



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 234101 **RECEIVED**
 Date: Lot 18 OFFICE USE ONLY
 Date: PD 67 DALLAS **MIN 2 7 REC'D**

Data Relative to Subject Property: fee waiver
6801 TYREE STREET
 Location address: 6801 TYREE STREET DALLAS Zoning District: PD 67 DALLAS
 Lot No.: 18 Block No.: C/2595 Acreage: .12 Census Tract: _____
 Street Frontage (in Feet): 1) 50 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:
 Owner of Property (per Warranty Deed): 4901-4903 NEWMORE LLP
 Applicant: AKBER MEGHANI Telephone: 2143953622
 Mailing Address: 5329 NORTHMOOR DR DALLAS Zip Code: 75229
 E-mail Address: AKBER@GRANDDEVELOPMENT.NET
 Represented by: AKBER MEGHANI Telephone: 214-395-3622
 Mailing Address: 5329 NORTHMOOR DR DALLAS Zip Code: 75229
 E-mail Address: AKBER@GRANDDEVELOPMENT.NET

Affirm that an appeal has been made for a Variance or Special Exception of _____
AO APPEAL - SEE REVOLUTION KPR

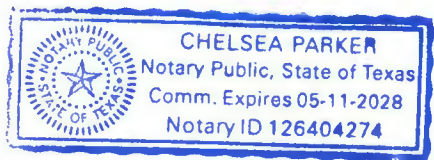
Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

WE HAVE BEEN ISSUED BUILDING PERMIT AND LOT IS ZONED DUPLEX PD 67A AND THEN ZONE CHANGE TO SINGLE FAMILY WE HAVE ALREADY STARTED BUILDING AND WE HAVE DONE FRAMING AND NOW DRYWALL STAGE

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit
 Before me the undersigned on this day personally appeared Akber Meghani
 (Affiant/Applicant's name printed)
 who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property
 Respectfully submitted: Akber Meghani
 (Affiant/Applicant's signature)

Subscribed and sworn to before me this 11 day of June, 2024
Chelsea Parker



Notary Public in and for Dallas County, Texas



CITY OF DALLAS

June 25, 2024

Mr. Akber Meghani
5329 Northmoor Dr.
Dallas, TX 75229
akbermeghani@gmail.com

Via Email

RE: Project/Permit # 2211181039 and 2211181139

This letter serves as official notification that project 2211181039 and master permit 2211181139, for the construction of a new duplex at 6801 Tyree, Dallas, Texas 75209, were issued in error by the Development Services Department (DSD) are hereby revoked for the following reasons:

- Illegal Land Use per [Exhibit 67A](#) of [Planned Development No. 67](#).
- Structure exceeds the maximum allowed height for the district per Dallas Development Code [§ 51P-67.107\(c\)\(1\)](#).
- Non-compliant roof type per the design standards for Planned Development No. 67 per Dallas Development Code [§ 51P-67.107\(c\)\(3\)](#).

Next Steps:

Please reach out to Development Services to discuss any of the following options:

- **Option 1 – Board of Adjustment Administrative Official Appeal:** The Board of Adjustment is charged with the duty to hear and decide appeals from decisions of administrative officials made in the enforcement of the zoning ordinance of the city as listed in [51A-3.102\(d\)\(1\)](#) & [51A-4.703\(a\)\(2\)](#).
- **Option 2 – Submit New Permit:** Submit new plans and permit for a structure compliant with all [Planned Development No. 67](#) standards and conditions.

Please note, these options are provided as a means toward potential compliance and are not intended to constitute legal advice. Please do not hesitate to reach out to Jason Pool, Development Services Administrator, should you have any questions or require additional information.

Should the property owner choose not to take any of the above actions, this matter will be referred to the City's Department of Code Compliance for enforcement.

BDA234-1000



CITY OF DALLAS

This decision is final unless appealed to the Board of Adjustment in accordance with Section [51A-4.703\(a\)\(2\)](#) of the Dallas City Code within 20 days after written notice of the above action.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read 'Jason Pool'.

Jason Pool
Development Services Administrator
Land Development Division
214-948-4392
Jason.Pool@Dallas.gov

c: Andrew Espinoza, Director/Building Official
M. Samuel Eskander, Assistant Director
Vernon Young, Assistant Director
Michael Herron, Zoning Inspections Supervisor
Jill Haning, Assistant City Attorney

Christopher Christian, Director
Jeremy Reed, Assistant Director
Alfred Beecham, Manager
Stormy Gonzalez, Manager
Charlotta Riley, Assistant City Attorney

BDA234101



City of Dallas

Permit # 2211181039

Issue Date: 12/20/2022

Sustainable Construction and Development | Building Inspection Division | 214/948-4480 | www.dallascityhall.com

Address: **6801 TYREE ST 75209**

Land Use Description: TWO FAMILY DWELLING

Work Description: NEW DUPLEX

Value Of Work: \$0.00

Owner Or Tenant: akber meghani
5329
dallas
TX
75229
(214) 395-3622
akbermeghani@gmail.com

Applicant: akber meghani
Contractor: 4901-4903 NEWMORE LLP
Business Address: 5329 NORTHMOOR DR, DALLAS, TX 75229
Telephone: 214/395-3622 Fax:

Lot: 18	Block: C/259 5	Zoning: PD-67	PDD: 67	SUP:
Historic Dist:	Consv Dist: Chapter 51	Pro Park: 4	Req Park: 4	Park Agrmt: N
Dwlg Units: 2	Stories: 2	New Area: 5746	Lot Area: 6250	Total Area: 5746
Type Const: VB	Sprinkler: None	Occ Code: R3	Occ Load:	
Inches Of Removed Trees:				

ALL WORK SUBJECT TO FIELD INSPECTOR APPROVAL Parking is for entire project.

This document is issued on the basis of information furnished in the application and is subject to the provisions of all governing ordinances, which must be complied with, whether or not herein specified.

BOA234-101

THIS DOCUMENT SHALL BE POSTED AT WORK SITE AND IS SUBJECT TO CANCELLATION UPON NOTICE.

