

Record Summary for Board of Adjustments

Record

Record #	Status	Opened Date
BOA-26-000060	Pending	07/14/2026

Application Name

Detailed Description

Appellant, Trophy Lounge Texas, LLC, appeals the revocation issued under Sections 52-306.13(1), (2), and (3) of the Dallas City Code (see attached letter dated July 2, 2026) of Certificate of Occupancy No. 2502211021_198585071-003 for the property at 2711 Elm Street, Dallas, Texas. Appellant disputes each stated basis for revocation: (1) that the certificate was issued in error, where the approved land use of "restaurant without drive-in or drive-through service" was and remains an accurate description of the permitted use of the property; (2) that the certificate was issued on the basis of false, incomplete, or incorrect information, where the application and supporting materials accurately and adequately disclosed the intended use of the property; and (3) that the property has been operated in violation of applicable law in a manner presenting a substantial danger of injury or adverse health impact, a conclusion Appellant contends is unsupported by the record. Appellant has the correct Certificate of Occupancy, has not acted outside the scope of the certificate of occupancy, and did not violate any of the three above items.

Appellant further notes that the City has never requested Appellant's books and records to determine compliance with local ordinances governing the ratio of alcohol sales to food sales, and that the revocation therefore rests on inspection observations and inference rather than on the financial documentation ordinarily used to assess such compliance. Finally, Appellant notes no written determination has been provided by the Building Official that this appeal should not stay enforcement of Dallas City Codes during the pendency of these appeals.

Assigned To Department

Assigned to Staff

Record Type

Board of Adjustments

Custom Fields

INTERNAL USE ONLY

Source of Request	-
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	-

PDOX INFORMATION

PDox Number	-
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PROPERTY INFORMATION

Existing Zoning	PD
Lot Number	40/41
Lot Size (Acres)	0.11
Block Number	C/483
Lot Size (Sq. Ft)	4782
How many streets abut the property?	1
Land Use	Restaurant without Drive-In or Drive-Through Service with TABC MBLH 6.26.25
Is the property platted?	Yes
Status of Project	Existing
Status of Property	Owner Occupied

Previous Board of Adjustment case filed on this property	No
Accommodation for someone with disabilities	No
File Date	-
Seleccione si necesitara un interprete	UNCHECKED
Case Number	N/A
Are you applying for a fee waiver?	No
Have the standards for variance and or special exception been discussed?	No
Has the Notification Sign Acknowledgement Form been discussed?	No
Referred by	Diana Barkume for Appeal

Custom Lists

Board of Adjustment Request

1

Type of Request

Administrative Official Appeal

Affirm that an appeal has been made for

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Application is made to BOA to grant the described appeal

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Street Frontage Information

1

Street Frontage
Linear Feet (Sq. Ft)

Front
95

Contact Information

Name	Organization Name	Contact Type	Phone
Steven F Darling [REDACTED]	Ferguson Braswell Fraser Kubasta PC	Applicant	[REDACTED]
2500 Dallas Parkway, Suite 600, Plano, TX 75093			

Name	Organization Name	Contact Type	Phone
JD YBANEZ [REDACTED]	TROPHY	Property Owner	[REDACTED]
2550 PACIFIC AVE STE 1600, % WESTDALE ASSET MANAGEMENT, DALLAS, TEXAS 752261495			

Address

2711 ELM ST, Dallas, TX 75226

Parcel Information

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000011101300000 0							

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Y	ELM STREET REALTY LTD	2550 PACIFIC AVE STE 1600, DALLAS, TEXAS 752261495	

**2711 ELM ST.
DALLAS, TX 75226**

TROPHY
DALLAS

2711 ELM ST. DALLAS, TX
75226

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[illegible]

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[illegible]

BUILDING SUMMARY

TENANT	BUILDING PLANNING		
CONTACT: NIKO YBANEZ 469-616-9248	BUILDING TYPE:	TYPE II (WILL BE SPRINKLED)	
	OCCUPANCY:	A2	
	MIXED OCCUPANCY:	NO	
	REQUIRED FIRE SEPARATION:	NO	
DESIGN CONSULTANT	CONSTRUCTION AREA:		
75 DEGREE DESIGN STUDIO 1408 N RIVERFRONT BLVD, SUITE 529 DALLAS, TX 75207 TEL: 214-356-4949 CONTACT: KATY CURTIS	EXTERIOR MODIFICATIONS AND INTERIOR REMODEL TO EXISTING BUILDING	2,834 SF INTERIOR	1,898 SF EXTERIOR
NOVA ENGINEERING INC. 4819 STATE HIGHWAY 121, SUITE 112 THE COLONY, TX 75056 TEL: 972-323-7300 CONTACT: JOEL GARCIA			4,732 SF TOTAL
	-BUILDING CODE	2021 IBC	
	-MECHANICAL CODE	2021 IMC	
	-PLUMBING CODE	2021 IPC	
	-ELECTRICAL CODE	2020 NEC	
	-FIRE CODE	2021 IFC	
	-LIFE SAFETY CODE	2021 IBC	
	-ACCESSIBILITY CODE	2012 TAS	
	-ENERGY CODE	2021 IECC	

