



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-085

Data Relative to Subject Property:

Date:

Location address: 402 S. Beacon Street Zoning District: PD134, sub A

Lot No.: 13 Block No.: 25/1613 Acreage: .0803 Census Tract:

Street Frontage (in Feet): 1) 44'50" 2) 66'70" 3) 4) 5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Bernard & Sharon Johnston

Applicant: Bernard Johnston Telephone: 214-766-2183

Mailing Address: 5300 Tremont St Zip Code: 75214

E-mail Address: Matt@w2570L.com

Represented by: Telephone:

Mailing Address: Zip Code:

E-mail Address:

Affirm that an appeal has been made for a Variance or Special Exception of ^{M.I.} fence height ~~8'~~ 96"

fence in 45° triangle and 20° triangle

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Properly operate business without threat of vandalism or theft

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

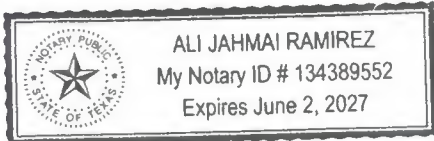
Affidavit

Before me the undersigned on this day personally appeared Bernad Johnston
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Bernad Johnston
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 14 day of March, 2024



Notary Public in and for Dallas County, Texas



AFFIDAVIT

Appeal number: BDA 234-085

I. Shanon Johnston Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 402 S. Beacon, Dallas Texas
(Address of property as stated on application)

Authorize: Bernard Johnson
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

Variance (specify below)

Special Exception (specify below)

Other Appeal (specify below)

Specify: Fence height

fence in 45° triangle and 20° triangle

Shanon Johnston
Print name of property owner or registered agent

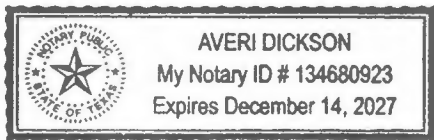
[Signature]
Signature of property owner or registered agent

agent Date 3-27-2024

Before me, the undersigned, on this day personally appeared Shanon Johnston

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 27th day of March, 2024



Commission expires on 12/14/2027 [Signature]

SHIPPED DATE: 6-2-96 RECEIVED DATE: 3-11-96

CITY OF DALLAS PLAT BOOKS

ANNEXED APRIL 13, 1915 ORD. NO. _____
SURVEY R. MOORE ABST. 999

ADDITION MOUNT AUBURN ADD.

