



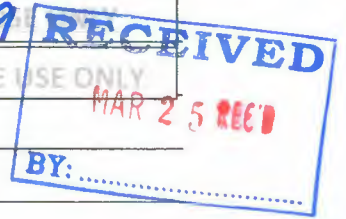
Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-119



Data Relative to Subject Property: _____

Date: _____

Location address: 1255 Annex

Zoning District: MF-2(A)

Lot No.: 10 Block No.: 2/735

Acreage: .21

Census Tract: _____

Street Frontage (in Feet): 1) 63 2) 145 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Orca International

Applicant: Dani Golan

Telephone: 214.505.4400

Mailing Address: 6750 Hillcrest Plaza Suite 200 Dallas

Zip Code: 75230

E-mail Address: Dani@DGM-Builders.com

Represented by: Dani Golan

Telephone: 214.505.4400

Mailing Address: 6750 Hillcrest Plaza Suite 200 Dallas

Zip Code: 75230

E-mail Address: Dani@DGM-Builders.com

Affirm that an appeal has been made for a Variance __, or Special Exception __, of requesting a variance of 4'11" to front yard along Annex, Proposing set back at 20'1"

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The variance is requested to develop this parcel of land similarly to other parcels of land with the same zoning. Given the lots restrictive shape, we encounter two setbacks at Side & Front, that are more restrictive than other lots with the same zoning.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Dani Golan

(Affiant/Applicant's name printed)

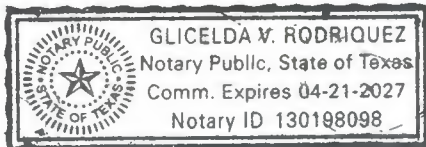
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: _____

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 21st day of March, 2025

Glicelda Rodriguez
Notary Public in and for Dallas County, Texas





Appeal number: BDA 234-119

I, Amal Alsubki / Orca International, LLC, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 1255 Annex
(Address of property as stated on application)

Authorize: DGM Builders / Dani Golan
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

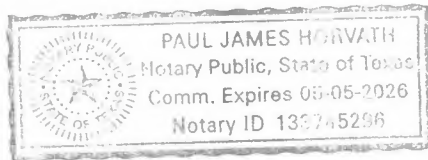
Specify: Requesting a variance of 4'11" to the front yard set back along Annex,
proposing the setback to be at 20'1".

Amal Alsubki
Print name of property owner or registered agent
agent Date _____

[Signature]
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared
Amal Alsubki

Who on his/her oath certifies that the above statements are true and correct to his/her best
knowledge. Subscribed and sworn to before me this 21 day of
March, 2025



