



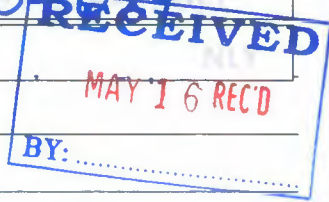
Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234084



Data Relative to Subject Property: _____

Date: _____

Location address: 2626 & 2712 W. Mockingbird Lane

Zoning District: IR

Lot No.: 6-10

Block No.: 4492

Acreage: ±0.986

Census Tract: _____

Street Frontage (in Feet): 1) ±324'

2) ±324'

3) _____

4) _____

5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Dallas Storage Conversion, LLC

Applicant: James Dean Larson

Telephone: 469-867-4647

Mailing Address: 2901 Butterfield Road, Oak Brook, IL

Zip Code: 60523

E-mail Address: jdlarson@devonselstorage.com

Represented by: HRC Engineers, Surveyors, and Landscape Architects

Telephone: 770-942-0196

Mailing Address: 6554 Church Street, Douglasville, GA

Zip Code: 30134

E-mail Address: SKennemer@HRCengineers.com

Affirm that an appeal has been made for a Variance or Special Exception of _____

Landscape and Tree Conservation Regulations per Chapter 51A of the Dallas Development

Code, Article X

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The site has an existing, abandoned building that is proposed for renovation for a mini-warehouse use. The existing site is completely covered which presents unnecessary hardships to provide landscaping per the Requirements in Article X.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared _____

JAMES DEAN LARSON

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____

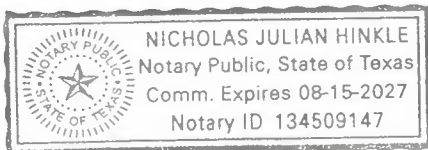
James Dean Larson
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 22 day of April

2024

[Signature]

Notary Public in and for Dallas County, Texas





AFFIDAVIT

Appeal number: BDA 234-084

I, JOSEPH E BINDER, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 2626 + 2712 W. MOCKINGBIRD LANE, DALLAS, TX
(Address of property as stated on application)

Authorize: JAMES DEAN LARSON
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Alternative landscape plan due to existing hardship