SHIPPED RECEIVED
 DATE: 12-8-95 DATE: 3-26-96
 ANNEXED OCTOBER 25, 1929 ORD. NO. _____
 SURVEY C. G. COLE ABST. 320

CITY OF DALLAS PLAT BOOKS
 ADDITION WEBSTER & WOOD'S NORTHPARK

A B C D
 BLOCKS 2593, 2594, 2595, 2596

SCALE 100 FT. EQUALS 1 INCH

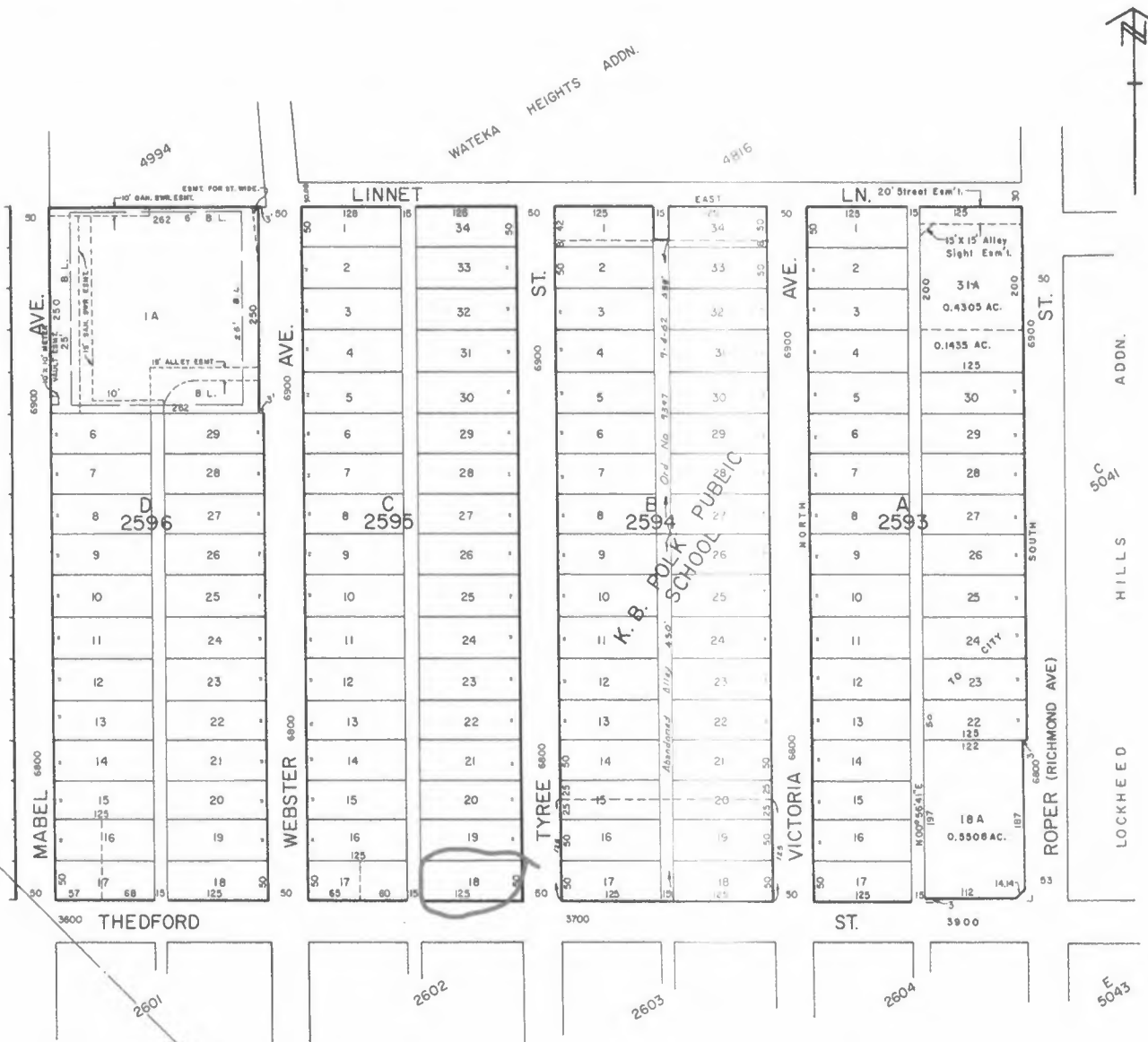
SCHOOL DISTRICT DALLAS

FILED: JUNE 5, 1890
 FILED: 9-30-85 BLK A/2593 LOT 18A POLK PARK (CITY PARK)
 FILED: 9-23-88 BLK Q/2596 LOT 1A LEMMON AVE POTTERY
 FILED: 2-2-93 Northpark Missionary Baptist Church LOT 31A, BLK. A/2593



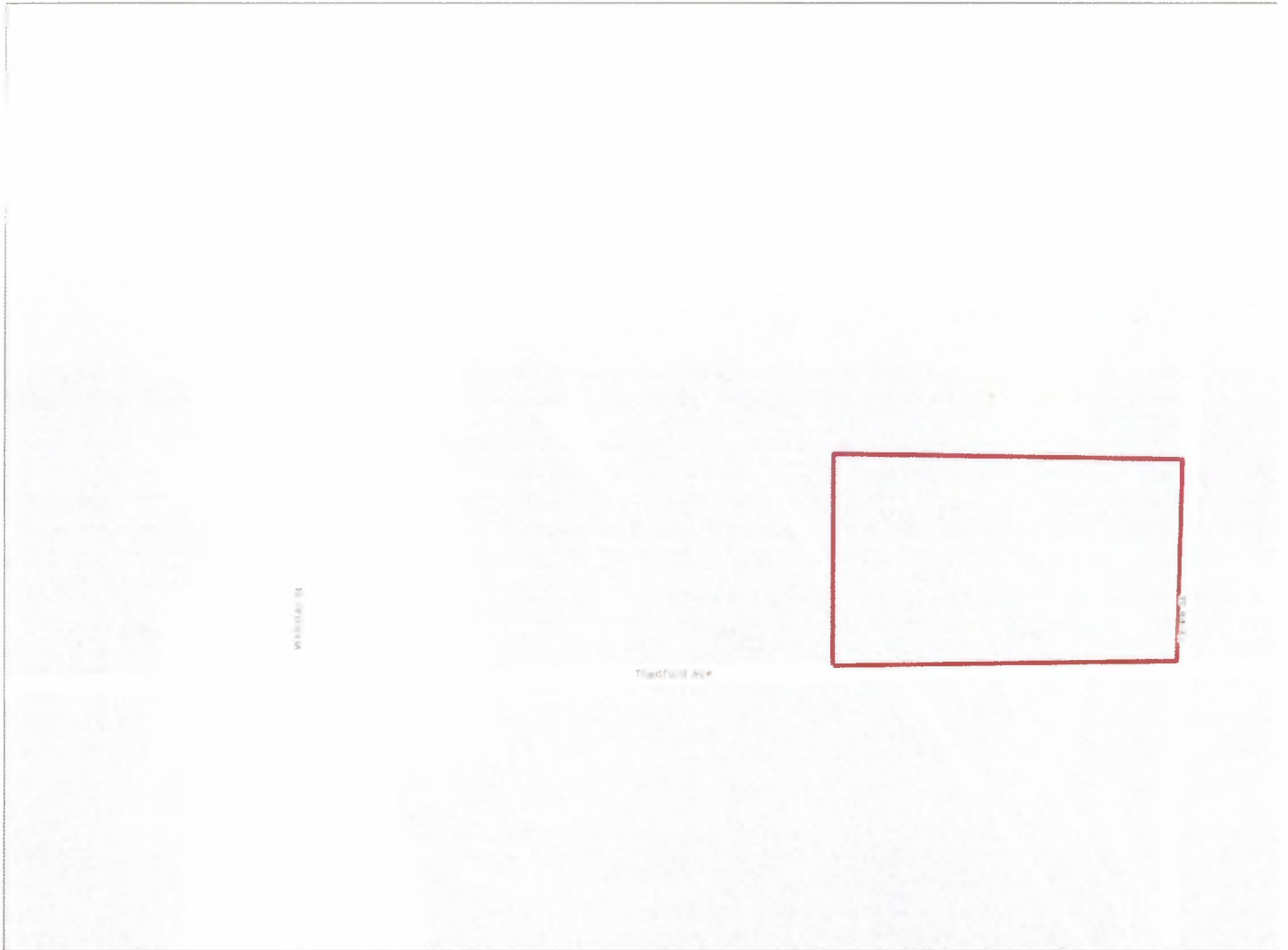
LOVE FIELD AIRPORT

LEMMON AVE.



