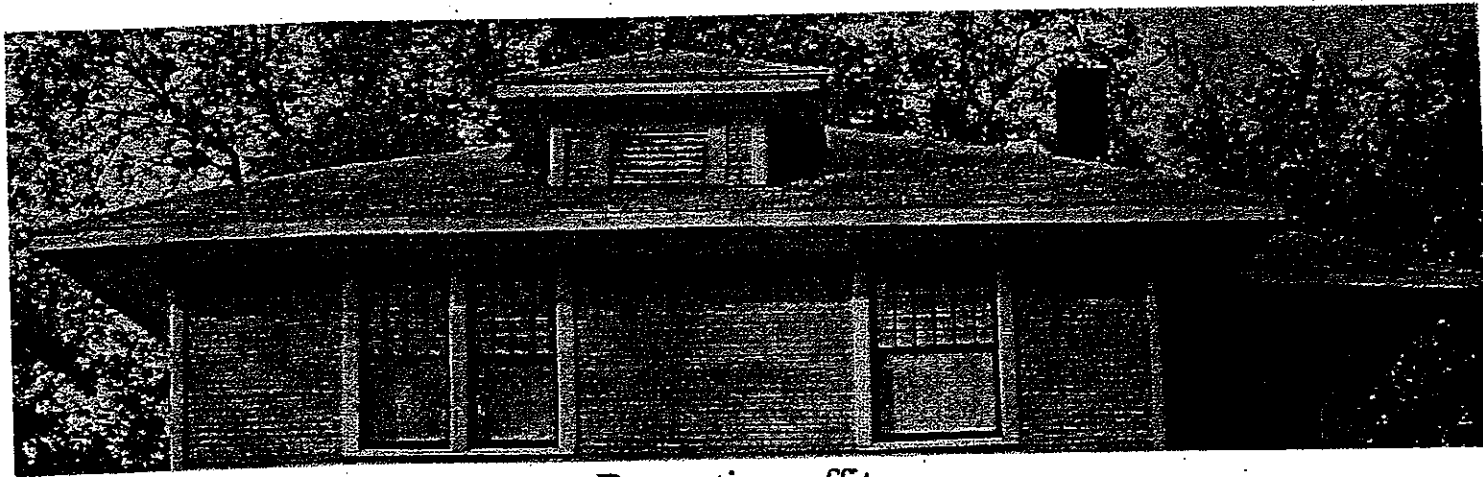
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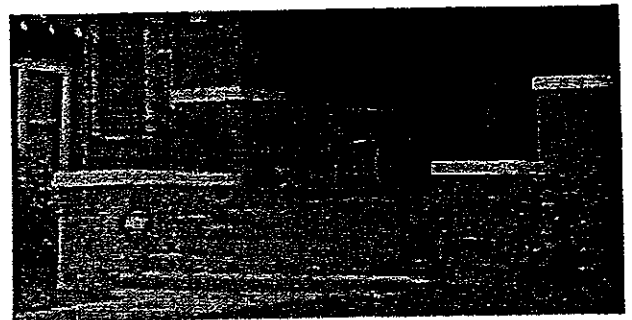
PRAIRIE Characteristics



Front porch columns typical of the Prairie style



Decorative soffit



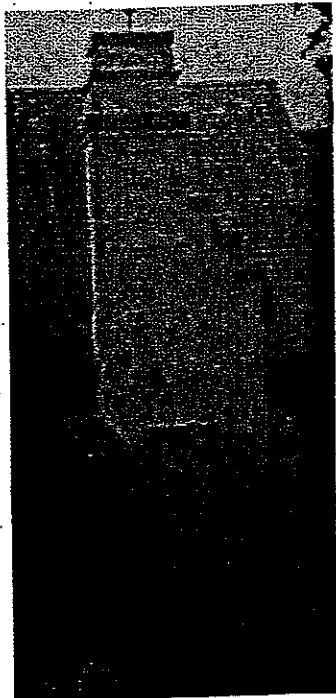
Buttresses adjacent to the front porch steps



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TUDOR Characteristics



Stair-stepped chimney



Stucco with half-timbering in gable



Decorative verge board



Eyebrow dormer

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2. Building materials

The requirement of quality building materials that reflect the use of materials commonly found in the area was considered a key to maintaining the craftsmanship of the original structures. A list of materials consisting of brick, stone, wood or wood-like, and stucco (where appropriate) was derived. These are the materials found on over 90% of the structures in the neighborhood today.

3. Garage location

One of the main features that exist not only in the neighborhood but in the surrounding areas as well was the location of the garage to the rear of the main structure. In keeping with this feature, it was voted by a large majority to maintain the garage location in the rear of the main structure. The garage could be attached to the main structure in the rear or detached. Detached garages would have to have a common roof slope of typical garages in the area. Garages that were detached and under 15 feet tall and located in the rear 30% of the lot would not have a side yard setback requirement and would be subjected to only a three feet rear yard setback. Garages over 15 feet would require a three feet side yard setback and a five feet rear yard setback.

4. Remodeling

Although only three architectural styles would be allowed for new construction, any existing home in the neighborhood could be remodeled in the style presently on the lot. The criteria for remodeling were established as maintaining the characteristics of the identified style. For houses with no identifiable style, it had the option of remodeling in a style acceptable for new construction or maintaining its non-style using allowable building materials. A list of each property and its architectural style is to be incorporated in this conceptual plan as an exhibit.

5. Driveways

As was mentioned earlier with regards to side yard setbacks, it was recognized that over 70% of the driveways in the area were located on the east side of the lot. The property owners voted to establish the east side as the side to locate driveways for all new construction, with the exception of corner lots. Corner lots had the option of an east side driveway or a driveway entering from the side street. All properties, with the exception of corner lots, would be required to have a driveway entering from the front street. However, rear entry drives would also be allowed for those wanting to have garages entering from the alley. Driveway material must consist of concrete, brick or pavers, or stone (including decomposed granite). Driveway material that would be prohibited would be gravel, asphalt, or exposed aggregate. Circular driveways are prohibited in the area.

6. Front yard coverage

Greenery in the area is very prevalent. To maintain this environmentally friendly condition, a requirement of no more than 30% impervious surfaces was incorporated. The aesthetic value of greenery in the front yard was mentioned to be a quality of life characteristic intrinsic to the neighborhood.



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7. Front porches

All of the architectural styles feature a front porch element. This is common throughout the neighborhood as most homes in the area have large front porches.



1/3 wood, 2/3
masonry base
columns



2/3 wood, 1/3
masonry base
columns

Craftsman Porches



Prairie
Porches



Tudor Porches



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8. **Raised foundation**

Foundations for homes in the area are typical pier and beam which generally raises the house 12 – 24” above grade. This was seen as a key feature in the neighborhood. Thus, new construction would be required to have a minimum raised foundation of 12”.

Raised Foundations



24” Raised Foundation



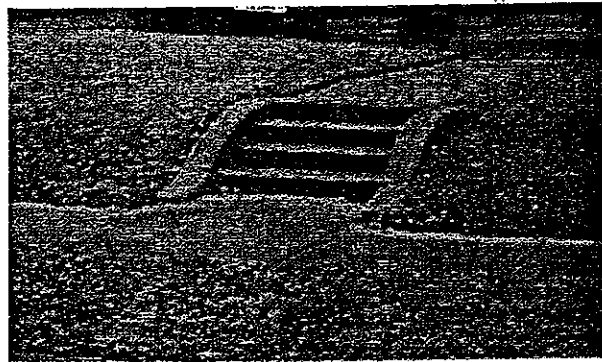
18” Raised Foundation

9. **Roofing materials**

Traditional roofing materials would be required for the construction of new homes in the area. Certain materials would be prohibited as they were deemed inappropriate for the area. The materials prohibited would be corrugated metal, standing seam metal and tar and gravel roofing materials.

10. **Waterfall steps**

For properties with higher sloping lots, many have steps leading up to the walkway from the front of the yard. The steps typically have a rolling feature on the side of the steps and are commonly referred to as waterfall steps (example 5). Where these exist in the area, they would be required to be maintained.



Example 5

11. **Maintaining the grade**

The grade of the properties must be maintained. This is to prevent lot to lot drainage or the leveling on a lot for new construction.

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STAFF RECOMMENDATIONS

Having collected data and analyzed the area, staff recommends this area to be established as a conservation district based on the following reasons:

- Meets the criteria of the Development Code for creating a conservation district
- The setback regulations will maintain consistent spacing from the street and between houses
- The probability of the existing architectural styles being replicated
- The neighborhood is well preserved as almost all of the homes in the area are the original homes built on the lot
- The height of structures would be maintained to consistent levels with original homes
- Required rear yards would enhance the environmental aspects of the neighborhood

The adoption of the proposed development standards would not prohibit large houses but would protect key characteristics of the area such as early twentieth century architecture, garage locations in the rear of the main structure, spacing between houses preventing a looming effect, and consistent use of building materials typically found in the area.



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APPENDIX A



NEIGHBORHOOD CHARACTERISTICS

Amended: 1/10/2007

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5401	BONITA AVE	1940	CRAFTSMAN	23	YES	single step
5402	BONITA AVE	1940	CRAFTSMAN	17	YES	single step
5405	BONITA AVE	1940	CRAFTSMAN	25		
5406	BONITA AVE	1940	PRAIRIE	21		
5410	BONITA AVE	2005	NEO-TUDOR			
5411	BONITA AVE	1940	CRAFTSMAN	27	YES	
5414	BONITA AVE	1940	CRAFTSMAN	17		
5415	BONITA AVE	1940	CRAFTSMAN	29		
5418	BONITA AVE	1940	CRAFTSMAN	18		
5419	BONITA AVE	1930	CRAFTSMAN	27	YES	
5422	BONITA AVE	1940	CRAFTSMAN	20		
5423	BONITA AVE	1930	CRAFTSMAN	25	YES	
5426	BONITA AVE	1940	TUDOR	27	YES	single step
5427	BONITA AVE	1930	CRAFTSMAN	27	YES	
5430	BONITA AVE	1940	CRAFTSMAN	22	YES	
5431	BONITA AVE	1930	CRAFTSMAN	29		
5434	BONITA AVE	1940	CRAFTSMAN	26		
5437	BONITA AVE	1930	CRAFTSMAN	27	YES	
5438	BONITA AVE	1940	CRAFTSMAN	23		
5439	BONITA AVE	1930	CRAFTSMAN	26		
5440	BONITA AVE	1940	CRAFTSMAN	25	YES	possibly new steps
5443	BONITA AVE	1945	CRAFTSMAN	27	YES	
5444	BONITA AVE	1940	CRAFTSMAN	20	YES	
5447	BONITA AVE	2001	CRAFTSMAN	28		
5448	BONITA AVE	1940	CRAFTSMAN	21		
5451	BONITA AVE	1930	CRAFTSMAN	27		
5454	BONITA AVE	1926	CRAFTSMAN	18		
5455	BONITA AVE	1960	COLONIAL REVIVAL			
5457	BONITA AVE	1930	CRAFTSMAN	22	YES	2 single steps
5458	BONITA AVE	1930	CRAFTSMAN	18		
5501	BONITA AVE	1924	CRAFTSMAN	27	YES	
5502	BONITA AVE	1950	TUDOR	27	YES	
5504	BONITA AVE	1922	CRAFTSMAN	29	YES	
5507	BONITA AVE	1923	CRAFTSMAN	31		
5509	BONITA AVE	1927	CRAFTSMAN			
5510	BONITA AVE	2004	NEO-CRAFTSMAN			new house
5514	BONITA AVE	1926	SPANISH ECLECTIC	30	YES	stoned over
5515	BONITA AVE	1926	VACANT			
5518	BONITA AVE	1926	MINIMAL TRADITIONAL	33	YES	
5519	BONITA AVE	1926	COLONIAL REVIVAL	30		
5522	BONITA AVE	1926	CRAFTSMAN	30	YES	
5523	BONITA AVE	0	VACANT			
5526	BONITA AVE	1926	CRAFTSMAN	31	YES	
5527	BONITA AVE	1926	CRAFTSMAN	33		
5530	BONITA AVE	1926	PRAIRIE BUNGALOW	30	YES	
5533	BONITA AVE	1926	CRAFTSMAN	30		
5534	BONITA AVE	1926	COLONIAL REVIVAL	28	YES	
5535	BONITA AVE	1926	COLONIAL REVIVAL	25	YES	
5538	BONITA AVE	1938	MINIMAL TRADITIONAL	30	YES	
5539	BONITA AVE	2002	Neo MINIMAL TRADITIONAL			
5545	BONITA AVE	1926	CRAFTSMAN	29		