VICINITY MAP

DESIGN
CONSULTANT75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949

ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR SPECIFICATIONS, AND THE IDEAS AND DESIGN CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, MAY BE COPIED, REPRODUCED OR USED IN CONNECTION WITH ANY WORK, OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM TS DEGREE DESIGN STUDIO.

ISSUE:

FOR PERMIT 02.19.2025

REVISIONS:

1 CITY COMMENTS 01.06.25

2 CITY COMMENTS 03.11.25

Date	02/19/2025
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SUBMITTALS

1. WITHIN FIVE DAYS OF AWARD OF CONTRACT THE CONTRACTOR IS TO SUBMIT TO OWNER A WORK SCHEDULE SHOWING THE ORDER IN WHICH THE CONTRACTOR PROPOSES TO CARRY OUT THE WORK. EACH MAJOR CONSTRUCTION TASK IS TO BE IDENTIFIED WITH PROJECTED START AND END DATES AND THE TASK. CRITICAL ITEMS MUST BE IDENTIFIED ON PROJECT SCHEDULE.
2. THE CONTRACTOR IS TO SUBMIT THREE SAMPLES OF ALL MATERIALS TO BE PROVIDED AND INCORPORATED IN THE WORK. UPON REVIEW, TWO OF THE SAMPLES WILL BE RETURNED TO THE CONTRACTOR FOR HIS RECORDS AND FOR DISTRIBUTION TO THE SUBCONTRACTORS.
3. SUBMITTALS SHOULD INCLUDE THREE SAMPLES OR SETS OF SAMPLES AS INDICATED ABOVE AND THREE COPIES OF MANUFACTURER'S CUT SHEETS, WHERE APPLICABLE. SHOP DRAWING SUBMITTALS SHOULD CONSIST OF A DIGITAL REPRODUCIBLE DRAWINGS AS REQUIRED WITHIN THE SCOPE OF THE WORK. UPON APPROVAL OF THE SHOP DRAWINGS, THE DIGITAL FILE WILL BE RETURNED TO THE CONTRACTOR FOR REPRODUCTION AND DISTRIBUTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COURIER SERVICES REQUIRED FOR TIMELY SUBMISSION AND RETURN OF SUBMITTALS TO 75 DEGREE DESIGN STUDIO.
5. IF CONTRACTOR FAILS TO SUBMIT ANY SUBMITTALS FOR APPROVAL THEN THE CONTRACTOR ASSUMES RESPONSIBILITY THAT THE ITEM IS CORRECT. IF ITEM IS NOT CORRECT PER THE DESIGNER'S DESIGN INTENT THEN CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING SUCH ITEMS AT HIS SOLE EXPENSE. MANUFACTURERS HAVE BEEN KNOWN TO HAVE MATERIALS MISLABELED. IT IS STRONGLY RECOMMENDED THAT SUBMITTALS ARE SENT TO DESIGNER.
6. CONTRACTOR TO ISSUE RFI TO 75 DEGREE DESIGN STUDIO WITH ANY DISCREPANCIES OR MISSING INFORMATION.