BLOCKS 16-28
1613
SCHOOL DISTRICT DALLAS

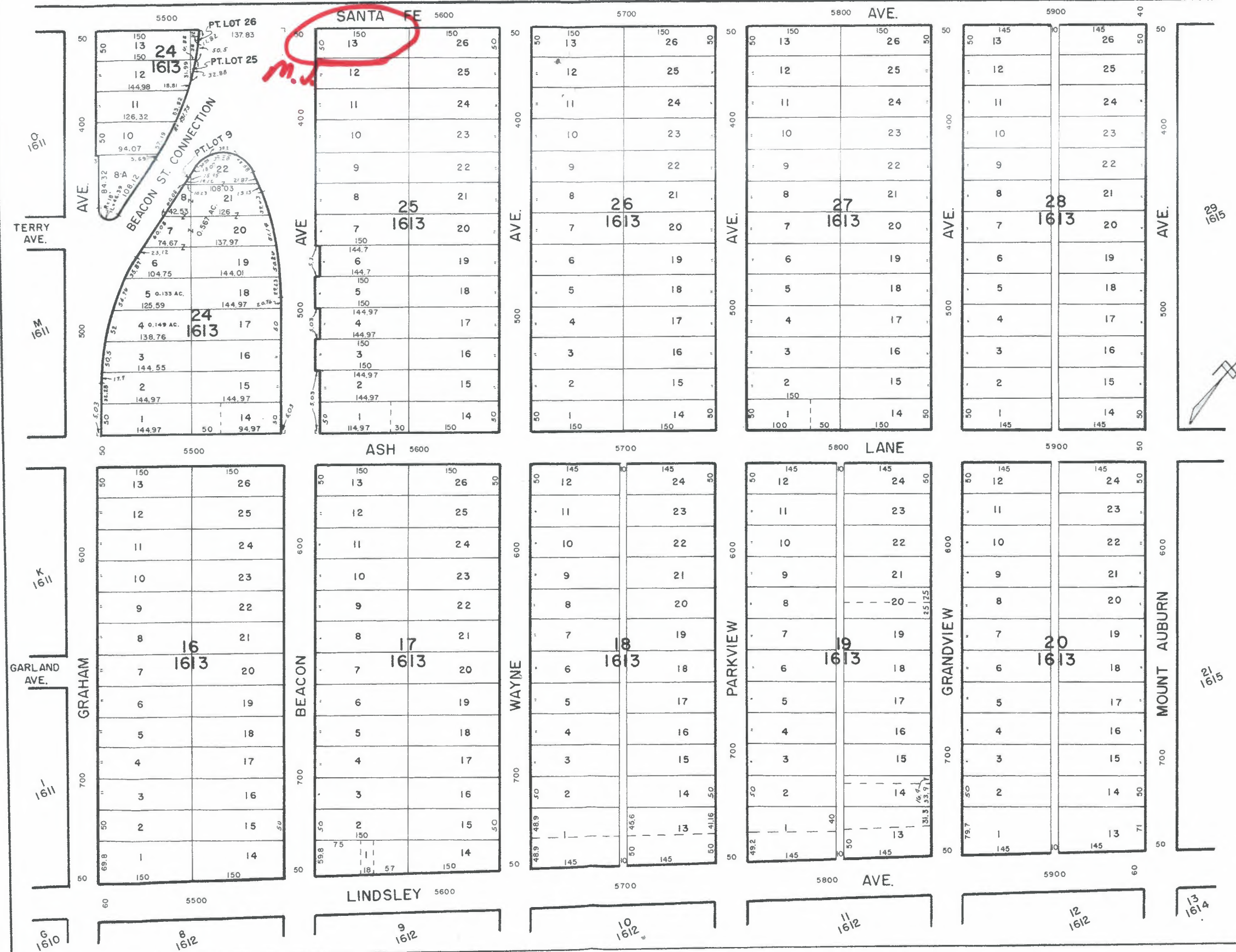
SCALE 100 FT. EQUALS 1 INCH

PHA 8-5-87

P.H.

FILED: 2-10-89 Replot LOT 8'A, BLK. 24/1613

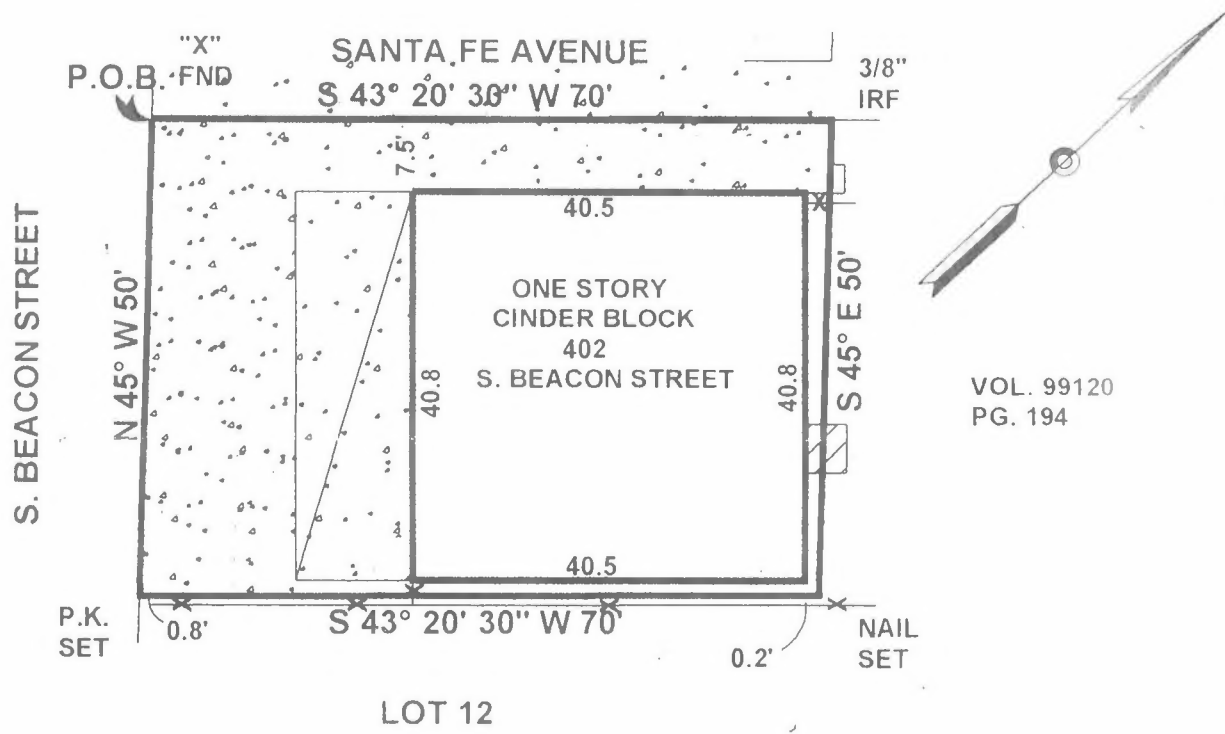
GULF COLORADO & SANTA FE R.R.



