

ORDINANCE NO. 25474

An ordinance changing the zoning classification on the following described property, to wit:

An area generally being bounded by the lots on both sides of McCommas Boulevard on the north, the centerline of Skillman Street on the east, the lots on both sides of Vanderbilt Avenue on the south, and the centerline of Greenville Avenue on the west,

from an R-7.5(A) Single Family District, an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay District No. 1, an MF-2(A)-MD-1 Multifamily District with Modified Delta Overlay District No. 1, and a CR-MD-1 Community Retail District with Modified Delta Overlay District No. 1 to Conservation District No. 11 (the M Streets East Conservation District); approving the conceptual plan; providing procedures and regulations for this conservation district; providing for preservation of overlay zoning districts; providing a purpose statement; providing a penalty not to exceed \$2,000; providing a saving clause; providing a severability clause; and providing an effective date.

WHEREAS, the city plan commission and the city council of the City of Dallas find that the property described in Section 2 of this ordinance is an area of cultural and architectural importance and significance to the citizens of the city; and

WHEREAS, the city plan commission and the city council, in accordance with the provisions of the Charter of the City of Dallas, the state law, and the applicable

ordinances of the city, have given the required notices and have held the required public hearings regarding the rezoning of the property hereinafter described; and

WHEREAS, the city council finds that it is in the public interest to establish this conservation district; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DALLAS:

SECTION 1. Approval of the conceptual plan. That the conceptual plan for the M Streets East Conservation District, attached to this ordinance as Exhibit B, is approved.

SECTION 2. Creation of the conservation district. That the zoning ordinances of the City of Dallas, as amended, are amended by changing the zoning classification from an R-7.5(A) Single Family District, an R-7.5(A)-MD-1 Single Family District with Modified Delta Overlay District No. 1, an MF-2(A)-MD-1 Multifamily District with Modified Delta Overlay District No. 1, and a CR-MD-1 Community Retail District with Modified Delta Overlay District No. 1 to Conservation District No. 11 (the M Streets East Conservation District) on the following described property, to wit:

An area generally being bounded by the lots on both sides of McCommas Boulevard on the north, the centerline of Skillman Street on the east, the lots on both sides of Vanderbilt Avenue on the south, and the centerline of Greenville Avenue on the west, and specifically containing:

Lots 1-8 of City Block 2878/C,
Lots 1-19 of City Block 2874/C,
Lots 6-14 of City Block 2876/A,
Lots 3-12 of City Block 2149/4,
City Block 2873/A,
City Block 2873/B,
City Block 2164/1,
City Block 2150/5,
City Block 2865/D,
City Block 2864/C,
City Block 2148/3,
City Block 2151/6,
City Block 2862/A,
City Block 2861/H,
City Block 2863/B,
City Block 2860/G,
City Block 2147/2,
City Block 2152/7,
City Block 2858/E,

City Block 2859/F,
City Block 2146/1,
City Block 2852/4,
City Block 2153/8,
City Block 2857/D,
City Block 2856/C,
City Block 2168,
City Block 2166/5,
City Block 2154/B,
City Block 2145/6,
City Block 2165/3,
City Block 2167/7, and
City Block 2853/8.

SECTION 3. Preservation of overlay zoning districts. That any existing overlay zoning districts within the M Streets East Conservation District shall remain in full force and effect.

SECTION 4. Purpose. That this conservation district is established to conserve the M Streets East neighborhood and to protect and enhance its significant architectural and cultural attributes. The conservation district regulations are attached to this ordinance as Exhibit A. The conservation district regulations ensure that new construction and remodeling is done in a manner that is compatible with the original architectural styles found in the conservation district.

SECTION 5. Zoning district maps. That the director of the department of development services shall correct Zoning District Map Number H-8 in the offices of the city secretary, the building official, and the department of development services to reflect the changes in zoning made by this ordinance.

SECTION 6. Penalty clause. That a person who violates a provision of this ordinance is guilty of a separate offense for each day or portion of a day during which

the violation is committed, continued, or permitted, and each offense is punishable by a fine not to exceed \$2,000.

SECTION 7. Saving clause. That the zoning ordinances of the City of Dallas, as amended, shall remain in full force and effect, save and except as amended by this ordinance.

SECTION 8. Severability clause. That the terms and provisions of this ordinance are severable and are governed by Section 1-4 of CHAPTER 1 of the Dallas City Code, as amended.

SECTION 9. Effective date. That this ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Dallas and it is accordingly so ordained.

APPROVED AS TO FORM:

MADELEINE B. JOHNSON, City Attorney

By _____
Assistant City Attorney

Passed January 14, 2004 _____

EXHIBIT A

M STREETS EAST CONSERVATION DISTRICT REGULATIONS

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EXHIBIT B: M Streets East Conservation District Conceptual Plan

(a) Interpretations and definitions.

- (1) Unless otherwise stated, all references to articles, divisions, or sections in this ordinance are to articles, divisions, or sections in Chapter 51A.
- (2) Unless otherwise stated, the definitions in Chapter 51A apply to this ordinance. In this ordinance:
 - (A) COLONIAL REVIVAL means colonial revival architectural style as shown in Exhibit B.
 - (B) COMPATIBLE means consistent with the architecture found within the district, including architectural style, scale, massing, setbacks, colors, and materials.
 - (C) CONTRIBUTING means a structure listed as Colonial Revival, Craftsman, Minimal Traditional, Prairie, Spanish Eclectic, or Tudor structure in Exhibit B.
 - (D) CORNER LOT means a lot that has frontage on two different streets.
 - (E) CORNERSIDE FACADE means a main building facade facing a side street.
 - (F) CORNERSIDE LOT LINE means the lot line on a side street.
 - (G) CORNERSIDE YARD means a side yard that abuts a street.
 - (H) CRAFTSMAN means craftsman architectural style as shown in Exhibit B.
 - (I) DEMOLITION means the razing of a structure pursuant to a demolition permit.
 - (J) DIRECTOR means the director of the department of development services or the director's representative.
 - (K) DISTRICT means the M Streets East Conservation District.
 - (L) FOCAL WINDOW is a full length window, typically triple-arched or parabolic, and typically with stained glass or leaded glass.
 - (M) FRONT FACADE means the building elevation facing the front street.

- (N) FRONT STREET means McCommas Boulevard, Morningside Avenue, Mercedes Avenue, Monticello Avenue, Marquita Avenue, and Vanderbilt Avenue.
- (O) HARDCAPE means any non-plant landscape materials such as boulders, cobbles, decorative concrete, gravel, mulch, pavers, or stones.
- (P) HEIGHT means the vertical distance measured from grade to the roof ridge.
- (Q) MAIN STRUCTURE means the building on a lot intended for occupancy by the main use.
- (R) MINIMAL TRADITIONAL means minimal traditional architectural style as shown in Exhibit B.
- (S) NONCONTRIBUTING means a structure listed as an undefined style structure in Exhibit B.
- (T) ONE-AND-ONE-HALF STORY STRUCTURE means a main structure in which the space within the roof structure has been converted to livable space.
- (U) ORIGINAL means a structure or status that existed on the date of creation of this conservation district.
- (V) PARKWAY means that area between the sidewalk and the curb, or that area between the sidewalk and the street pavement if there is no curb.
- (W) PRAIRIE means prairie architectural style as shown in Exhibit B.
- (X) REAR YARD means:
 - (i) on an interior lot, the portion of the lot between the side lot lines that extends across the width of the lot between a main building and lines parallel to and extending outward from the rear facade of a main building and the rear lot line; and
 - (ii) on a corner lot, the portion of the lot that extends between the interior side lot line and a line parallel to and extending outward from the rear corner of the cornerside facade, and between the rear lot line and a main building and a line parallel to and extending outward from the interior side corner of the rear facade.

- (Y) REMODEL means improvements or repairs that change the exterior materials or appearance of the front facade or wrap-around of the main structure.
 - (Z) RETAINING WALL means a wall used to prevent the erosion of land.
 - (AA) ROOF RIDGE means the apex of any roof structure, regardless of its style or form.
 - (BB) SIDE-STREET means Greenville Avenue, Matilda Avenue, Delmar Avenue, Concho Street, and Skillman Street.
 - (CC) SIDE YARD means any portion of a lot not occupied by a main building that is not a front yard or rear yard. "Side yard" includes "cornerside yard."
 - (DD) SPANISH ECLECTIC means spanish eclectic architectural style as shown in Exhibit B.
 - (EE) STREET FACADE means any part of a building that faces a public street.
 - (FF) TUDOR means tudor architectural style as shown in Exhibit B.
 - (GG) WRAP-AROUND means the front 25 feet of each side facade.
- (b) Conceptual plan. The M Streets East Conservation District Conceptual Plan is attached to and made a part of this ordinance as Exhibit B. In the event of a conflict between Exhibit A, the district regulations, and Exhibit B, the conceptual plan, Exhibit A controls.
- (c) Nonconforming structures. Section 51A-4.704(c), "Nonconforming Structures," applies, except:
- (1) as otherwise provided in these regulations, or
 - (2) if the degree of nonconformity is voluntarily reduced, all rights to the previous degree of nonconformity are lost.
- (d) Development standards. Except as otherwise provided, the development standards of the R-7.5(A) Single Family District apply. Except as otherwise

provided, the development standards of the MF-2(A) Multifamily District apply to original multifamily uses in the 5700 block of Morningside Drive and the 5700 block of Marquita Avenue. Original multifamily uses are identified in Exhibit B. Except as otherwise provided, the development standards of the CR Community Retail District apply to Lots 10 and 11 of City Block 2168. Except as provided in the architectural standards for specific styles, the following development standards apply to the entire lot.

- (1) Use.
 - (A) Except for original duplex uses and original multifamily uses, the only use allowed is single-family.
 - (B) Original duplex uses are legal nonconforming uses. Original duplex uses are identified in Exhibit B.
 - (C) Original multifamily uses in the 5700 block of Morningside Drive and the 5700 block of Marquita Avenue are legal conforming uses. Original multifamily uses are identified in Exhibit B.
- (2) Accessory uses. As a general rule, an accessory use is permitted in any district in which the main use is permitted. Some specific types of accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51A-4.217. For more information regarding accessory uses, consult Section 51A-4.217.
- (3) Front yard. Minimum front yard is the average of the front yard of the contributing main structures on the block face. The average front yard of contributing main structures on each block face is listed in Exhibit B.
- (4) Side yard. Minimum side yard for main structures is five feet on the west side and 10 feet on the east side.
- (5) Rear yard. Minimum rear yard for main structures is 20 feet.
- (6) Density.
 - (A) The number of dwelling units on a lot may not be increased.
 - (B) If an original duplex use is converted to a single family use, the only use allowed thereafter is single-family.
 - (C) If the number of dwelling units in an original multifamily use is reduced, the number of dwelling units may not thereafter be increased.
- (7) Floor area ratio. No maximum floor area ratio.
- (8) Height. Maximum height for all structures is 30 feet.

- (9) Lot coverage. Maximum lot coverage is 40 percent.
- (10) Lot size. Minimum lot size is 7,500 square feet.
- (11) Stories. Maximum number of stories above grade is two stories for Colonial Revival, Craftsman, Prairie, and Spanish Eclectic structures. Maximum number of stories above grade is one-and-one-half stories for Minimal Traditional and Tudor structures. See Exhibit B.
- (12) Off-street parking and loading.
 - (A) Consult the use regulations in Division 51A-4.200 for the specific off-street parking/loading requirements for each use.
 - (B) Porte cocheres may not be enclosed.
- (13) Environmental performance standards. See Article VI, "Environmental Performance Standards".
- (14) Landscaping. See Article X, "Landscape and Tree Preservation Regulations".
- (15) Signs. See Article VII, "Sign Regulations".
- (16) Accessory structures.
 - (A) Location. Accessory structures must be located to the rear of the main structure.
 - (B) Style and materials. The color, style, design, and materials of accessory structures that are visible from a street must be compatible with the main structure.
 - (C) Roof slope. If an accessory structure is visible from a street, the slope of the roof must either match the roof slope of the main structure or comply with the architectural standard for the roof slope for the style of the main structure.
 - (D) Side yard setback.
 - (i) Except as provided in this subsection, accessory structures over 15 feet in height must have a minimum five-foot side yard setback.

- (ii) Except as provided in this subsection, there is no required side yard setback for accessory structures 15 feet or less in height.
- (iii) On corner lots, accessory structures may not be located closer to the cornerside lot line than the main structure.
- (iv) No part of an accessory structure may overhang adjacent property.
- (v) The minimum cornerside yard setback for all garages that enter from a side street is 20 feet.

(E) Rear yard setback.

- (i) Accessory structures over 15 feet in height must have a minimum five-foot rear yard setback.
- (ii) Accessory structures 15 feet or less in height must have at a minimum three-foot rear yard setback.
- (iii) The minimum rear yard setback for all garages, except car ports, that enter from the alley is 20 feet.
- (iv) A replacement accessory structure may be built in the rear yard in the same location as an original accessory structure, even if it does not comply with the rear yard setback requirements of this subsection, provided it does not project into the public right-of-way.

(F) Original accessory structures. Original accessory structures that are not located to the rear of the main structure may be repaired or maintained, but may not be altered, enlarged, or replaced.

(17) Driveways and curbing.

- (A) Driveway access is allowed from the front yard, cornerside yard, or alley.
- (B) Driveways and curbing constructed of asphalt, shredded rubber, or similar materials are not allowed. Unimproved dirt driveways are not allowed.
- (C) Ribbon driveways are allowed. Circular driveways are allowed.
- (D) The driveway entry must be between eight and 10 feet wide.