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5102	GOODWIN AVE	1940	TUDOR	28	YES	
5106	GOODWIN AVE	1944	TUDOR	31	YES	
5109	GOODWIN AVE	0	PARK			
5110	GOODWIN AVE	1944	CRAFTSMAN	32	YES	
5114	GOODWIN AVE	1941	TUDOR	31	YES	
5115	GOODWIN AVE	2004	NEO-TUDOR			new house
5117	GOODWIN AVE	1926	TUDOR	35	YES	
5118	GOODWIN AVE	1940	TUDOR	35	YES	
5121	GOODWIN AVE	1926	TUDOR	38	YES	
5122	GOODWIN AVE	1940	TUDOR	28	YES	
5125	GOODWIN AVE	1926	TUDOR	33	YES	
5126	GOODWIN AVE	1940	TUDOR	31	YES	
5129	GOODWIN AVE	1932	TUDOR	37	YES	
5130	GOODWIN AVE	1940	CONTEMPORARY			new house
5133	GOODWIN AVE	1954	RANCH	39	YES	post 1940
5134	GOODWIN AVE	1942	TUDOR	36	YES	
5136	GOODWIN AVE	1940	TUDOR	31	YES	
5137	GOODWIN AVE	1926	TUDOR	36	YES	
5141	GOODWIN AVE	1926	TUDOR	38	YES	
5142	GOODWIN AVE	1929	CRAFTSMAN	37	YES	
5145	GOODWIN AVE	1926	TUDOR	70	YES	
5146	GOODWIN AVE	1929	TUDOR	29	YES	
5149	GOODWIN AVE	1926	TUDOR	34	YES	
5150	GOODWIN AVE	1929	TUDOR	22	YES	front & side
5153	GOODWIN AVE	1925	TUDOR	32	YES	
5157	GOODWIN AVE	1925	TUDOR	33	YES	
5201	GOODWIN AVE	1924	TUDOR	33	YES	
5202	GOODWIN AVE	1926	TUDOR	27	YES	
5206	GOODWIN AVE	1926	TUDOR	27	YES	
5207	GOODWIN AVE	2001	NEO-TUDOR	new		new house
5210	GOODWIN AVE	1926	TUDOR	27	YES	
5211	GOODWIN AVE	1925	TUDOR	33	YES	
5214	GOODWIN AVE	1926	TUDOR		YES	single step
5215	GOODWIN AVE	1925	TUDOR	29	YES	
5218	GOODWIN AVE	1926	TUDOR	23	YES	broken
5219	GOODWIN AVE	1926	TUDOR	36	YES	
5222	GOODWIN AVE	1926	CRAFTSMAN			new steps -pseudo waterfall
5225	GOODWIN AVE	1924	TUDOR	33	YES	
5226	GOODWIN AVE	1926	TUDOR	30	YES	new steps
5227	GOODWIN AVE	1926	CRAFTSMAN	31	YES	
5230	GOODWIN AVE	1926	CRAFTSMAN	24	YES	
5231	GOODWIN AVE	1924	TUDOR	34	YES	
5234	GOODWIN AVE	1926	TUDOR	25	YES	
5235	GOODWIN AVE	1924	CRAFTSMAN	35	YES	
5238	GOODWIN AVE	1926	TUDOR	28	YES	
5239	GOODWIN AVE	1926	CRAFTSMAN	35	YES	
5242	GOODWIN AVE	1926	CRAFTSMAN	28	YES	
5243	GOODWIN AVE	1925	CRAFTSMAN	32	YES	
5246	GOODWIN AVE	1926	CRAFTSMAN	22	YES	
5247	GOODWIN AVE	1926	TUDOR	32	YES	
5250	GOODWIN AVE	1926	TUDOR	33	YES	
5251	GOODWIN AVE	1926	NEO-PRAIRIE	31	YES	
5254	GOODWIN AVE	1926	CRAFTSMAN	27	YES	
5255	GOODWIN AVE	1925	TUDOR	33	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5300	GOODWIN AVE	1923	CRAFTSMAN	27	YES	
5303	GOODWIN AVE	1924	NEO-TUDOR			
5306	GOODWIN AVE	1920	CRAFTSMAN	27		
5307	GOODWIN AVE	1926	COLONIAL REVIVAL	20		
5310	GOODWIN AVE	1922	TUDOR	24		
5311	GOODWIN AVE	1926	CRAFTSMAN	21	YES	
5314	GOODWIN AVE	1922	CRAFTSMAN ALTERED	26	YES	
5315	GOODWIN AVE	1926	TUDOR	26		
5318	GOODWIN AVE	1920	CRAFTSMAN			
5319	GOODWIN AVE	1926	TUDOR	25		
5322	GOODWIN AVE	1920	CRAFTSMAN	25		
5323	GOODWIN AVE	1926	CRAFTSMAN	26		
5327	GOODWIN AVE	1926	TUDOR	24		
5330	GOODWIN AVE	1920	COLONIAL REVIVAL	25		
5331	GOODWIN AVE	2003	NEO-TUDOR			
5334	GOODWIN AVE	1920	CRAFTSMAN	30		
5335	GOODWIN AVE	2004	NEO-TUDOR			
5338	GOODWIN AVE	2000	NEO-TUDOR			
5341	GOODWIN AVE	1926	CRAFTSMAN	25		
5342	GOODWIN AVE	1920	CRAFTSMAN ALTERED			
5343	GOODWIN AVE	1926	CRAFTSMAN	24		
5345	GOODWIN AVE	1926	CRAFTSMAN	27		
5346	GOODWIN AVE	1920	COLONIAL REVIVAL	27		
5348	GOODWIN AVE	1920	CRAFTSMAN	26		
5349	GOODWIN AVE	1930	CRAFTSMAN	23		
5354	GOODWIN AVE	1920	CRAFTSMAN	28	YES	
5355	GOODWIN AVE	1926	CRAFTSMAN	23		
5400	GOODWIN AVE	1922	CRAFTSMAN	24	YES	
5403	GOODWIN AVE	1926	MINIMAL TRADITIONAL	31	YES	
5404	GOODWIN AVE	1922	CRAFTSMAN	25	YES	
5407	GOODWIN AVE	1926	PRAIRIE		YES	
5410	GOODWIN AVE	1922	COLONIAL REVIVAL	23	YES	
5411	GOODWIN AVE	1926	CRAFTSMAN ALTERED	26	YES	
5412	GOODWIN AVE	1922	CRAFTSMAN	24		
5413	GOODWIN AVE	1926	CRAFTSMAN			
5417	GOODWIN AVE	1926	CRAFTSMAN	23	YES	
5418	GOODWIN AVE	1922	CRAFTSMAN	25	YES	
5420	GOODWIN AVE	1922	CRAFTSMAN	27	YES	
5423	GOODWIN AVE	1926	CRAFTSMAN ALTERED	25	YES	
5424	GOODWIN AVE	1922	CRAFTSMAN	23	YES	
5425	GOODWIN AVE	1926	CRAFTSMAN	23	YES	
5429	GOODWIN AVE	1926	CRAFTSMAN	21	YES	
5430	GOODWIN AVE	1922	CRAFTSMAN	24		
5433	GOODWIN AVE	1926	CRAFTSMAN	26		
5434	GOODWIN AVE	1922	CRAFTSMAN	24		Circular Drive
5436	GOODWIN AVE	1922	COLONIAL REVIVAL	26	YES	
5439	GOODWIN AVE	1926	CRAFTSMAN	25		
5440	GOODWIN AVE	2001	NEO-TUDOR			
5443	GOODWIN AVE	1926	CRAFTSMAN	23	YES	
5444	GOODWIN AVE	1922	CRAFTSMAN	25		

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5445	GOODWIN AVE	2004	SPANISH ECLECTIC			
5449	GOODWIN AVE	1926	CRAFTSMAN	29	YES	
5450	GOODWIN AVE	1922	CRAFTSMAN	28	YES	
5452	GOODWIN AVE	1922	CRAFTSMAN	26		
5453	GOODWIN AVE	1926	CRAFTSMAN	24	YES	
5458	GOODWIN AVE	1930	COLONIAL REVIVAL			
5459	GOODWIN AVE	1926	CRAFTSMAN	27	YES	
5501	GOODWIN AVE	1926	CRAFTSMAN	28		
5502	GOODWIN AVE	1921	CRAFTSMAN	28	YES	
5506	GOODWIN AVE	1926	CRAFTSMAN	29	YES	
5507	GOODWIN AVE	1925	CRAFTSMAN	35		
5510	GOODWIN AVE	1926	CRAFTSMAN	27		
5511	GOODWIN AVE	1926	CRAFTSMAN	26		
5514	GOODWIN AVE	1936	CRAFTSMAN	27		
5515	GOODWIN AVE	1926	NEO-CRAFTSMAN	28	YES	
5518	GOODWIN AVE	2002	NEO-TUDOR	27		new house
5521	GOODWIN AVE	1926	COLONIAL REVIVAL	30		
5524	GOODWIN AVE	2006	NEO-PRAIRIE	25		new house
5525	GOODWIN AVE	1926	CRAFTSMAN	27		
5530	GOODWIN AVE	1936	CRAFTSMAN	26		
5531	GOODWIN AVE	1926	CRAFTSMAN	28		
5532	GOODWIN AVE	1936	CRAFTSMAN	26		
5534	GOODWIN AVE	2003	NEO-TUDOR	32		new house
5535	GOODWIN AVE	1926	CRAFTSMAN	25		
5538	GOODWIN AVE	1921	CRAFTSMAN	26		
5539	GOODWIN AVE	1926	CRAFTSMAN	26		
5541	GOODWIN AVE	1922	CRAFTSMAN	26		
5543	GOODWIN AVE	1926	CRAFTSMAN	27		
5544	GOODWIN AVE	1922	CRAFTSMAN	26	YES	
5546	GOODWIN AVE	1936	CRAFTSMAN	26	YES	
5549	GOODWIN AVE	1920	CRAFTSMAN	26	YES	
5554	GOODWIN AVE	2000	NEO-TUDOR	32		new house
5555	GOODWIN AVE	1926	CRAFTSMAN	26	YES	
5601	GOODWIN AVE	1935	TUDOR	31	YES	front & side
5602	GOODWIN AVE	1926	MINIMAL TRADITIONAL	40	YES	post 1940
5605	GOODWIN AVE	1929	TUDOR	31	YES	
5606	GOODWIN AVE	2000	NEO-TUDOR	27		new house
5609	GOODWIN AVE	1929	TUDOR	32	YES	
5610	GOODWIN AVE	1923	COLONIAL REVIVAL	31	YES	
5614	GOODWIN AVE	1921	CRAFTSMAN	25	YES	stoned over
5615	GOODWIN AVE	1926	CRAFTSMAN	29	YES	
5618	GOODWIN AVE	1926	CRAFTSMAN	27	YES	
5619	GOODWIN AVE	1926	COLONIAL REVIVAL	29	YES	
5623	GOODWIN AVE	1926	CRAFTSMAN	27	YES	
5624	GOODWIN AVE	1923	COLONIAL REVIVAL	32	YES	
5628	GOODWIN AVE	1922	CRAFTSMAN	33	YES	
5634	GOODWIN AVE	1926	CRAFTSMAN	26	YES	
2416	HOMER ST	1950	MINIMAL TRADITIONAL			
2710	HOMERST	1923	CRAFTSMAN			
2511	LANERI AVE	1927	CRAFTSMAN	10		
5201	MILLER AVE	1924	TUDOR	40	YES	
5202	MILLER AVE	0				
5206	MILLER AVE	1925	CRAFTSMAN	38		