[Signature]
Notary Public for Dallas County,
Texas

Commission expires on
05/05/2026



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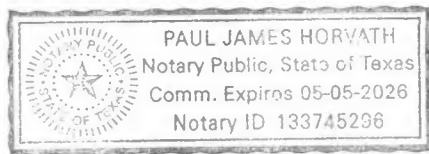
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[Signature]
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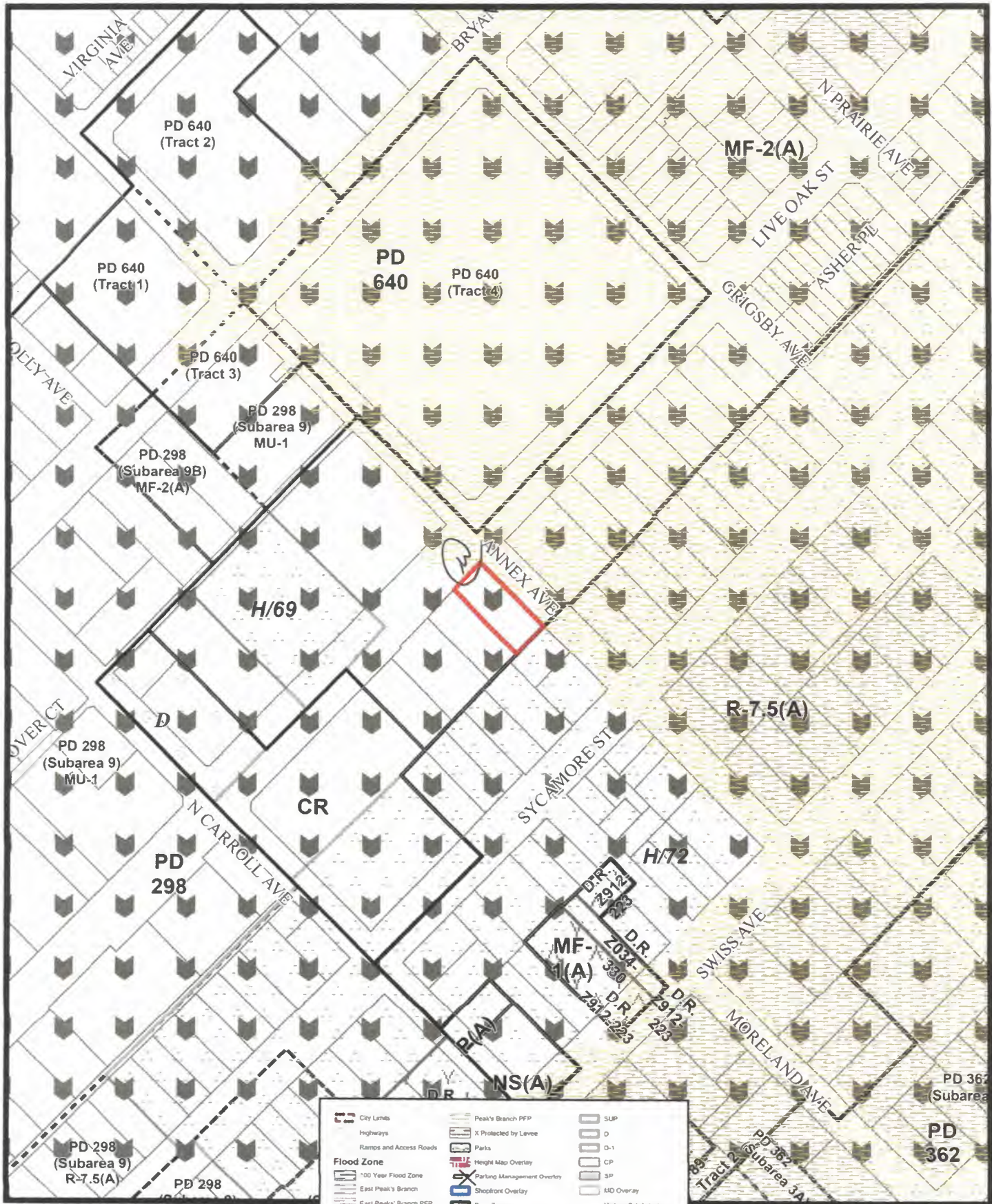
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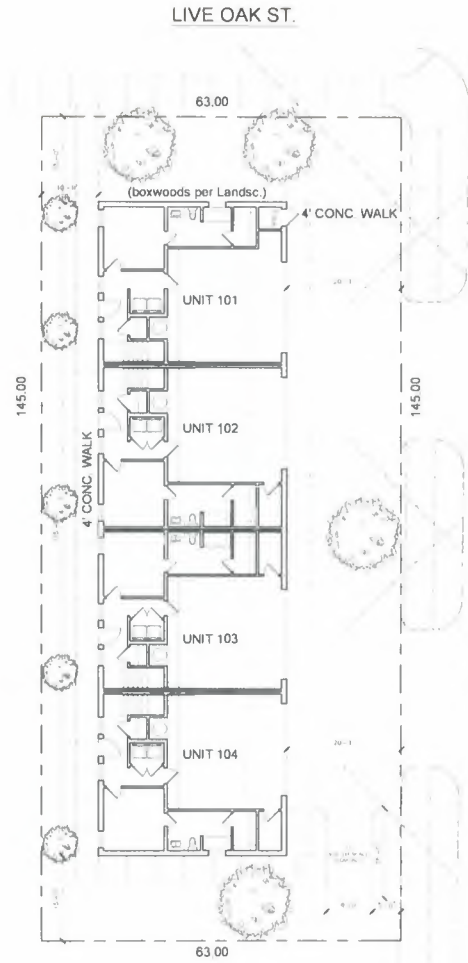
Commission expires on
05/05/2026