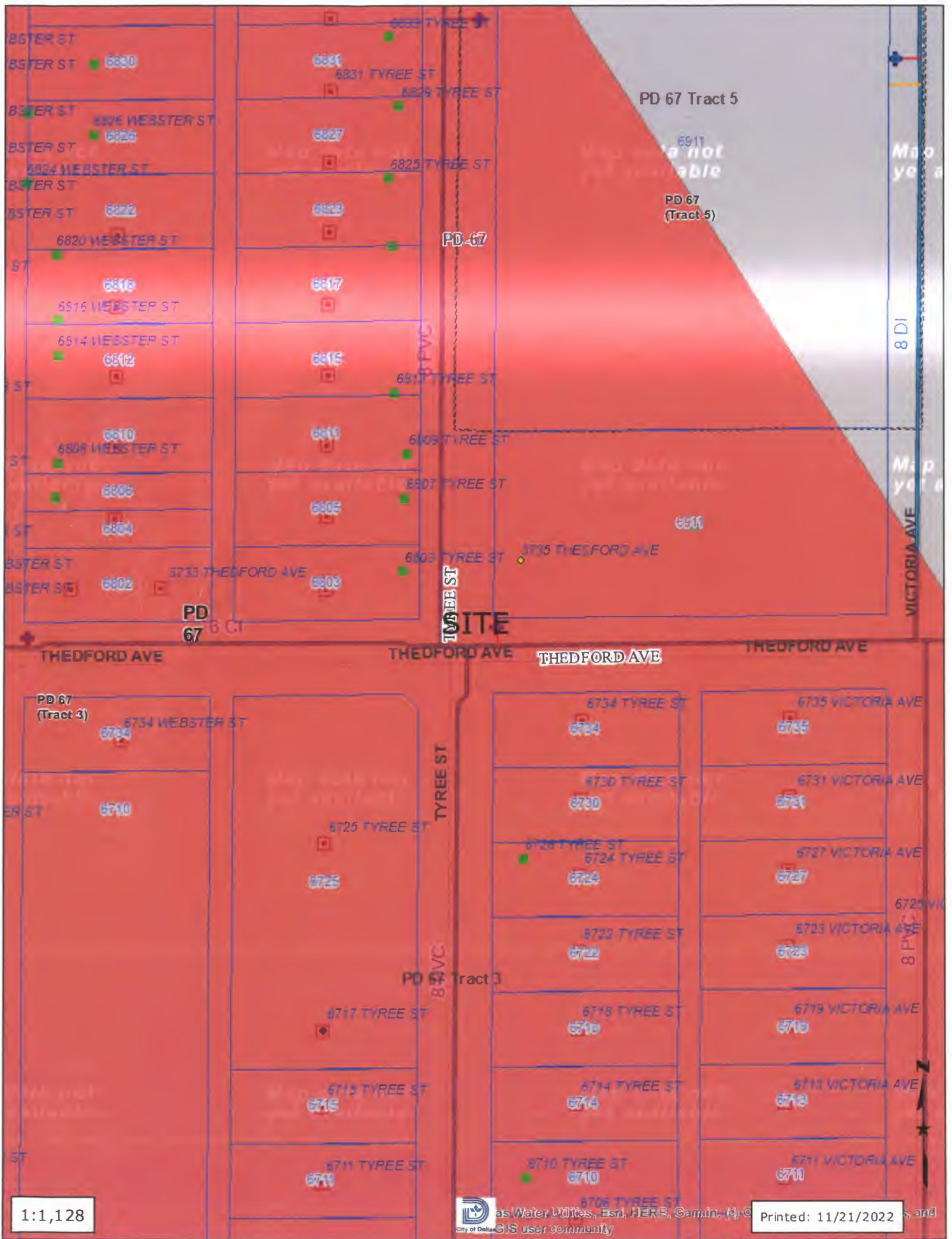
BDA234-101

ArcGIS Web Map



6/11/2024, 12:35:03 PM

BDA234-101



1:1,128

BDA234-101

25423

061164

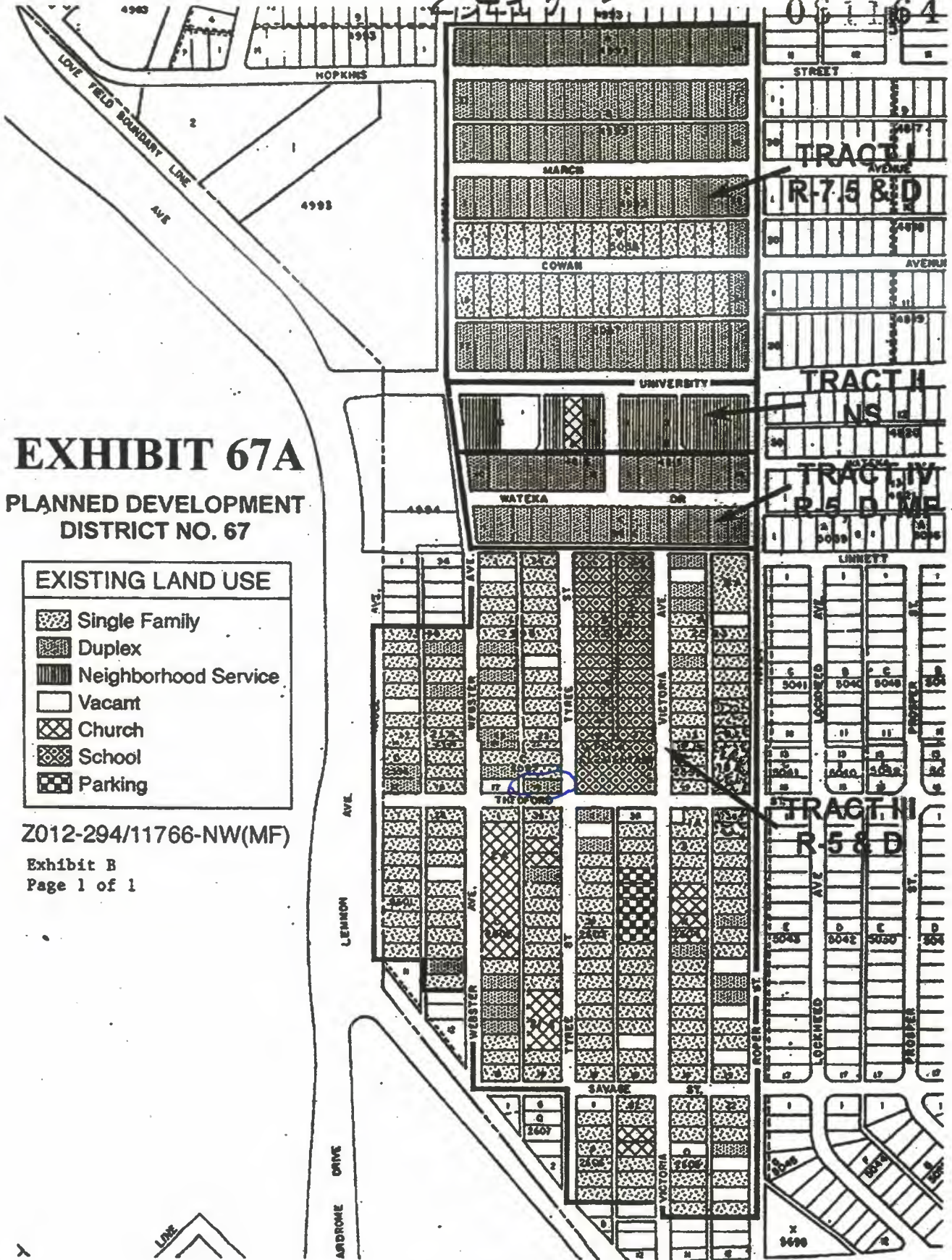








EXHIBIT 67A

PLANNED DEVELOPMENT DISTRICT NO. 67

EXISTING LAND USE

-  Single Family
-  Duplex
-  Neighborhood Service
-  Vacant
-  Church
-  School
-  Parking

Z012-294/11766-NW(MF)

Exhibit B
Page 1 of 1

BDA234-101

BDA234-106



LAS

UNITS
ENGINEERING

(972) 646-UNIT
Units@unite.com



BDA234-101

WATER-RESISTIVE & AIR BARRIER PROTECTIVE MEMBRANE

STOP WORK ORDER

WORK IS STOPPED ON THIS PREMISES IN VIOLATION
OF CHAPTER 51 OF THE DALLAS CITY CODE

ANY PERSON OR PERSONS PERFORMING CONSTRUCTION
RELATED ACTIVITIES WHILE THIS NOTICE IS IN EFFECT
COMMITTS AN OFFENSE PUNISHABLE BY A FINE NOT TO
EXCEED \$200 EACH DAY