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5207	MILLER AVE	1924	MINIMAL TRADITIONAL	43		
5210	MILLER AVE	1923	COLONIAL REVIVAL	42		
5211	MILLER AVE	0	VACANT			
5213	MILLER AVE	1924	CRAFTSMAN	41	YES	
5214	MILLER AVE	1999	NEO-TUDOR			new house
5219	MILLER AVE	1920	COLONIAL REVIVAL	39		
5220	MILLER AVE	1923	TUDOR	45		single step
5222	MILLER AVE	1923	CRAFTSMAN	29		
5223	MILLER AVE	2003	NEO-TUDOR			new house
5226	MILLER AVE	1923	TUDOR	33	YES	
5227	MILLER AVE	1920	CRAFTSMAN	36		
5230	MILLER AVE	2005	NEO-TUDOR			new house
5231	MILLER AVE	1925	MINIMAL TRADITIONAL	40		
5234	MILLER AVE	2005	NEO-PRAIRIE			
5235	MILLER AVE	1925	TUDOR	44		
5238	MILLER AVE	1923	CRAFTSMAN	46		
5239	MILLER AVE	1923	CRAFTSMAN	44		
5242	MILLER AVE	2006	CRAFTSMAN			new house
5243	MILLER AVE	1923	NEO-BUNGALOW			new house
5246	MILLER AVE	1993	MINIMAL TRADITIONAL			new house
5247	MILLER AVE	1923	CRAFTSMAN	43		
5250	MILLER AVE	1923	CRAFTSMAN	41		
5251	MILLER AVE	1923	COLONIAL REVIVAL	40		
5254	MILLER AVE	1930	PRAIRIE	42		
5255	MILLER AVE	1923	MINIMAL TRADITIONAL	40	YES	
5301	MILLER AVE	1920	PRAIRIE	31		
5302	MILLER AVE	1920	CRAFTSMAN	25		
5306	MILLER AVE	2003	PRAIRIE			
5307	MILLER AVE	1920	CRAFTSMAN	27		
5308	MILLER AVE	1920	CRAFTSMAN	23		
5309	MILLER AVE	1930	PRAIRIE DUPLEX	31		
5312	MILLER AVE	1920	CRAFTSMAN	24		
5313	MILLER AVE	1920	CRAFTSMAN	26		
5318	MILLER AVE	1920	CRAFTSMAN	27		
5319	MILLER AVE	1920	MINIMAL TRADITIONAL	26		
5322	MILLER AVE	1920	CRAFTSMAN	25	YES	
5323	MILLER AVE	1920	CRAFTSMAN	27	YES	
5327	MILLER AVE	1920	CRAFTSMAN	27	YES	
5328	MILLER AVE	1918	CRAFTSMAN	26	YES	
5330	MILLER AVE	1920	CRAFTSMAN	26		
5331	MILLER AVE	2004	CRAFTSMAN			
5332	MILLER AVE	1920	CRAFTSMAN			
5333	MILLER AVE	1920	PRAIRIE	29	YES	
5336	MILLER AVE	1920	CRAFTSMAN	26	YES	Porte Cochere
5337	MILLER AVE	1920	PRAIRIE	29	YES	
5342	MILLER AVE	1920	COLONIAL REVIVAL	26		
5343	MILLER AVE	1920	CRAFTSMAN	29	YES	
5346	MILLER AVE	1920	CRAFTSMAN	26	YES	
5347	MILLER AVE	1920	PRAIRIE	24	YES	
5348	MILLER AVE	1920	CRAFTSMAN	22	YES	

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STR. NUM	STR. NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L-STEPS	COMMENTS
5351	MILLER AVE	1920	CRAFTSMAN	27		
5354	MILLER AVE	1920	TRANSITIONAL VICTORIAN	30		
5355	MILLER AVE	1920	CRAFTSMAN	27	YES	
5401	MILLER AVE	1920	CRAFTSMAN	23	YES	
5402	MILLER AVE	1930	TUDOR DUPLEX	24	YES	
5404	MILLER AVE	1917	PRAIRIE	23		Circular Drive
5405	MILLER AVE	1920	CRAFTSMAN	29	YES	
5408	MILLER AVE	1917	CRAFTSMAN	24	YES	
5411	MILLER AVE		PRAIRIE			
5411	MILLER AVE	1920	PRAIRIE	24	YES	
5414	MILLER AVE	1910	CRAFTSMAN	26		
5416	MILLER AVE	1940	CRAFTSMAN	25	YES	
5419	MILLER AVE	2002	PRAIRIE		YES	
5420	MILLER AVE	1940	PRAIRIE DUPLEX	25	YES	
5422	MILLER AVE	1940	PRAIRIE DUPLEX	25	YES	
5424	MILLER AVE	1920	COLONIAL REVIVAL	25	YES	
5425	MILLER AVE	1920	CRAFTSMAN	23	YES	
5427	MILLER AVE	1920	CRAFTSMAN	27	YES	
5428	MILLER AVE	1938	TUDOR DUPLEX	30	YES	
5429	MILLER AVE	1920	TUDOR ALTERED	29	YES	
5432	MILLER AVE	1920	CRAFTSMAN	24		
5435	MILLER AVE	1920	CRAFTSMAN	32	YES	
5436	MILLER AVE	1939	CRAFTSMAN ALTERED DUPLEX		YES	
5437	MILLER AVE	1920	COLONIAL REVIVAL		YES	
5440	MILLER AVE	1945	PRAIRIE DUPLEX		YES	
5441	MILLER AVE	1920	CRAFTSMAN	34		
5442	MILLER AVE	1945	PRAIRIE DUPLEX		YES	
5444	MILLER AVE	1935	PRAIRIE DUPLEX	27		Partial Parking in Front Yard
5446	MILLER AVE	1935	PRAIRIE DUPLEX	27		
5447	MILLER AVE	1920	CRAFTSMAN	37	YES	
5450	MILLER AVE	1930	CRAFTSMAN	29	YES	
5451	MILLER AVE	1920	CRAFTSMAN			
5454	MILLER AVE	1945	CRAFTSMAN		YES	
5455	MILLER AVE	1915	CRAFTSMAN	27		
5456	MILLER AVE	1930	PRAIRIE DUPLEX		YES	
5458	MILLER AVE	1930	PRAIRIE DUPLEX		YES	
5459	MILLER AVE	1920	CRAFTSMAN		YES	
5503	MILLER AVE	1922	ECLECTIC	31	YES	
5506	MILLER AVE	1927	SPANISH MULTIFAMILY	26		
5507	MILLER AVE	1922	CRAFTSMAN	27		
5509	MILLER AVE	1918	CRAFTSMAN	25	YES	
5515	MILLER AVE	1922	CRAFTSMAN	28		
5516	MILLER AVE	1923	CRAFTSMAN			
5518	MILLER AVE	1997	CONTEMPORARY			
5519	MILLER AVE	1920	CRAFTSMAN	24	YES	
5523	MILLER AVE	1920	CRAFTSMAN ALTERED			
5524	MILLER AVE	1924	CRAFTSMAN	28		
5527	MILLER AVE	1916	CRAFTSMAN	25		
5528	MILLER AVE	1921	CRAFTSMAN			
5532	MILLER AVE	1923	CRAFTSMAN			

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5533	MILLER AVE	1916	CRAFTSMAN	26		
5536	MILLER AVE	1914	CRAFTSMAN			
5537	MILLER AVE	1916	CRAFTSMAN DUPLEX	27	YES	
5540	MILLER AVE	1923	CRAFTSMAN		YES	
5541	MILLER AVE	1916	CRAFTSMAN	26	YES	
5543	MILLER AVE	1922	CRAFTSMAN	25	YES	
5544	MILLER AVE	1917	CRAFTSMAN	24	YES	
5547	MILLER AVE	1921	CRAFTSMAN	31	YES	
5548	MILLER AVE	1922	CRAFTSMAN	25	YES	Circular Drive
5551	MILLER AVE	2002	NEO-TUDOR			
5552	MILLER AVE	1922	TUDOR DUPLEX	25		
5600	MILLER AVE	1921	CRAFTSMAN	28		
5601	MILLER AVE	1922	PRAIRIE	25	YES	
5605	MILLER AVE	1924	CRAFTSMAN	27	YES	
5608	MILLER AVE	1914	FOLK VICTORIAN	25	YES	single step
5609	MILLER AVE	1994	NEO-COLONIAL REVIVAL		YES	new house
5612	MILLER AVE	1918	CRAFTSMAN	25		
5613	MILLER AVE	1924	PRAIRIE	26	YES	
5614	MILLER AVE	2004	NEO-CRAFTSMAN			new house
5616	MILLER AVE	2005	NEO-PRAIRIE			new house
5619	MILLER AVE	1924	CRAFTSMAN	28	YES	
5620	MILLER AVE	1922	CRAFTSMAN	29	YES	single step
5621	MILLER AVE	1920	CRAFTSMAN	27	YES	
5624	MILLER AVE	1916	CRAFTSMAN	29	YES	single step
5625	MILLER AVE	1924	CRAFTSMAN	28		
5628	MILLER AVE	1921	TUDOR	25		
5629	MILLER AVE	1920	CRAFTSMAN	28	YES	
5631	MILLER AVE	2004	NEO-TUDOR			new house
5632	MILLER AVE	1924	COLONIAL REVIVAL	26	YES	
5636	MILLER AVE	1929	MINIMAL TRADITIONAL	27		
5639	MILLER AVE	1924	CRAFTSMAN	28	YES	
5640	MILLER AVE	1921	CRAFTSMAN	31		
5643	MILLER AVE	1924	CRAFTSMAN	27	YES	single step
5645	MILLER AVE	1924	CRAFTSMAN	26	YES	single step
5646	MILLER AVE	1923	CRAFTSMAN	29		
5200	RICHARD AVE	1930	TUDOR	31	YES	
5201	RICHARD AVE	1923	CRAFTSMAN	24	YES	single step
5206	RICHARD AVE	1924	CRAFTSMAN	24	YES	
5207	RICHARD AVE	1923	TUDOR	21		
5210	RICHARD AVE	1930	CRAFTSMAN	27	YES	
5211	RICHARD AVE	1923	COLONIAL REVIVAL	24	YES	
5214	RICHARD AVE	1930	CRAFTSMAN	27	YES	
5215	RICHARD AVE	1924	CRAFTSMAN	24	YES	
5218	RICHARD AVE	1924	CRAFTSMAN	27	YES	
5219	RICHARD AVE	2006	NEO-CRAFTSMAN		YES	new duplex
5222	RICHARD AVE	1924	CRAFTSMAN	28	YES	
5223	RICHARD AVE	1994	NEO-COLONIAL REVIVAL		YES	new house
5226	RICHARD AVE	1924	MINIMAL TRADITIONAL	33	YES	
5227	RICHARD AVE	1923	CRAFTSMAN	26	YES	
5230	RICHARD AVE	1925	CRAFTSMAN	22	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5231	RICHARD AVE	1927	TUDOR	29	YES	
5234	RICHARD AVE	1995	Neo MINIMAL TRADITIONAL			new house
5235	RICHARD AVE	1923	CRAFTSMAN	26	YES	
5238	RICHARD AVE	1924	CRAFTSMAN	27	YES	
5239	RICHARD AVE	1923	COLONIAL REVIVAL	23		
5242	RICHARD AVE	1923	CRAFTSMAN	25		
5243	RICHARD AVE	1923	CRAFTSMAN	24	YES	
5246	RICHARD AVE	1925	TUDOR	27	YES	semi-obsured by stone but painted red and intact
5247	RICHARD AVE	1923	CRAFTSMAN	24	YES	
5250	RICHARD AVE	1925	COLONIAL REVIVAL	26	YES	
5251	RICHARD AVE	1923	CRAFTSMAN	22		
5253	RICHARD AVE	1923	CRAFTSMAN ALTERED	24		
5256	RICHARD AVE	1926	PRAIRIE	24	YES	
5303	RICHARD AVE	1940	TUDOR	23		
5307	RICHARD AVE	1930	CRAFTSMAN	23	YES	
5311	RICHARD AVE	1930	CRAFTSMAN	23	YES	
5314	RICHARD AVE	1930	CRAFTSMAN	26		
5316	RICHARD AVE	1930	CRAFTSMAN ALTERED	26		Circular Drive
5319	RICHARD AVE	1930	CRAFTSMAN	23	YES	
5323	RICHARD AVE	1930	CRAFTSMAN ALTERED	27	YES	
5326	RICHARD AVE	1930	CRAFTSMAN ALTERED	26		
5330	RICHARD AVE		VACANT			
5331	RICHARD AVE	1918	CRAFTSMAN	27	YES	
5335	RICHARD AVE	1930	CRAFTSMAN	27	YES	
5336	RICHARD AVE	1930	CRAFTSMAN	25		
5341	RICHARD AVE	1930	CRAFTSMAN	24	YES	
5342	RICHARD AVE	1999	NEO-TUDOR			
5344	RICHARD AVE	1930	TRANSITIONAL VICTORIAN	25		
5350	RICHARD AVE	1999	NEO-TUDOR			
5354	RICHARD AVE	1995	CONTEMPORARY			
5355	RICHARD AVE	1930	CRAFTSMAN	26		
5402	RICHARD AVE	1930	CRAFTSMAN	26		
5405	RICHARD AVE	1930	CRAFTSMAN DUPLEX	27	YES	
5410	RICHARD AVE	1930	CRAFTSMAN	23		
5411	RICHARD AVE	1940	CRAFTSMAN	24		
5415	RICHARD AVE	1918	CRAFTSMAN ALTERED	25	YES	
5417	RICHARD AVE	1930	CRAFTSMAN	28		
5421	RICHARD AVE	1930	CRAFTSMAN	25		
5422	RICHARD AVE	1930	CRAFTSMAN	25		Porte Cochere
5425	RICHARD AVE	2003	NEO-TUDOR		YES	
5428	RICHARD AVE	2004	NEO-TUDOR			
5432	RICHARD AVE	1930	CRAFTSMAN			
5433	RICHARD AVE	1930	PRAIRIE	23		