- (E) On corner lots, a driveway entry on the side street may be up to 24 feet wide if it is located behind the rearmost corner of the main structure and provides access to a garage.
- (18) Fences.
- (A) Chain link fences are not allowed in the front yard.
 - (B) Fences in a front yard must be constructed of brick that matches the main structure, decorative wire, hog wire, stone, stucco, wood or material that looks like wood, wrought iron, a combination of these materials, or other compatible materials.
 - (C) Fences in an interior side yard, cornerside yard, or rear yard may be constructed of brick, chain link, decorative wire, hog wire, stone, stucco, wood or material that looks like wood, wrought iron, a combination of these materials, or other compatible materials.
 - (D) Fences in front yards may not exceed four feet in height.
 - (E) Fences in side yards and rear yards may not exceed nine feet in height.
- (19) Front facade. The facade of a main structure containing the front entrance may not face a side street.
- (20) Front yards and parkways.
- (A) No more than 50 percent of the front yard may be paved or hardscaped. The parkway may not be paved or hardscaped except for curb cuts and sidewalk extensions.
 - (B) Mailboxes, pylons, satellite dishes, and other accessory structures are not allowed in the front yard or parkway.
- (21) Roofing materials.
- (A) Corrugated plastic, standing-seam metal, rolled, or tar-and-gravel roofing is not allowed.
 - (B) Copper roofing accents are only allowed on dormers and eyebrows of Tudor style structures.
- (22) Steps.
- (A) Original rolling or waterfall steps leading from the sidewalk to the main structure should be retained. Where original rolling or waterfall steps are damaged and must be replaced, the replacement must match the rolling or waterfall steps.

(23) Walkways.

- (A) Walkways must be constructed of concrete, brick, stone, or a similar material.
- (B) Walkways must lead to the front porch or front entrance.
- (C) Walkways may be straight or curved.

(24) Windows. The following applies to the front facade and cornerside facade.

- (A) Only transparent glass, stained glass, or leaded glass is allowed in windows.
- (B) Metal window frames must have a finish that is indistinguishable from the finish on original wood windows.
- (C) Window air conditioner units are not allowed.
- (D) Glass block may be used in bathroom windows or sidelights of main doors.
- (E) Windows must be typical of the style of the structure. See Exhibit B.

(e) Architectural standards for new construction.

- (1) Except as otherwise provided in this section, the front facade and wrap-around of new construction must be built in the Colonial Revival, Craftsman, Minimal Traditional, Prairie, Spanish Eclectic, or Tudor style and must comply with the architectural standards for the style. See Exhibit B.
- (2) After a noncontributing main structure is destroyed by the intentional act of the owner or owner's agent, the front facade and wrap-around of a new main structure may only be built in the Colonial Revival, Craftsman, Minimal Traditional, Prairie, Spanish Eclectic, or Tudor style and must comply with the architectural standards for the style. See Exhibit B.
- (3) After a noncontributing main structure is unintentionally destroyed, a new main structure may be built that replicates the original main structure.

(f) Architectural standards for Colonial Revival structures.

- (1) Applicability.
 - (A) Contributing Colonial Revival structures are identified in Exhibit B.
 - (B) New construction structures that are built in the Colonial Revival style must comply with the following standards. Colonial Revival structures that are remodeled must comply with the applicable standards.
 - (C) These architectural standards apply only to the front facade and wrap-around.

- (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Colonial Revival style must incorporate at least four of these features. See Exhibit B.
 - (A) Centered front gable.
 - (B) Centered front main entrance with symmetrically balanced windows.
 - (C) Chimney.
 - (D) Front entry porch with pilasters or columns.
 - (E) Pair of carriage lights flanking the front main entrance.
 - (F) Straight walkway leading to the front main entrance.
 - (G) Wooden shutters.

- (3) Materials.
 - (A) Colonial Revival structures must be clad in brick, stone, stucco, wood or material that looks like wood, or a combination of these materials.
 - (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.

- (4) Roof form. Colonial Revival structures must have a cross or side-gabled roof with a low to moderate roof slope between 20 degrees and 45 degrees. Hipped roofs are not allowed.

- (5) Windows.

- (A) Windows must be double hung with multi-pane sashes.
- (B) Windows on the first floor of the front facade must be rectangular.
- (C) Windows must be typical of the Colonial Revival style of the structure. See Exhibit B.
- (D) Glass in windows and doors on the front facade must be clear or leaded.

(g) Architectural standards for Craftsman structures.

(1) Applicability.

- (A) Contributing Craftsman structures are identified in Exhibit B.
- (B) New construction structures that are built in the Craftsman style must comply with the following standards. Craftsman structures that are remodeled must comply with the applicable standards.
- (C) These architectural standards apply only to the front facade and wrap-around.

(2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Craftsman style must incorporate four of these features. See Exhibit B.

- (A) Chimney.
- (B) Decorative roof beams or braces.
- (C) Exposed roof rafter tails.
- (D) Gabled dormer with exposed rafter tails.
- (E) Solid balustrade of brick or wood on the front porch.
- (F) Straight walkway leading to the front main entrance.

(3) Front porches.

- (A) A front porch is required along a minimum of 50 percent of the front facade.
- (B) The front porch roof must be supported by square or tapered columns with a brick or stone base.

- (C) The front porch may be surrounded by a balustrade or railing of wood or materials matching the front facade.
 - (D) Front porches must be open-air.
 - (E) The front entryway must have a Craftsman style wood door.
- (4) Materials.
- (A) Craftsman structures must be clad in brick, wood or material that looks like wood, or a combination of these materials. Stone accents are allowed. Stucco is allowed only in gables.
 - (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.
- (5) Porte cocheres. Porte cochere columns must match the porch columns.
- (6) Roof form.
- (A) Craftsman structures must have a cross-gabled, front-gabled, or side-gabled roof with a shallow roof slope between 20 degrees and 45 degrees, with a minimum roof overhang of at least 18 inches.
 - (B) Dormers may be gabled or shed.
- (7) Windows.
- (A) Windows must be double-hung with 1-over-1 or multipaned lights, or must be mission-styled. See Exhibit B.
 - (B) Windows must be grouped in clusters of two or three.
 - (C) Windows must be typical of the Craftsman style of the structure. See Exhibit B.
- (h) Architectural standards for Minimal Traditional structures.
- (1) Applicability.
- (A) Contributing Minimal Traditional structures are identified in Exhibit B.
 - (B) New construction structures that are built in the Minimal Traditional style must comply with the following standards. Minimal Traditional structures that are remodeled must comply with the applicable standards.

- (C) These architectural standards apply only to the front facade and wrap-around.
- (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Minimal Traditional style must incorporate three of these features. See Exhibit B.
 - (A) Chimney.
 - (B) Front facing gable.
 - (C) Projecting front entryway.
 - (D) Straight walkway leading to the front entrance.
- (3) Front porches.
 - (A) A front porch entry feature is required.
 - (B) Front porches may be open-air or enclosed.
 - (C) If front porches are enclosed, at least 75 percent of the material used to enclose the front porch openings must be transparent glass, stained glass, or leaded glass.
- (4) Materials.
 - (A) Minimal Traditional structures must be clad in brick, stone, stucco, wood or material that looks like wood, or a combination of these materials.
 - (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.
- (5) Roof form.
 - (A) Minimal Traditional structures must have a cross-gabled or side-gabled roof with low to moderate roof slope between 20 degrees and 40 degrees
 - (B) The maximum roof overhang is 12 inches
- (6) Windows.

- (A) Windows must have multi-pane sashes.
 - (B) Windows must be typical of the Minimal Traditional style of the structure. See Exhibit B.
- (i) Architectural standards for Prairie structures.
- (1) Applicability.
 - (A) Contributing Prairie structures are identified in Exhibit B.
 - (B) New construction structures that are built in the Prairie style must comply with the following standards. Prairie structures that are remodeled must comply with the applicable standards.
 - (C) These architectural standards apply only to the front facade and wrap-around.
 - (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Prairie style must incorporate four of these features. See Exhibit B.
 - (A) Broad, flat chimney.
 - (B) Centered dormer on front facade.
 - (C) Decorative casement windows.
 - (D) Massive square porch supports.
 - (E) Straight walkway leading to the front door.
 - (F) Two-story home with a one-story wing.
 - (G) Window boxes.
 - (3) Front porches.
 - (A) A full-width front porch entry feature is required.
 - (B) Front porches must be open-air.
 - (4) Materials.
 - (A) Prairie structures must be clad in brick, stone, wood or material that looks like wood, or a combination of these materials.
 - (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.

- (5) Roof form.
 - (A) Prairie structures must have a hipped or side-gabled roof with low to moderate roof slope between 20 degrees and 40 degrees
 - (B) The minimum roof overhang is 12 inches
- (6) Windows.
 - (A) Windows must be casement or double-hung with multi-pane sashes.
 - (B) Windows must be typical of the Prairie style of the structure. See Exhibit B.
- (j) Architectural standards for Spanish Eclectic structures.
 - (1) Applicability.
 - (A) Contributing Spanish Eclectic structures are identified in Exhibit B.
 - (B) New construction structures that are built in the Spanish Eclectic style must comply with the following standards. Spanish Eclectic structures that are remodeled must comply with the applicable standards.
 - (C) These architectural standards apply only to the front facade and wrap-around.
 - (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Spanish Eclectic style must incorporate four of these features. See Exhibit B.
 - (A) Balconet. "Balconet" means a full length window with a railing without a projecting floor.
 - (B) Balcony with wood or iron railing on the second story of the front facade.
 - (C) Brick or tiled vents on the front facade.
 - (D) Chimney with decorative top.
 - (E) Decorative window grille.
 - (F) Focal window.

- (G) Front door surrounded by spiral columns, pilasters, carved stonework, or pattern tiles.
- (3) Front arches. Doors and windows on the ground floor of the front facade must have arches.
- (4) Front porches.
 - (A) Front porches may be the full width or partial width of the front facade.
 - (B) Front porches must have arches under the porch roof.
- (5) Materials.
 - (A) Spanish Eclectic structures must be clad in brick, stone, stucco, or a combination of these materials.
 - (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.
- (6) Roof form and materials.
 - (A) Spanish Eclectic structures must have a cross-gabled, side-gabled, or combination hipped and gabled roof with a roof slope of less than 45 degrees, with a maximum roof overhang of 18 inches.
 - (B) Only the following roofing materials are allowed: tile and composition shingle.
- (7) Windows.
 - (A) Windows must be focal, casement, or double-hung.
 - (B) Window grilles are permitted.
 - (C) Glass in windows must be transparent, stained, or leaded.
 - (D) Windows must be typical of the Spanish Eclectic style of the structure. See Exhibit B.
- (k) Architectural standards for Tudor structures.
 - (1) Applicability.
 - (A) Contributing Tudor structures are identified in Exhibit B.

- (B) New construction structures that are built in the Tudor style must comply with the following standards. Tudor structures that are remodeled must comply with the applicable standards.
 - (C) These architectural standards apply only to the front facade and wrap-around.
- (2) Architectural features. The following architectural features must be maintained or duplicated. New construction structures that are built in the Tudor style must incorporate four of these features. See Exhibit B.
- (A) Arched front doorway.
 - (B) Decorative chimney on the front facade or wrap-around.
 - (C) Dormers with stained or leaded glass.
 - (D) Front-facing gable with decorative verge board.
 - (E) Multiple arch open-air front porch.
 - (F) Pair of stained glass windows in the front facade.
 - (G) Stone accents.
 - (H) Straight walkway leading to the front main entrance.
- (3) Chimney. New construction Tudor structures must have a massive chimney of at least five feet in width on the front facade or wrap-around. See Exhibit B.
- (4) Front porches.
- (A) Front porches may be open-air or enclosed.
 - (B) If front porches are enclosed, at least 75 percent of the material used to enclose the front porch openings must be transparent glass, stained glass, or leaded glass.
 - (C) Front porches must be at least 25 percent and no more than 50 percent of the width of the front facade.
- (5) Materials.
- (A) Tudor structures must be clad in brick, stucco with wooden half-timbering, or a combination of these materials. Stone accents are allowed.

- (B) Any remodeling must match the original materials in type, color, coursing, joint detailing, mortaring, size, and texture.
- (6) Roof form.
 - (A) Tudor structures must have a side-gabled roof with a roof slope between 45 degrees and 70 degrees, with a maximum roof overhang of 12 inches.
 - (B) Tudor structures must have at least one front-facing gable.
- (7) Windows.
 - (A) Windows must be double-hung or casement.
 - (B) Windows must be clear, stained glass, or leaded glass.
 - (C) Windows must be typical of the Tudor style of the structure. See Exhibit B.
- (l) Demolition of main structures. Contributing main structures may be demolished only if the cost of bringing the structure into compliance with all applicable building code requirements using materials similar to the original materials is greater than 80 percent of the structure's value according to the Dallas Central Appraisal District.
- (m) Procedures.
 - (1) Review form applications. A review form application must be submitted to the Director for any exterior alteration of a front facade or wrap-around and for new construction.
 - (2) Work requiring a building permit.
 - (A) Upon receipt of a review form application for work requiring a building permit, the building official shall refer the review form application to the Director to determine whether the new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 30 days after submission of a complete review form application.
 - (B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application, and forward it to the building official, who shall issue the building permit if all requirements of the construction codes and other applicable ordinances have been met.

- (C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before issuance of a building permit, deny the review form application, and forward it to the building official, who shall deny the building permit. The Director shall give written notice to the applicant stating the reasons for denial of the review form application. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. The notice to the applicant must be sent to the address shown on the review form application.

(3) Work not requiring a building permit.

- (A) For work not requiring a building permit, the applicant must submit a review form application. The Director shall determine whether the proposed new construction or remodeling meets the standards of this ordinance. The review of the review form application by the Director must be completed within 10 days after submission of the review form application.
- (B) If the Director determines that the new construction or remodeling complies with the standards of this ordinance, the Director shall approve the review form application and give written notice to the applicant.
- (C) If the Director determines that the new construction or remodeling does not comply with the standards of this ordinance, the Director shall state in writing the specific requirements to be met before an approval can be granted. The Director shall give written notice to the applicant stating the reasons for denial. Notice is given by depositing the notice properly addressed and postage paid in the United States mail. Notice to the applicant must be sent to the address shown on the review form application.

(4) Appeals.

- (A) An applicant may appeal any decision made by the Director to the board of adjustment. See Section 51A-4.703, "Board of Adjustment Hearing Procedures".
- (B) In considering the appeal, the sole issue before the board of adjustment is whether the Director erred in the decision. The

board of adjustment shall consider the same standards that were required to be considered by the Director.

- (C) Appeal to the board of adjustment is the final administrative remedy.

EXHIBIT B

M-Streets East Conservation District Conceptual Plan

A proposal to conserve the collection of architectural styles in
one of Dallas' oldest neighborhoods



October 23, 2003

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Introduction

During the early part of the twentieth century, many diverse architectural styles were being introduced into American cities. These styles derived from European architecture primarily found in England, France, Italy and Spain. Many American architects developed subdivisions using copies of these styles. As the century progressed and other styles were developed, collections of this early-century architecture diminished.

