



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

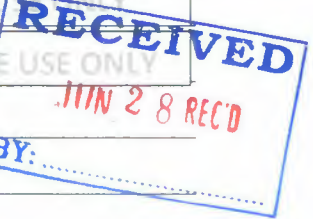
Case No.: BDA

234-102

Data Relative to Subject Property: \_\_\_\_\_

Date: \_\_\_\_\_

FOR OFFICE USE ONLY



Location address: 5311 Edlen Drive

Zoning District: R-1AC(A)

Lot No.: 6 Block No.: 1/5602 Acreage: 1 Census Tract: 48113020600

Street Frontage (in Feet): 1) 177.45 2) 250 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment:

Thomas M. Mercer, Jr. and Janice L. Mercer

Owner of Property (per Warranty Deed): \_\_\_\_\_

Applicant: Jennifer Hiromoto

Telephone: 469-275-2414

Mailing Address: PO Box 38586, Dallas TX

Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Represented by: Jennifer Hiromoto

Telephone: 469-275-2414

Mailing Address: PO Box 38586, Dallas TX

Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Affirm that an appeal has been made for a Variance  or Special Exception  of fence height regulations to allow a 7' fence in a required front yard.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:  
The proposed fence (6' wrought iron with 7' masonry columns) will not adversely affect surrounding properties as many other properties in the surrounding area already have fences taller than 4'.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

Before me the undersigned on this day personally appeared Jennifer Hiromoto

(Affiant/Applicant's name printed)

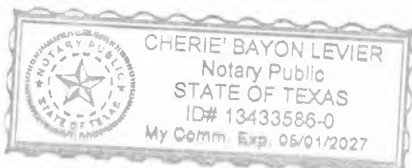
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted

Jennifer Hiromoto  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 28 day of June, 2024

Cherie Bayon Levier  
Notary Public in and for Dallas County, Texas





AFFIDAVIT

Appeal number: BDA 234-102

I, Thomas M. Mercer, Jr., Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 5311 Edlen Drive  
(Address of property as stated on application)

Authorize: Jennifer Hiromoto  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Fence height

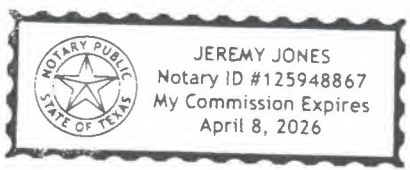
Thomas M Mercer Jr T M Mercer Jr  
 Print name of property owner or registered agent      Signature of property owner or registered agent

Date 4/8/26 @ 6/6/24

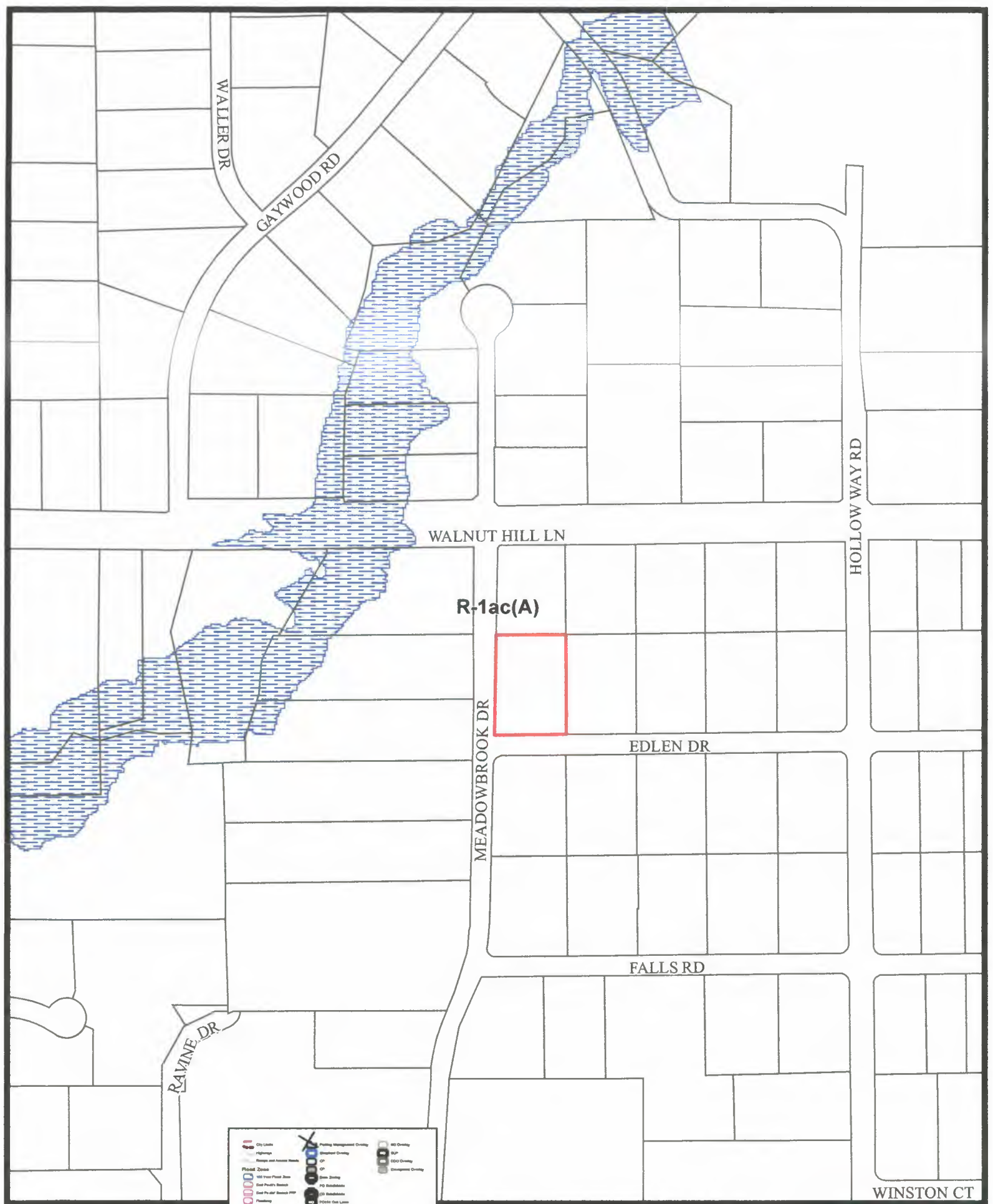
Before me, the undersigned, on this day personally appeared Thomas M Mercer Jr

