



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

RECEIVED
FOR OFFICE USE ONLY
234-118

Case No.: BDA

AUG 26 2024

Data Relative to Subject Property:

Location address: 4326 LIVELY LN. DALLAS TX

Date:

Zoning District: RDA RESIDENCE BY APPEAL

Lot No.: 09 Block No.: 615449 Acreage: 0.057

Census Tract:

Street Frontage (in Feet): 1) 129' 2) 3) 4) 5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): MATHEW & KAREN MILLS

Applicant: LARRY KLUMS HOFFER PALATIAL PROPERTIES L.L.C. Telephone: 214-906-5673

Mailing Address: 3930 GASPARD DRIVE, DALLAS TX Zip Code: 75220

E-mail Address: LK 6438 2 AOL.COM

Represented by: LARRY KLUMS HOFFER Telephone: 214 906-5673

Mailing Address: 3930 GASPARD DR. DALLAS TX Zip Code: 75220

E-mail Address: LK 6438 2 AOL.COM

Affirm that an appeal has been made for a Variance, or Special Exception of SECOND ELECTRIC METER

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

2ND. METER REQUIRED FOR HVAC SERVICE TO NEW STRUCTURE. ORIGINAL HOME METER IS 200 AMP. NOT ABLE TO SERVICE

NEW STRUCTURE REQUESTED AMPERAGE Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

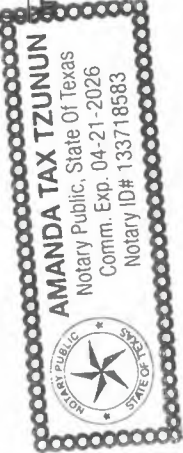
Before me the undersigned on this day personally appeared LARRY KLUMS HOFFER (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/principal/or authorized representative of the subject property

Respectfully submitted: *Larry Klums Hoffer* (Affiant/Applicant's signature)

Subscribed and sworn to before me this 23 day of August, 2024

AMANDA TAX TZUNUN Notary Public in and for Dallas County, Texas





CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 204-118

I, MATTHEW S. MILLS AND/OR KAREN MILLS, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4336 LIVELY LANE, DALLAS, TEXAS 75220
(Address of property as stated on application)

Authorize: PALATIAL PROPERTIES LLC (LARRY KLINGHOFFER)
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

 Variance (specify below)

X Special Exception (specify below)

 Other Appeal (specify below)

Specify: 2ND. ELECTRIC METER FOR

OWNER WORKOUT/CABANA STRUCTURE

MATTHEW S. MILLS AND/OR KAREN MILLS Karen Mills

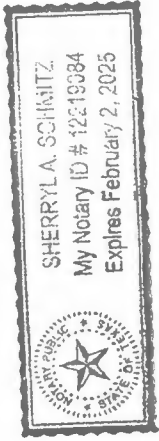
Print name of property owner or registered agent Signature of property owner or registered

agent Date 08-02-24

Before me, the undersigned, on this day personally appeared Karen Mills

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this August 2 day of August, 2024



[Signature]
Notary Public for Dallas County,
Texas

Commission expires on 2/2/25

dx SITE Zoning Maps



Legend

- City Limits
- Highways
- Ramps and Access Roads
- Flood Zone**
 - 100 Year Flood Zone
 - East Peak's Branch
 - East Peak's Branch PFP
 - Floodway
 - ME Creek
 - ME Creek PFP
 - Peak's Branch
 - Peak's Branch PFP
 - X Protected by Levee
 - Peaks
 - Height Map Overlay
- Willing Management Overlay
- Spotfront Overlay
- Base Zoning
 - PD 193 Oak Lawn
 - Dallas Environmental Corridor
 - DDO Overlay
 - Deed Restrictions
 - SUP
 - D
 - D-1
 - CP
 - SP
- MD Overlay
- Historic Subdistricts
- Historic Overlay
- CD Subdistricts
- PD Subdistricts
- POS Subdistricts
- NSO Subdistricts
- NSO_Overlay
- Escarpment Overlay



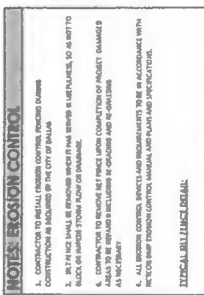
1:2,400

Case ID:
Printed: 8/5/2024

Site plan

NOTES: EROSION CONTROL

- CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING OPERATIONS.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.



NOTES: SITE DRAINAGE

- CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATION OR FILLING OPERATIONS.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.
- CONTRACTOR SHALL MAINTAIN PERMEABLE FILTER FABRIC OVER ALL EXCAVATIONS AND TRENCHES TO PREVENT SOIL EROSION AND SILTATION.