ADDRESS: *6801 Tyree*



City of Dallas

FOR MORE INFORMATION CALL BUILDING INSPECTION
PHONE: *214-671-1511*

PD 67 (TRACT 3)

F - 25'
S - 5'
R - 10'
HT - 36'
LOT - 60%
P - 4

**MINIMUM 2 MEDIUM OR
LARGE TREES REQUIRED**

**SUBJECT TO FIELD INSPECTOR'S
APPROVAL**

**A PERMIT IS BEING ISSUED FOR WATER/WASTEWATER UTILITIES.
YOU ARE RESPONSIBLE TO VERIFY THAT UTILITIES ARE
AVAILABLE FOR THIS PROPERTY. IF UTILITIES ARE NOT
AVAILABLE FOR THIS SITE, THE CITY OF DALLAS IS NOT
RESPONSIBLE.**

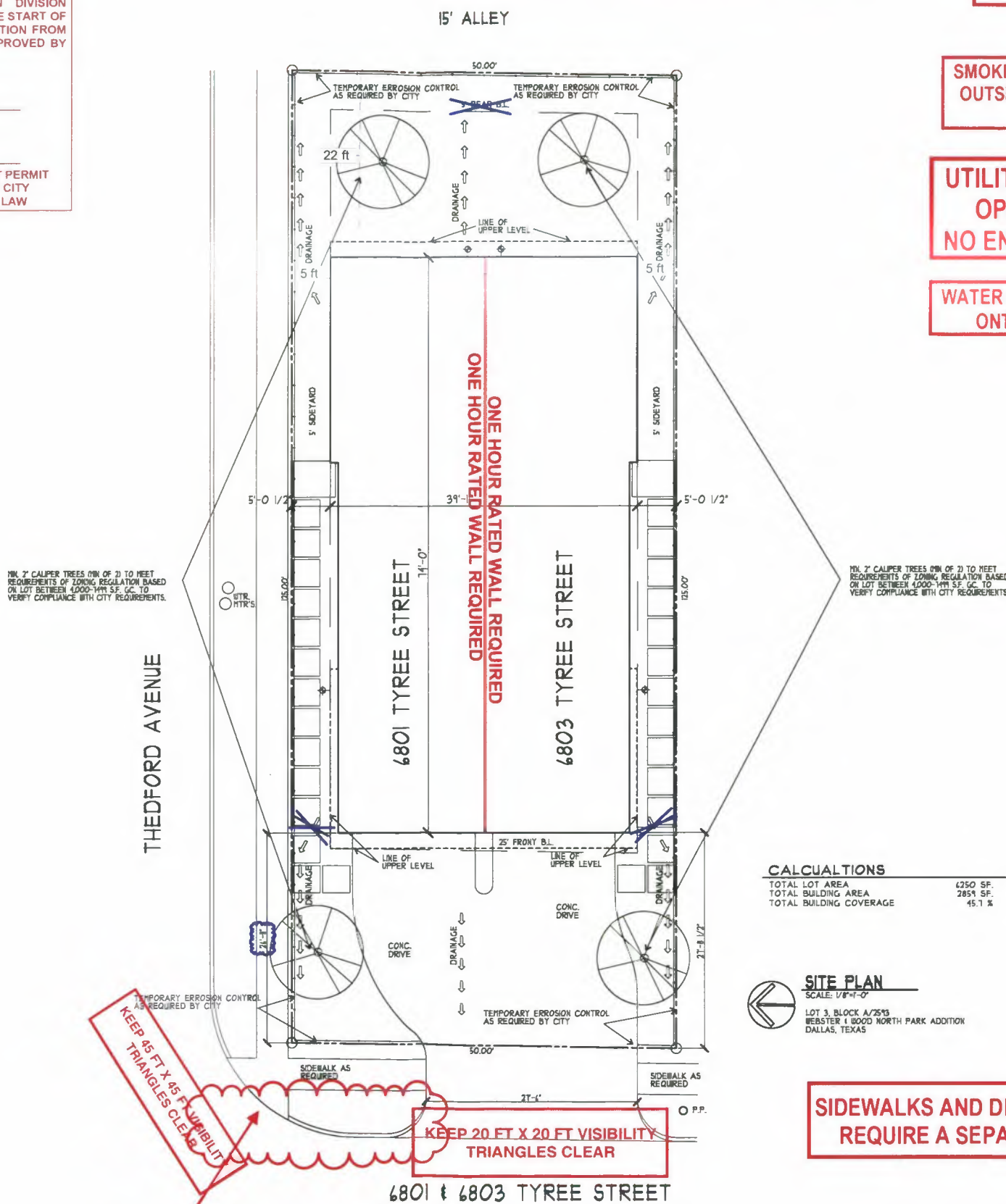
**NOTICE
CHECK FOR PRIVATE DEED
RESTRICTIONS FILE AT
COUNTY OFFICE**

THESE PLANS HAVE BEEN REVIEWED BY
THE BUILDING INSPECTION DIVISION
AND ARE APPROVED FOR THE START OF
CONSTRUCTION. ANY DEVIATION FROM
THESE PLANS SHALL BE APPROVED BY
THE BUILDING OFFICIAL.
ZO DATE: 12/20/2022
BY: Loree Myers
BU DATE: 12/20/2022
BY: Loree Myers
THIS APPROVAL DOES NOT PERMIT
THE VIOLATION OF ANY CITY
ORDINANCE OR STATE LAW

**SMOKE DETECTORS REQUIRED IMMEDIATELY
OUTSIDE ALL SLEEPING AREAS AND AT ALL
FLOOR LEVELS**

**UTILITY EASEMENT MUST REMAIN
OPEN AND UNOBSTRUCTED.
NO ENCROACHMENTS PERMITTED**

**WATER SHALL NOT BE REDIRECTED TO DRAIN
ONTO ADJOINING PRIVATE PROPERTY**



CALCULATIONS

TOTAL LOT AREA	6260 SF.
TOTAL BUILDING AREA	2854 SF.
TOTAL BUILDING COVERAGE	45.1 %

SITE PLAN
SCALE: 1/8"=1'-0"
LOT 3, BLOCK A/2513
WEBSTER & GOOD NORTH PARK ADDITION
DALLAS, TEXAS

**KEEP 45 FT X 45 FT VISIBILITY
TRIANGLES CLEAR**

**KEEP 20 FT X 20 FT VISIBILITY
TRIANGLES CLEAR**

**MINIMUM 30'
TO CORNER**

**SIDEWALKS AND DRIVE APPROACH
REQUIRE A SEPARATE PERMIT**

SHEET NO. APPROVED Building Inspection 2/20/22

OF 1

221014

10-13-22

REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER, INC.