Throughout the city of Dallas, pockets of the many different early twentieth century architectural styles still exist in the oldest neighborhoods. Many property owners are beginning to take steps to protect these remnants as current builders no longer adhere to specific architecture but are focused more on square footage. That is why neighborhoods such as M Streets East have sought zoning such as conservation districts and planned development districts to preserve a part of the history and charm of Dallas.

The Neighborhood

The M-Streets East area is made up of a collection of neighborhoods. They consist of Greenville Crest, Greenville Heights, Geneva Heights and Altadena Revival. It is located approximately two miles north of downtown Dallas on the east side of North Central Expressway (U.S. 75 north). The area is generally bounded by McCommas Boulevard to the north, Skillman Street to the east, Vanderbilt Avenue to the south and Greenville Avenue to the west. A map representing the area boundaries can be found in Appendix C.

There are nearly 500 homes that make up this neighborhood. Although the structures range in age from the 1920's to the first few years of the 21st century, approximately 80% of these homes were built prior to 1940. Much of the area was planned and built by Clifford Hutsell, a premier architect and developer in the early twentieth century. This was one of the city of Dallas' first suburbs, built to appeal to the middle-class families of the time.

The Architecture

Like their neighbors to the west of Greenville Avenue, the dominant style of the area is classified as Tudor. But there is also a significant representation of Colonial Revival, Craftsman and Minimal Traditional styled homes. Definitions and photographs of these styles can be found in Appendix A, beginning on page 9 of this document.

As these homes continue to age and new owners move into the area, some of these styles have been replaced. New homes of a more contemporary nature, typically found in today's suburbs, or homes with undefined architectural styles frequently are their replacements. A conservation district was proposed by the property owners of the area to attempt to salvage the distinct architectural mixture of the neighborhood yet remain inviting to new and prospective owners.

The Area

M Streets East is surrounded by other single-family neighborhoods. Greenville Avenue has a number of popular bars, restaurants, and retail establishments that attract a large amount of automobile and pedestrian activity. On the west side of the neighborhood is the M Streets, which was re-zoned to a conservation district in November of 2002. Other neighborhoods in the

area (Belmont Addition, Vickery Place) are presently seeking or have expressed interest in becoming conservation districts as well. With close proximity to downtown Dallas, White Rock Lake, NorthPark Mall and many other retail and entertainment districts, M Streets East is a popular location for the urban professional. Because of this interest, it became necessary to establish guidelines for development of homes in the area to protect its charm.

Zoning and Land Use

The neighborhood has multiple zoning designations within it. They are R-7.5 (A), R-7.5 (A) – MD-1, MF-2 (A), and CR-MD-1. It is mostly developed with single-family houses on lots of approximately 7500 square feet. However, there are some duplexes throughout the area as well as a few apartment/condominium buildings and some retail properties along Greenville Avenue.

Neighborhood Application

Over the years, the property owners in the M Streets East have noticed new construction being developed in the area that was not characteristic of the present style of homes. Newer homes were often out of scale with the neighboring homes creating problems due to such issues as limited sunlight during parts of the day, invasion of privacy caused by taller structures looking down onto the neighboring property, and spatial concerns with new homes being built to the established zoning property limits instead of adhering to the neighborhood's unwritten standards.

Property owners thus began seeking ways to have new construction and major remodeling conform to the characteristics of their area. The current R-7.5 (A) zoning for the area does not address architecture standards, only site standards. Some of the options presented were deed restrictions, a historic district, or even a planned development district. After the many options were discussed, seeking conservation district status was determined to be the appropriate zoning tool to accomplish the neighborhoods goals.

A group of property owners began a laborious process of collecting signatures from the other property owners within their boundaries to have the city conduct a feasibility study. The Department of Development Services requires that at least 75% of the property owners in an area sign such a petition before a public hearing will be authorized for a feasibility study for a conservation district. The boundaries were established as the 5900 and 6000 blocks of McCommas Boulevard, and the 5700, 5800, 5900, and 6000 blocks of Morningside, Mercedes, Monticello, Marquita, and Vanderbilt. After collecting the signatures, they put together a package of information to submit an application for a conservation district to the city of Dallas. This included a listing of all of the property addresses, the architectural style of each home, a history of the neighborhood, and photographs of each house.

The application was submitted in the spring of 2002. Upon determining their application was complete, the city staff began to look at the area to ensure it met the standards set forth by the city code to be eligible for conservation district status. Being certain that the application did indeed meet the criteria established in the city code, the city staff sent a letter to the submitters of the application stating that it had been accepted and would be studied as soon as possible. Because of the Development Services department policy of studying only two applications for a

conservation district at a time, the authorization to study the area did not occur until the December of 2002.

Planning Process Background

After the authorization of the public hearing to study the M Streets East area for the feasibility of becoming a conservation district, the city staff spent approximately six weeks analyzing the characteristics of the area and compiling data. Information such as architectural styles, house size, number of stories, assessed property values, and many other variables were explored to determine what existed today and what would be discussed by the property owners of the area.

A total of seven community meetings were held. The property owners within the boundary area of the proposed conservation district as well as property owners 200 feet around the boundaries were invited to each of these meetings. The meetings began in February of 2003 and concluded in October of 2003. They were held at the Robert E Lee Elementary School located on the corner of Delmar and Vanderbilt adjacent to the proposed conservation district. Many people were able to walk to the meetings. An average of about 50 people attended the meetings. In addition to those in attendance, many others sent emails or made telephone calls to the city staff to express their opinions with regards to the proposals being made.

A survey was also sent out by the city staff to all property owners in and around the proposed district to receive input regarding the standards being addressed during the meetings. Over 100 of the surveys were returned with 95% of them coming from the property owners that were in the proposed district boundaries. Over 80% expressed interest in becoming a conservation district.

During the community meetings, everyone had multiple opportunities to express their comments. First, they were allowed to make oral comments during the meeting. Second, they were given comment sheets as part of a packet of information at each meeting to be able to give written comments that could be given to city staff at the end of the meeting or mail or faxed to city staff at their convenience. Third, a contact sheet for staff was also a part of the packet of information which gave the staff members' name, telephone number, email address, physical address and fax number to allow property owners to contact the staff at any time they wished. A staff member's name and telephone number was also placed on the postcard notices sent out to every property owner in and around the district should they have had any questions regarding the upcoming meeting.

The following table gives a breakdown of the meeting dates, discussion topic(s) and attendance figure for each meeting:

Date	Discussion topic(s)	Attendance
February 28, 2003	Introduction to what a conservation district is	49
March 28, 2003	Architectural standards/survey to be sent	66
May 12, 2003	Survey results/architectural standards for the area	61
June 2, 2003	Architectural/site standards desired for the area	47
July 28, 2003	Development standards for new homes and remodels	48
August 18, 2003	General standards such as parkways/paving/fencing	29

October 6, 2003	Review of draft ordinance and final endorsement	59
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Staff Recommendation

Based on the study of the area, the decisions made at the community meetings, and the responses from property owners, the staff recommends that the M Streets East neighborhood become a conservation district based on the following criteria specified in the enabling ordinance:

- The proposed neighborhood contains at least one blockface with contributing and significant structures of architectural value.
- The neighborhood has been assessed as being a stable neighborhood.
- The neighborhood has a distinctive atmosphere and character, which can be conserved.

Other reasons for staff to recommend a conservation district for this area are:

- There has been strong community support for the creation of a conservation district in this area.
- It shares a common boundary (Greenville Avenue) with another neighborhood, which was recently designated as a conservation district (M Streets) and also shares many of those neighborhood characteristics.
- There is a collection of architectural styles prevalent throughout the neighborhood not being reproduced by home builders.
- The eclectic mix of architectural styles make this neighborhood a unique and interesting place to live.
- The heights of structures in the area are typically much lower than the limits established by the city code under the current zoning for the neighborhood.
- The front yard setbacks for the area are greater than the minimum established by the city code under the current zoning for the neighborhood.
- By establishing regulations for greater front yard setbacks and reduced heights, a large contingent of mature trees, growing throughout the area, will be saved even with new construction.

Development Standards

The staff analysis and community input helped staff to recommend the following standards to be implemented in the M Streets East neighborhood as the accepted standards for new homes and remodeling that occurs in the area which are over and above the existing standards identified in the city code for R-7.5 (A) zoning. Where a specific issue is not addressed, the existing standard was deemed acceptable.

#	Item	Present Zoning Standards (R-7.5)	Proposed Standards for the Conservation District
1	Height	30 feet maximum, measured as midpoint between the ridge and the eaves	30 feet maximum, measured to the top of the ridge
2	Front setback	25 feet minimum	Average of original homes on the block; see appendix D
3	Side setback	5 feet minimum	5 feet minimum on west, 10 feet minimum on east
4	Rear setback	5 feet minimum	20 feet minimum for main structure 5 feet minimum for accessory structure over 15 feet 3 feet minimum for accessory structure 15 feet and under
5	Fences	4 feet maximum front yard 9 feet maximum side/rear yard	Same as present for height; Materials allowed for front are: wood, wrought iron, stone, wire, brick, and stucco. Materials allowed for side/rear are same as front but also chain link.
6	Driveways	#	Constructed of any material except asphalt or asphalt-like material
7	Lot width	#	No minimum or maximum lot width
8	Lot coverage	45%	40%
9	Lot size	7500 square foot minimum	7500 square foot minimum
10	Stories	No maximum	1 ½ for Minimal Traditional and Tudor 2 for Colonial Revival, Craftsman, Prairie and Spanish Eclectic
11	Architectural Styles (New construction/ Remodeling)	#	Colonial Revival, Craftsman, Minimal Traditional, Prairie, Spanish Eclectic and Tudor
12	Building materials	#	Brick, stone, wood, and stucco according to architectural style
13	Roofing materials	#	No metal, corrugated, plastic, asbestos, tar and gravel, or rolled roofing
14	Windows/glass	#	Typical to architectural style
15	Garages	#	Located in rear of home; can be attached or detached
16	Front yard coverage	#	Maximum of 50% can be “hardscaped”
17	Demolition	#	Contributing homes may be demolished if the cost to bring the home to code is more than 80% of the value of the structure based on Dallas Central Appraisal District valuations. Otherwise, the home must be restored.

not specifically mentioned in the city code

Analysis of the total area

The area consists of multiple architectural styles as identified by the city staff. They are Colonial Revival, Contemporary, Craftsman, Minimal Traditional, Spanish Eclectic, Tudor, and what has been termed as Undefined. All of these styles except for the Contemporary and Undefined styles are named as contributing styles for the area. The percentage breakdown of architectural styles in the area is as follows:

Architectural Style	Total number of styles in the neighborhood
Tudor	206
Minimal Traditional	104
Colonial Revival	58
Craftsman	27
Contemporary	6
Spanish Eclectic	5
Undefined	74
Total homes	480

Required Elements for new construction

Certain elements are required for each architectural style. They are materials, roofing, and windows. These elements are required to ensure that each style is represented as adequately as possible to maintain the true characteristics of the architecture. Materials must be compatible to those that exist in the neighborhood today to ensure that new construction will seamlessly transition into the neighborhood.

Roofing is a part of every home. The pitch of the roof and the materials used can sometimes immediately allow an onlooker to identify the architectural style it is associated with. Because of this, it is important that roof pitch and roofing materials be addressed for each style. Steeply pitched roofs can also allow home-owners to add extra living space in an attic, commonly done with the Tudor style.

Windows are a very important feature of the house. As with roofing, windows can sometimes allow an onlooker to easily identify the type of architectural style a particular structure is. For many styles, double-hung windows are typical, but certain styles utilized special shapes or glass type (such as leaded and stained) that make them unique.

The different standards that will be applicable to each style are listed in Appendix A.

APPENDIX A – ARCHITECTURAL STYLES

COLONIAL REVIVAL

Description:

A revival style that uses side-gabled roofs, centered doorways, and symmetrically placed windows to give a stately appearance. Typically two stories with porch columns adorning the entryway.



General Information:

Number in the neighborhood:
58

Primary locations:
6000 blocks of McCommas and
Vanderbilt

Requirements for Colonial Revival houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Stone
- 3) Stucco
- 4) Wood or siding that looks like wood
- 5) Combination of these items

Roofing:

- Must have cross or side-gabled roof
- Roof slope between 20 and 45 degrees
- Hipped roofs not allowed

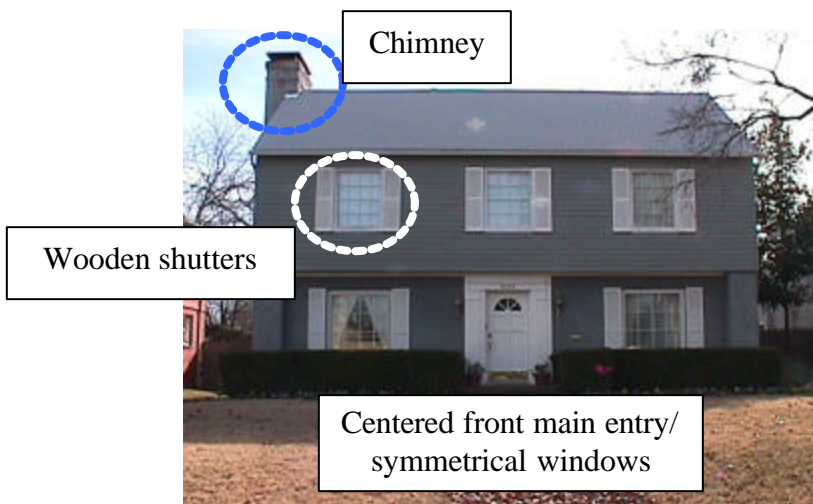
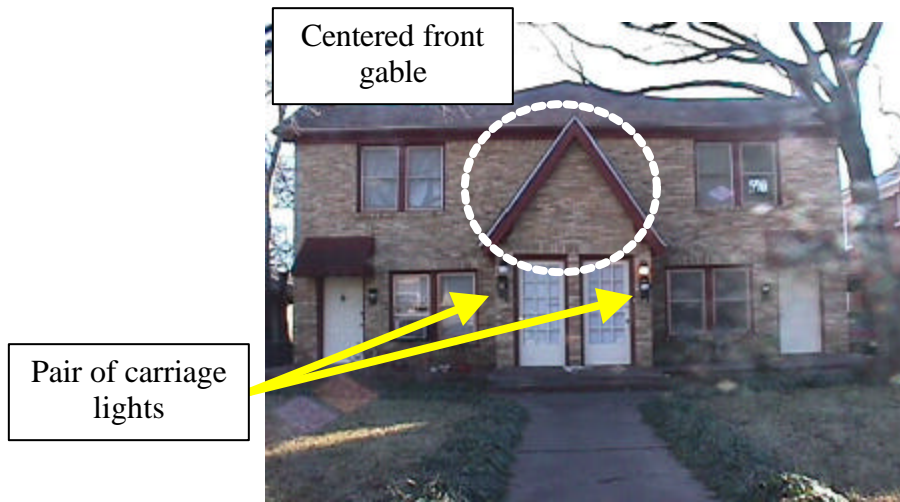
Windows:

Must be double hung with multi-pane sashes. First floor windows on the front façade must be rectangular (taller than wide) and typical to the Colonial Revival style. Glass in windows and doors must be clear or leaded

Optional features for Colonial Revival houses (all new construction must include 3):

- 1) Centered front gable
- 2) Centered front main entrance with symmetrically balanced windows
- 3) Chimney
- 4) Front entry porch with pilasters or columns
- 5) Pair of carriage lights flanking the front main entrance
- 6) Straight walkway leading to the front main entrance
- 7) Wooden shutters

EXAMPLES OF OPTIONAL FEATURES FOR COLONIAL REVIVAL ARCHITECTURAL STYLE



CRAFTSMAN

Description:

Generated from the Arts and Crafts style. Typically has front porch with brick or wood railing or balustrade. Other common features are overlapping gables and clustered windows.