JOSEPH E. BINDER
Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

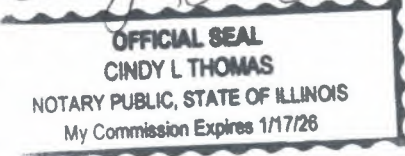
agent Date 4/19/24

Before me, the undersigned, on this day personally appeared Joseph E Binder

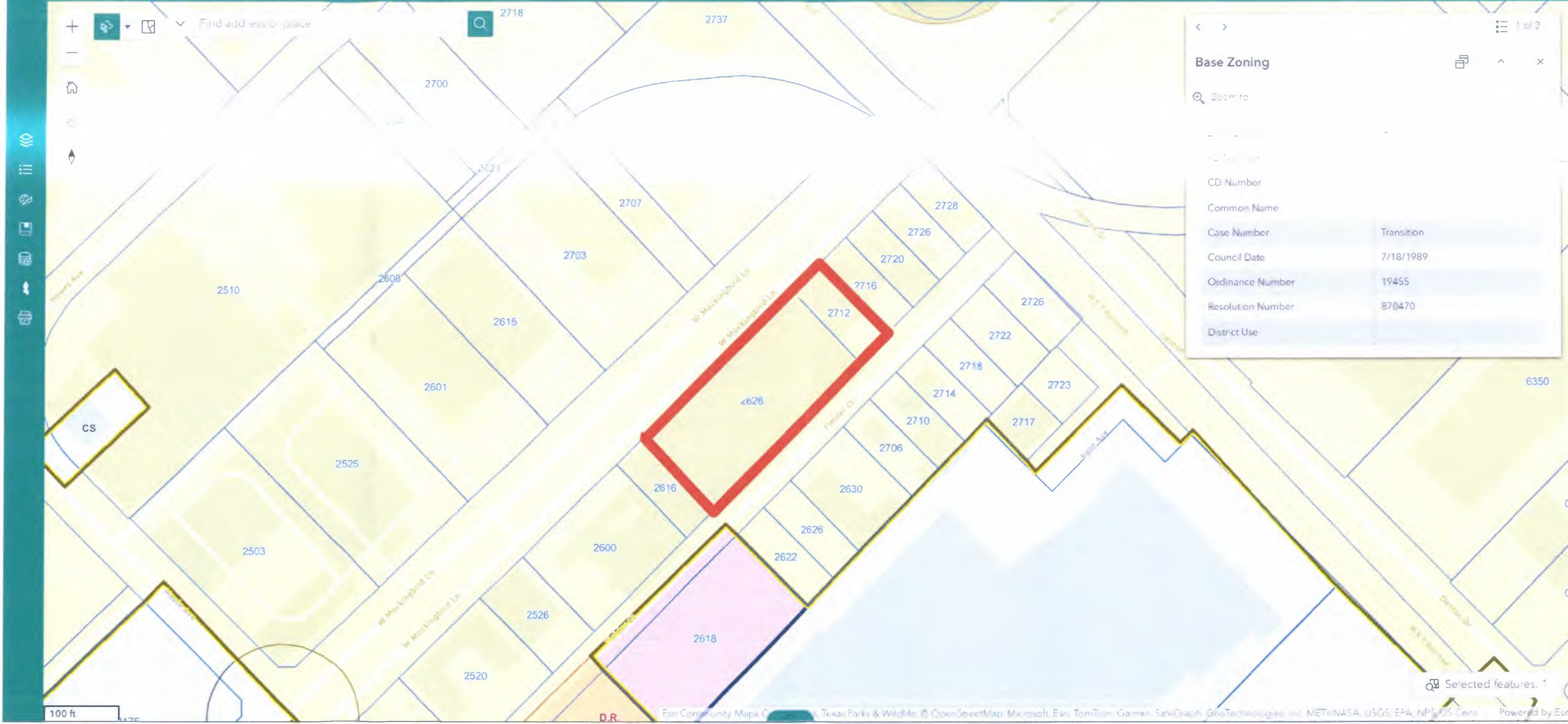
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge. Subscribed and sworn to before me this 19th day of

April, 2024

[Signature]