1:2,400

	City Limits		Peak's Branch PFP		SUP
	Highways		X Protected by Levee		D
	Ramps and Access Roads		Parks		D-1
	Flood Zone		Height Map Overlay		CP
	100 Year Flood Zone		Parking Management Overlay		SP
	East Peak's Branch		Shopfront Overlay		MD Overlay
	East Peak's Branch PFP		Base Zoning		Historic Subdistricts
	Floodway		PD193 Oak Lawn		Historic Overlay
	Mill Creek		Dallas Environmental Corridors		CD Subdistricts
	Mill Creek PFP		DDD Overlay		PD Subdistricts
	Peak's Branch		Deed Restrictions		PDS Subdistricts
					NSO Subdistricts

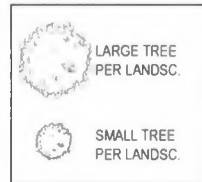
Case ID: **BDA234-119**
 Printed: 8/2/2024



NOTE:
 REFER TO CIVIL ENGINEERING
 AND LANDSCAPE PLANS
 FOR ADDITIONAL
 INFORMATION

DENSITY:
 949 X 4 = 3,796 (FOOTPRINT)
 3,796 / 9,135 = 0.4155
 = 41.55% COVERAGE

PARKING:
 4 X 2 BR UNITS
 = 4 X 2 = 8
 SPACES REQUIRED:
 8 SPACES PROVIDED.
 VISITOR PARKING:
 4 UNITS X 0.25 = 1.0 SPACES
 REQUIRED.
 1 VISITOR SPACE PROVIDED.