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5437	RICHARD AVE	1939	MINIMAL TRADITIONAL	25		Circular Drive
5439	RICHARD AVE	1939	?	25		
5443	RICHARD AVE	1930	CRAFTSMAN	21		
5444	RICHARD AVE	1930	CRAFTSMAN	23		
5448	RICHARD AVE	2001	NEO-CRAFTSMAN			
5451	RICHARD AVE	1930	CRAFTSMAN			
5455	RICHARD AVE	1930	PRAIRIE			
5457	RICHARD AVE	1922	CRAFTSMAN		YES	
5502	RICHARD AVE	1923	CRAFTSMAN	26		
5503	RICHARD AVE	1927	CRAFTSMAN	24		Porte Cochere
5506	RICHARD AVE	1922	CRAFTSMAN	26		
5509	RICHARD AVE	1922	CRAFTSMAN	27		
5512	RICHARD AVE	1922	CRAFTSMAN	27		
5513	RICHARD AVE	1922	CRAFTSMAN	26		
5519	RICHARD AVE	1922	CRAFTSMAN	25		
5523	RICHARD AVE	1922	CRAFTSMAN	27		
5527	RICHARD AVE	1922	CRAFTSMAN ALTERED	27		
5528	RICHARD AVE	1918	CRAFTSMAN	26	YES	
5535	RICHARD AVE	1921	CRAFTSMAN	30		
5536	RICHARD AVE	1923	CRAFTSMAN	36	YES	Porte Cochere
5538	RICHARD AVE	1921	CRAFTSMAN	32		
5541	RICHARD AVE	1922	CRAFTSMAN	30		
5545	RICHARD AVE		VACANT			
5548	RICHARD AVE	1915	CRAFTSMAN	25	YES	
5554	RICHARD AVE	1923	CRAFTSMAN	26	YES	
5555	RICHARD AVE	1915	CRAFTSMAN	25		
5600	RICHARD AVE	1923	CRAFTSMAN	28	YES	
5601	RICHARD AVE	1919	CRAFTSMAN	28		
5606	RICHARD AVE	1923	CRAFTSMAN	28	YES	Porte Cochere
5609	RICHARD AVE	1922	CRAFTSMAN	24		
5614	RICHARD AVE	1923	CRAFTSMAN	26	YES	
5615	RICHARD AVE	1922	CRAFTSMAN	25		
5619	RICHARD AVE	1938	CRAFTSMAN	29		
5620	RICHARD AVE	1922	CRAFTSMAN	27	YES	Porte Cochere
5627	RICHARD AVE	2000	NEO-TUDOR			
5628	RICHARD AVE	1920	CRAFTSMAN	26	YES	
5630	RICHARD AVE	1916	CRAFTSMAN	20	YES	
5634	RICHARD AVE	1922	CRAFTSMAN ALTERED	17	YES	
5638	RICHARD AVE	1924	SPANISH MULTIFAMILY	27		
5639	RICHARD AVE	1916	CRAFTSMAN	32		
5643	RICHARD AVE	1920	COLONIAL REVIVAL	28		
5644	RICHARD AVE	1927	CRAFTSMAN	27	YES	
5300	RICHARD AVE	1930	CRAFTSMAN	25		
5308	RICHARD AVE	1930	CRAFTSMAN	24		
5315	RICHARD AVE	1930	CRAFTSMAN	27	YES	
5320	RICHARD AVE	1930	CRAFTSMAN	26		Circular Drive
5327	RICHARD AVE	1930	COLONIAL REVIVAL	26	YES	
5334	RICHARD AVE	1930	CRAFTSMAN	27		
5339	RICHARD AVE	1930	CRAFTSMAN DUPLEX	27	YES	
5343	RICHARD AVE	1930	PRAIRIE	22	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5351	RICHARD AVE	1930	TUDOR	25	YES	
5400	RICHARD AVE	1922	CRAFTSMAN	24	YES	
5407	RICHARD AVE	1930	CRAFTSMAN	25		
5414	RICHARD AVE	1930	CRAFTSMAN	23		
5418	RICHARD AVE	1930	CRAFTSMAN	25	YES	
5424	RICHARD AVE		NEO-TUDOR			Circular Drive
5429	RICHARD AVE	2002	NEO-TUDOR			
5436	RICHARD AVE	2002	PRAIRIE			
5440	RICHARD AVE	2003	NEO-TUDOR			
5445	RICHARD AVE	1930	CRAFTSMAN	23		
5454	RICHARD AVE	1930	CRAFTSMAN	22		
5458	RICHARD AVE	1930	CRAFTSMAN	21	YES	
5505	RICHARD AVE	1927	CRAFTSMAN	25		
5510	RICHARD AVE	1922	CRAFTSMAN	27		
5516	RICHARD AVE	1927	PRAIRIE	25		
5524	RICHARD AVE	1922	CRAFTSMAN	27		
5532	RICHARD AVE	1923	CRAFTSMAN	21	YES	
5537	RICHARD AVE	1922	CRAFTSMAN	29		
5544	RICHARD AVE	1915	CRAFTSMAN	25		Circular Drive
5551	RICHARD AVE	1923	TUDOR	25		
5556	RICHARD AVE	1923	CRAFTSMAN	27	YES	Porte Cochere
5605	RICHARD AVE	2003	PRAIRIE			
5610	RICHARD AVE	1918	CRAFTSMAN	25	YES	
5618	RICHARD AVE	1922	CRAFTSMAN	25	YES	
5621	RICHARD AVE	1920	PRAIRIE	28		
5629	RICHARD AVE	1921	CRAFTSMAN	29		
5635	RICHARD AVE	1919	CRAFTSMAN	31		
5642	RICHARD AVE	1940	SPANISH MULTIFAMILY	27	YES	
5647	RICHARD AVE	1930	CRAFTSMAN	26		
2315	SUMMIT	1938				
5201	VICKERY BLVD	1926	TUDOR	26		
5202	VICKERY BLVD	2003	NEO-TUDOR			
5204	VICKERY BLVD	1941	MINIMAL TRADITIONAL	27	YES	
5207	VICKERY BLVD	1926	COLONIAL REVIVAL	35	YES	
5209	VICKERY BLVD	1926	TUDOR	36	YES	
5210	VICKERY BLVD	1926	TUDOR	24	YES	
5214	VICKERY BLVD	1926	CRAFTSMAN	26	YES	
5215	VICKERY BLVD	1926	CRAFTSMAN	35	YES	
5218	VICKERY BLVD	1924	COLONIAL REVIVAL	21	YES	
5219	VICKERY BLVD	1926	CRAFTSMAN	34	YES	
5221	VICKERY BLVD	1926	TUDOR	37	YES	
5222	VICKERY BLVD	1926	TUDOR	22	YES	
5225	VICKERY BLVD	1947	TUDOR	37	YES	single step
5226	VICKERY BLVD	1926	MINIMAL TRADITIONAL	23		
5230	VICKERY BLVD	2004	NEO-TUDOR			
5231	VICKERY BLVD	1926	CRAFTSMAN	24		new house
5234	VICKERY BLVD	1926	TUDOR	27		
5235	VICKERY BLVD	1926	CRAFTSMAN	38	YES	
5237	VICKERY BLVD	1926	TUDOR	34	YES	
5238	VICKERY BLVD	1926	CRAFTSMAN	29		
5240	VICKERY BLVD	1920	TUDOR	31		
5243	VICKERY BLVD	1926	TUDOR	33	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5246	VICKERY BLVD	1926	TUDOR	31		
5247	VICKERY BLVD	1926	CRAFTSMAN	30	YES	
5250	VICKERY BLVD	1926	NEO-PRAIRIE			
5251	VICKERY BLVD	1926	TUDOR	33	YES	new house
5254	VICKERY BLVD	1926	TUDOR	32		
5255	VICKERY BLVD	0	VACANT			
5300	VICKERY BLVD	1920	PRAIRIE DUPLEX			
5303	VICKERY BLVD	1999	NEO-TUDOR			Circular Drive
5304	VICKERY BLVD	1920	CRAFTSMAN	25		
5305	VICKERY BLVD	1930	COLONIAL REVIVAL DUPLEX			
5307	VICKERY BLVD	1930	COLONIAL REVIVAL DUPLEX			
5310	VICKERY BLVD	2004	NEO-PRAIRIE			
5311	VICKERY BLVD	1920	PRAIRIE DUPLEX			
5313	VICKERY BLVD	1922	COLONIAL REVIVAL	28		
5314	VICKERY BLVD	1920	CRAFTSMAN	27		
5318	VICKERY BLVD	1920	CRAFTSMAN	30		
5319	VICKERY BLVD	1920	CRAFTSMAN ALTERED			
5322	VICKERY BLVD	1920	CRAFTSMAN	30		
5323	VICKERY BLVD	1998	NEO-CRAFTSMAN			
5325	VICKERY BLVD	1920	PRAIRIE	33		
5326	VICKERY BLVD	1920	PRAIRIE			
5330	VICKERY BLVD	1920	CRAFTSMAN	32		
5331	VICKERY BLVD	1922	TUDOR	34		
5334	VICKERY BLVD	1920	CRAFTSMAN	29		
5335	VICKERY BLVD	1920	CRAFTSMAN	34	YES	
5336	VICKERY BLVD	1920	TUDOR	30	YES	
5339	VICKERY BLVD	1952	MINIMAL TRADITIONAL			
5342	VICKERY BLVD	1920	CRAFTSMAN	28	YES	
5343	VICKERY BLVD	1920	CRAFTSMAN DUPLEX	33	YES	
5345	VICKERY BLVD	1920	CRAFTSMAN DUPLEX	33	YES	
5346	VICKERY BLVD	1920	TUDOR	31	YES	
5347	VICKERY BLVD	1920	CRAFTSMAN	36		
5350	VICKERY BLVD	1920	COLONIAL REVIVAL	28	YES	
5351	VICKERY BLVD	1920	CRAFTSMAN	33	YES	
5354	VICKERY BLVD	1920	CRAFTSMAN	31	YES	
5357	VICKERY BLVD	1920	PRAIRIE	32		
5400	VICKERY BLVD	1920	PRAIRIE	28		
5403	VICKERY BLVD	1922	CRAFTSMAN	32	YES	
5405	VICKERY BLVD	1922	CRAFTSMAN	30	YES	
5406	VICKERY BLVD	2002	NEO-PRAIRIE			
5407	VICKERY BLVD	1936	CRAFTSMAN DUPLEX	34	YES	
5409	VICKERY BLVD	1936	CRAFTSMAN DUPLEX	34	YES	
5410	VICKERY BLVD	1920	PRAIRIE	28		
5411	VICKERY BLVD	2004	UNDEFINED		YES	
5414	VICKERY BLVD	1920	CRAFTSMAN	30		
5418	VICKERY BLVD	1923	CRAFTSMAN	32		