SMITH

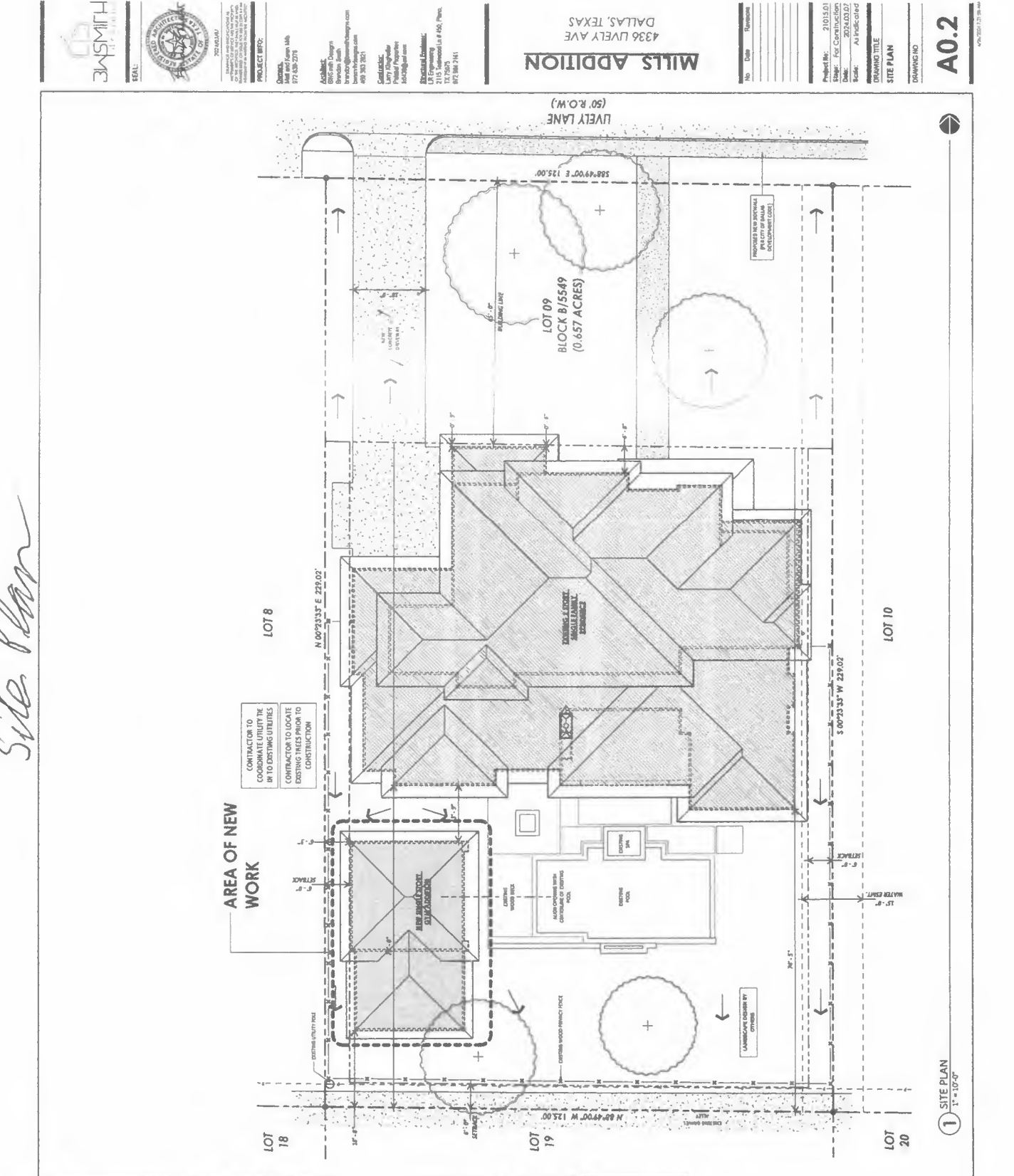
PROFESSIONAL SEAL

Project No.: 21013181
 Date: 12/20/2024
 Scale: AS SHOWN
 Drawing Title: SITE PLAN