Commission expires on 1-17-2026

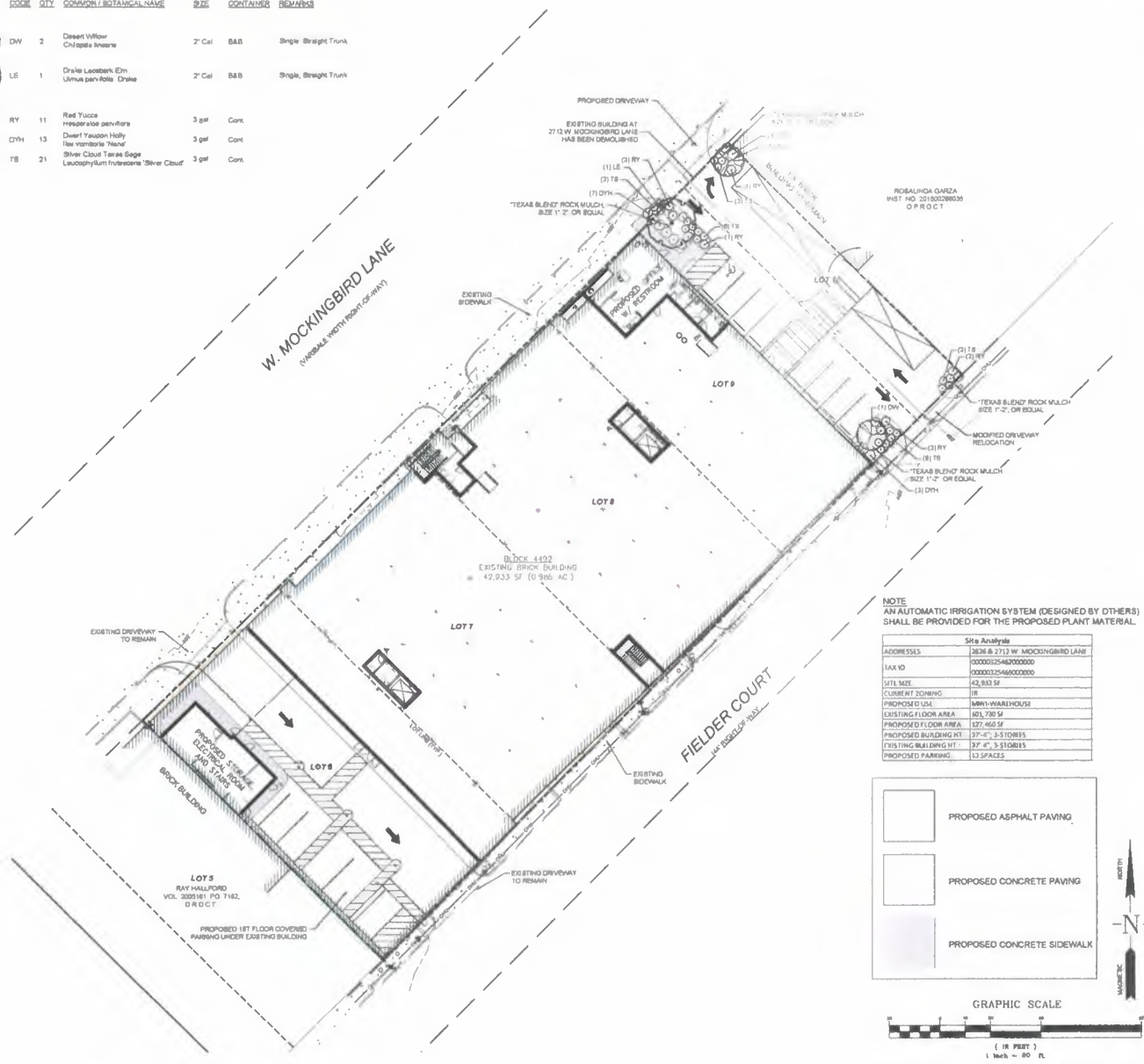


Inland Devon Self Storage - Dallas Storage Conversion LLC
2626 & 2712 W Mockingbird Lane, Dallas, TX

BDA-234-084

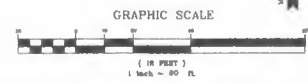
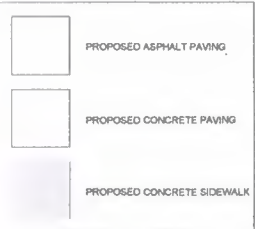
PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	REMARKS
TREES						
	DW	2	Desert Willow Calligonum lewisii	2" Cal	B&B	Single, Straight Trunk
	LE	1	Drake Leebark Elm Ulmus parvifolia Drake	2" Cal	B&B	Single, Straight Trunk
SHRUBS						
	RY	11	Red Yucca Heisteria pectinifera	3 gal	Cont.	
	DYM	13	Dwarf Yuccon Holly Ilex repens 'Holly'	3 gal	Cont.	
	TB	21	Silver Cloud Texas Sage Leucophyllum frutescens 'Silver Cloud'	3 gal	Cont.	



NOTE
AN AUTOMATIC IRRIGATION SYSTEM (DESIGNED BY OTHERS) SHALL BE PROVIDED FOR THE PROPOSED PLANT MATERIAL.