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5419	VICKERY BLVD	1935	PRAIRIE		YES	Porte Cochere w/Room Above
5422	VICKERY BLVD	1920	CRAFTSMAN	31		
5424	VICKERY BLVD	1920	PRAIRIE DUPLEX	31		
5425	VICKERY BLVD	1955	MINIMAL TRADITIONAL			
5430	VICKERY BLVD	1920	CRAFTSMAN	35		
5431	VICKERY BLVD	1914	CRAFTSMAN			
5434	VICKERY BLVD		VACANT			
5435	VICKERY BLVD	1914	PRAIRIE	30	YES	Porte Cochere w/ Room Above
5436	VICKERY BLVD	1920	CRAFTSMAN	32		
5440	VICKERY BLVD	1920	CRAFTSMAN	25		
5443	VICKERY BLVD	1950	MINIMAL TRADITIONAL			
5446	VICKERY BLVD	1920	CRAFTSMAN	30		
5447	VICKERY BLVD	1927	CRAFTSMAN	33		
5450	VICKERY BLVD	1920	CRAFTSMAN	30		
5451	VICKERY BLVD	1922	CRAFTSMAN			
5454	VICKERY BLVD	1984	MEDITERRANEAN			
5455	VICKERY BLVD	1922	CRAFTSMAN	33	YES	
5457	VICKERY BLVD	1922	CRAFTSMAN		YES	
5458	VICKERY BLVD	1920	PRAIRIE	31	YES	
5502	VICKERY BLVD	1923	CRAFTSMAN ALTERED			
5503	VICKERY BLVD	1936	CRAFTSMAN	30	YES	
5506	VICKERY BLVD	1923	CRAFTSMAN	29		
5507	VICKERY BLVD	1993	NEO-TUDOR			
5508	VICKERY BLVD	2002	NEO-TUDOR			
5509	VICKERY BLVD	1936	PRAIRIE	27	YES	Porte Cochere
5514	VICKERY BLVD	1923	CRAFTSMAN	30	YES	
5515	VICKERY BLVD	1936	CRAFTSMAN	33	YES	
5516	VICKERY BLVD	1935	CRAFTSMAN	31	YES	
5519	VICKERY BLVD	2004	NEO-TUDOR			
5523	VICKERY BLVD	2004	NEO-PRAIRIE			
5524	VICKERY BLVD	1923	CRAFTSMAN		YES	
5527	VICKERY BLVD	1926	CRAFTSMAN	32	YES	
5528	VICKERY BLVD	1922	CRAFTSMAN	31	YES	
5533	VICKERY BLVD	1920	MINIMAL TRADITIONAL			Circular Drive
5534	VICKERY BLVD	1923	CRAFTSMAN	31	YES	
5535	VICKERY BLVD	1936	ECLECTIC		YES	
5536	VICKERY BLVD	1988	CONTEMPORARY			
5539	VICKERY BLVD	1936	CRAFTSMAN	32	YES	
5540	VICKERY BLVD	1932	CRAFTSMAN	32	YES	
5544	VICKERY BLVD	1999	NEO-TUDOR			
5545	VICKERY BLVD	1936	CRAFTSMAN		YES	
5550	VICKERY BLVD	1923	CRAFTSMAN	31	YES	
5551	VICKERY BLVD	1936	CRAFTSMAN	31	YES	
5554	VICKERY BLVD	1993	NEO-TUDOR		YES	
5555	VICKERY BLVD	2002	NEO-CRAFTSMAN			
5601	VICKERY BLVD	1948	CRAFTSMAN DUPLEX ALTERED		YES	
5602	VICKERY BLVD	1922	PRAIRIE		YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL STEPS	COMMENTS
5605	VICKERY BLVD	1926	PRAIRIE	27	YES	Porte Cochere w/ Room Above
5606	VICKERY BLVD	2004	PRAIRIE			Porte Cochere w/ Room Above
5609	VICKERY BLVD	1916	PRAIRIE	29	YES	Porte Cochere w/ Room Above
5610	VICKERY BLVD	1926	PRAIRIE DUPLEX	28	YES	
5611	VICKERY BLVD	1936	PRAIRIE	27	YES	
5618	VICKERY BLVD	1926	PRAIRIE DUPLEX	27	YES	
5622	VICKERY BLVD	1922	CRAFTSMAN	28	YES	
5623	VICKERY BLVD	1922	CRAFTSMAN	27	YES	Porte Cochere
5626	VICKERY BLVD	1922	CRAFTSMAN			
5627	VICKERY BLVD	1923	CRAFTSMAN			Porte Cochere
5630	VICKERY BLVD	1924	CRAFTSMAN	31	YES	
5631	VICKERY BLVD	1948	SPANISH ECLECTIC		YES	
5634	VICKERY BLVD	1923	CRAFTSMAN	31	YES	Porte Cochere
5635	VICKERY BLVD	1918	CRAFTSMAN	27	YES	
5636	VICKERY BLVD	2004	MEDITERRANEAN			
5637	VICKERY BLVD	1940	PRAIRIE DUPLEX	29	YES	
5640	VICKERY BLVD	1924	TRANSITIONAL VICTORIAN ALTERED			
5643	VICKERY BLVD	1917	CRAFTSMAN		YES	
5644	VICKERY BLVD	1922	CRAFTSMAN			
5645	VICKERY BLVD	1926	TUDOR ALTERED	22	YES	
5200	WILLIS AVE	1923	CRAFTSMAN	25		
5203	WILLIS AVE	1923	TUDOR	28		
5204	WILLIS AVE	1999	CRAFTSMAN			
5205	WILLIS AVE	1923	CRAFTSMAN	26		new house
5210	WILLIS AVE	1923	CRAFTSMAN	25		
5211	WILLIS AVE	1923	COLONIAL REVIVAL	27		
5214	WILLIS AVE	1913	NEO-FOLK VICTORIAN	19		
5215	WILLIS AVE	1923	COLONIAL REVIVAL	27		
5218	WILLIS AVE	1920	COLONIAL REVIVAL	25		
5219	WILLIS AVE	1923	CRAFTSMAN	28		
5220	WILLIS AVE	1923	COLONIAL REVIVAL	25		
5223	WILLIS AVE	1923	CRAFTSMAN	23		
5224	WILLIS AVE	1926	COLONIAL REVIVAL	24		
5229	WILLIS AVE	1903	CRAFTSMAN	27		
5230	WILLIS AVE	1923	CRAFTSMAN	27		
5231	WILLIS AVE	1923	CRAFTSMAN	33		
5232	WILLIS AVE	1923	COLONIAL REVIVAL	25	YES	
5235	WILLIS AVE	2005	NEO-TUDOR			
5236	WILLIS AVE	1923	TUDOR	29	YES	new house
5239	WILLIS AVE	1923	MINIMAL TRADITIONAL	28		
5242	WILLIS AVE	1924	CRAFTSMAN	25	YES	
5243	WILLIS AVE	2006	NEO-TUDOR			single step
5246	WILLIS AVE	1923	CRAFTSMAN	24		
5247	WILLIS AVE	1924	MINIMAL TRADITIONAL	24		
5250	WILLIS AVE	1923	TUDOR	26	YES	
5251	WILLIS AVE	1923	COLONIAL REVIVAL	31		single step
5252	WILLIS AVE	1923	TUDOR	24	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5255	WILLIS AVE	1923	CRAFTSMAN	32		single step
5300	WILLIS AVE	1930	CRAFTSMAN	25		
5303	WILLIS AVE	1920	CRAFTSMAN	33		
5304	WILLIS AVE	1945	PRAIRIE DUPLEX	29		
5306	WILLIS AVE	1945	PRAIRIE DUPLEX	29		
5307	WILLIS AVE	1930	CRAFTSMAN			
5310	WILLIS AVE	1930	CRAFTSMAN	28		
5311	WILLIS AVE	1920	CRAFTSMAN	35		
5314	WILLIS AVE	1930	CRAFTSMAN	28	YES	
5315	WILLIS AVE	1920	CRAFTSMAN	35	YES	
5318	WILLIS AVE	1926	CRAFTSMAN	27		Porte Cochere
5319	WILLIS AVE	2000	TUDOR			
5320	WILLIS AVE	1930	NEO-TUDOR			
5323	WILLIS AVE	1920	CRAFTSMAN	33	YES	
5324	WILLIS AVE	1930	MINIMAL TRADITIONAL ALTERED	32		
5327	WILLIS AVE	1920	CRAFTSMAN	35	YES	
5330	WILLIS AVE	1930	CRAFTSMAN	25	YES	
5331	WILLIS AVE	1920	CRAFTSMAN	32	YES	
5334	WILLIS AVE	1930	CRAFTSMAN	24	YES	
5335	WILLIS AVE	1920	NEO-CRAFTSMAN			
5336	WILLIS AVE	1930	PRAIRIE			
5339	WILLIS AVE	1930	CRAFTSMAN	30	YES	
5341	WILLIS AVE	1950	CRAFTSMAN	28	YES	
5342	WILLIS AVE	1930	CRAFTSMAN	27	YES	
5346	WILLIS AVE	1930	CRAFTSMAN			
5347	WILLIS AVE	1920	CRAFTSMAN	28	YES	
5349	WILLIS AVE	1930	PRAIRIE	29	YES	
5350	WILLIS AVE	1930	CRAFTSMAN	26	YES	
5355	WILLIS AVE	1920	CRAFTSMAN	27	YES	
5358	WILLIS AVE	1945	PRAIRIE DUPLEX	25	YES	
5401	WILLIS AVE	1930	CRAFTSMAN	26	YES	
5402	WILLIS AVE	1930	CRAFTSMAN	26	YES	
5404	WILLIS AVE	1940	CRAFTSMAN ALTERED	25		
5405	WILLIS AVE	1935	CRAFTSMAN	27	YES	Porte Cochere
5410	WILLIS AVE	1924	COLONIAL REVIVAL	27	YES	
5411	WILLIS AVE	1930	CRAFTSMAN	28	YES	
5414	WILLIS AVE	1924	PRAIRIE	29	YES	
5415	WILLIS AVE	1930	CRAFTSMAN	28	YES	
5417	WILLIS AVE	1930	CRAFTSMAN	26	YES	
5418	WILLIS AVE	1930	CRAFTSMAN	27	YES	
5420	WILLIS AVE	1923	CRAFTSMAN	28	YES	
5423	WILLIS AVE	1950	MINIMAL TRADITIONAL	33		
5424	WILLIS AVE	1922	CRAFTSMAN	27	YES	
5427	WILLIS AVE	1930	COLONIAL REVIVAL	29	YES	
5430	WILLIS AVE	1923	CRAFTSMAN	23	YES	
5431	WILLIS AVE	1930	CRAFTSMAN	28	YES	
5434	WILLIS AVE	1923	CRAFTSMAN	24		
5435	WILLIS AVE	1930	CRAFTSMAN	24	YES	
5437	WILLIS AVE	1921	NEO-PRAIRIE			
5438	WILLIS AVE	1923	CRAFTSMAN	26		
5440	WILLIS AVE	1940	PRAIRIE	23	YES	