BDA234-085

402 S Beacon

Site

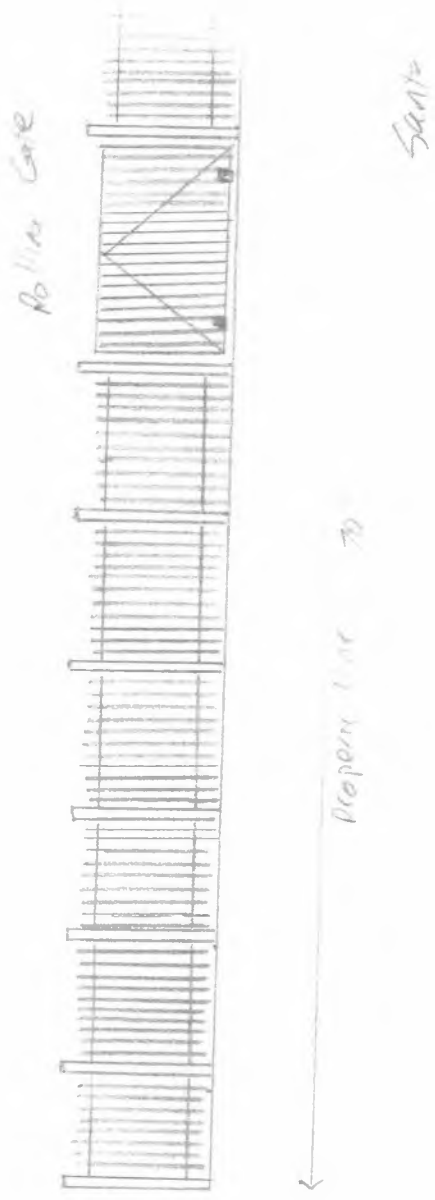
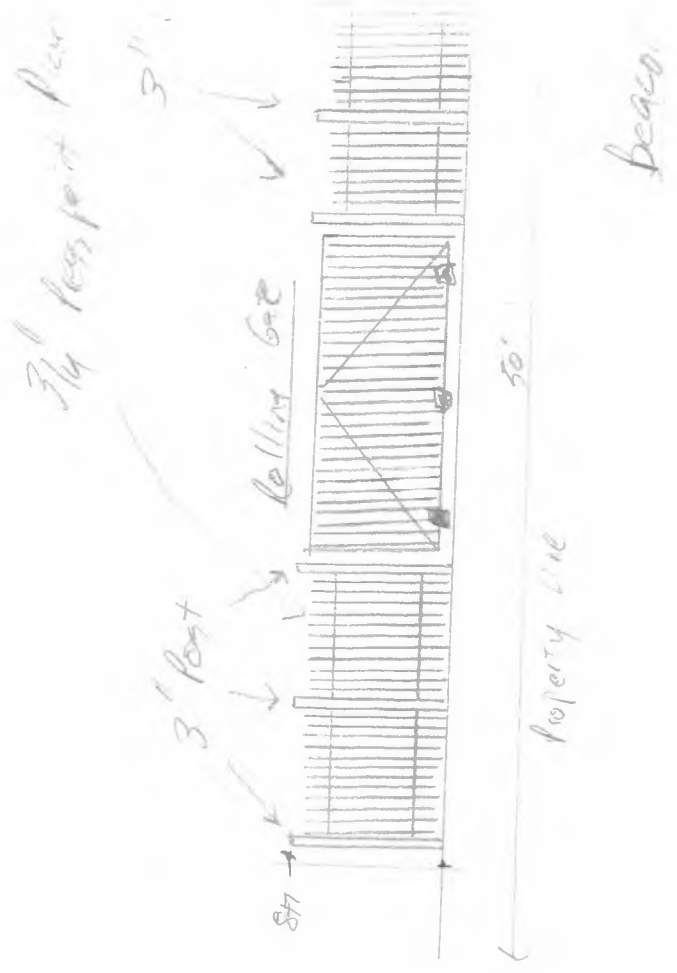