Site Analysis	
ADRESSES	2606 & 2712 W. MOCKINGBIRD LANE
PAR ID	0000025460000000
SITE SIZE	42,933 SF
CURRENT ZONING	DR
PROPOSED USE	MINI-WAREHOUSE
EXISTING FLOOR AREA	601,790 SF
PROPOSED FLOOR AREA	157,460 SF
PROPOSED BUILDING HT.	37'-0" - 3-STORIES
EXISTING BUILDING HT.	37'-0" - 3-STORIES
PROPOSED PARKING	13 SPACES



CITY OF DALLAS PROJECT: DEV24030601



NO.	DATE	REVISION

ALTERNATIVE LANDSCAPE PLAN OF
DEVON SELF-STORAGE
LOTS 6, 7, 8, 9 & 10, BLOCK 4492,
CITY OF DALLAS, DALLAS COUNTY, TEXAS

OWNER
DALLAS STORAGE
CONVERSION, LLC
2901 BUTTERFIELD ROAD
OAK BROOK, IL 60525

DEVELOPER
SAME AS ABOVE

SITE CONTACT
NORMAN BRYSON
(817) 307-5226



DATE	4/17/24
DRAWN BY	SAK
CHECKED BY	HBR
JOB#	H23195.01

LA1

BDA234-08A

PROJECT: 118614 Mockingbird Ct Storage Facility/Design/CDM RABE 1.1.18/PROPOSED LAYOUT.dwg, 4/17/24 2:46:28 PM

ROOF LEGEND

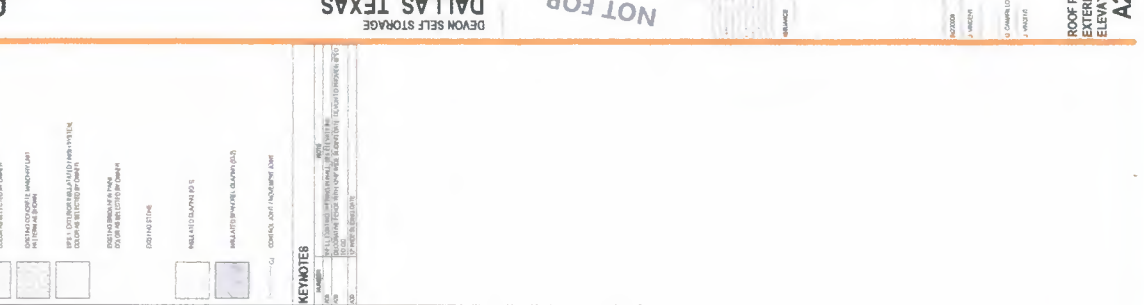
KUMHRA ROOFING (GRAVEL OR BALLAST ON ROOF) [Symbol]
 ROOF FINISH [Symbol]
 ROOF SLOPE [Symbol]
 ROOF DRAIN (SEE OR OVER OR ROOF DRAINAGE)
 ROOF VENT [Symbol]
 ROOF CURVE (SEE OR OVER OR ROOF DRAINAGE)
 ROOF DRAIN (SEE OR OVER OR ROOF DRAINAGE) [Symbol]

EXTERIOR MATERIALS LEGEND

001 - CONCRETE WITH FINISH [Symbol]
 002 - CERAMIC TILE WITH FINISH [Symbol]
 003 - BRICK [Symbol]
 004 - EXTERIOR WALL PANEL WITH FINISH [Symbol]
 005 - EXTERIOR WALL PANEL WITH FINISH [Symbol]
 006 - EXTERIOR WALL PANEL WITH FINISH [Symbol]

KEYNOTES

ALL MATERIALS AND FINISHES SHALL BE AS SHOWN IN THE EXTERIOR MATERIALS LEGEND UNLESS OTHERWISE NOTED.
 UNLESS OTHERWISE NOTED, ALL WALLS AND PARTITIONS SHALL BE CONCRETE WITH FINISH.