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL STEPS	COMMENTS
5441	WILLIS AVE	1940	CRAFTSMAN	26	YES	
5444	WILLIS AVE	1923	PRAIRIE	27	YES	
5447	WILLIS AVE	1945	TUDOR DUPLEX	31	YES	
5450	WILLIS AVE	1923	CRAFTSMAN	26	YES	
5451	WILLIS AVE	1925	CRAFTSMAN	24	YES	
5452	WILLIS AVE	1918	CRAFTSMAN	28	YES	
5455	WILLIS AVE	2003	NEO-TUDOR		YES	
5458	WILLIS AVE	1930	CRAFTSMAN	26	YES	
5459	WILLIS AVE	2004	SPANISH ECLECTIC			
5500	WILLIS AVE	1923	CRAFTSMAN	25		
5501	WILLIS AVE	1921	FOLK VICTORIAN	29	YES	
5504	WILLIS AVE	1916	PRAIRIE	25		
5505	WILLIS AVE	1920	CRAFTSMAN	24	YES	
5508	WILLIS AVE	1926	CRAFTSMAN	23		
5509	WILLIS AVE	1920	CRAFTSMAN	30	YES	
5512	WILLIS AVE	1926	CRAFTSMAN	23		
5513	WILLIS AVE	1920	CRAFTSMAN	28		
5518	WILLIS AVE	1926	CRAFTSMAN	22		
5521	WILLIS AVE	2006				
5522	WILLIS AVE	1926	CRAFTSMAN	23	YES	
5525	WILLIS AVE	1923	CRAFTSMAN	25	YES	single step
5526	WILLIS AVE	1926	CRAFTSMAN	23		
5527	WILLIS AVE	1922	PRAIRIE	26	YES	
5528	WILLIS AVE	1926	CRAFTSMAN	24		possibly new steps
5531	WILLIS AVE	1923	CRAFTSMAN	25		
5532	WILLIS AVE	1926	CRAFTSMAN	24	YES	
5535	WILLIS AVE	1916	CRAFTSMAN	29	YES	
5536	WILLIS AVE	1918	CRAFTSMAN	23		
5539	WILLIS AVE	1923	CRAFTSMAN	28	YES	
5542	WILLIS AVE	1920	CRAFTSMAN	26	YES	
5544	WILLIS AVE	1916	FOLK VICTORIAN	25		
5545	WILLIS AVE	1922	CRAFTSMAN	26	YES	
5547	WILLIS AVE	1923	CRAFTSMAN	28		
5548	WILLIS AVE	1922	CRAFTSMAN	25	YES	
5549	WILLIS AVE	0				
5602	WILLIS AVE	1920	CRAFTSMAN	27	YES	
5603	WILLIS AVE	1920	CRAFTSMAN	29	YES	
5604	WILLIS AVE	1920	NEOCLASSICAL	24	YES	
5607	WILLIS AVE	2000	NEO-VICTORIAN			
5608	WILLIS AVE	1918	CRAFTSMAN	27		
5611	WILLIS AVE	1922	CRAFTSMAN	29	YES	
5612	WILLIS AVE	1922	NEOCLASSICAL	24	YES	
5615	WILLIS AVE	2004	CRAFTSMAN			
5616	WILLIS AVE	2006	NEOCLASSICAL			
5619	WILLIS AVE	1918	CRAFTSMAN	28		new house
5620	WILLIS AVE	1996	NEO-TUDOR			
5623	WILLIS AVE	2005	NEO-CRAFTSMAN			new house
5626	WILLIS AVE	1922	CRAFTSMAN	44	YES	new house
5627	WILLIS AVE	1916	PRAIRIE	33		
5630	WILLIS AVE	1921	CRAFTSMAN	26	YES	
5631	WILLIS AVE	2004				
5632	WILLIS AVE	1922	CRAFTSMAN	26	YES	
5635	WILLIS AVE	2004	NEO-PRAIRIE			new steps
5636	WILLIS AVE	1922	CRAFTSMAN	27		new house

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STR NUM	STR NAME	YEAR	ARCHITECTURAL STYLE	FRONT YARD SETBACK	WATERFALL L STEPS	COMMENTS
5639	WILLIS AVE	1924	CRAFTSMAN	30		
5641	WILLIS AVE	2002	CONTEMPORARY			
5642	WILLIS AVE	1916	COLONIAL REVIVAL	25		new house
5644	WILLIS AVE	1918	CRAFTSMAN	27		
5645	WILLIS AVE	1918	CRAFTSMAN	26		

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APPENDIX B

FRONT YARD SETBACKS AND AVERAGES PER BLOCKFACE

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Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 1

ST. NUM	STR. NAME	FY Setbac
5401	BONITA AVE	23
5405	BONITA AVE	25
5411	BONITA AVE	27
5415	BONITA AVE	30
5419	BONITA AVE	27
5423	BONITA AVE	25
5427	BONITA AVE	27
5431	BONITA AVE	29
5437	BONITA AVE	27
5439	BONITA AVE	26
5443	BONITA AVE	27
5447	BONITA AVE	28
5451	BONITA AVE	27
5455	BONITA AVE	27
5457	BONITA AVE	22
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5402	BONITA AVE	17
5406	BONITA AVE	21
5410	BONITA AVE	
5414	BONITA AVE	17
5418	BONITA AVE	18
5422	BONITA AVE	20
5426	BONITA AVE	25
5430	BONITA AVE	22
5434	BONITA AVE	26
5438	BONITA AVE	23
5440	BONITA AVE	25
5444	BONITA AVE	20
5448	BONITA AVE	21
5454	BONITA AVE	18
5458	BONITA AVE	18
AVERAGE:		21

ST. NUM	STR. NAME	FY Setbac
5501	BONITA AVE	27
5507	BONITA AVE	31
5509	BONITA AVE	
5515	BONITA AVE	
5519	BONITA AVE	30
5523	BONITA AVE	
5527	BONITA AVE	33
5533	BONITA AVE	30
5535	BONITA AVE	25
5539	BONITA AVE	
5545	BONITA AVE	29
AVERAGE:		29

ST. NUM	STR. NAME	FY Setbac
5502	BONITA AVE	27
5504	BONITA AVE	29
5510	BONITA AVE	
5514	BONITA AVE	30
5518	BONITA AVE	33
5522	BONITA AVE	30
5526	BONITA AVE	31
5530	BONITA AVE	30
5534	BONITA AVE	28
5538	BONITA AVE	30
AVERAGE:		30

ST. NUM	STR. NAME	FY Setbac
5109	GOODWIN AVE	
5115	GOODWIN AVE	
5117	GOODWIN AVE	35
5121	GOODWIN AVE	38
5125	GOODWIN AVE	33
5129	GOODWIN AVE	27
5133	GOODWIN AVE	39
5137	GOODWIN AVE	36
5141	GOODWIN AVE	38
5145	GOODWIN AVE	40
5149	GOODWIN AVE	34
5153	GOODWIN AVE	32
5157	GOODWIN AVE	33
AVERAGE:		35

ST. NUM	STR. NAME	FY Setbac
5102	GOODWIN AVE	28
5106	GOODWIN AVE	31
5110	GOODWIN AVE	32
5114	GOODWIN AVE	31
5118	GOODWIN AVE	35
5122	GOODWIN AVE	28
5126	GOODWIN AVE	31
5130	GOODWIN AVE	
5134	GOODWIN AVE	36
5136	GOODWIN AVE	31
5142	GOODWIN AVE	37
5146	GOODWIN AVE	29
5150	GOODWIN AVE	22
AVERAGE:		31

Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 2

ST. NUM	STR. NAME	FY Setbac
5201	GOODWIN AVE	33
5207	GOODWIN AVE	
5211	GOODWIN AVE	33
5215	GOODWIN AVE	29
5219	GOODWIN AVE	36
5225	GOODWIN AVE	33
5227	GOODWIN AVE	31
5231	GOODWIN AVE	34
5235	GOODWIN AVE	35
5239	GOODWIN AVE	35
5243	GOODWIN AVE	32
5247	GOODWIN AVE	32
5251	GOODWIN AVE	31
5255	GOODWIN AVE	33
AVERAGE:		33

ST. NUM	STR. NAME	FY Setbac
5202	GOODWIN AVE	27
5206	GOODWIN AVE	27
5210	GOODWIN AVE	27
5214	GOODWIN AVE	
5218	GOODWIN AVE	23
5222	GOODWIN AVE	
5226	GOODWIN AVE	30
5230	GOODWIN AVE	24
5234	GOODWIN AVE	25
5238	GOODWIN AVE	28
5242	GOODWIN AVE	28
5246	GOODWIN AVE	22
5250	GOODWIN AVE	33
5254	GOODWIN AVE	27
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5300	GOODWIN AVE	
5306	GOODWIN AVE	27
5310	GOODWIN AVE	24
5314	GOODWIN AVE	26
5318	GOODWIN AVE	
5322	GOODWIN AVE	25
5330	GOODWIN AVE	25
5334	GOODWIN AVE	30
5338	GOODWIN AVE	
5342	GOODWIN AVE	
5346	GOODWIN AVE	27
5348	GOODWIN AVE	26
5354	GOODWIN AVE	
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5303	GOODWIN AVE	
2307	GOODWIN AVE	20
5311	GOODWIN AVE	21
5315	GOODWIN AVE	26
5319	GOODWIN AVE	25
5323	GOODWIN AVE	26
5327	GOODWIN AVE	24
5331	GOODWIN AVE	
5335	GOODWIN AVE	
5341	GOODWIN AVE	25
5343	GOODWIN AVE	24
5345	GOODWIN AVE	27
5349	GOODWIN AVE	23
5355	GOODWIN AVE	
AVERAGE:		24

ST. NUM	STR. NAME	FY Setbac
5400	GOODWIN AVE	24
5404	GOODWIN AVE	25
5410	GOODWIN AVE	23
5412	GOODWIN AVE	24
5418	GOODWIN AVE	25
5420	GOODWIN AVE	27
5424	GOODWIN AVE	23
5430	GOODWIN AVE	24
5434	GOODWIN AVE	24
5436	GOODWIN AVE	26
5440	GOODWIN AVE	
5444	GOODWIN AVE	25
5450	GOODWIN AVE	28
5452	GOODWIN AVE	26
5458	GOODWIN AVE	
AVERAGE:		25

ST. NUM	STR. NAME	FY Setbac
5403	GOODWIN AVE	31
5407	GOODWIN AVE	
5411	GOODWIN AVE	26
5413	GOODWIN AVE	
5417	GOODWIN AVE	23
5423	GOODWIN AVE	25
5425	GOODWIN AVE	23
5429	GOODWIN AVE	21
5433	GOODWIN AVE	26
5439	GOODWIN AVE	25
5443	GOODWIN AVE	23
5445	GOODWIN AVE	
5449	GOODWIN AVE	29
5453	GOODWIN AVE	24
5459	GOODWIN AVE	27
AVERAGE:		25

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Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 3

ST. NUM	STR. NAME	FY Setbac
5501	GOODWIN AVE	28
5507	GOODWIN AVE	35
5511	GOODWIN AVE	26
5515	GOODWIN AVE	28
5521	GOODWIN AVE	30
5525	GOODWIN AVE	27
5531	GOODWIN AVE	28
5535	GOODWIN AVE	25
5539	GOODWIN AVE	26
5541	GOODWIN AVE	26
5543	GOODWIN AVE	27
5549	GOODWIN AVE	26
5555	GOODWIN AVE	26
AVERAGE:		28

ST. NUM	STR. NAME	FY Setbac
5502	GOODWIN AVE	28
5506	GOODWIN AVE	29
5510	GOODWIN AVE	27
5514	GOODWIN AVE	27
5518	GOODWIN AVE	27
5524	GOODWIN AVE	25
5530	GOODWIN AVE	26
5532	GOODWIN AVE	26
5534	GOODWIN AVE	32
5538	GOODWIN AVE	26
5544	GOODWIN AVE	26
5546	GOODWIN AVE	26
5554	GOODWIN AVE	32
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5601	GOODWIN AVE	31
5605	GOODWIN AVE	31
5609	GOODWIN AVE	32
5615	GOODWIN AVE	29
5619	GOODWIN AVE	29
5623	GOODWIN AVE	27
AVERAGE:		30

ST. NUM	STR. NAME	FY Setbac
5602	GOODWIN AVE	40
5606	GOODWIN AVE	27
5610	GOODWIN AVE	31
5614	GOODWIN AVE	25
5618	GOODWIN AVE	27
5624	GOODWIN AVE	32
5628	GOODWIN AVE	33
5634	GOODWIN AVE	26
AVERAGE:		30

ST. NUM	STR. NAME	FY Setbac
5201	MILLER AVE	40
5207	MILLER AVE	43
5211	MILLER AVE	
5213	MILLER AVE	41
5219	MILLER AVE	39
5223	MILLER AVE	
5227	MILLER AVE	36
5231	MILLER AVE	40
5235	MILLER AVE	44
5239	MILLER AVE	44
5243	MILLER AVE	
5247	MILLER AVE	43
5251	MILLER AVE	40
5255	MILLER AVE	40
AVERAGE:		41