MILLS ADDITION
 4336 LVELY AVE
 DALLAS, TEXAS

No.	Date	Revision

A0.2



1 SITE PLAN
 1" = 10'-0"

Floor Plan

NOTES FLOOR PLAN

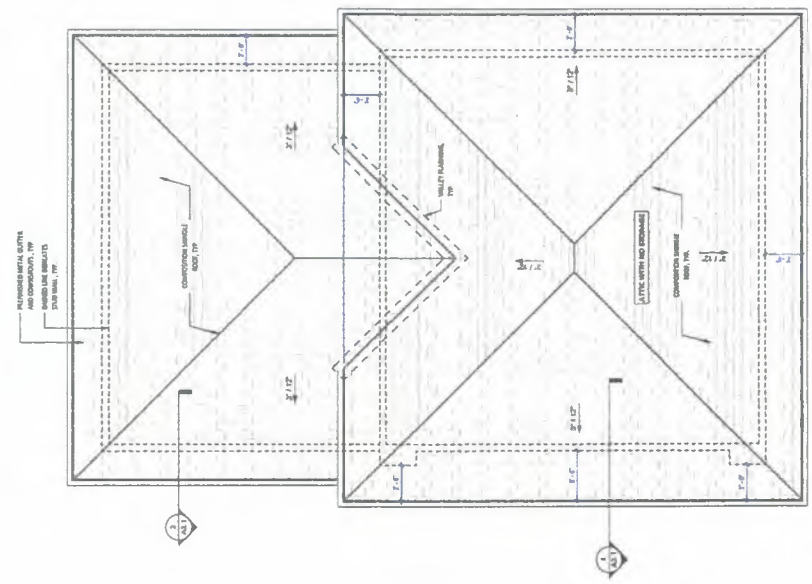
1. REVIEW EXISTING AND MAKE ANY NECESSARY CHANGES TO THE EXISTING CONSTRUCTION. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
2. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER AND/OR CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. ALL MATERIALS AND WORKMANSHIP PROVIDED BY THE CONTRACTOR OF THIS PROJECT ARE TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL AUTHORITIES.
4. ALL MATERIALS AND WORKMANSHIP PROVIDED BY THE CONTRACTOR OF THIS PROJECT ARE TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL AUTHORITIES.
5. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.

NOTES: AREAS

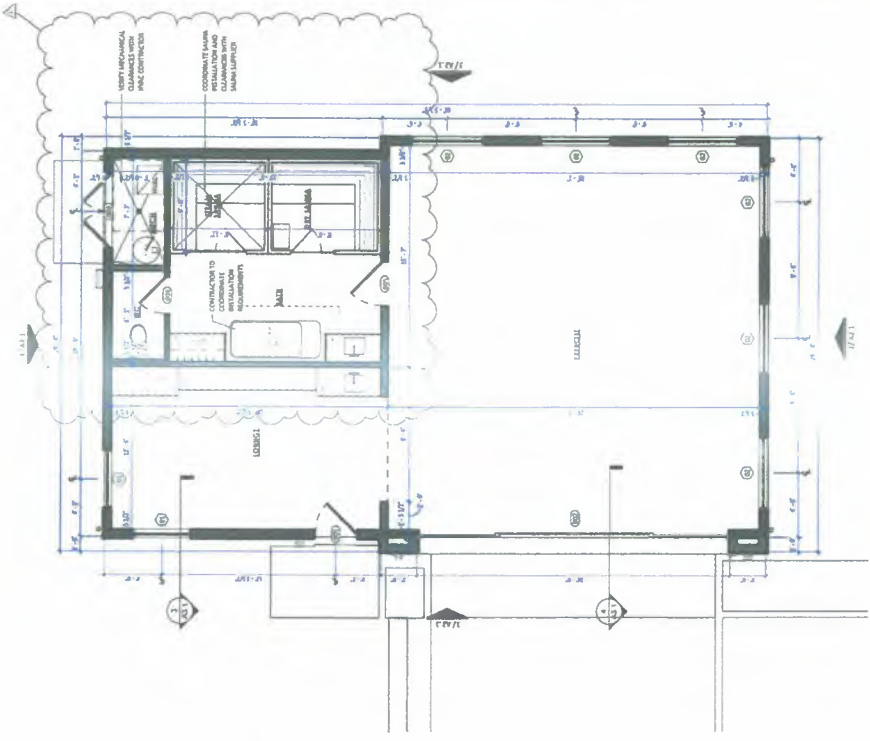
TOTAL CONDITIONED SPACE:	1,230 SF
MECH / STORAGE:	30 SF
COVERED PORCH:	0 SF
TOTAL AREA UNDER ROOF:	1,260 SF

NOTES ROOF PLAN

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES AND REGULATIONS. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO BE CALLED. ALL DIMENSIONS ARE TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.



2 ROOF PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"



PROJECT INFO:
 2024/02/27
 PROJECT NO: 24-001
 PROJECT NAME: MILLS ADDITION
 PROJECT ADDRESS: 4336 LIVELY AVE, DALLAS, TX 75245
 PROJECT OWNER: [REDACTED]
 PROJECT ARCHITECT: BSMITH ARCHITECTS
 PROJECT ENGINEER: [REDACTED]