Site Plan
 01 ————— 1" = 10' ————— PLAN NORTH

972.363.6155
www.triunearchitecture.com

TRIUNE
ARCHITECTURE

Townhouse
Development
4537 Live Oak St
Dallas, TX

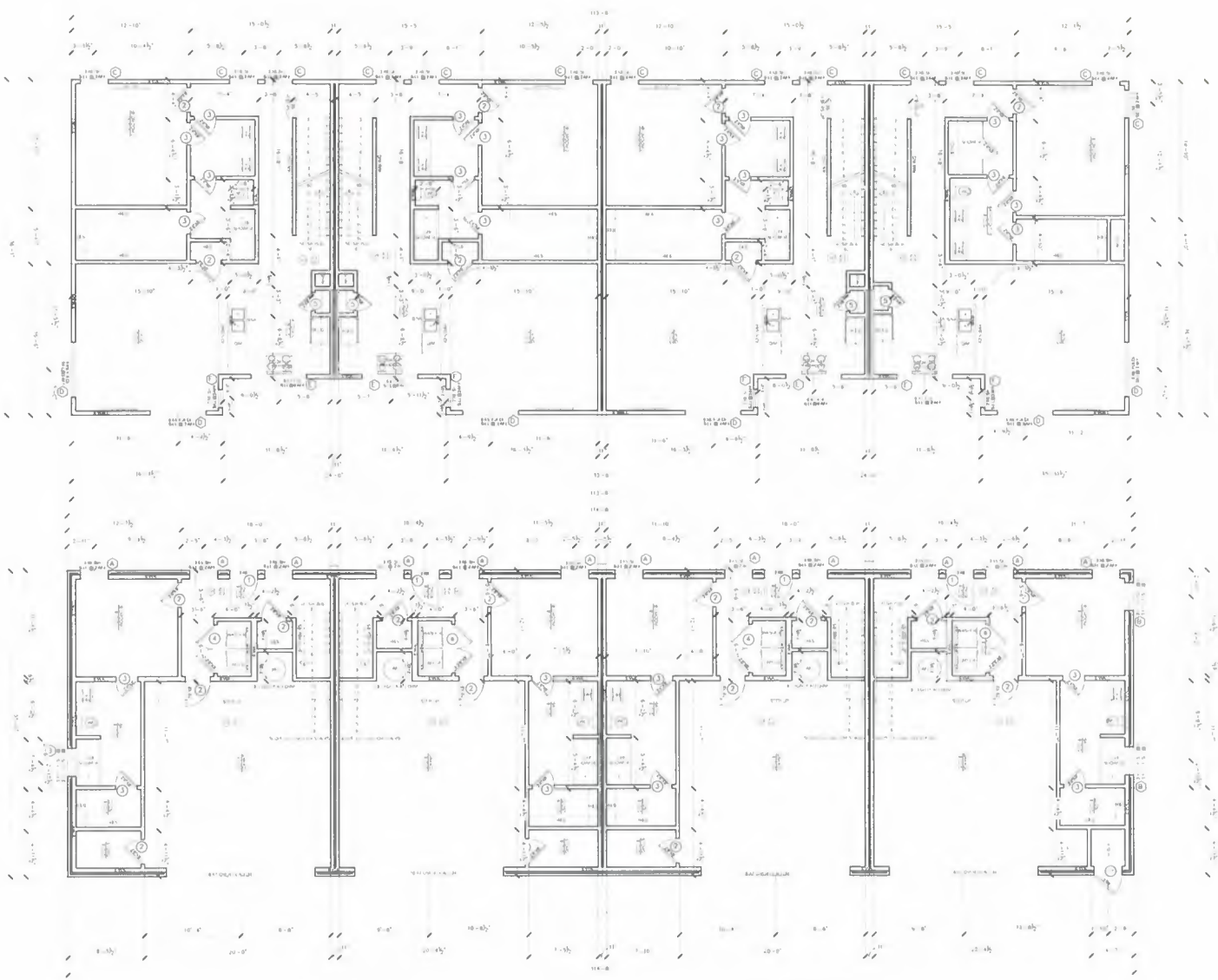
M.K.G.
REGISTERED ARCHITECT
STATE OF TEXAS
06/27/2024

Project # 2405

SITE
PLAN

A0.1

BOA234-19



DOOR SCHEDULE				
MARK	QTY	SIZE	TYPE	
1	5	3'x8'	EXT ENTRY	
2	30	2'4"x8'	INT HC	
3	24	2'4"x8'	INT HC	
4	4	2'2"x8'	INT HC	
5	4	2'4"x8'	INT HC	
6	1	2'3"x8'	EXT ENTRY	
7	1	2'4"x8'	PKT DR HC	

WINDOW SCHEDULE				
MARK	QTY	SIZE	TYPE	
A	12	3'x5'	SH	
B	10	3'x1'	FIX	
C	14	3'x8'	SH	
D	8	8'x5'	FIX DL	
E	7	8'x1'	FIX	
F	4	2'x8'	SH	
O	1	5'8'x8'	FIX TRANSOM	

ENERGY:
 ALL GLAZING IN WINDOWS AND DOORS TO HAVE A MIN U-FACTOR OF 0.32 OR BETTER AND A MIN SHGC OF 0.25 OR BETTER

FLOOR PLAN NOTES:

- 1 ALL EXTERIOR WALLS ARE TO RECEIVE MIN R19 INSULATION. (WITH EXCEPTION OF EXTR GARAGE WALLS)
- 2 ALL INTERIOR STUDS ARE 2X4 UNLESS NOTED OTHERWISE HEREIN OR IN STRUCTURAL FRAMING DRAWINGS
- 3 ALL GLAZING TO HAVE A MIN U-FACTOR OF 0.32 OR BETTER AND A MIN SHGC OF 0.25 OR BETTER.
- 4 REFER TO STRUCTURAL FRAMING PLANS FOR FRAMING DETAILS
- 5 ALL FLOOR CAVITIES ABOVE UNCONDITIONED SPACE (E.G. ABOVE GARAGE) TO RECEIVE MIN R38 INSULATION.