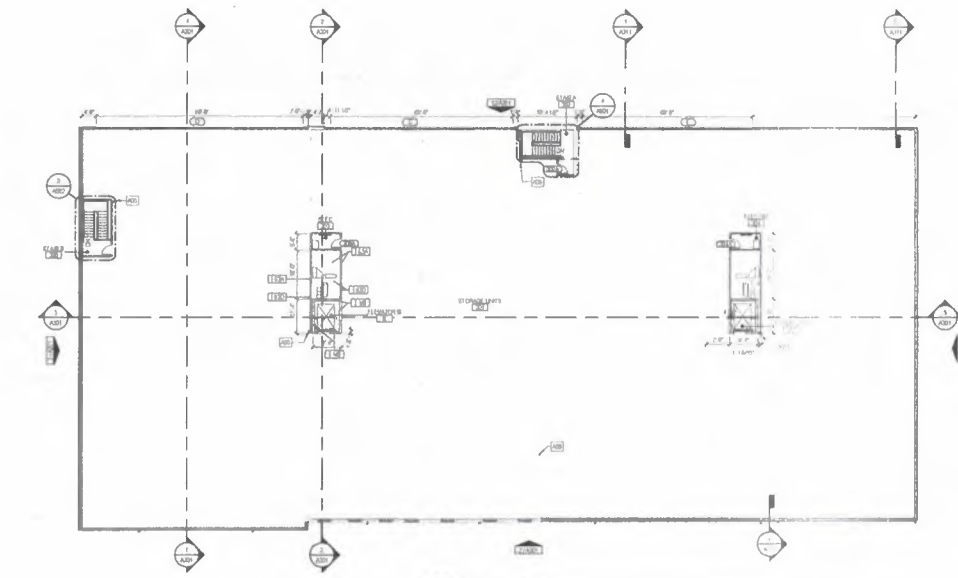
DEWON SELF STORAGE
DALLAS, TEXAS

NOT FOR CONSTRUCTION

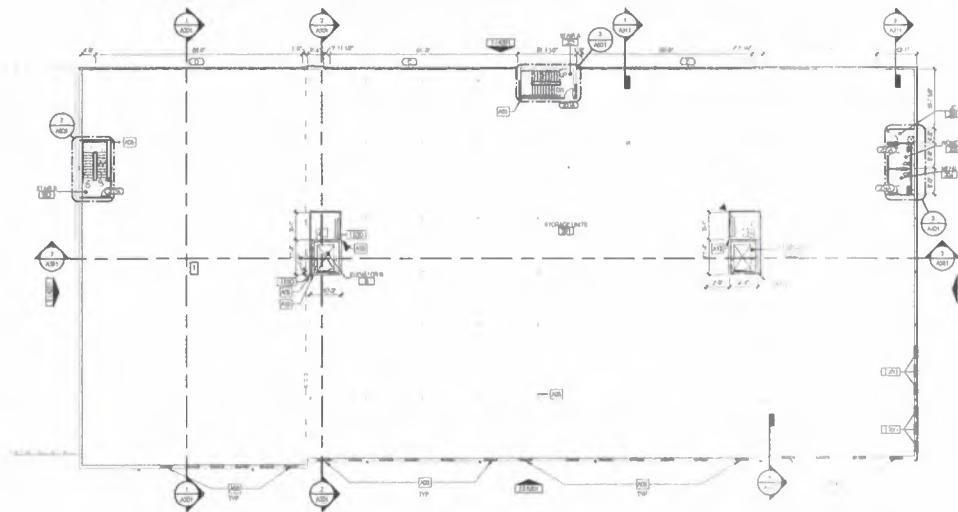
ROOF PLAN AND EXTERIOR ELEVATIONS A201

progressive
ap

BDA234-08A



THIRD FLOOR PLAN
VPF - 100



SECOND FLOOR PLAN
VPF - 100

- GENERAL NOTES**
1. SEE NOT SCALE DRAWINGS
 2. THESE FLOOR PLANS ARE FOR THE BUILDING AND SHOULD BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. VERIFY THAT THE BUILDING IS BEING CONSTRUCTED AS SHOWN ON THESE FLOOR PLANS.
 3. VERIFY THE LOCATION OF ALL WALLS AND PARTITIONS WITH THE ARCHITECTURAL DRAWINGS.
 4. VERIFY THE LOCATION OF ALL WALLS AND PARTITIONS WITH THE ARCHITECTURAL DRAWINGS.
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 20. VERIFY THE LOCATION OF ALL WALLS AND PARTITIONS WITH THE ARCHITECTURAL DRAWINGS.