General Information:

Number in the neighborhood:
27

Primary location:
5700 block of Mercedes

Requirements for Craftsman houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Wood or siding that looks like wood
- 3) Combination of these items
- 4) Stone accents are allowed
- 5) Stucco is allowed in gables only

Roofing:

Must be cross, front, or side-gabled roof

Roof slope between 20 and 45 degrees

Minimum roof overhang of at least 18 inches

Dormers may be gabled or shed

Windows:

Must be double hung or multi-pane lights or mission styled. Windows must be grouped in clusters of two or three and be typical of the Craftsman style.

Front Porches:

A front porch is required along a minimum of 50 percent of the front façade. The porch must be supported by square or tapered columns with a brick or stone base. The front porch may be surrounded by a balustrade or railing of wood or materials matching the front façade. It must also be an open-air porch. The front entryway must have a Craftsman style wood door.

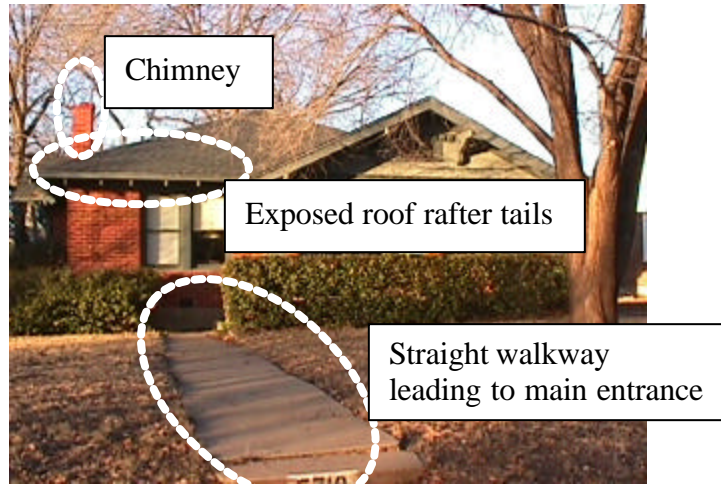
Porte cocheres:

The columns on a porte cochere must match the columns on the porch.

Optional features for Craftsman houses (all new construction must include 3):

- 1) Chimney
- 2) Decorative roof beams or braces
- 3) Exposed roof rafter tails
- 4) Gabled dormer with exposed rafter tails
- 5) Solid balustrade of brick or wood on the front porch
- 6) Straight walkway leading to the front main entrance

EXAMPLES OF OPTIONAL FEATURES FOR CRAFTSMAN ARCHITECTURAL STYLE



MINIMAL TRADITIONAL

Description:

A small scaled home with Tudor elements but not as elaborate. Typically created after World War II as affordable housing for returning soldiers. Commonly features a low-pitched roof, chimney and front porch.



General Information:

Number in the neighborhood:
104

Primary locations:
Dispersed throughout the neighborhood.

Requirements for Minimal Traditional houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Stone
- 3) Stucco
- 4) Wood or siding that looks like wood
- 5) Combination of these items

Roofing:

Cross or side-gabled roof

Roof slope between 20 and 40 degrees

Maximum roof overhang is 12 inches

Windows:

Must have multi-pane sashes and be typical of the Minimal Traditional style. Glass in windows and doors must be clear, leaded, or stained.

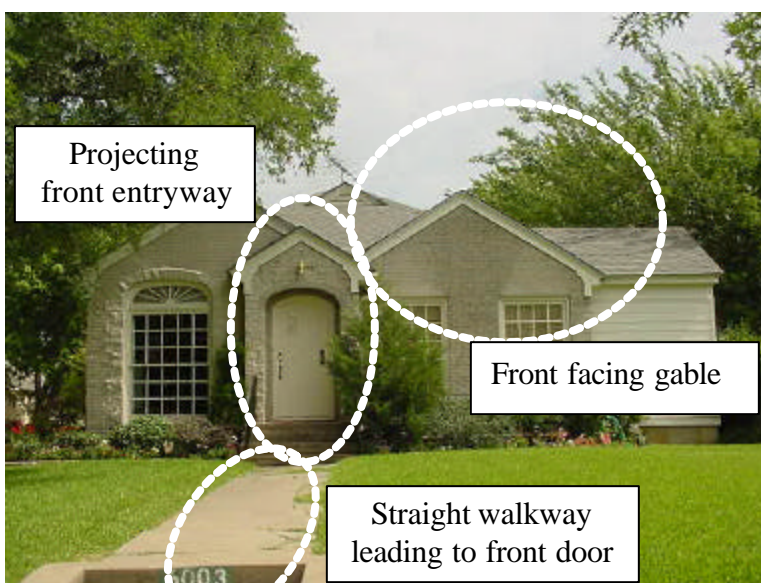
Front porches:

A front porch is required and may be open-air or enclosed. If it is enclosed, it must be enclosed with at least 75% glass (transparent, stained or leaded) to maintain a porch characteristic to the front façade of the home.

Optional features for Minimal Traditional houses (all new construction must include 2):

- 1) Chimney
- 2) Front facing gable
- 3) Projecting front entryway
- 4) Straight walkway leading to the front main entrance

Examples of Optional Features for Minimal Traditional Architectural Style



PRAIRIE

Description:

A “four-square” home, typically with large front porches and clustered windows. Built in the early 1900’s, these homes were very popular in the southwest and Midwest.



General Information:

Number in the neighborhood:
0

Style is found in surrounding neighborhoods and compatible with other architectural styles in regards of time period.

Requirements for Prairie houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Stone
- 3) Wood or siding that looks like wood
- 4) Combination of these items

Roofing:

- Hipped or side-gabled roof
- Roof slope between 20 and 40 degrees
- Minimum roof overhang is 12 inches

Windows:

Must be casement or double-hung with multi-pane sashes and be typical of the Prairie style. Glass in windows and doors must be clear, leaded, or stained.

Front porches:

A front porch is required and must be open-air and full-width.

Optional features for Prairie houses (all new construction must include 3):

- 1) Broad, flat chimney
- 2) Centered dormer on front façade
- 3) Decorative casement windows
- 4) Massive square porch supports
- 5) Straight walkway leading to the front door
- 6) Two-story home with a one-story wing
- 7) Window boxes

Examples of Optional Features for Prairie Architectural Style



SPANISH ECLECTIC

Description:

Usually defined by its distinctive red-tiled roof, this is an elaborate style typically found in the southwestern U.S. Generally clad in stucco, these can be one or two-story with multiple arch features (primarily over doors and windows).



General Information:

Number in the neighborhood:
5

Primary locations:
5900 block of Morningside and Marquita

Requirements for Spanish Eclectic houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Stone
- 3) Stucco
- 4) Combination of these items

Roofing:

- Cross/side-gabled roof
- Combination hipped and gabled roof
- Tile or composition shingle
- Roof slope of less than 45 degrees
- Maximum roof overhang is 18 inches.

Windows:

Must be focal, casement or double hung. Window grilles are permitted as well. Glass in windows and doors must be transparent, stained or leaded. Windows must be typical of the Spanish Eclectic architectural style.

Front Façade Arches:

Principal doors and windows must have arches on the front façade.

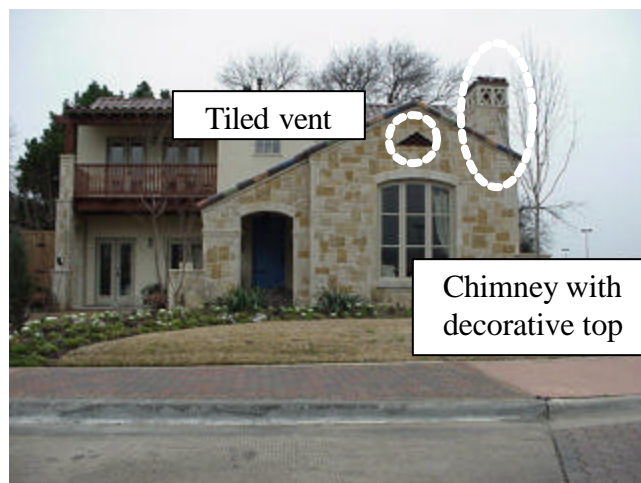
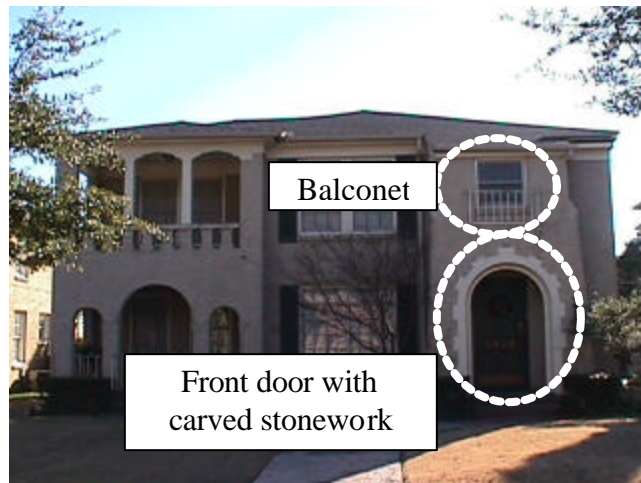
Front Porches:

Front porches may be the full width or partial width of the front façade. They must also have arches under the porch roof.

Optional features for Spanish Eclectic houses (all new construction must include 3):

- 1) Balconet (a full length window and railing without projecting floor)
- 2) Balcony with wood or iron railing on the second story of the front façade
- 3) Brick or tiled vents on the front facade
- 4) Chimney with a decorative top
- 5) Decorative window grille
- 6) Focal window (a full length window typically triple arched or parabolic shape, filled usually with stained glass)
- 7) Front door surrounded by spiral columns, pilasters, carved stonework, or pattern tiles

Examples of Optional Features for Spanish Eclectic Architectural Style



TUDOR

Description:

Very popular in the M Streets neighborhoods, the Tudor style is easily recognizable with its steeply-pitched roofs, use of arches on porches and doorways, massive chimneys, and large front-facing gables. The use of stone as accent features is very common.



General Information:

Number in the neighborhood:
206

Primary locations:
Dispersed throughout the neighborhood.

Requirements for Tudor houses (for new construction and remodeling):

Materials:

- 1) Brick
- 2) Stucco with half timbering
- 3) Combination of these items
- 4) Stone accents are allowed

Roofing:

- Side-gabled roof
- Roof slope between 45 and 70 degrees
- Maximum roof overhang of 12 inches
- Hipped roofs are not allowed
- There must be at least one front facing gable on the house.

Windows:

Must have double hung or casement windows. Glass in windows and doors must be transparent, stained or leaded. Windows must be typical for the Tudor style house.

Chimney:

All new construction Tudors must have a massive chimney on the front façade or wrap-around.

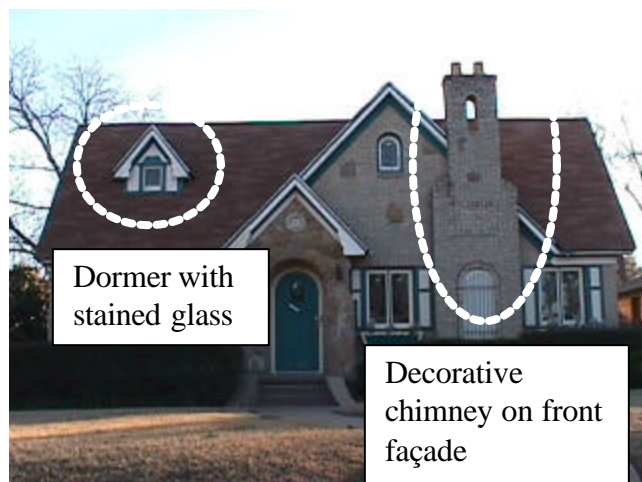
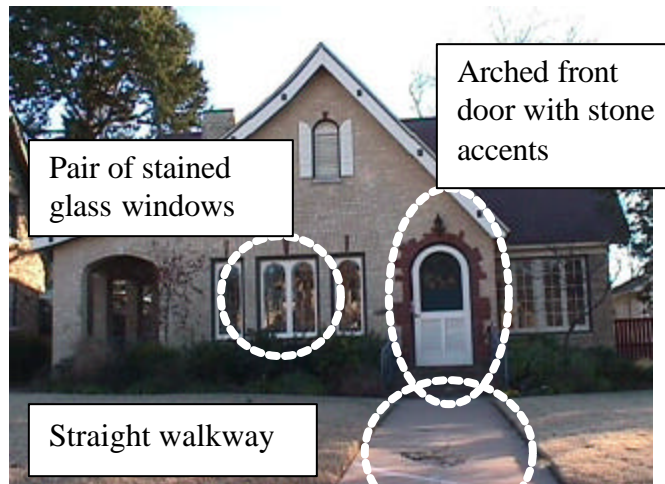
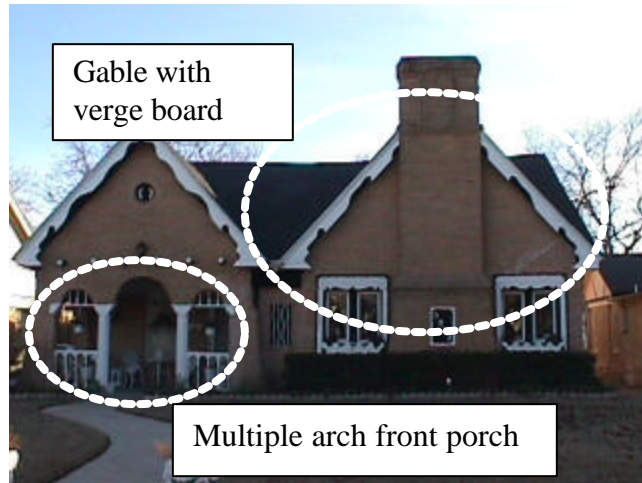
Front porch:

Front porches may be open-air or enclosed. If it is enclosed, at least 75% percent of the material used to enclose the porch must be glass that is transparent, stained or leaded. This will enable the house to maintain the appearance of having a front porch. The front porches must also be at least 25% of the width of the front façade but not more than 50% of the width of the front façade.