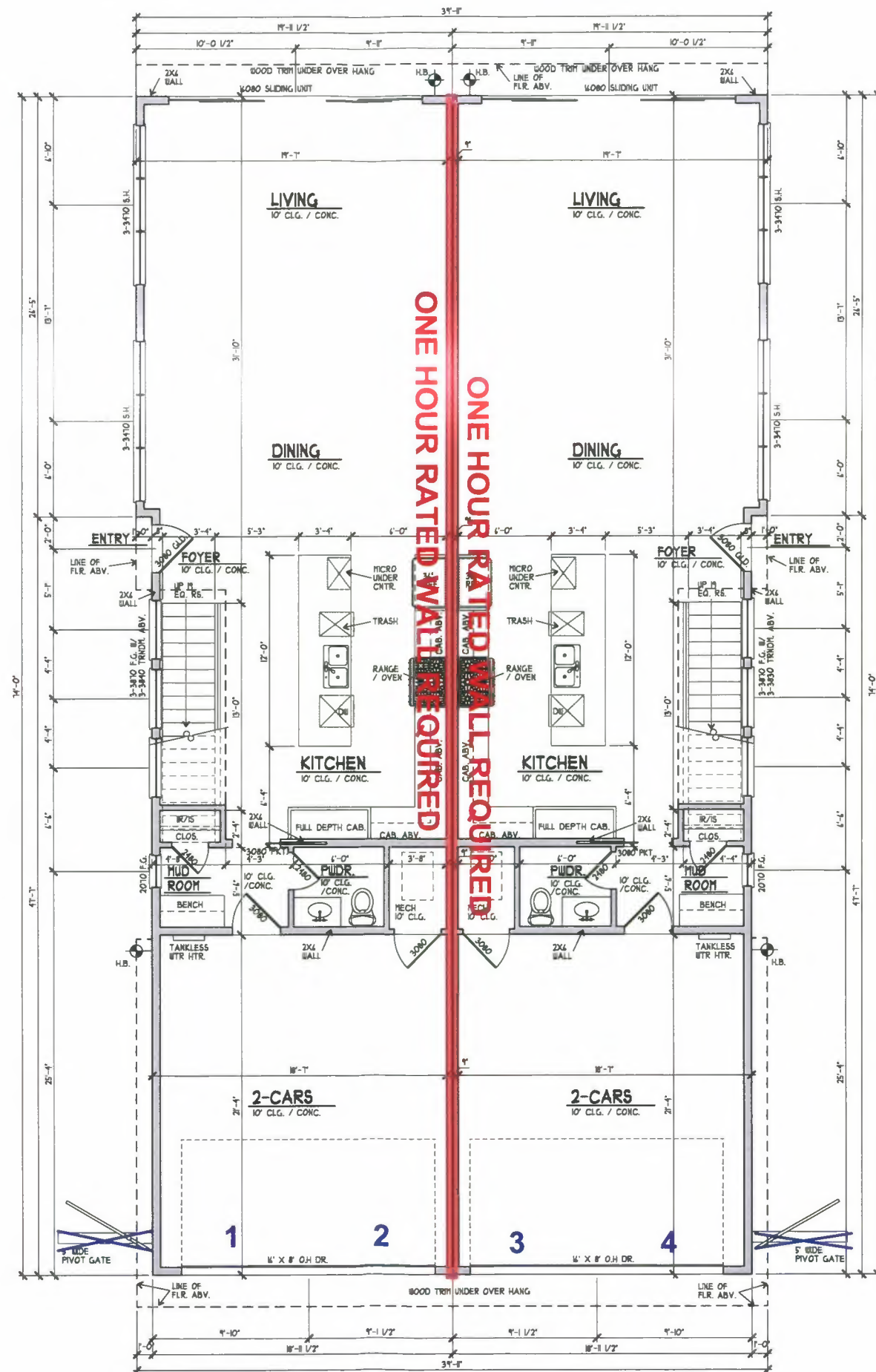
912-492-4384

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Ramon Design Homes, Inc.

BDA234-101

SUBJECT TO FIELD INSPECTOR'S APPROVAL



6801 TYREE STREET

AREAS	SQ. FT.
LOWER LEVEL	411
UPPER LEVEL	145
TOTAL (A.C.)	240
AUTOS	401
MECHANICAL	54
TOTAL COVERED	283

6803 TYREE STREET

AREAS	SQ. FT.
LOWER LEVEL	411
UPPER LEVEL	145
TOTAL (A.C.)	240
AUTOS	401
MECHANICAL	54
TOTAL COVERED	283

NOTE:
2 x 4 STUDS • ALL EXTERIOR AND PLUMBING WALLS TYP.

LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

BDA234-101


 SHEET NO. 2
 APPROVE
 Building Inspector
 12/2022

OF 1

221014

10-13-22

REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
 DALLAS, TEXAS

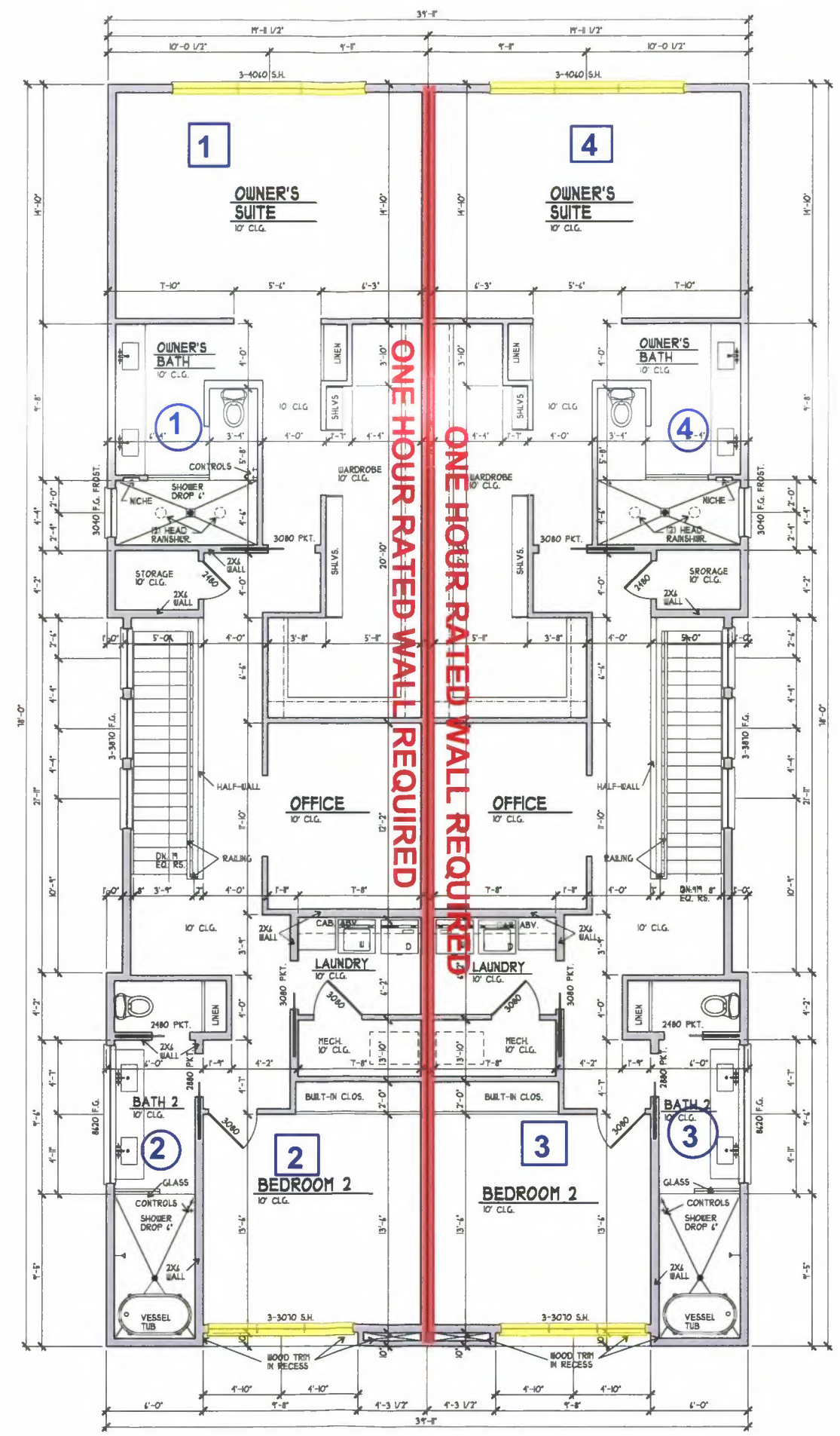

 ROSSON
 DESIGNER
 HOMES, INC.