- INTERIOR PARTITION GENERAL NOTES**
- EXISTING WALL CONSTRUCTION: _____
NEW GILD WALL CONSTRUCTION: _____
NEW MASONRY WALL CONSTRUCTION: _____
1. GILD WALLS SHALL BE CONSTRUCTED AND FINISHED TO MATCH EXISTING WALLS AND SHALL BE FINISHED TO MATCH EXISTING WALLS.
 2. GILD WALLS SHALL BE CONSTRUCTED AND FINISHED TO MATCH EXISTING WALLS AND SHALL BE FINISHED TO MATCH EXISTING WALLS.
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 20. GILD WALLS SHALL BE CONSTRUCTED AND FINISHED TO MATCH EXISTING WALLS AND SHALL BE FINISHED TO MATCH EXISTING WALLS.

INTERIOR PARTITION TAG LEGEND

CODE	DESCRIPTION	THICKNESS	FINISH
C	CONCRETE	4" / 8"	1" / 2"
G	GILD WALL	4" / 8"	1" / 2"
M	MASONRY	4" / 8"	1" / 2"
N	NEW GILD WALL	4" / 8"	1" / 2"
NM	NEW MASONRY	4" / 8"	1" / 2"
W	WALL	4" / 8"	1" / 2"
W1	WALL 1	4" / 8"	1" / 2"
W2	WALL 2	4" / 8"	1" / 2"
W3	WALL 3	4" / 8"	1" / 2"
W4	WALL 4	4" / 8"	1" / 2"
W5	WALL 5	4" / 8"	1" / 2"
W6	WALL 6	4" / 8"	1" / 2"
W7	WALL 7	4" / 8"	1" / 2"
W8	WALL 8	4" / 8"	1" / 2"
W9	WALL 9	4" / 8"	1" / 2"
W10	WALL 10	4" / 8"	1" / 2"
W11	WALL 11	4" / 8"	1" / 2"
W12	WALL 12	4" / 8"	1" / 2"
W13	WALL 13	4" / 8"	1" / 2"
W14	WALL 14	4" / 8"	1" / 2"
W15	WALL 15	4" / 8"	1" / 2"
W16	WALL 16	4" / 8"	1" / 2"
W17	WALL 17	4" / 8"	1" / 2"
W18	WALL 18	4" / 8"	1" / 2"
W19	WALL 19	4" / 8"	1" / 2"
W20	WALL 20	4" / 8"	1" / 2"

- INTERIOR PARTITION TYPE SUFFIXES**
1. SUFFIXES SHALL BE USED TO IDENTIFY THE TYPE OF PARTITION WALL.
 2. SUFFIXES SHALL BE USED TO IDENTIFY THE TYPE OF PARTITION WALL.
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 20. SUFFIXES SHALL BE USED TO IDENTIFY THE TYPE OF PARTITION WALL.

KEYNOTES

NUMBER	NOTE
100	SEE EXISTING DRAWINGS
101	SEE EXISTING DRAWINGS
102	SEE EXISTING DRAWINGS
103	SEE EXISTING DRAWINGS
104	SEE EXISTING DRAWINGS
105	SEE EXISTING DRAWINGS
106	SEE EXISTING DRAWINGS
107	SEE EXISTING DRAWINGS
108	SEE EXISTING DRAWINGS
109	SEE EXISTING DRAWINGS
110	SEE EXISTING DRAWINGS
111	SEE EXISTING DRAWINGS
112	SEE EXISTING DRAWINGS
113	SEE EXISTING DRAWINGS
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115	SEE EXISTING DRAWINGS
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117	SEE EXISTING DRAWINGS
118	SEE EXISTING DRAWINGS
119	SEE EXISTING DRAWINGS
120	SEE EXISTING DRAWINGS

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DEVON SELF STORAGE
DALLAS, TEXAS

NOT FOR CONSTRUCTION

FLOOR PLANS
A102

BDA23A-08A