ST. NUM	STR. NAME	FY Setbac
5202	MILLER AVE	
5206	MILLER AVE	27
5210	MILLER AVE	42
5214	MILLER AVE	
5220	MILLER AVE	45
5222	MILLER AVE	39
5226	MILLER AVE	33
5230	MILLER AVE	
5234	MILLER AVE	
5238	MILLER AVE	46
5242	MILLER AVE	
5246	MILLER AVE	
5250	MILLER AVE	41
5254	MILLER AVE	42
AVERAGE:		39

Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 4

ST. NUM	STR. NAME	FY Setbac
5302	MILLER AVE	25
5306	MILLER AVE	
5308	MILLER AVE	23
5312	MILLER AVE	24
5318	MILLER AVE	27
5322	MILLER AVE	25
5328	MILLER AVE	26
5330	MILLER AVE	26
5332	MILLER AVE	
5336	MILLER AVE	26
5342	MILLER AVE	26
5346	MILLER AVE	26
5348	MILLER AVE	22
5354	MILLER AVE	30
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5301	MILLER AVE	31
5307	MILLER AVE	27
5309	MILLER AVE	31
5313	MILLER AVE	26
5319	MILLER AVE	26
5323	MILLER AVE	27
5327	MILLER AVE	27
5331	MILLER AVE	
5333	MILLER AVE	29
5337	MILLER AVE	29
5343	MILLER AVE	29
5347	MILLER AVE	24
5351	MILLER AVE	27
5355	MILLER AVE	27
AVERAGE:		28

ST. NUM	STR. NAME	FY Setbac
5402	MILLER AVE	24
5404	MILLER AVE	23
5408	MILLER AVE	24
5414	MILLER AVE	26
5416	MILLER AVE	25
5420	MILLER AVE	25
5422	MILLER AVE	25
5424	MILLER AVE	25
5428	MILLER AVE	30
5432	MILLER AVE	24
5436	MILLER AVE	
5440	MILLER AVE	
5442	MILLER AVE	
5444	MILLER AVE	
5446	MILLER AVE	27
5450	MILLER AVE	27
5454	MILLER AVE	29
5456	MILLER AVE	
5458	MILLER AVE	
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5401	MILLER AVE	23
5405	MILLER AVE	29
5411	MILLER AVE	24
5419	MILLER AVE	
5425	MILLER AVE	23
5427	MILLER AVE	27
5429	MILLER AVE	29
5435	MILLER AVE	32
5437	MILLER AVE	
5441	MILLER AVE	34
5447	MILLER AVE	37
5451	MILLER AVE	
5455	MILLER AVE	27
5459	MILLER AVE	
AVERAGE:		29

ST. NUM	STR. NAME	FY Setbac
5506	MILLER AVE	26
5516	MILLER AVE	
5518	MILLER AVE	
5524	MILLER AVE	28
5528	MILLER AVE	
5532	MILLER AVE	
5536	MILLER AVE	
5540	MILLER AVE	
5544	MILLER AVE	24
5548	MILLER AVE	25
5552	MILLER AVE	25
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5503	MILLER AVE	31
5507	MILLER AVE	27
5509	MILLER AVE	25
5515	MILLER AVE	28
5519	MILLER AVE	24
5523	MILLER AVE	
5527	MILLER AVE	25
5533	MILLER AVE	26
5537	MILLER AVE	27
5541	MILLER AVE	25
5543	MILLER AVE	25
5547	MILLER AVE	31
5551	MILLER AVE	
AVERAGE:		27

Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 5

ST. NUM	STR. NAME	FY Setbac
5601	MILLER AVE	25
5605	MILLER AVE	27
5609	MILLER AVE	
5613	MILLER AVE	26
5619	MILLER AVE	28
5621	MILLER AVE	27
5625	MILLER AVE	28
5629	MILLER AVE	28
5631	MILLER AVE	
5639	MILLER AVE	28
5643	MILLER AVE	27
5645	MILLER AVE	26
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5600	MILLER AVE	28
5608	MILLER AVE	25
5612	MILLER AVE	25
5614	MILLER AVE	
5616	MILLER AVE	
5620	MILLER AVE	29
5624	MILLER AVE	29
5628	MILLER AVE	25
5632	MILLER AVE	26
5636	MILLER AVE	27
5640	MILLER AVE	21
5646	MILLER AVE	29
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5201	RICHARD AVE	24
5207	RICHARD AVE	21
5211	RICHARD AVE	24
5215	RICHARD AVE	24
5219	RICHARD AVE	
5223	RICHARD AVE	
5227	RICHARD AVE	26
5231	RICHARD AVE	29
5235	RICHARD AVE	26
5239	RICHARD AVE	24
5243	RICHARD AVE	24
5247	RICHARD AVE	24
5251	RICHARD AVE	22
5253	RICHARD AVE	24
AVERAGE:		24

ST. NUM	STR. NAME	FY Setbac
5200	RICHARD AVE	31
5206	RICHARD AVE	24
5210	RICHARD AVE	28
5214	RICHARD AVE	27
5218	RICHARD AVE	27
5222	RICHARD AVE	28
5226	RICHARD AVE	33
5230	RICHARD AVE	22
5234	RICHARD AVE	
5238	RICHARD AVE	27
5242	RICHARD AVE	25
5246	RICHARD AVE	27
5250	RICHARD AVE	26
5256	RICHARD AVE	24
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5300	RICHARD AVE	25
5308	RICHARD AVE	24
5314	RICHARD AVE	26
5316	RICHARD AVE	26
5320	RICHARD AVE	26
5334	RICHARD AVE	27
5326	RICHARD AVE	26
5330	RICHARD AVE	
5336	RICHARD AVE	25
5342	RICHARD AVE	
5344	RICHARD AVE	25
5350	RICHARD AVE	
5354	RICHARD AVE	
AVERAGE:		26

ST. NUM	STR. NAME	FY Setbac
5303	RICHARD AVE	23
5307	RICHARD AVE	23
5311	RICHARD AVE	23
5315	RICHARD AVE	27
5319	RICHARD AVE	23
5323	RICHARD AVE	27
5327	RICHARD AVE	26
5331	RICHARD AVE	27
5335	RICHARD AVE	27
5339	RICHARD AVE	27
5341	RICHARD AVE	24
5343	RICHARD AVE	22
5351	RICHARD AVE	25
5355	RICHARD AVE	26
AVERAGE:		25

Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 6

ST. NUM	STR. NAME	FY Setbac
5400	RICHARD AVE	24
5402	RICHARD AVE	26
5410	RICHARD AVE	23
5415	RICHARD AVE	23
5418	RICHARD AVE	25
5422	RICHARD AVE	25
5424	RICHARD AVE	
5428	RICHARD AVE	
5432	RICHARD AVE	
5436	RICHARD AVE	
5440	RICHARD AVE	
5444	RICHARD AVE	23
5448	RICHARD AVE	
5454	RICHARD AVE	22
5458	RICHARD AVE	21
AVERAGE:		24

ST. NUM	STR. NAME	FY Setbac
5405	RICHARD AVE	27
5407	RICHARD AVE	25
5411	RICHARD AVE	24
5415	RICHARD AVE	25
5417	RICHARD AVE	28
5421	RICHARD AVE	25
5425	RICHARD AVE	
5429	RICHARD AVE	
5433	RICHARD AVE	23
5437	RICHARD AVE	25
5439	RICHARD AVE	25
5443	RICHARD AVE	21
5445	RICHARD AVE	23
5451	RICHARD AVE	
5455	RICHARD AVE	
5457	RICHARD AVE	
AVERAGE:		25

ST. NUM	STR. NAME	FY Setbac
5502	RICHARD AVE	26
5503	RICHARD AVE	26
5510	RICHARD AVE	27
5512	RICHARD AVE	27
5516	RICHARD AVE	25
5524	RICHARD AVE	27
5528	RICHARD AVE	26
5532	RICHARD AVE	21
5536	RICHARD AVE	36
5528	RICHARD AVE	32
5544	RICHARD AVE	25
5548	RICHARD AVE	25
5554	RICHARD AVE	26
5556	RICHARD AVE	27
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5503	RICHARD AVE	24
5505	RICHARD AVE	25
5509	RICHARD AVE	27
5513	RICHARD AVE	26
5519	RICHARD AVE	25
5523	RICHARD AVE	27
5527	RICHARD AVE	27
5535	RICHARD AVE	30
5537	RICHARD AVE	29
5541	RICHARD AVE	30
5545	RICHARD AVE	
5551	RICHARD AVE	25
5555	RICHARD AVE	25
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5600	RICHARD AVE	28
5606	RICHARD AVE	18
5610	RICHARD AVE	25
5614	RICHARD AVE	26
5618	RICHARD AVE	25
5620	RICHARD AVE	27
5628	RICHARD AVE	26
5630	RICHARD AVE	20
5634	RICHARD AVE	17
5638	RICHARD AVE	27
5642	RICHARD AVE	27
5644	RICHARD AVE	27
AVERAGE:		24

ST. NUM	STR. NAME	FY Setbac
5601	RICHARD AVE	28
5605	RICHARD AVE	
5609	RICHARD AVE	24
5615	RICHARD AVE	25
5619	RICHARD AVE	29
5621	RICHARD AVE	28
5627	RICHARD AVE	
5629	RICHARD AVE	29
5635	RICHARD AVE	31
5639	RICHARD AVE	32
5643	RICHARD AVE	28
5647	RICHARD AVE	28
AVERAGE:		28

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Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 7

ST. NUM	STR. NAME	FY Setback
5201	VICKERY BLVD	26
5207	VICKERY BLVD	35
5209	VICKERY BLVD	36
5215	VICKERY BLVD	35
5219	VICKERY BLVD	34
5221	VICKERY BLVD	37
5225	VICKERY BLVD	37
5231	VICKERY BLVD	34
5235	VICKERY BLVD	38
5237	VICKERY BLVD	34
5243	VICKERY BLVD	33
5247	VICKERY BLVD	30
5251	VICKERY BLVD	33
5255	VICKERY BLVD	
AVERAGE:		35

ST. NUM	STR. NAME	FY Setback
5202	VICKERY BLVD	
5204	VICKERY BLVD	27
5210	VICKERY BLVD	24
5214	VICKERY BLVD	26
5218	VICKERY BLVD	21
5222	VICKERY BLVD	22
5226	VICKERY BLVD	23
5230	VICKERY BLVD	
5234	VICKERY BLVD	27
5238	VICKERY BLVD	29
5240	VICKERY BLVD	31
5246	VICKERY BLVD	31
5250	VICKERY BLVD	
5254	VICKERY BLVD	32
AVERAGE:		27

ST. NUM	STR. NAME	FY Setback
5300	VICKERY BLVD	
5304	VICKERY BLVD	25
5310	VICKERY BLVD	
5314	VICKERY BLVD	27
5318	VICKERY BLVD	30
5322	VICKERY BLVD	30
5326	VICKERY BLVD	
5330	VICKERY BLVD	32
5334	VICKERY BLVD	29
5336	VICKERY BLVD	30
5342	VICKERY BLVD	28
5346	VICKERY BLVD	31
5350	VICKERY BLVD	28
5354	VICKERY BLVD	31
AVERAGE:		29

ST. NUM	STR. NAME	FY Setback
5303	VICKERY BLVD	
5305	VICKERY BLVD	
5307	VICKERY BLVD	
5311	VICKERY BLVD	
5313	VICKERY BLVD	28
5319	VICKERY BLVD	
5323	VICKERY BLVD	
5325	VICKERY BLVD	33
5331	VICKERY BLVD	34
5335	VICKERY BLVD	34
5339	VICKERY BLVD	
5343	VICKERY BLVD	33
5345	VICKERY BLVD	33
5347	VICKERY BLVD	36
5351	VICKERY BLVD	33
5357	VICKERY BLVD	32
AVERAGE:		33

ST. NUM	STR. NAME	FY Setback
5400	VICKERY BLVD	28
5406	VICKERY BLVD	
5410	VICKERY BLVD	28
5414	VICKERY BLVD	30
5418	VICKERY BLVD	32
5422	VICKERY BLVD	31
5424	VICKERY BLVD	31
5430	VICKERY BLVD	35
5434	VICKERY BLVD	
5436	VICKERY BLVD	32
5440	VICKERY BLVD	25
5446	VICKERY BLVD	30
5450	VICKERY BLVD	30
5454	VICKERY BLVD	
5458	VICKERY BLVD	31
AVERAGE:		30