912-492-4384

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 Rosson Designer Homes, Inc.

SUBJECT TO FIELD INSPECTOR'S APPROVAL



NOTE:
2 x 4 STUDS * ALL EXTERIOR
A/C AND PLUMBING WALLS TYP.

UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

BDA234-101

SHEET 3
City of Dallas
APPROVE
Building Inspection
12/22/22

OF 1
221014
10-13-22
REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER
L.L.P.

912-492-4384

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SHEET NO. 5
 APPROVE
 Building Inspection
 13/2022
 OF 1

221074

10-13-22

REVISIONS

A DUPLEX FOR
 6801 & 6803 TYREE STREET
 DALLAS, TEXAS

ROSSON
 DESIGNER
ROSSON DESIGNER

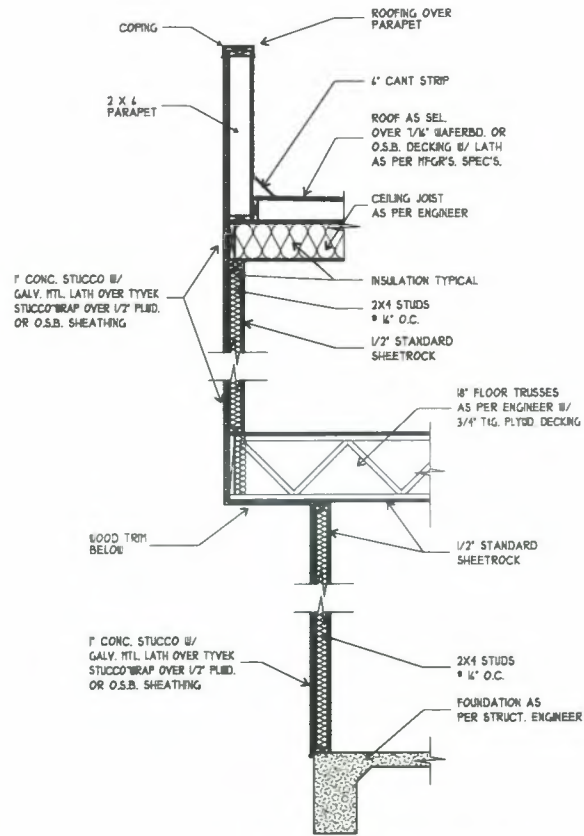
912-492-4384

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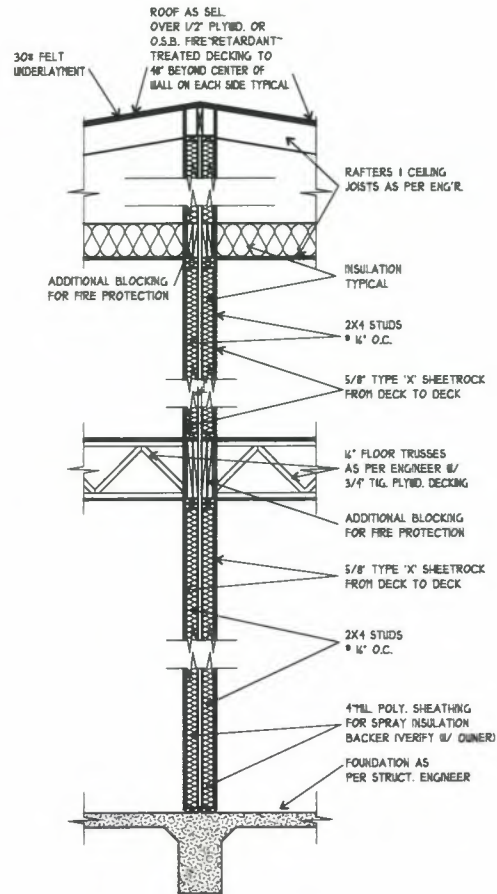
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26' 6" GRADE TO TOP
 36' MAX HEIGHT

SUBJECT TO FIELD INSPECTOR'S
 APPROVAL

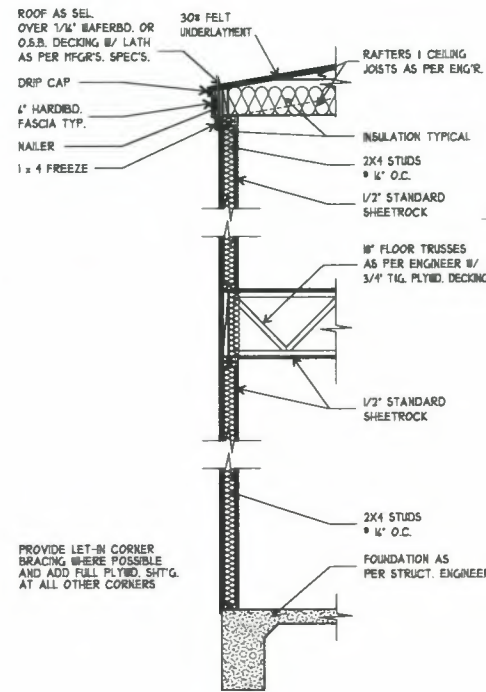


EXTERIOR WALL SECTION 'A'
 SCALE: 1/2" = 1'-0"



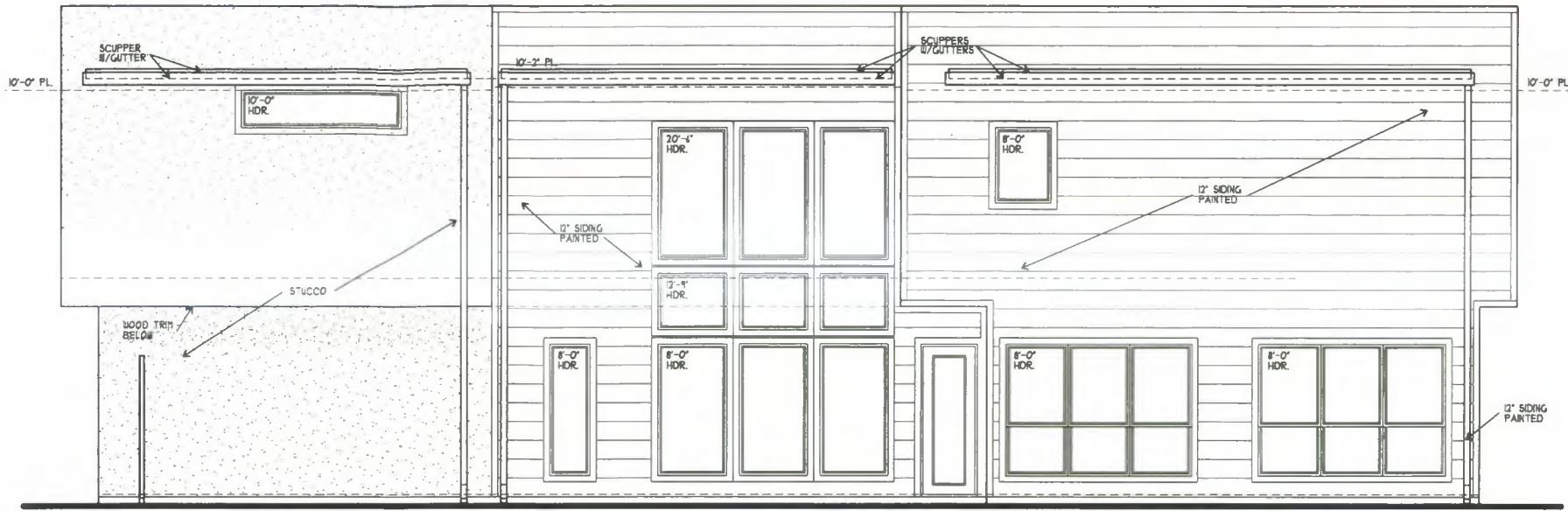
PARTY WALL SECTION
 SCALE: 1/2" = 1'-0"

DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING WHERE TESTED IN ACCORDANCE WITH ASTM E119 OR UL207.