Optional features for Tudor houses (all new construction must include 3):

- 1) Arched front doorway
- 2) Decorative chimney on the front façade
- 3) Dormers with stained or leaded glass
- 4) Front facing gable with decorative verge board
- 5) Multiple arch open-air front porch
- 6) Pair of stained glass windows in the front façade
- 7) Stone accents
- 8) Straight walkway leading to the front main entrance

Examples of Optional Features for Tudor Architectural Style



APPENDIX B – PROPERTY LISTINGS IN THE M STREETS EAST NEIGHBORHOOD

ADDRESS	LAND USE	ARCHITECTURE STYLE
5707 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5710 MARQUITA	RETAIL	COLONIAL REVIVAL
5711 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5715 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5719 MARQUITA	SINGLE-FAMILY	TUDOR
5720 MARQUITA	MULTI-FAMILY	CONTEMPORARY
5723 MARQUITA	SINGLE-FAMILY	TUDOR
5726 MARQUITA	DUPLEX	TUDOR
5727 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5731 MARQUITA	SINGLE-FAMILY	UNDEFINED
5732 MARQUITA	MULTI-FAMILY	UNDEFINED
5735 MARQUITA	SINGLE-FAMILY	UNDEFINED
5736 MARQUITA	MULTI-FAMILY	COLONIAL REVIVAL
5739 MARQUITA	SINGLE-FAMILY	CRAFTSMAN
5740 MARQUITA	MULTI-FAMILY	UNDEFINED
5743 MARQUITA	SINGLE-FAMILY	TUDOR
5745 MARQUITA	SINGLE-FAMILY	CRAFTSMAN
5750 MARQUITA	MULTI-FAMILY	SPANISH ECLECTIC
5802 MARQUITA	SINGLE-FAMILY	CONTEMPORARY
5803 MARQUITA	SINGLE-FAMILY	TUDOR
5804 MARQUITA	DUPLEX	COLONIAL REVIVAL
5807 MARQUITA	SINGLE-FAMILY	TUDOR
5811 MARQUITA	SINGLE-FAMILY	TUDOR
5812 MARQUITA	DUPLEX	UNDEFINED
5815 MARQUITA	SINGLE-FAMILY	TUDOR
5816 MARQUITA	DUPLEX	COLONIAL REVIVAL
5819 MARQUITA	SINGLE-FAMILY	CONTEMPORARY
5820 MARQUITA	SINGLE-FAMILY	UNDEFINED
5823 MARQUITA	SINGLE-FAMILY	TUDOR
5824 MARQUITA	SINGLE-FAMILY	CRAFTSMAN
5827 MARQUITA	SINGLE-FAMILY	CRAFTSMAN
5831 MARQUITA	SINGLE-FAMILY	TUDOR
5832 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5835 MARQUITA	SINGLE-FAMILY	TUDOR
5836 MARQUITA	SINGLE-FAMILY	TUDOR
5839 MARQUITA	SINGLE-FAMILY	TUDOR
5840 MARQUITA	SINGLE-FAMILY	TUDOR
5843 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5844 MARQUITA	SINGLE-FAMILY	TUDOR
5847 MARQUITA	SINGLE-FAMILY	TUDOR
5848 MARQUITA	SINGLE-FAMILY	TUDOR
5900 MARQUITA	DUPLEX	TUDOR
5903 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5904-06	SINGLE-FAMILY	TUDOR
5908-10	DUPLEX	TUDOR
5909 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL

ADDRESS	LAND USE	ARCHITECTURE STYLE
5911 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5912 MARQUITA	DUPLEX	TUDOR
5916 MARQUITA	DUPLEX	SPANISH ECLECTIC
5917 MARQUITA	SINGLE-FAMILY	TUDOR
5920 MARQUITA	DUPLEX	TUDOR
5921 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5924 MARQUITA	DUPLEX	TUDOR
5927 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5928 MARQUITA	DUPLEX	UNDEFINED
5931 MARQUITA	SINGLE-FAMILY	UNDEFINED
5932 MARQUITA	DUPLEX	TUDOR
5935 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5936 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
5939 MARQUITA	SINGLE-FAMILY	UNDEFINED
5940 MARQUITA	DUPLEX	UNDEFINED
5943 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5944 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
5947 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
6000 MARQUITA	DUPLEX	TUDOR
6003 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
6004 MARQUITA	DUPLEX	UNDEFINED
6005 MARQUITA	DUPLEX	COLONIAL REVIVAL
6008 MARQUITA	DUPLEX	UNDEFINED
6009 MARQUITA	DUPLEX	COLONIAL REVIVAL
6012 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6015 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
6018 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
6019 MARQUITA	SINGLE-FAMILY	UNDEFINED
6022 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6023 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
6025 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6026 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6029 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6032 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6033 MARQUITA	DUPLEX	UNDEFINED
6035 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6036 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6037 MARQUITA	DUPLEX	MINIMAL TRADITIONAL
6040 MARQUITA	DUPLEX	UNDEFINED
6043 MARQUITA	SINGLE-FAMILY	MINIMAL TRADITIONAL
5902 MCCOMMAS	SINGLE-FAMILY	TUDOR
5903 MCCOMMAS	SINGLE-FAMILY	TUDOR
5906 MCCOMMAS	SINGLE-FAMILY	TUDOR
5907 MCCOMMAS	SINGLE-FAMILY	TUDOR
5909 MCCOMMAS	SINGLE-FAMILY	UNDEFINED
5910 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5914 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5915 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
5918 MCCOMMAS	SINGLE-FAMILY	TUDOR
5923 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL

ADDRESS	LAND USE	ARCHITECTURE STYLE
5924 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5927 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
5930 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5931 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5934 MCCOMMAS	SINGLE-FAMILY	TUDOR
5938 MCCOMMAS	SINGLE-FAMILY	TUDOR
5942 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
5946 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6000 MCCOMMAS	SINGLE-FAMILY	CONTEMPORARY
6003 MCCOMMAS	SINGLE-FAMILY	TUDOR
6006 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6007 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6010 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6011 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
6014 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6015 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
6018 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6019 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6022 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6023 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
6026 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6027 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6030 MCCOMMAS	SINGLE-FAMILY	UNDEFINED
6033 MCCOMMAS	SINGLE-FAMILY	MINIMAL TRADITIONAL
6034 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6035 MCCOMMAS	SINGLE-FAMILY	UNDEFINED
6038 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6041 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6042 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6045 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
6049 MCCOMMAS	SINGLE-FAMILY	UNDEFINED
6055 MCCOMMAS	SINGLE-FAMILY	COLONIAL REVIVAL
5702 MERCEDES	SINGLE-FAMILY	TUDOR
5703 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5704 MERCEDES	SINGLE-FAMILY	UNDEFINED
5707 MERCEDES	SINGLE-FAMILY	UNDEFINED
5709 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5710 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5711 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5712 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5716 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5719 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5722 MERCEDES	SINGLE-FAMILY	TUDOR
5723 MERCEDES	SINGLE-FAMILY	TUDOR
5725 MERCEDES	SINGLE-FAMILY	TUDOR
5726 MERCEDES	SINGLE-FAMILY	TUDOR
5730 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5731 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5734 MERCEDES	SINGLE-FAMILY	TUDOR
5735 MERCEDES	SINGLE-FAMILY	TUDOR

ADDRESS	LAND USE	ARCHITECTURE STYLE
5739 MERCEDES	SINGLE-FAMILY	UNDEFINED
5740 MERCEDES	SINGLE-FAMILY	TUDOR
5743 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5746 MERCEDES	SINGLE-FAMILY	TUDOR
5747 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5802 MERCEDES	SINGLE-FAMILY	TUDOR
5803 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5806 MERCEDES	SINGLE-FAMILY	TUDOR
5807 MERCEDES	SINGLE-FAMILY	TUDOR
5810 MERCEDES	SINGLE-FAMILY	TUDOR
5811 MERCEDES	SINGLE-FAMILY	TUDOR
5814 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5818 MERCEDES	SINGLE-FAMILY	TUDOR
5819 MERCEDES	SINGLE-FAMILY	CRAFTSMAN
5822 MERCEDES	SINGLE-FAMILY	TUDOR
5823 MERCEDES	SINGLE-FAMILY	TUDOR
5826 MERCEDES	SINGLE-FAMILY	TUDOR
5827 MERCEDES	SINGLE-FAMILY	TUDOR
5830 MERCEDES	SINGLE-FAMILY	TUDOR
5831 MERCEDES	SINGLE-FAMILY	TUDOR
5834 MERCEDES	SINGLE-FAMILY	TUDOR
5835 MERCEDES	SINGLE-FAMILY	TUDOR
5838 MERCEDES	SINGLE-FAMILY	TUDOR
5839 MERCEDES	SINGLE-FAMILY	TUDOR
5842 MERCEDES	SINGLE-FAMILY	TUDOR
5843 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5846 MERCEDES	SINGLE-FAMILY	TUDOR
5847 MERCEDES	SINGLE-FAMILY	TUDOR
5900 MERCEDES	SINGLE-FAMILY	TUDOR
5903 MERCEDES	SINGLE-FAMILY	TUDOR
5906 MERCEDES	SINGLE-FAMILY	TUDOR
5907 MERCEDES	SINGLE-FAMILY	TUDOR
5910 MERCEDES	SINGLE-FAMILY	TUDOR
5911 MERCEDES	SINGLE-FAMILY	TUDOR
5915 MERCEDES	SINGLE-FAMILY	TUDOR
5918 MERCEDES	SINGLE-FAMILY	TUDOR
5919 MERCEDES	SINGLE-FAMILY	TUDOR
5922 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5923 MERCEDES	SINGLE-FAMILY	TUDOR
5926 MERCEDES	SINGLE-FAMILY	TUDOR
5929 MERCEDES	SINGLE-FAMILY	TUDOR
5931 MERCEDES	SINGLE-FAMILY	UNDEFINED
5932 MERCEDES	SINGLE-FAMILY	TUDOR
5935 MERCEDES	SINGLE-FAMILY	TUDOR
5936 MERCEDES	SINGLE-FAMILY	TUDOR
5938 MERCEDES	SINGLE-FAMILY	TUDOR
5939 MERCEDES	SINGLE-FAMILY	TUDOR
5942 MERCEDES	SINGLE-FAMILY	TUDOR
5943 MERCEDES	SINGLE-FAMILY	TUDOR
5946 MERCEDES	SINGLE-FAMILY	TUDOR

ADDRESS	LAND USE	ARCHITECTURE STYLE
5947 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
6001 MERCEDES	SINGLE-FAMILY	TUDOR
6002 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
6006 MERCEDES	SINGLE-FAMILY	TUDOR
6007 MERCEDES	SINGLE-FAMILY	TUDOR
6010 MERCEDES	SINGLE-FAMILY	TUDOR
6011 MERCEDES	SINGLE-FAMILY	TUDOR
6014 MERCEDES	SINGLE-FAMILY	UNDEFINED
6017 MERCEDES	SINGLE-FAMILY	TUDOR
6018 MERCEDES	SINGLE-FAMILY	TUDOR
6021 MERCEDES	SINGLE-FAMILY	TUDOR
6022 MERCEDES	SINGLE-FAMILY	COLONIAL REVIVAL
6025 MERCEDES	SINGLE-FAMILY	SPANISH ECLECTIC
6026 MERCEDES	SINGLE-FAMILY	TUDOR
6030 MERCEDES	SINGLE-FAMILY	TUDOR
6031 MERCEDES	SINGLE-FAMILY	TUDOR
6034 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
6035 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
6038 MERCEDES	SINGLE-FAMILY	TUDOR
6039 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
6042 MERCEDES	SINGLE-FAMILY	CONTEMPORARY
6043 MERCEDES	SINGLE-FAMILY	MINIMAL TRADITIONAL
5700 MONTICELLO	SINGLE-FAMILY	UNDEFINED
5703 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5706 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
5709 MONTICELLO	SINGLE-FAMILY	UNDEFINED
5710 MONTICELLO	SINGLE-FAMILY	TUDOR
5711 MONTICELLO	SINGLE-FAMILY	TUDOR
5714 MONTICELLO	SINGLE-FAMILY	CRAFTSMAN
5715 MONTICELLO	SINGLE-FAMILY	CRAFTSMAN
5718 MONTICELLO	SINGLE-FAMILY	TUDOR
5721 MONTICELLO	SINGLE-FAMILY	TUDOR
5722 MONTICELLO	SINGLE-FAMILY	CRAFTSMAN
5723 MONTICELLO	SINGLE-FAMILY	TUDOR
5726 MONTICELLO	SINGLE-FAMILY	TUDOR
5727 MONTICELLO	SINGLE-FAMILY	TUDOR
5730 MONTICELLO	SINGLE-FAMILY	TUDOR
5731 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5734 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5735 MONTICELLO	SINGLE-FAMILY	UNDEFINED
5738 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5739 MONTICELLO	SINGLE-FAMILY	CRAFTSMAN
5742 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5743 MONTICELLO	SINGLE-FAMILY	TUDOR
5746 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5747 MONTICELLO	SINGLE-FAMILY	TUDOR
5802 MONTICELLO	SINGLE-FAMILY	TUDOR
5803 MONTICELLO	SINGLE-FAMILY	TUDOR
5806 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5807 MONTICELLO	SINGLE-FAMILY	TUDOR