ST. NUM	STR. NAME	FY Setback
5403	VICKERY BLVD	32
5405	VICKERY BLVD	30
5407	VICKERY BLVD	34
5419	VICKERY BLVD	34
5411	VICKERY BLVD	
5419	VICKERY BLVD	
5425	VICKERY BLVD	
5431	VICKERY BLVD	
5435	VICKERY BLVD	30
5443	VICKERY BLVD	
5447	VICKERY BLVD	33
5451	VICKERY BLVD	
5455	VICKERY BLVD	33
5457	VICKERY BLVD	
AVERAGE:		32

Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 8

ST. NUM	STR. NAME	FY Setbac
5502	VICKERY BLVD	
5506	VICKERY BLVD	29
5508	VICKERY BLVD	
5514	VICKERY BLVD	30
5516	VICKERY BLVD	31
5524	VICKERY BLVD	
5528	VICKERY BLVD	31
2234	VICKERY BLVD	31
5536	VICKERY BLVD	
5540	VICKERY BLVD	32
5544	VICKERY BLVD	
5550	VICKERY BLVD	31
5554	VICKERY BLVD	
AVERAGE:		31

ST. NUM	STR. NAME	FY Setbac
5503	VICKERY BLVD	30
5507	VICKERY BLVD	
5509	VICKERY BLVD	27
5515	VICKERY BLVD	33
5519	VICKERY BLVD	
5523	VICKERY BLVD	
5527	VICKERY BLVD	32
5533	VICKERY BLVD	
5535	VICKERY BLVD	
5539	VICKERY BLVD	32
5545	VICKERY BLVD	
5551	VICKERY BLVD	31
5555	VICKERY BLVD	
AVERAGE:		31

ST. NUM	STR. NAME	FY Setbac
5602	VICKERY BLVD	
5606	VICKERY BLVD	
5610	VICKERY BLVD	28
5618	VICKERY BLVD	27
5622	VICKERY BLVD	28
5626	VICKERY BLVD	
5630	VICKERY BLVD	31
5634	VICKERY BLVD	31
5636	VICKERY BLVD	
5640	VICKERY BLVD	
5644	VICKERY BLVD	
AVERAGE:		29

ST. NUM	STR. NAME	FY Setbac
5601	VICKERY BLVD	
5605	VICKERY BLVD	27
5609	VICKERY BLVD	29
5611	VICKERY BLVD	27
5623	VICKERY BLVD	27
5627	VICKERY BLVD	
5631	VICKERY BLVD	
5635	VICKERY BLVD	27
5637	VICKERY BLVD	29
5643	VICKERY BLVD	
5645	VICKERY BLVD	22
AVERAGE:		27

ST. NUM	STR. NAME	FY Setbac
5203	WILLIS AVE	28
5205	WILLIS AVE	26
5211	WILLIS AVE	27
5215	WILLIS AVE	27
5219	WILLIS AVE	28
5223	WILLIS AVE	23
5229	WILLIS AVE	27
5231	WILLIS AVE	33
5235	WILLIS AVE	
5239	WILLIS AVE	28
5243	WILLIS AVE	
5247	WILLIS AVE	24
5251	WILLIS AVE	31
5255	WILLIS AVE	32
AVERAGE:		28

ST. NUM	STR. NAME	FY Setbac
5200	WILLIS AVE	25
5204	WILLIS AVE	25
5210	WILLIS AVE	19
5214	WILLIS AVE	25
5218	WILLIS AVE	25
5220	WILLIS AVE	24
5224	WILLIS AVE	27
5230	WILLIS AVE	27
5232	WILLIS AVE	25
5236	WILLIS AVE	29
5242	WILLIS AVE	25
5246	WILLIS AVE	23
5250	WILLIS AVE	26
5252	WILLIS AVE	26
AVERAGE:		25

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Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 9

ST. NUM	STR. NAME	FY Setback
5300	WILLIS AVE	25
5304	WILLIS AVE	29
5306	WILLIS AVE	29
5310	WILLIS AVE	28
5314	WILLIS AVE	28
5318	WILLIS AVE	27
532	WILLIS AVE	
5324	WILLIS AVE	32
5330	WILLIS AVE	25
5334	WILLIS AVE	24
5336	WILLIS AVE	
5342	WILLIS AVE	27
5346	WILLIS AVE	
5350	WILLIS AVE	26
5358	WILLIS AVE	25
AVERAGE:		27

ST. NUM	STR. NAME	FY Setback
5303	WILLIS AVE	33
5307	WILLIS AVE	
5311	WILLIS AVE	35
5315	WILLIS AVE	35
5319	WILLIS AVE	
5323	WILLIS AVE	33
5327	WILLIS AVE	35
5331	WILLIS AVE	32
5335	WILLIS AVE	
5339	WILLIS AVE	30
5341	WILLIS AVE	28
5347	WILLIS AVE	28
5349	WILLIS AVE	29
5355	WILLIS AVE	27
AVERAGE:		31

ST. NUM	STR. NAME	FY Setback
5402	WILLIS AVE	26
5404	WILLIS AVE	25
5410	WILLIS AVE	27
5414	WILLIS AVE	29
5418	WILLIS AVE	27
5420	WILLIS AVE	28
5424	WILLIS AVE	27
5430	WILLIS AVE	23
5434	WILLIS AVE	24
5438	WILLIS AVE	26
5440	WILLIS AVE	23
5444	WILLIS AVE	27
5450	WILLIS AVE	26
5452	WILLIS AVE	28
5458	WILLIS AVE	26
AVERAGE:		26

ST. NUM	STR. NAME	FY Setback
5401	WILLIS AVE	26
5405	WILLIS AVE	27
5411	WILLIS AVE	28
5415	WILLIS AVE	28
5417	WILLIS AVE	26
5423	WILLIS AVE	33
5427	WILLIS AVE	29
5431	WILLIS AVE	28
5435	WILLIS AVE	24
5437	WILLIS AVE	
5441	WILLIS AVE	26
5447	WILLIS AVE	31
5451	WILLIS AVE	24
5455	WILLIS AVE	
5459	WILLIS AVE	
AVERAGE:		28

ST. NUM	STR. NAME	FY Setback
5501	WILLIS AVE	29
5505	WILLIS AVE	24
5509	WILLIS AVE	30
5513	WILLIS AVE	28
5521	WILLIS AVE	
5525	WILLIS AVE	25
5527	WILLIS AVE	26
5531	WILLIS AVE	25
5535	WILLIS AVE	29
5539	WILLIS AVE	28
5545	WILLIS AVE	26
5547	WILLIS AVE	28
5549	WILLIS AVE	
AVERAGE:		27

ST. NUM	STR. NAME	FY Setback
5500	WILLIS AVE	25
5504	WILLIS AVE	25
5508	WILLIS AVE	23
5512	WILLIS AVE	23
5518	WILLIS AVE	22
5522	WILLIS AVE	23
5526	WILLIS AVE	23
5528	WILLIS AVE	24
5532	WILLIS AVE	24
5536	WILLIS AVE	23
5542	WILLIS AVE	26
5544	WILLIS AVE	25
5548	WILLIS AVE	25
AVERAGE:		24

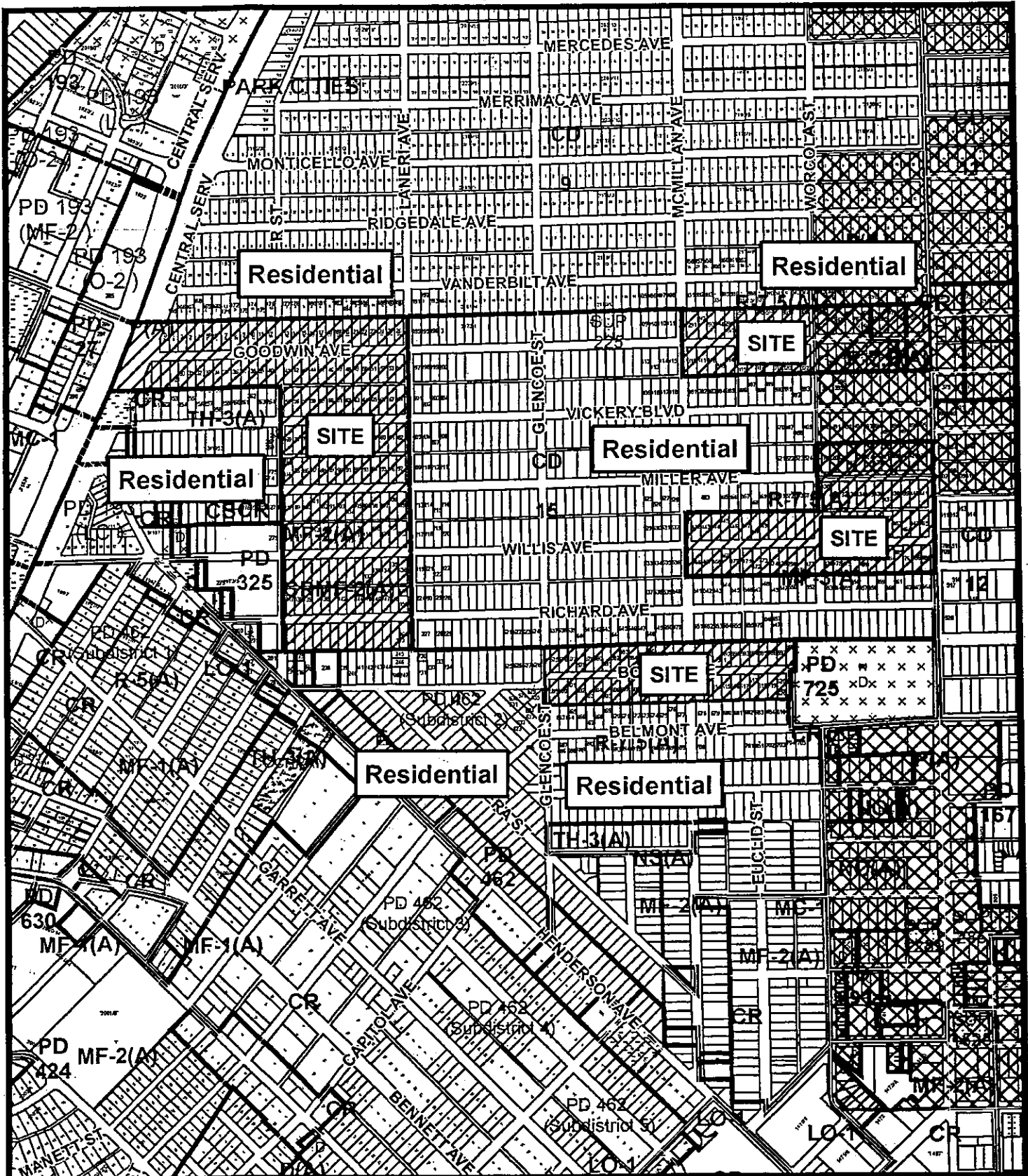
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Front Yard Setbacks and Blockface Averages for Properties in the Vickery Place Conservation District 10

ST. NUM	STR. NAME	FY Setbac
5603	WILLIS AVE	29
5607	WILLIS AVE	
5611	WILLIS AVE	29
5615	WILLIS AVE	
5619	WILLIS AVE	28
5623	WILLIS AVE	
5627	WILLIS AVE	33
5631	WILLIS AVE	
5635	WILLIS AVE	
5639	WILLIS AVE	30
5641	WILLIS AVE	
5645	WILLIS AVE	26
AVERAGE:		29

ST. NUM	STR. NAME	FY Setbac
5602	WILLIS AVE	27
5604	WILLIS AVE	24
5608	WILLIS AVE	27
5612	WILLIS AVE	24
5616	WILLIS AVE	
5620	WILLIS AVE	
5626	WILLIS AVE	44
5630	WILLIS AVE	26
5632	WILLIS AVE	26
5636	WILLIS AVE	27
5642	WILLIS AVE	25
5644	WILLIS AVE	27
AVERAGE:		28



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ZONING AND LAND USE

Map no: H-7, H-8, I-8

Case no: Z056-292(TC)