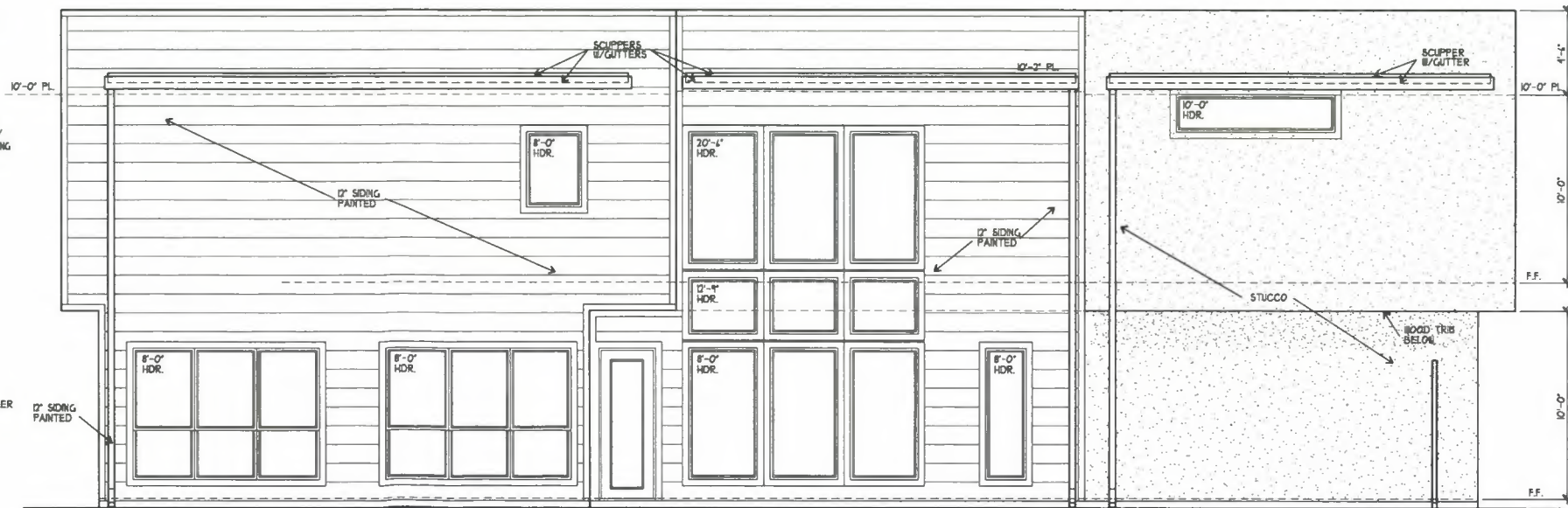


EXTERIOR WALL SECTION 'B'
 SCALE: 1/2" = 1'-0"