COVER SHEET

G000

GENERAL NOTES & REQUIREMENTS

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL LAWS, RULES, AND REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION, IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
2. THE CONSTRUCTION DOCUMENTS SHOW THE INTENT ONLY. THE DOCUMENTS ARE NOT "SHOP DRAWINGS". THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE DESIGNER'S AND OWNER'S REVIEW TO DEMONSTRATE UNDERSTANDING OF THE DESIGN INTENT, AND TO SHOW WHAT WILL BE PROVIDED AND AS AN OPPORTUNITY FOR CLARIFICATION, BOTH AS A MATTER OF CLARIFICATION AND PROJECT RECORD.
3. THE CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGNER BY WRITTEN "REQUEST FOR INFORMATION" (RFI).
4. IN THE EVENT OF A DISCREPANCY BETWEEN DRAWINGS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING WITH WORK. NO DRAWING HAS PRECEDENCE OVER ANY OTHER. DETAILS DO NOT "OVERRIDE" OTHER DRAWINGS. AS NO SET OF DRAWINGS ARE PERFECT, THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF THE DISCREPANCY AND SEEK CLARIFICATION BY SENDING A REQUEST FOR INFORMATION (RFI) TO THE DESIGNER.
5. ALL DIMENSIONS TO BE FIELD VERIFIED AND COORDINATED WITH ALIGNMENTS AND INTERSECTIONS REQUIRED BY THE DESIGN INTENT.
6. UNLESS OTHERWISE NOTED, DIMENSIONS ARE GIVEN TO EDGE OF STUD.
7. CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL OWNERS REQUIREMENTS AND SHALL COMPLY FULLY WITH SUCH.
8. CONTRACTOR SHALL CARRY ADEQUATE LIABILITY INSURANCE.
9. ALL MATERIALS FURNISHED AND INSTALLED UNDER THIS CONTRACT SHALL BE NEW, FREE FROM ALL DEFECTS, AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. SHOULD ANY TROUBLE DEVELOP DURING THIS PERIOD DUE TO DEFECTIVE MATERIAL OR FAULTY WORKMANSHIP, CONTRACTOR SHALL CORRECT THE TROUBLE WITHOUT COST TO OWNER. ANY DEFECTS NOTICED AT THE TIME OF INSTALLATION SHALL BE CORRECTED IMMEDIATELY TO THE SATISFACTION OF THE OWNER/OCCUPANT.
10. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT PRIOR TO ANY WORK BY WRITTEN RFI.
11. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
12. EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS IN THEIR RELATED FIELDS. THE FAILURE TO ACQUAINT THEMSELV WITH THIS KNOWLEDGE DOES NOT RELIEVE THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.
13. REQUEST FOR INFORMATION: SEE DIVISION 1 SPECIFICATIONS. AN "RFI" IS A WRITTEN REQUEST FOR CLARIFICATION, INFORMATION, OR NOTICE OF A PROBLEM DISCOVERED IN THE FIELD ADDRESSED TO THE DESIGNER. RFIS SHALL BE NUMBERED SEQUENTIALLY AND A RECORD LOG IS MANDATORY BY THE GC. RFIS SHALL BE SENT VIA EMAIL, OR US MAIL AND SHALL IDENTIFY A PROBLEM AND OFFER POTENTIAL SOLUTIONS. THE DESIGNER SHALL EXPEDITE RFI RESPONSES WHEN POSSIBLE. CONTRACTOR SHALL GENERATE RFIS IN A TIMELY MANNER TO MINIMIZE THE IMPACT ON SCHEDULE, AND TO ACCOMMODATE TIME REQUIRED BY THE DESIGNER, ENGINEERS, SPECIALISTS, OR VENDORS TO RESPOND TO THE RFI. SUBCONTRACTOR'S RFIS SHALL BE PROCESSED FIRST BY THE CONTRACTOR, AND SENT TO THE DESIGNER IN AN AGREED UPON STANDARDIZED FORMAT. A VERBAL REQUEST FOR INFORMATION IS NOT AN "RFI". VERBAL INFORMATION SHALL NOT BE USED BY THE CONTRACTOR UNLESS FOLLOWED UP BY A WRITTEN RFI. IF THE CONTRACTOR PROCEEDS WITH WORK ON A VERBAL BASIS, IT SHALL BE AT HIS/HER RISK IF INCONSISTENT WITH THE DESIGN INTENT, AS DETERMINED BY THE DESIGNER AND THE OWNER.
14. SPECIAL/CUSTOM DESIGN FEATURES: WHENEVER POSSIBLE, THE CONTRACTOR SHALL PROCURE SPECIAL OR COMPLEX SCOPE OF WORK ITEMS, FROM VENDORS OR TRADE CONTRACTORS ON A "SINGLE SOURCE RESPONSIBILITY" BASIS TO ENSURE THAT ITEMS FUNCTION PER THE DESIGN INTENT. IT SHALL BE UNDERSTOOD THAT UNIQUE OR CUSTOM DESIGN FEATURES NORMALLY REQUIRE SOME FIELD ADJUSTMENT AND SUCH FIELD ADJUSTMENTS SHALL NOT BE CONSTRUCTED AS "DESIGN FLAWS", OR "ERRORS". ALL SPECIAL/CUSTOM FEATURES ARE REQUIRED TO BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
15. CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STRUTURE FOR INTERIOR PARTITIONS, CEILINGS, PLATFORMS, ETC. WHETHER SHOWN ON DRAWINGS OR NOT.
16. PROVIDE AND INSTALL ALL NECESSARY IN WALL FRAMING REQUIRED TO CARRY SHELVES, EQUIPMENT, HANGING, AND VALANCE LOADS, RAILINGS, ETC. AS PER PLANS.
17. PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND REMOVAL OF ALL BARRICADES, EQUIPMENT AND WALLS.
19. CONTRACTOR SHALL FURNISH AND INSTALL ALL LAMPS IN LIGHT FIXTURES. LAMPS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) MONTH FROM THE DATE OF ACCEPTANCE OF WORK UNLESS OTHERWISE NOTED ON THE PLANS OR IN THE SPECIFICATION OR OMISSIONS IN THE DESIGN.
20. ANY AND ALL CHANGES IN WORK-AS-BID SHALL BE MADE ON AIA FORM G-701 CHANGE ORDER FORM AND SHALL BE SIGNED BY ALL NECESSARY PARTIES. A PROPOSED CHANGE ORDER LOG SHALL BE MANDATORY BY THE GC.
21. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE OWNER'S SPACE WITH SUFFICIENT CLEARANCE, AND TO INSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE AS REQUIRED.
23. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND IS TO REMOVE ALL TRASH AND DEBRIS FROM THE CONTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN ANY PORTION OF THE NEW BUILDING.
24. CONTRACTOR SHALL VERIFY THE AVAILABILITY AND LEAD TIME OF ANY SPECIAL ORDER OR LONG LEAD TIME ITEMS, AND ORDER THEM IN A TIMELY MANNER. EXAMPLES: CARPET, LIGHT FIXTURES, FURNITURE (IF IN SCOPE), CUSTOM OR SPECIALTY ITEMS, ETC.
25. CONTRACTOR SHALL COORDINATE WITH ALL OWNER REPS. & VENDORS AS REQUIRED FOR INSTALLATION OF FURNITURE, INTERIOR & EXTERIORS SIGNAGE, ETC., REFER TO RESPONSIBILITY MATRIX.
26. FIRE SPRINKLER DESIGN AND MODIFICATIONS TO BE PROVIDED BY ACCREDITED/ LICENSED FIRE SPRINKLER CONTRACTOR.