UNIT 101	UNIT 101	UNIT 101
LEVEL 1	LEVEL 2	LEVEL 3
321 SQ FT AC	873 SQ FT AC	881 SQ FT AC
428 SQ FT GARAGE	973 SQ FT TOTAL	283 TERRACE
849 SQ FT TOTAL		973 SQ FT TOTAL

UNIT 102	UNIT 102	UNIT 102
LEVEL 1	LEVEL 2	LEVEL 3
321 SQ FT AC	888 SQ FT AC	748 SQ FT AC
428 SQ FT GARAGE	988 SQ FT TOTAL	143 TERRACE
849 SQ FT TOTAL		891 SQ FT TOTAL

UNIT 103	UNIT 103	UNIT 103
LEVEL 1	LEVEL 2	LEVEL 3
321 SQ FT AC	888 SQ FT AC	748 SQ FT AC
428 SQ FT GARAGE	988 SQ FT TOTAL	143 TERRACE
849 SQ FT TOTAL		891 SQ FT TOTAL

UNIT 104	UNIT 104	UNIT 104
LEVEL 1	LEVEL 2	LEVEL 3
321 SQ FT AC	873 SQ FT AC	748 SQ FT AC
428 SQ FT GARAGE	973 SQ FT TOTAL	277 TERRACE
849 SQ FT TOTAL		975 SQ FT TOTAL

Ⓞ C/O DETEC.
 Ⓞ SMOKE DETEC.