PROVIDE LET-IN CORNER BRACING WHERE POSSIBLE AND ADD FULL PLYD. SHTG. AT ALL OTHER CORNERS



RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

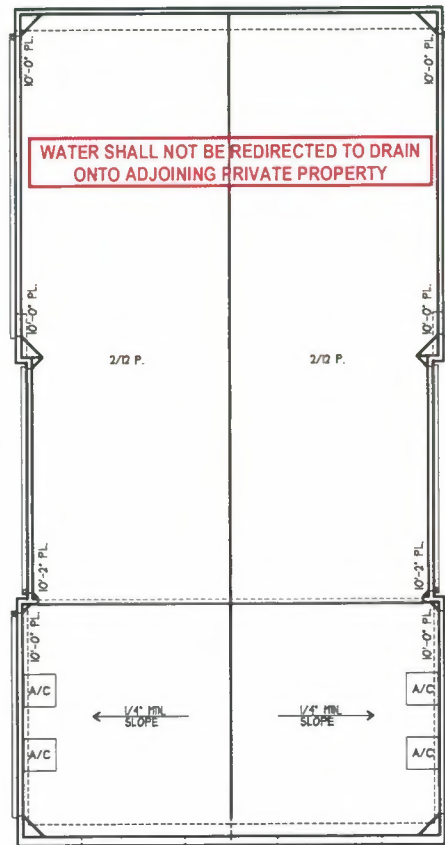


LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

BDA234-101

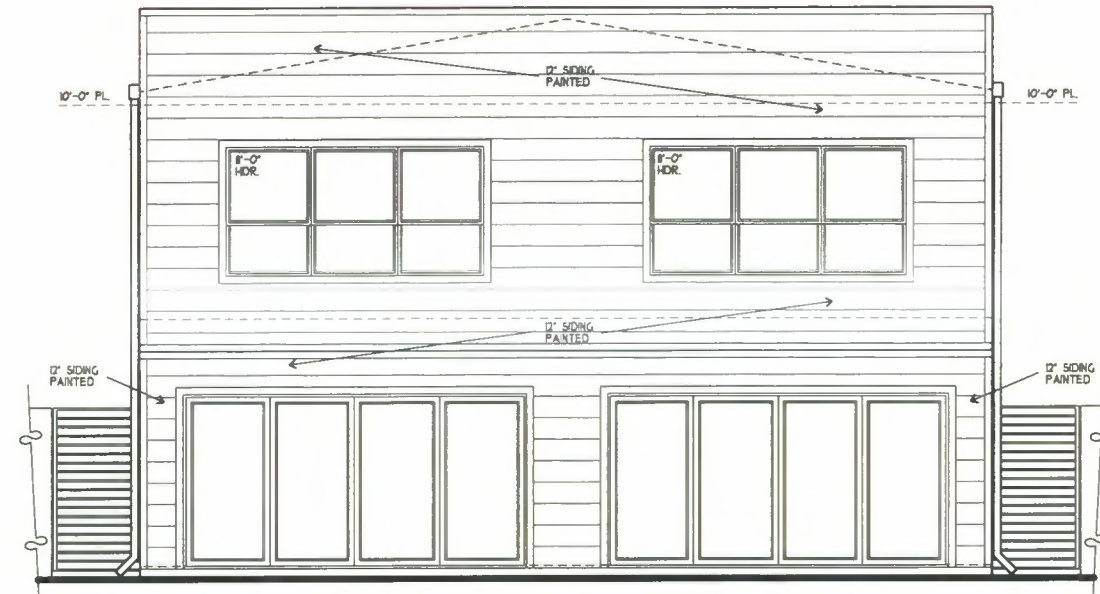
**26' 6" GRADE TO TOP
36' MAX HEIGHT**

**SUBJECT TO FIELD INSPECTOR'S
APPROVAL**

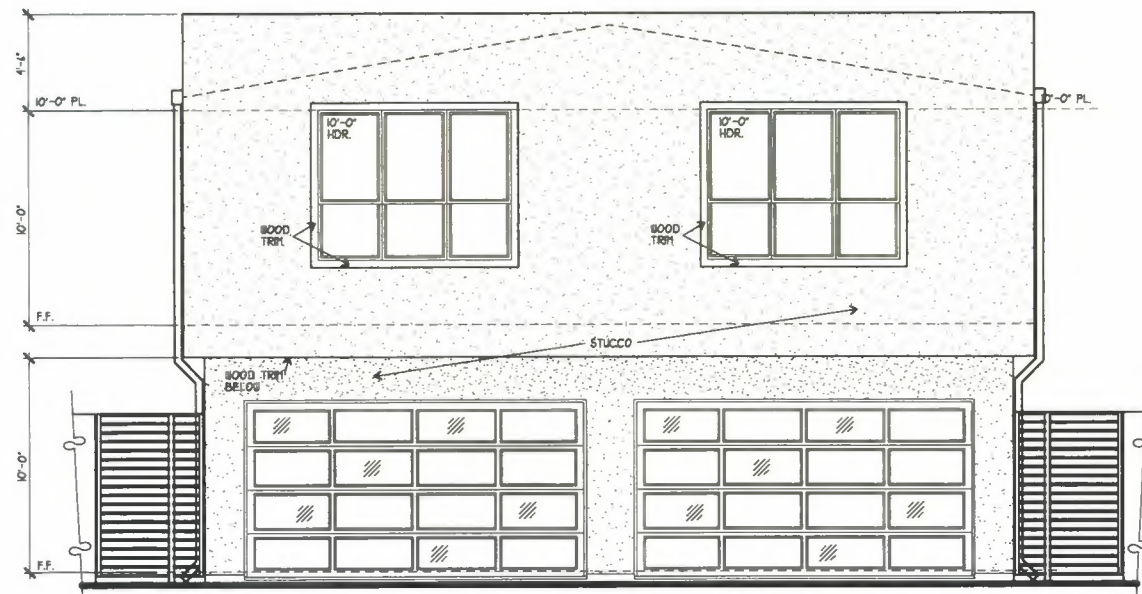


ROOF PLAN
SCALE: 1/8"=1'-0"

**WATER SHALL NOT BE REDIRECTED TO DRAIN
ONTO ADJOINING PRIVATE PROPERTY**



REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

City of Dallas
APPROVED
Building Inspection
10/13/22

OF 1

221014

10-13-22

REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER
L.L.P.

912-492-4384

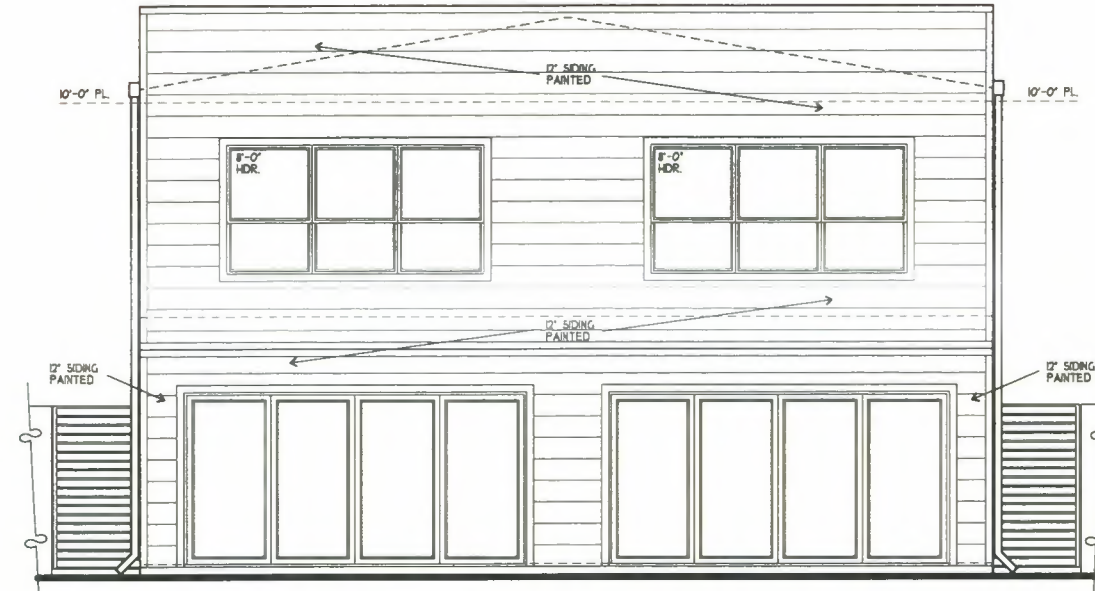
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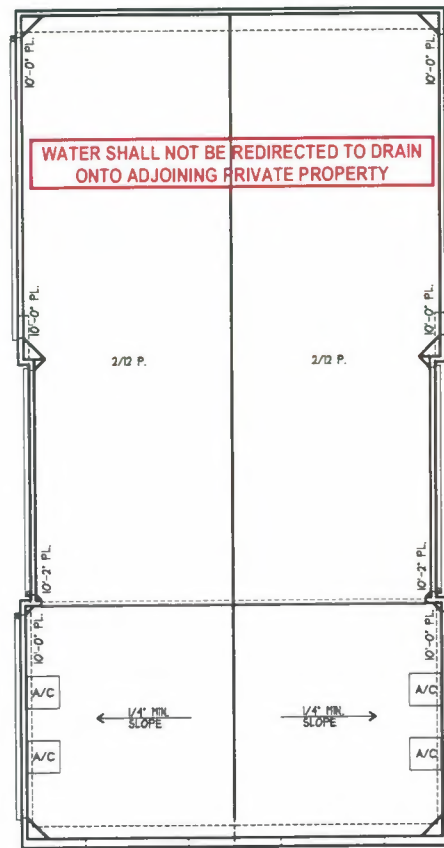
BDA234-101

26' 6" GRADE TO TOP
36' MAX HEIGHT

SUBJECT TO FIELD INSPECTOR'S
APPROVAL

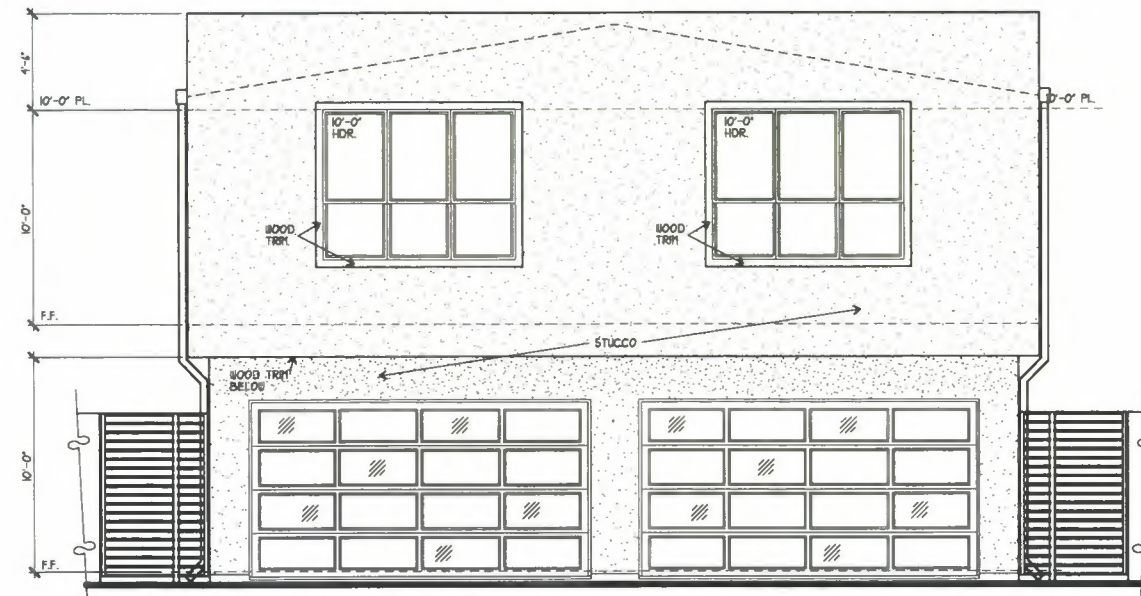


REAR ELEVATION
SCALE: 1/4"=1'-0"



WATER SHALL NOT BE REDIRECTED TO DRAIN
ONTO ADJOINING PRIVATE PROPERTY

ROOF PLAN
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER
CORP., LLC

912-492-4384

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