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 8th day of June, 2024



[Signature]  
 Notary Public for Dallas County, Texas  
 Commission expires on 4/8/26



R-1ac(A)

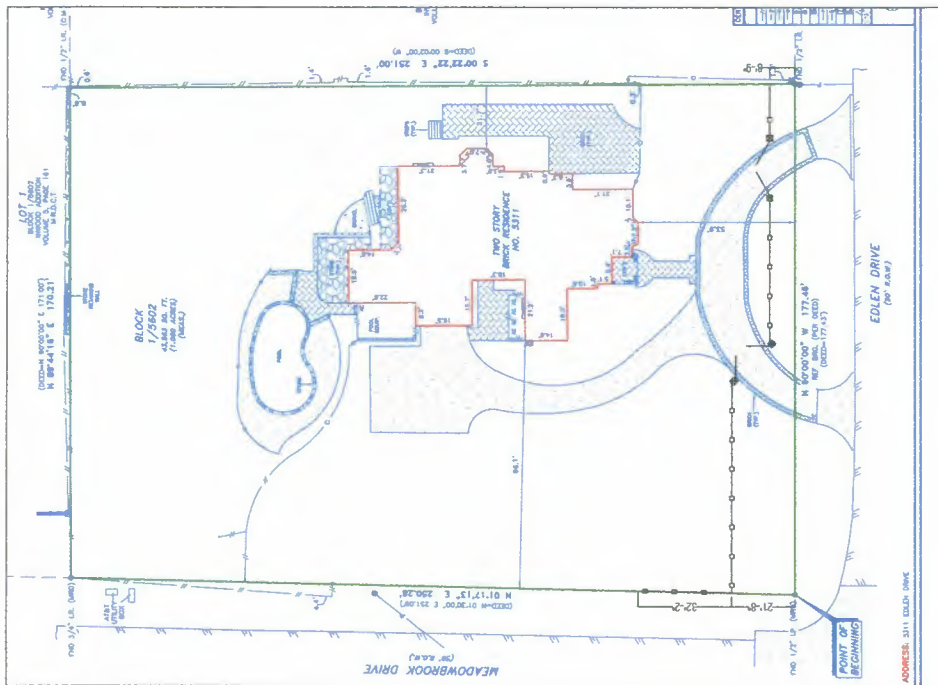


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Case ID: **PDA-23A-102**  
 Printed: 6/3/2024



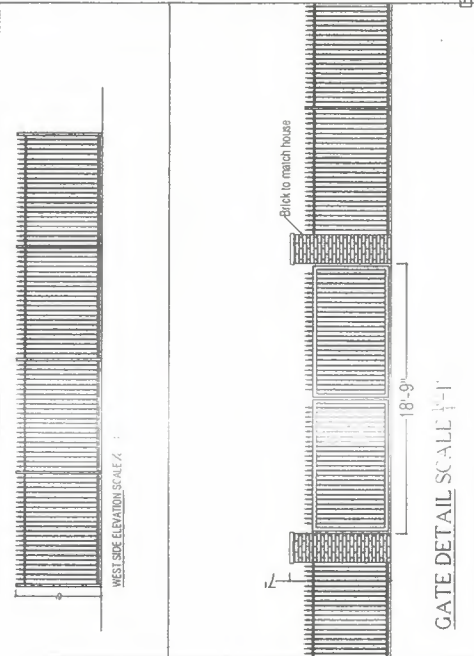
SITE PLAN SCALE 1:20



Southwest  
Fence & Deck, Inc.  
www.southwestfence.com  
1422 Clark Rd.  
Dallas, Texas 75216  
972-264-7100

DATE 05.14.24

CLIENT: MERCER RESIDENCE  
5311 EDLEN DR  
DALLAS, TX 75220



DA234-102