ADDRESS	LAND USE	ARCHITECTURE STYLE
5810 MONTICELLO	SINGLE-FAMILY	TUDOR
5811 MONTICELLO	SINGLE-FAMILY	TUDOR
5814 MONTICELLO	SINGLE-FAMILY	TUDOR
5815 MONTICELLO	SINGLE-FAMILY	TUDOR
5818 MONTICELLO	SINGLE-FAMILY	TUDOR
5819 MONTICELLO	SINGLE-FAMILY	TUDOR
5822 MONTICELLO	SINGLE-FAMILY	TUDOR
5823 MONTICELLO	SINGLE-FAMILY	TUDOR
5826 MONTICELLO	SINGLE-FAMILY	TUDOR
5827 MONTICELLO	SINGLE-FAMILY	TUDOR
5830 MONTICELLO	SINGLE-FAMILY	TUDOR
5831 MONTICELLO	SINGLE-FAMILY	TUDOR
5834 MONTICELLO	SINGLE-FAMILY	TUDOR
5835 MONTICELLO	SINGLE-FAMILY	TUDOR
5838 MONTICELLO	SINGLE-FAMILY	TUDOR
5839 MONTICELLO	SINGLE-FAMILY	CRAFTSMAN
5842 MONTICELLO	SINGLE-FAMILY	TUDOR
5843 MONTICELLO	SINGLE-FAMILY	TUDOR
5846 MONTICELLO	SINGLE-FAMILY	TUDOR
5847 MONTICELLO	SINGLE-FAMILY	TUDOR
5901 MONTICELLO	SINGLE-FAMILY	TUDOR
5902 MONTICELLO	SINGLE-FAMILY	TUDOR
5906 MONTICELLO	SINGLE-FAMILY	TUDOR
5907 MONTICELLO	SINGLE-FAMILY	TUDOR
5908 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5911 MONTICELLO	SINGLE-FAMILY	TUDOR
5914 MONTICELLO	SINGLE-FAMILY	TUDOR
5915 MONTICELLO	SINGLE-FAMILY	TUDOR
5918 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
5919 MONTICELLO	SINGLE-FAMILY	TUDOR
5922 MONTICELLO	SINGLE-FAMILY	TUDOR
5923 MONTICELLO	SINGLE-FAMILY	TUDOR
5926 MONTICELLO	SINGLE-FAMILY	CONTEMPORARY
5927 MONTICELLO	SINGLE-FAMILY	TUDOR
5930 MONTICELLO	SINGLE-FAMILY	TUDOR
5931 MONTICELLO	SINGLE-FAMILY	TUDOR
5934 MONTICELLO	SINGLE-FAMILY	TUDOR
5935 MONTICELLO	SINGLE-FAMILY	TUDOR
5938 MONTICELLO	SINGLE-FAMILY	TUDOR
5939 MONTICELLO	SINGLE-FAMILY	TUDOR
5942 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
5943 MONTICELLO	SINGLE-FAMILY	TUDOR
5946 MONTICELLO	SINGLE-FAMILY	UNDEFINED
5947 MONTICELLO	SINGLE-FAMILY	TUDOR
6000 MONTICELLO	SINGLE-FAMILY	UNDEFINED
6001 MONTICELLO	SINGLE-FAMILY	TUDOR
6004 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
6007 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6008 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
6011 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL

ADDRESS	LAND USE	ARCHITECTURE STYLE
6012 MONTICELLO	SINGLE-FAMILY	COLONIAL REVIVAL
6015 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6016 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6019 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6020 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6023 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6026 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6027 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6030 MONTICELLO	SINGLE-FAMILY	TUDOR
6031 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6034 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6035 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6038 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6039 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6042 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
6043 MONTICELLO	SINGLE-FAMILY	MINIMAL TRADITIONAL
5702 MORNINGSIDE	MULTI-FAMILY	COLONIAL REVIVAL
5703 MORNINGSIDE	MULTI-FAMILY	UNDEFINED
5704 MORNINGSIDE	MULTI-FAMILY	COLONIAL REVIVAL
5710 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5711 MORNINGSIDE	MULTI-FAMILY	UNDEFINED
5712 MORNINGSIDE	SINGLE-FAMILY	MINIMAL TRADITIONAL
5716 MORNINGSIDE	SINGLE-FAMILY	CRAFTSMAN
5717 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5722 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5723 MORNINGSIDE	SINGLE-FAMILY	CRAFTSMAN
5726 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5727 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5729 MORNINGSIDE	SINGLE-FAMILY	MINIMAL TRADITIONAL
5730 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5734 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5735 MORNINGSIDE	SINGLE-FAMILY	CRAFTSMAN
5739 MORNINGSIDE	SINGLE-FAMILY	CRAFTSMAN
5740 MORNINGSIDE	SINGLE-FAMILY	MINIMAL TRADITIONAL
5743 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5746 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5747 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5802 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5803 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5806 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5807 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5810 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5811 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5814 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5815 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5818 MORNINGSIDE	SINGLE-FAMILY	COLONIAL REVIVAL
5819 MORNINGSIDE	SINGLE-FAMILY	UNDEFINED
5822 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5823 MORNINGSIDE	SINGLE-FAMILY	TUDOR
5826 MORNINGSIDE	SINGLE-FAMILY	TUDOR

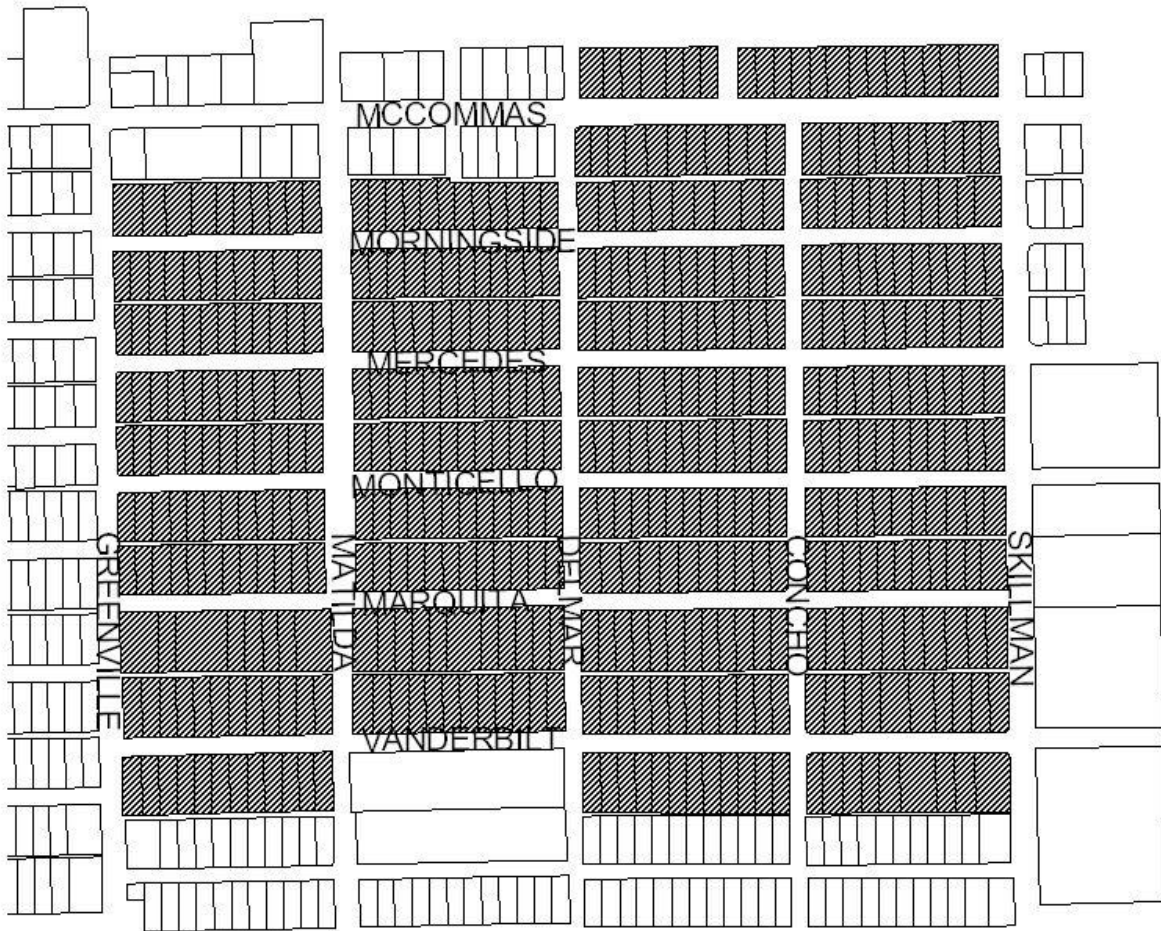
ADDRESS	LAND USE	ARCHITECTURE STYLE
5827	MORNINGSIDE SINGLE-FAMILY	TUDOR
5830	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
5831	MORNINGSIDE SINGLE-FAMILY	CONTEMPORARY
5834	MORNINGSIDE SINGLE-FAMILY	TUDOR
5835	MORNINGSIDE SINGLE-FAMILY	TUDOR
5838	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
5839	MORNINGSIDE SINGLE-FAMILY	TUDOR
5841	MORNINGSIDE SINGLE-FAMILY	TUDOR
5842	MORNINGSIDE SINGLE-FAMILY	TUDOR
5846	MORNINGSIDE SINGLE-FAMILY	TUDOR
5847	MORNINGSIDE SINGLE-FAMILY	TUDOR
5902	MORNINGSIDE SINGLE-FAMILY	COLONIAL REVIVAL
5903	MORNINGSIDE SINGLE-FAMILY	TUDOR
5906	MORNINGSIDE SINGLE-FAMILY	TUDOR
5907	MORNINGSIDE SINGLE-FAMILY	TUDOR
5909	MORNINGSIDE DUPLEX	MINIMAL TRADITIONAL
5910	MORNINGSIDE SINGLE-FAMILY	TUDOR
5914	MORNINGSIDE SINGLE-FAMILY	TUDOR
5915	MORNINGSIDE SINGLE-FAMILY	TUDOR
5916	MORNINGSIDE DUPLEX	TUDOR
5919	MORNINGSIDE DUPLEX	UNDEFINED
5920	MORNINGSIDE DUPLEX	TUDOR
5926	MORNINGSIDE DUPLEX	UNDEFINED
5927	MORNINGSIDE SINGLE-FAMILY	COLONIAL REVIVAL
5928	MORNINGSIDE DUPLEX	SPANISH ECLECTIC
5929	MORNINGSIDE DUPLEX	COLONIAL REVIVAL
5932	MORNINGSIDE DUPLEX	SPANISH ECLECTIC
5936	MORNINGSIDE DUPLEX	TUDOR
5937	MORNINGSIDE DUPLEX	COLONIAL REVIVAL
5940	MORNINGSIDE DUPLEX	UNDEFINED
5941	MORNINGSIDE DUPLEX	UNDEFINED
5944	MORNINGSIDE DUPLEX	COLONIAL REVIVAL
5947	MORNINGSIDE SINGLE-FAMILY	COLONIAL REVIVAL
6001	MORNINGSIDE DUPLEX	UNDEFINED
6002	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6006	MORNINGSIDE DUPLEX	UNDEFINED
6007	MORNINGSIDE DUPLEX	COLONIAL REVIVAL
6009	MORNINGSIDE DUPLEX	UNDEFINED
6010	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6013	MORNINGSIDE DUPLEX	UNDEFINED
6014	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6017	MORNINGSIDE DUPLEX	UNDEFINED
6018	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6021	MORNINGSIDE DUPLEX	UNDEFINED
6022	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6025	MORNINGSIDE DUPLEX	UNDEFINED
6026	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6029	MORNINGSIDE DUPLEX	MINIMAL TRADITIONAL
6030	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6033	MORNINGSIDE DUPLEX	MINIMAL TRADITIONAL



ADDRESS	LAND USE	ARCHITECTURE STYLE
6034	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6037	MORNINGSIDE DUPLEX	TUDOR
6038	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6042	MORNINGSIDE SINGLE-FAMILY	MINIMAL TRADITIONAL
6043	MORNINGSIDE DUPLEX	UNDEFINED
5702	VANDERBILT SINGLE-FAMILY	CRAFTSMAN
5703	VANDERBILT SINGLE-FAMILY	TUDOR
5706	VANDERBILT SINGLE-FAMILY	TUDOR
5707	VANDERBILT SINGLE-FAMILY	TUDOR
5710	VANDERBILT SINGLE-FAMILY	MINIMAL TRADITIONAL
5711	VANDERBILT SINGLE-FAMILY	CRAFTSMAN
5714	VANDERBILT SINGLE-FAMILY	TUDOR
5715	VANDERBILT SINGLE-FAMILY	TUDOR
5718	VANDERBILT SINGLE-FAMILY	TUDOR
5719	VANDERBILT SINGLE-FAMILY	TUDOR
5722	VANDERBILT SINGLE-FAMILY	TUDOR
5723	VANDERBILT SINGLE-FAMILY	TUDOR
5726	VANDERBILT SINGLE-FAMILY	TUDOR
5727	VANDERBILT SINGLE-FAMILY	TUDOR
5730	VANDERBILT SINGLE-FAMILY	TUDOR
5731	VANDERBILT SINGLE-FAMILY	COLONIAL REVIVAL
5734	VANDERBILT SINGLE-FAMILY	UNDEFINED
5735	VANDERBILT SINGLE-FAMILY	TUDOR
5738	VANDERBILT SINGLE-FAMILY	TUDOR
5739	VANDERBILT SINGLE-FAMILY	MINIMAL TRADITIONAL
5742	VANDERBILT SINGLE-FAMILY	TUDOR
5743	VANDERBILT SINGLE-FAMILY	TUDOR
5746	VANDERBILT SINGLE-FAMILY	TUDOR
5747	VANDERBILT DUPLEX	MINIMAL TRADITIONAL
5803	VANDERBILT SINGLE-FAMILY	TUDOR
5807	VANDERBILT SINGLE-FAMILY	TUDOR
5811	VANDERBILT SINGLE-FAMILY	TUDOR
5815	VANDERBILT SINGLE-FAMILY	TUDOR
5819	VANDERBILT SINGLE-FAMILY	TUDOR
5823	VANDERBILT SINGLE-FAMILY	MINIMAL TRADITIONAL
5827	VANDERBILT SINGLE-FAMILY	TUDOR
5831	VANDERBILT SINGLE-FAMILY	TUDOR
5835	VANDERBILT SINGLE-FAMILY	TUDOR
5839	VANDERBILT SINGLE-FAMILY	TUDOR
5843	VANDERBILT SINGLE-FAMILY	CRAFTSMAN
5847	VANDERBILT SINGLE-FAMILY	TUDOR
5901	VANDERBILT SINGLE-FAMILY	TUDOR
5902	VANDERBILT SINGLE-FAMILY	TUDOR
5906	VANDERBILT SINGLE-FAMILY	MINIMAL TRADITIONAL
5907	VANDERBILT SINGLE-FAMILY	TUDOR
5910	VANDERBILT SINGLE-FAMILY	TUDOR
5911	VANDERBILT SINGLE-FAMILY	UNDEFINED
5914	VANDERBILT SINGLE-FAMILY	TUDOR
5915	VANDERBILT SINGLE-FAMILY	TUDOR
5918	VANDERBILT SINGLE-FAMILY	TUDOR