MILLS ADDITION
 4336 LIVELY AVE
 DALLAS, TEXAS

No.	Date	Revised
1	02/27/24	ISSUED FOR PERMITS

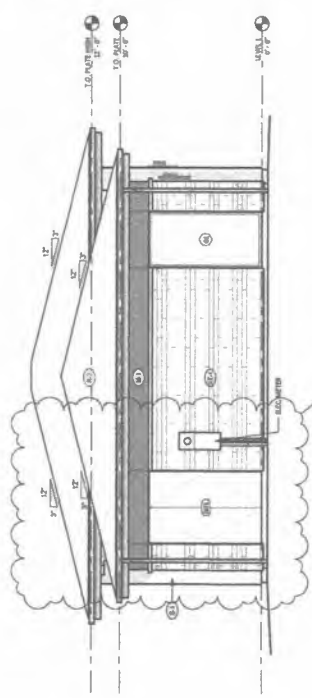
Project No: 24-001
 Date: 02/27/24
 Drawing Title: MILLS ADDITION
 Drawing Scale: AS SHOWN

A1.1
 FLOOR / ROOF
 PLANS
 DRAWING NO.

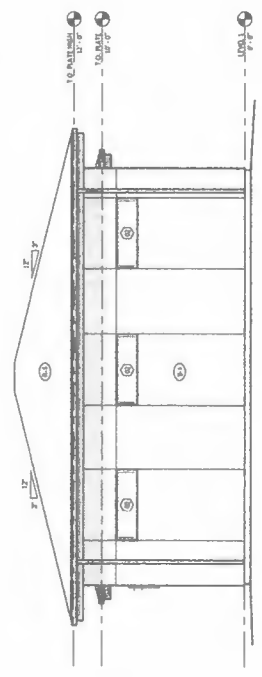
02/27/24 11:29 AM

Elevations

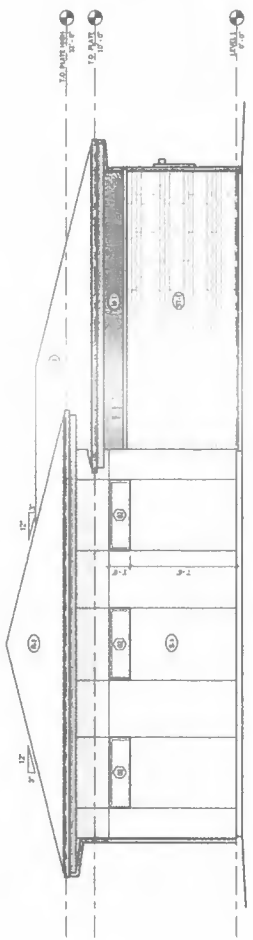
EXTERIOR FINISH LEGEND	
TYPE	NOTES
1	ALL EXTERIOR FINISHES SHALL BE PERMITTED TO VARY IN COLOR.
2	STONE VENEER FINISH TO VARY IN COLOR.
3	PAINT SHALL BE APPLIED TO ALL EXTERIOR SURFACES TO VARY IN COLOR.
4	CONCRETE SHALL BE FINISHED TO VARY IN COLOR.



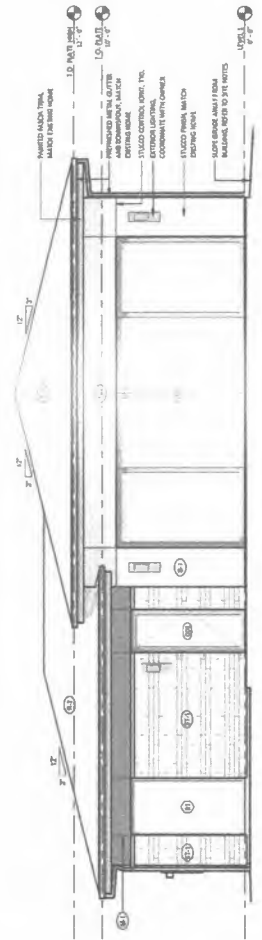
4 SOUTH ELEVATION - ADDITION
3/4" = 1'-0"



2 NORTH ELEVATION - ADDITION
3/4" = 1'-0"



3 EAST ELEVATION - ADDITION
3/4" = 1'-0"



1 WEST ELEVATION - ADDITION
3/4" = 1'-0"

SMITH
ARCHITECTS

2024.03.07

PROJECT INFO:

PROJECT: Mills and Kaven Mills
17733-2278

ARCHITECT: Smith Architects
17733-2278
smitharchitects.com

CONTRACTOR: Lamy Construction
17733-2278
lamyconstruction.com

DATE OF ELEVATION: 2/15/2024
BY: J. Smith
SCALE: AS SHOWN

MILLS ADDITION
4336 LIVELY AVE
DALLAS, TEXAS

NO. 000
DATE: 2/15/2024
PROJECT: MILLS ADDITION

PROJECT NO.: 21019.01
DATE: 2024.03.07
SCALE: AS INDICATED

DRAWING TITLE:
EXTERIOR ELEVATIONS
DRAWING NO.

A2.1