Scale 1" = 20'

BDA234-085

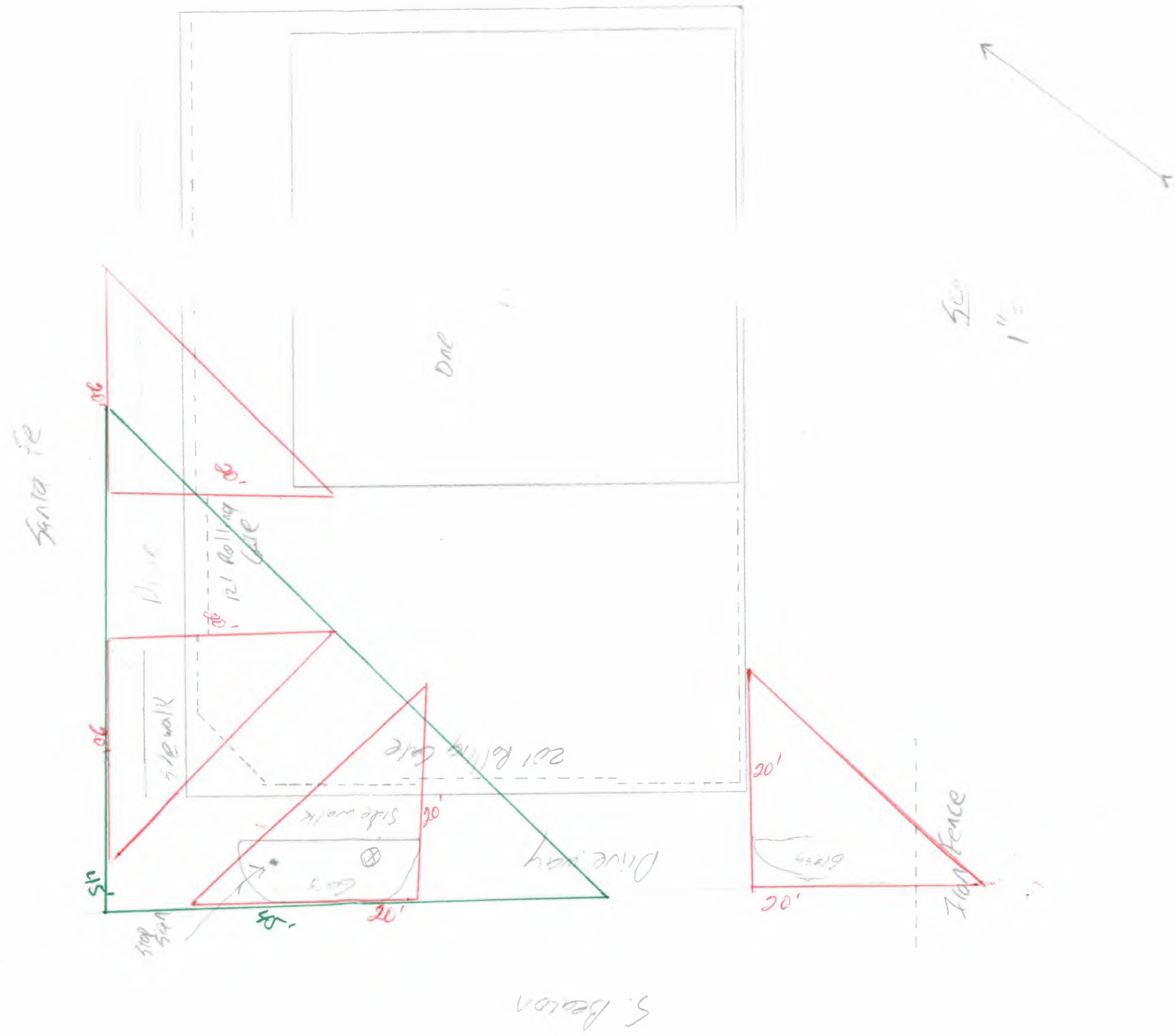
402 S Bedcon 1

Fence Elevation



Scale
10'

402 S. Beacon



S. Beacon

PDA234-085