NOTE:
 C.O. DETECTORS REQUIRED PER IBC/IBC 2021 SEC 915

Floor Plans
 01 3/16" = 1'-0" PLAN NORTH

972-363-6155
 www.trijunearchitecture.com

TRIJUNE
 ARCHITECTURE

Townhouse Development
 4537 Live Oak St
 Dallas, TX

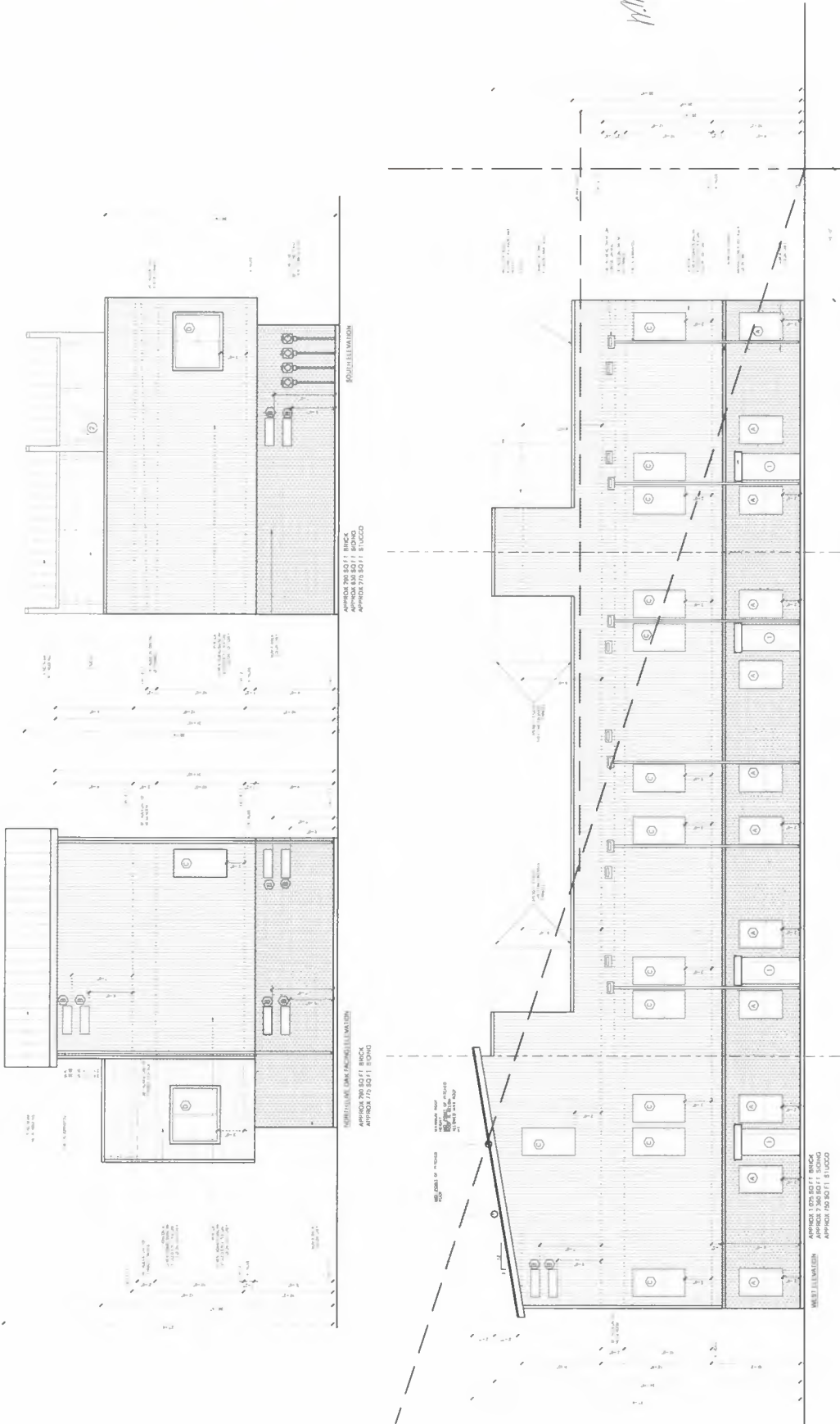


Project # 2405

FLOOR PLAN

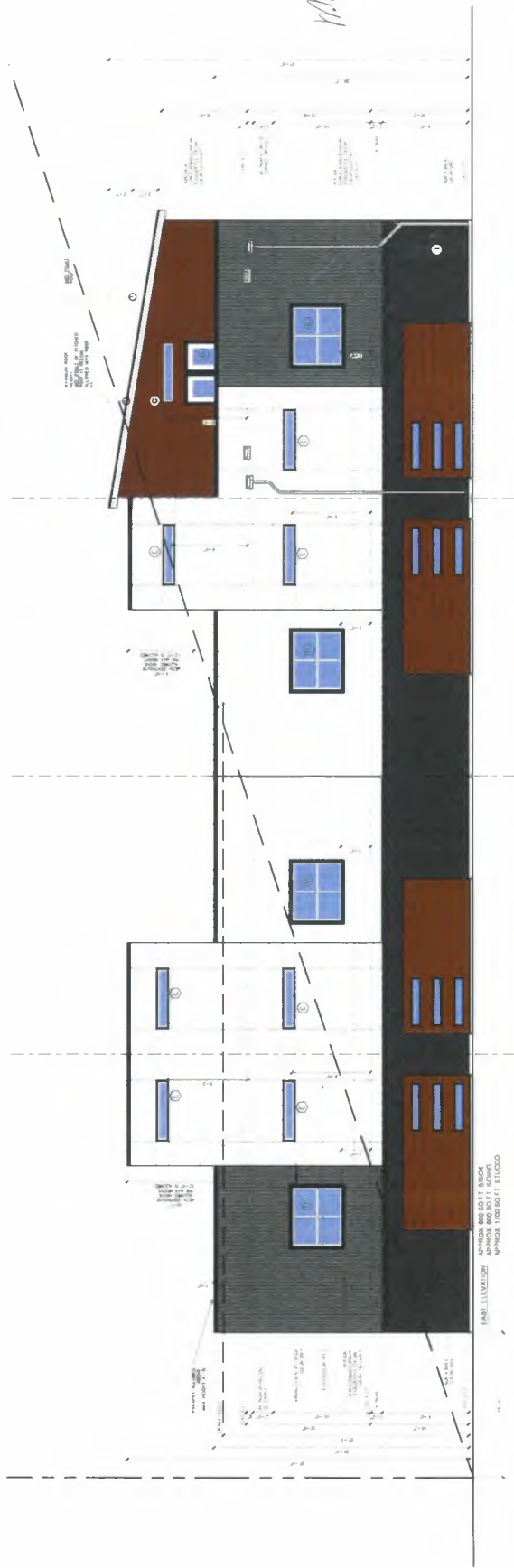
A1.1

BDA234-119



01 Exterior Elevations
3/16" = 1'-0"

BA-23A-114



01 Exterior Elevations 3/16" = 1'-0"

BOA234-119