ADDRESS	LAND USE	ARCHITECTURE STYLE
5919 VANDERBILT	SINGLE-FAMILY	MINIMAL TRADITIONAL
5921 VANDERBILT	SINGLE-FAMILY	TUDOR
5922 VANDERBILT	SINGLE-FAMILY	TUDOR
5926 VANDERBILT	SINGLE-FAMILY	TUDOR
5927 VANDERBILT	SINGLE-FAMILY	TUDOR
5930 VANDERBILT	SINGLE-FAMILY	TUDOR
5931 VANDERBILT	SINGLE-FAMILY	TUDOR
5934 VANDERBILT	SINGLE-FAMILY	TUDOR
5935 VANDERBILT	SINGLE-FAMILY	TUDOR
5938 VANDERBILT	SINGLE-FAMILY	TUDOR
5939 VANDERBILT	SINGLE-FAMILY	TUDOR
5942 VANDERBILT	SINGLE-FAMILY	MINIMAL TRADITIONAL
5943 VANDERBILT	SINGLE-FAMILY	MINIMAL TRADITIONAL
5946 VANDERBILT	SINGLE-FAMILY	MINIMAL TRADITIONAL
5947 VANDERBILT	SINGLE-FAMILY	TUDOR
6002 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6003 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6006 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6007 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6010 VANDERBILT	SINGLE-FAMILY	UNDEFINED
6011 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6014 VANDERBILT	SINGLE-FAMILY	MINIMAL TRADITIONAL
6015 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6018 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6019 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6022 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6027 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6030 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6033 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6034 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6035 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6039 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL
6042 VANDERBILT	SINGLE-FAMILY	UNDEFINED
6043 VANDERBILT	SINGLE-FAMILY	COLONIAL REVIVAL

Appendix C

M Streets East Feasibility Study Area



 M Streets East area
 surrounding area



Appendix C








M Streets East Proposed Conservation District Architectural Style Map



Legend

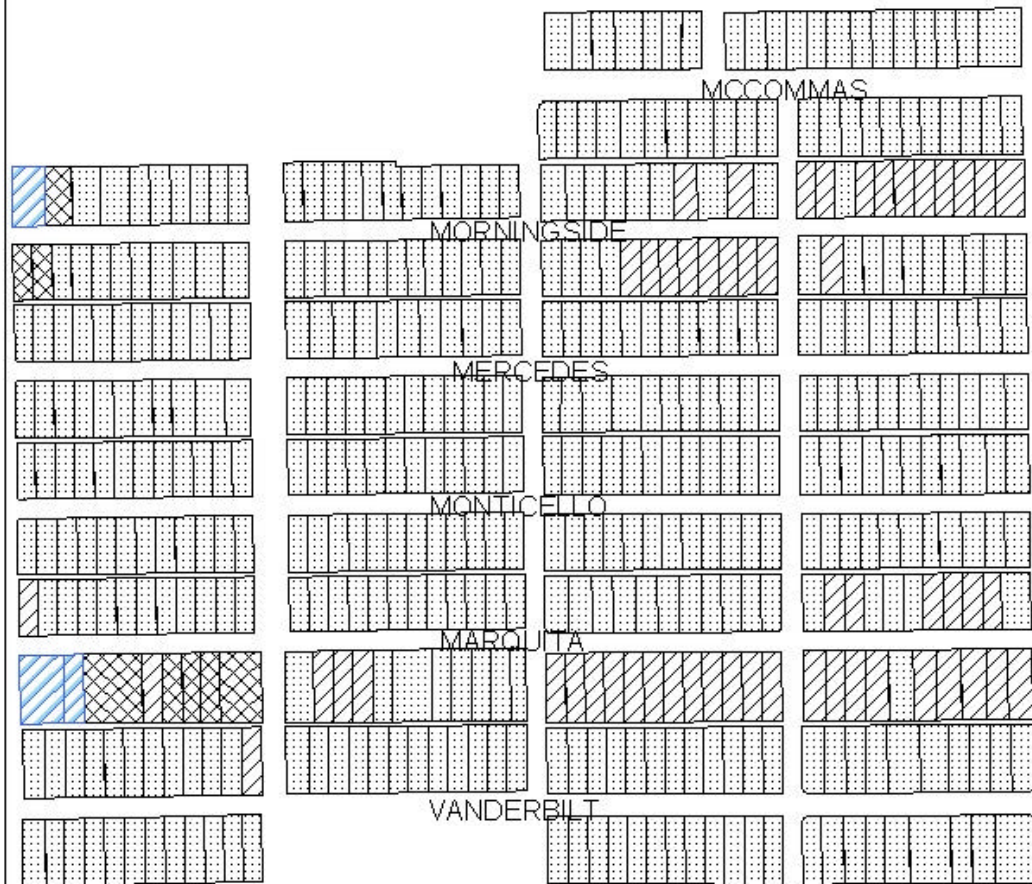
M Street East

ARCH





	CRAFTSMAN
	MINIMAL TRADITIONAL
	COLONIAL REVIVAL
	SPANISH ECLECTIC
	CONTEMPORARY
	TUDOR
	UNDEFINED

Appendix C

M Streets East Proposed Conservation District Land Use Map



Legend

M Street East		MULTI-FAMILY
landuse		RETAIL
		DUPLEX
		SINGLE-FAMILY

Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5707	MARQUITA	42' 3	37'
5711	MARQUITA	40' 4	
5715	MARQUITA	40' 9	
5719	MARQUITA	36' 9	
5723	MARQUITA	34'	
5727	MARQUITA	37' 7	
5731	MARQUITA	34'	
5735	MARQUITA	36' 4	
5739	MARQUITA	33' 6	
5743	MARQUITA	36' 2	
5745	MARQUITA	33' 10	

Number	Street Name	Setbacks	Avg.
5710	MARQUITA	30'	31'
5720	MARQUITA	16'	
5726	MARQUITA	35' 6	
5732	MARQUITA	34' 9	
5736	MARQUITA	34' 9	
5740	MARQUITA	34' 9	
5750	MARQUITA	34' 9	

Number	Street Name	Setbacks	Avg.
5803	MARQUITA	35' 1"	40'
5807	MARQUITA	35'	
5811	MARQUITA	42' 11	
5815	MARQUITA	44' 5	
5819	MARQUITA	44' 6	
5823	MARQUITA	40	
5827	MARQUITA	38' 7	
5831	MARQUITA	34'	
5835	MARQUITA	38' 8	
5839	MARQUITA	37' 2	
5843	MARQUITA	41'	
5847	MARQUITA	44' 4	

Number	Street Name	Setbacks	Avg.
5802	MARQUITA	38' 7"	38'
5804	MARQUITA	34' 6	
5812	MARQUITA	41' 6	
5816	MARQUITA	31' 2	
5820	MARQUITA	39'	
5824	MARQUITA	39' 4	
5832	MARQUITA	38	
5836	MARQUITA	42' 8	
5840	MARQUITA	34' 6	
5844	MARQUITA	35' 8	
5848	MARQUITA	40' 3	

Number	Street Name	Setbacks	Avg.
5903	MARQUITA	36' 9	40'
5909	MARQUITA	41' 8	
5911	MARQUITA	42'	
5917	MARQUITA	35' 5	
5921	MARQUITA	41' 5	
5927	MARQUITA	42'	
5931	MARQUITA	41' 8	
5935	MARQUITA	42'	
5939	MARQUITA	41' 5	
5943	MARQUITA	40' 10	
5947	MARQUITA	33' 11	

Number	Street Name	Setbacks	Avg.
5900	MARQUITA	52'	52'
5904-06	MARQUITA	53'	
5908-10	MARQUITA	50' 7	
5912	MARQUITA	50'	
5916	MARQUITA	55'	
5920	MARQUITA	50' 7	
5924	MARQUITA	52' 10	
5928	MARQUITA	54' 11	
5932	MARQUITA	51' 3	
5936	MARQUITA	54'	
5940	MARQUITA	49' 7	
5944	MARQUITA	51'	

Number	Street Name	Setbacks	Avg.
6003	MARQUITA	37' 10	39'
6005	MARQUITA	38' 8	
6009	MARQUITA	39' 10	
6015	MARQUITA	42' 5	
6019	MARQUITA	35' 6	
6023	MARQUITA	41' 8	
6025	MARQUITA	37'	
6029	MARQUITA	42' 10	
6033	MARQUITA	38' 2	
6035	MARQUITA	38' 2	
6037	MARQUITA	41' 8	
6043	MARQUITA	36' 7	

Number	Street Name	Setbacks	Avg.
6000	MARQUITA	40' 10	42'
6004	MARQUITA	43' 6	
6008	MARQUITA	43' 4	
6012	MARQUITA	43' 1	
6018	MARQUITA	44'	
6022	MARQUITA	41' 9	
6026	MARQUITA	40' 9	
6032	MARQUITA	42'	
6036	MARQUITA	42'	
6040	MARQUITA	42' 5	

Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5903	MCCOMMAS	35' 2	36'
5907	MCCOMMAS	41'	
5909	MCCOMMAS	35'	
5915	MCCOMMAS	33' 2	
5923	MCCOMMAS	32' 6	
5927	MCCOMMAS	37' 4	
5931	MCCOMMAS	38'	

Number	Street Name	Setbacks	Avg.
5902	MCCOMMAS	41'	38'
5906	MCCOMMAS	36' 7	
5910	MCCOMMAS	40'	
5914	MCCOMMAS	38' 2	
5918	MCCOMMAS	37'	
5924	MCCOMMAS	38'	
5930	MCCOMMAS	39' 7	
5934	MCCOMMAS	36' 5	
5938	MCCOMMAS	38' 10	
5942	MCCOMMAS	38' 8	
5946	MCCOMMAS	34' 10	

Number	Street Name	Setbacks	Avg.
6003	MCCOMMAS	37' 7	40'
6007	MCCOMMAS	36' 4	
6011	MCCOMMAS	35' 9	
6015	MCCOMMAS	42' 2	
6019	MCCOMMAS	41' 8	
6023	MCCOMMAS	41' 8	
6027	MCCOMMAS	41' 3	
6033	MCCOMMAS	40' 10	
6035	MCCOMMAS	41' 1	
6041	MCCOMMAS	41' 6	
6045	MCCOMMAS	42' 7	
6049	MCCOMMAS	39' 9	
6055	MCCOMMAS	35' 9	

Number	Street Name	Setbacks	Avg.
6000	MCCOMMAS	30' 5	38'
6006	MCCOMMAS	38' 2	
6010	MCCOMMAS	38' 3	
6014	MCCOMMAS	37' 10	
6018	MCCOMMAS	38' 1	
6022	MCCOMMAS	38'	
6026	MCCOMMAS	37' 5	
6030	MCCOMMAS	43' 3	
6034	MCCOMMAS	38' 1	
6038	MCCOMMAS	38' 2	
6042	MCCOMMAS	38'	

Number	Street Name	Setbacks	Avg.
5703	MERCEDES	36' 5	37'
5707	MERCEDES	35'	
5709	MERCEDES	33' 1	
5711	MERCEDES	32' 5	
5719	MERCEDES	37' 7	
5723	MERCEDES	41'	
5725	MERCEDES	41'	
5731	MERCEDES	39' 8	
5735	MERCEDES	37' 5	
5739	MERCEDES	39' 6	
5743	MERCEDES	34' 8	
5747	MERCEDES	34' 6	

Number	Street Name	Setbacks	Avg.
5702	MERCEDES	33' 10	37'
5704	MERCEDES	34' 2	
5710	MERCEDES	34' 3	
5712	MERCEDES	37' 6	
5716	MERCEDES	37' 4	
5722	MERCEDES	37'	
5726	MERCEDES	40' 8	
5730	MERCEDES	38' 2	
5734	MERCEDES	42' 3	
5740	MERCEDES	38'	
5746	MERCEDES	37' 5	

Number	Street Name	Setbacks	Avg.
5803	MERCEDES	37' 4	36'
5807	MERCEDES	32' 8	
5811	MERCEDES	39' 7	
5819	MERCEDES	33'	
5823	MERCEDES	32' 11	
5827	MERCEDES	33' 11	
5831	MERCEDES	38' 6	
5835	MERCEDES	44' 9	
5839	MERCEDES	39' 10	
5843	MERCEDES	34' 8	
5847	MERCEDES	31' 8	

Number	Street Name	Setbacks	Avg.
5802	MERCEDES	34'	36'
5806	MERCEDES	40' 7	
5810	MERCEDES	40' 5	
5814	MERCEDES	35' 6	
5818	MERCEDES	35' 10	
5822	MERCEDES	33' 9	
5826	MERCEDES	33' 5	
5830	MERCEDES	38' 8	
5834	MERCEDES	34' 7	
5838	MERCEDES	35' 1	
5842	MERCEDES	35' 5	
5846	MERCEDES	33' 3	

Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5903	MERCEDES	38' 4	38'
5907	MERCEDES	39' 9	
5911	MERCEDES	40' 4	
5915	MERCEDES	36' 10	
5919	MERCEDES	36' 2	
5923	MERCEDES	36' 5	
5929	MERCEDES	38' 3	
5931	MERCEDES	36' 7	
5935	MERCEDES	37' 7	
5939	MERCEDES	36'	
5943	MERCEDES	33' 10	
5947	MERCEDES	41'	

Number	Street Name	Setbacks	Avg.
5900	MERCEDES	42' 5	40'
5906	MERCEDES	42' 6	
5910	MERCEDES	38' 3	
5918	MERCEDES	36' 3	
5922	MERCEDES	40'	
5926	MERCEDES	37' 5	
5932	MERCEDES	40' 10	
5936	MERCEDES	38'	
5938	MERCEDES	38'	
5942	MERCEDES	36' 8	
5946	MERCEDES	44' 8	

Number	Street Name	Setbacks	Avg.
6001	MERCEDES	37' 2	41'
6007	MERCEDES	38' 3	
6011	MERCEDES	38' 6	
6017	MERCEDES	41'	
6021	MERCEDES	42' 3	
6025	MERCEDES	53' 5	
6031	MERCEDES	37' 6	
6035	MERCEDES	43' 7	
6039	MERCEDES	38' 6	
6043	MERCEDES	42' 10	

Number	Street Name	Setbacks	Avg.
6002	MERCEDES	40' 7	38'
6006	MERCEDES	38' 3	
6010	MERCEDES	36' 7	
6014	MERCEDES	37' 10	
6018	MERCEDES	36' 4	
6022	MERCEDES	40' 7	
6026	MERCEDES	38'	
6030	MERCEDES	34' 1	
6034	MERCEDES	38' 9	
6038	MERCEDES	35' 9	
6042	MERCEDES	42' 5	

Number	Street Name	Setbacks	Avg.
5703	MONTICELLO	32' 4	33'
5709	MONTICELLO	31' 10	
5711	MONTICELLO	36' 4	
5715	MONTICELLO	36' 11	
5721	MONTICELLO	29' 1	
5723	MONTICELLO	31' 9	
5727	MONTICELLO	27' 5	
5731	MONTICELLO	33' 4	
5735	MONTICELLO	32' 9	
5739	MONTICELLO	31'	
5743	MONTICELLO	37' 1	
5747	MONTICELLO	40' 4	

Number	Street Name	Setbacks	Avg.
5700	MONTICELLO	39' 4	37'
5706	MONTICELLO	34' 9	
5710	MONTICELLO	35'	
5714	MONTICELLO	32' 6	
5718	MONTICELLO	40' 7	
5722	MONTICELLO	37'	
5726	MONTICELLO	40'	
5730	MONTICELLO	30' 4	
5734	MONTICELLO	41' 7	
5738	MONTICELLO	41' 10	
5742	MONTICELLO	35' 10	
5746	MONTICELLO	36' 6	

Number	Street Name	Setbacks	Avg.
5803	MONTICELLO	32' 7	35'
5807	MONTICELLO	36' 1	
5811	MONTICELLO	39' 6	
5815	MONTICELLO	30' 6	
5819	MONTICELLO	32' 2	
5823	MONTICELLO	35' 9	
5827	MONTICELLO	38' 5	
5831	MONTICELLO	31' 7	
5835	MONTICELLO	38' 2	
5839	MONTICELLO	32' 9	
5843	MONTICELLO	36' 1	
5847	MONTICELLO	35'	

Number	Street Name	Setbacks	Avg.
5802	MONTICELLO	38' 7	36'
5806	MONTICELLO	35' 4	
5810	MONTICELLO	34' 9	
5814	MONTICELLO	33' 9	
5818	MONTICELLO	40' 10	
5822	MONTICELLO	31' 10	
5826	MONTICELLO	40' 9	
5830	MONTICELLO	39' 10	
5834	MONTICELLO	37' 2	
5838	MONTICELLO	30' 8	
5842	MONTICELLO	35' 5	
5846	MONTICELLO	33' 7	

Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5901	MONTICELLO	27' 9	35'
5907	MONTICELLO	33' 8	
5911	MONTICELLO	34' 5	
5915	MONTICELLO	36'	
5919	MONTICELLO	35' 3	
5923	MONTICELLO	37'	
5927	MONTICELLO	25' 4	
5931	MONTICELLO	35' 10	
5935	MONTICELLO	37'	
5939	MONTICELLO	36' 7	
5943	MONTICELLO	41' 11	
5947	MONTICELLO	34' 11	

Number	Street Name	Setbacks	Avg.
5902	MONTICELLO	38' 8	36'
5906	MONTICELLO	34' 8	
5908	MONTICELLO	36' 3	
5914	MONTICELLO	38' 6	
5918	MONTICELLO	38' 2	
5922	MONTICELLO	37' 2	
5926	MONTICELLO	33' 4	
5930	MONTICELLO	40' 8	
5934	MONTICELLO	33' 10	
5938	MONTICELLO	33' 10	
5942	MONTICELLO	32' 3	
5946	MONTICELLO	34' 5	

Number	Street Name	Setbacks	Avg.
6001	MONTICELLO	33	35'
6007	MONTICELLO	27	
6011	MONTICELLO	28	
6015	MONTICELLO	31	
6019	MONTICELLO	31	
6023	MONTICELLO	33	
6027	MONTICELLO	40	
6031	MONTICELLO	34	
6035	MONTICELLO	41	
6039	MONTICELLO	42	
6043	MONTICELLO	42	

Number	Street Name	Setbacks	Avg.
6000	MONTICELLO	32	35'
6004	MONTICELLO	33	
6008	MONTICELLO	31	
6012	MONTICELLO	34	
6016	MONTICELLO	33	
6020	MONTICELLO	37	
6026	MONTICELLO	36	
6030	MONTICELLO	36	
6034	MONTICELLO	39	
6038	MONTICELLO	38	
6042	MONTICELLO	32	

Number	Street Name	Setbacks	Avg.
5703	MORNINGSIDE	vacant	35'
5711	MORNINGSIDE	32' 10	
5717	MORNINGSIDE	34' 1	
5723	MORNINGSIDE	34' 4	
5727	MORNINGSIDE	34' 2	
5729	MORNINGSIDE	38' 3	
5735	MORNINGSIDE	37'	
5739	MORNINGSIDE	31' 9	
5743	MORNINGSIDE	36' 2	
5747	MORNINGSIDE	33' 4	

Number	Street Name	Setbacks	Avg.
5702	MORNINGSIDE	36' 10	37'
5704	MORNINGSIDE	33'	
5710	MORNINGSIDE	32' 5	
5712	MORNINGSIDE	35' 6	
5716	MORNINGSIDE	34' 6	
5722	MORNINGSIDE	43' 6	
5726	MORNINGSIDE	35'	
5730	MORNINGSIDE	37' 4	
5734	MORNINGSIDE	38'	
5740	MORNINGSIDE	41' 9	
5746	MORNINGSIDE	35'	

Number	Street Name	Setbacks	Avg.
5803	MORNINGSIDE	36' 10	38'
5807	MORNINGSIDE	35'	
5811	MORNINGSIDE	39' 1	
5815	MORNINGSIDE	38' 2	
5819	MORNINGSIDE	31' 4	
5823	MORNINGSIDE	42' 6	
5827	MORNINGSIDE	41' 8	
5831	MORNINGSIDE	39' 1	
5835	MORNINGSIDE	42' 7	
5839	MORNINGSIDE	34' 6	
5841	MORNINGSIDE	35' 1	
5847	MORNINGSIDE	41' 3	

Number	Street Name	Setbacks	Avg.
5802	MORNINGSIDE	35' 9	38'
5806	MORNINGSIDE	41' 4	
5810	MORNINGSIDE	42' 2	
5814	MORNINGSIDE	38' 2	
5818	MORNINGSIDE	38' 3	
5822	MORNINGSIDE	35' 10	
5826	MORNINGSIDE	35' 8	
5830	MORNINGSIDE	36' 2	
5834	MORNINGSIDE	42' 1	
5838	MORNINGSIDE	32'	
5842	MORNINGSIDE	38' 3	
5846	MORNINGSIDE	36' 4	

Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5903	MORNINGSIDE	36' 3	37'
5907	MORNINGSIDE	34' 8	
5909	MORNINGSIDE	32' 10	
5915	MORNINGSIDE	32'	
5919	MORNINGSIDE	41' 5	
5927	MORNINGSIDE	39' 3	
5929	MORNINGSIDE	40' 1	
5937	MORNINGSIDE	40' 4	
5941	MORNINGSIDE	35' 10	
5947	MORNINGSIDE	37' 3	

Number	Street Name	Setbacks	Avg.
5902	MORNINGSIDE	39' 2	41'
5906	MORNINGSIDE	43' 8	
5910	MORNINGSIDE	35' 4	
5914	MORNINGSIDE	37' 10	
5916	MORNINGSIDE	37' 3	
5920	MORNINGSIDE	42' 10	
5926	MORNINGSIDE	41' 5	
5928	MORNINGSIDE	45'	
5932	MORNINGSIDE	43' 5	
5936	MORNINGSIDE	43' 4	
5940	MORNINGSIDE	44' 2	
5944	MORNINGSIDE	38' 2	

Number	Street Name	Setbacks	Avg.
6001	MORNINGSIDE	38' 6	38'
6007	MORNINGSIDE	32' 10	
6009	MORNINGSIDE	36' 2	
6013	MORNINGSIDE	36'	
6017	MORNINGSIDE	37' 4	
6021	MORNINGSIDE	37' 7	
6025	MORNINGSIDE	38'	
6029	MORNINGSIDE	42'	
6033	MORNINGSIDE	43' 10	
6037	MORNINGSIDE	33'	
6043	MORNINGSIDE	40' 5	

Number	Street Name	Setbacks	Avg.
6002	MORNINGSIDE	37' 7	39'
6006	MORNINGSIDE	37' 5	
6010	MORNINGSIDE	40' 11	
6014	MORNINGSIDE	37' 6	
6018	MORNINGSIDE	40' 7	
6022	MORNINGSIDE	41' 7	
6026	MORNINGSIDE	37'	
6030	MORNINGSIDE	37' 5	
6034	MORNINGSIDE	38' 3	
6038	MORNINGSIDE	41' 10	
6042	MORNINGSIDE	41' 8	

Number	Street Name	Setbacks	Avg.
5703	VANDERBILT	39' 2	40'
5707	VANDERBILT	37' 4	
5711	VANDERBILT	40' 7	
5715	VANDERBILT	41' 3	
5719	VANDERBILT	38' 1	
5723	VANDERBILT	39' 6	
5727	VANDERBILT	38' 6	
5731	VANDERBILT	37' 4	
5735	VANDERBILT	39' 1	
5739	VANDERBILT	41' 2	
5743	VANDERBILT	39' 5	
5747	VANDERBILT	45' 5	

Number	Street Name	Setbacks	Avg.
5702	VANDERBILT	38' 4	41'
5706	VANDERBILT	36' 11	
5710	VANDERBILT	38' 4	
5714	VANDERBILT	44'	
5718	VANDERBILT	44' 9	
5722	VANDERBILT	41' 5	
5726	VANDERBILT	40'	
5730	VANDERBILT	44' 6	
5734	VANDERBILT	44' 10	
5738	VANDERBILT	36' 8	
5742	VANDERBILT	43' 8	
5746	VANDERBILT	39'	

Number	Street Name	Setbacks	Avg.
5803	VANDERBILT	39' 2	39'
5807	VANDERBILT	38' 7	
5811	VANDERBILT	40' 4	
5815	VANDERBILT	40' 6	
5819	VANDERBILT	43' 11	
5823	VANDERBILT	41' 10	
5827	VANDERBILT	30'	
5831	VANDERBILT	41' 4	
5835	VANDERBILT	39' 4	
5839	VANDERBILT	40' 1	
5843	VANDERBILT	39' 8	
5847	VANDERBILT	38'	

Number	Street Name	Setbacks	Avg.
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Appendix D – Average Front Yard Setbacks

Number	Street Name	Setbacks	Avg.
5901	VANDEBILT	39' 7	40'
5907	VANDEBILT	40' 1	
5911	VANDEBILT	40' 6	
5915	VANDEBILT	44' 3	
5919	VANDEBILT	40' 7	
5921	VANDEBILT	38' 5	
5927	VANDEBILT	37' 3	
5931	VANDEBILT	42'	
5935	VANDEBILT	42'	
5939	VANDEBILT	40' 5	
5943	VANDEBILT	40' 4	
5947	VANDEBILT	37' 6	

Number	Street Name	Setbacks	Avg.
5902	VANDEBILT	41' 8	42'
5906	VANDEBILT	46' 3	
5910	VANDEBILT	42' 1	
5914	VANDEBILT	39' 3	
5918	VANDEBILT	44' 7	
5922	VANDEBILT	44' 11	
5926	VANDEBILT	40' 11	
5930	VANDEBILT	44' 10	
5934	VANDEBILT	39' 3	
5938	VANDEBILT	36' 4	
5942	VANDEBILT	40' 6	
5946	VANDEBILT	41' 2	

Number	Street Name	Setbacks	Avg.
6003	VANDEBILT	40' 10	44'
6007	VANDEBILT	40' 7	
6011	VANDEBILT	44' 4	
6015	VANDEBILT	45' 2	
6019	VANDEBILT	46'	
6027	VANDEBILT	42' 1	
6033	VANDEBILT	46' 6	
6035	VANDEBILT	46' 2	
6039	VANDEBILT	42' 8	
6043	VANDEBILT	44' 2	

Number	Street Name	Setbacks	Avg.
6002	VANDEBILT	43' 7	43'
6006	VANDEBILT	40' 9	
6010	VANDEBILT	35' 3	
6014	VANDEBILT	45' 7	
6018	VANDEBILT	43' 7	
6022	VANDEBILT	41' 11	
6030	VANDEBILT	45' 8	
6034	VANDEBILT	45' 5	
6042	VANDEBILT	45' 6	