ABBREVIATIONS

L	ANGLE	E	EAST	JAN	JANITOR	S	SOUTH
AT	AT	EA	EACH	JAC	JACKET	S.C.	SOILD CORE
C	COUNTERLINE	EF	EACHFACE	J.C.	JACKET'S CLOSET	S.C.D.	SEAT COVER DISPENSER
S	CAMER	EL	ELEVATION	JT.	JOINT	SCHED.	SCHEDULE
J	PERPENDICULAR	ELEC	ELECTROCAL	KWY	KEYWAY	SCRN	SCREEN
C	CHANNEL	ELEV	ELEVATOR	KTC	KITCHEN	S.C.T.	STRUCTURAL CLAY TILE
#	POUND W/ NUMBER	EMER	EMERGENCY	LIT	LIGHT	S.E.	SERVICE ELEVATOR
(E)	EVERYTHING	E.M.R.	ELEVATOR MACHINE ROOM	LG	LONG	SECT.	SECTION
		ENCL	ENCLOSED/ENCLOSURE	L.G.	LONG LENGTH	SECT.	SECTORY (SAL)
A.B.	ANCHOR BOLT	ENGR	ENGINEER	LAB	LABORATORY	SH	SHEDDING
A.C.	AIR CONDITIONER	ENTR	ENTRANCE	LAM	LAMINATE	SHR	SHOWER
AC	ACCESSORY	EP	ELECTRICAL PANEL	LAV	LAVATORY	SHY	SHEET
ACCU	ACCOUSTICAL	EQ	EQUAL	LB	POUND	SHY	SHOWER
ACT	ACTUATOR	EQIP	EQUIPMENT	L.C.	LOCKER	SHY	SHOWER
A.D.	AREA DRINK ACCESS DOOR	EWC	ELECTRIC WATER COOLER	L.P.	LOFT POINT	SHY	SHOWER
ADJ	ADJUSTABLE ADJACENT	EXT	EXTENDING	L.T.	LIGHT STANDARD	SHY	SHOWER
A.F.	ADJUSTABLE ADJACENT	EXH	EXHAUST	L.T. (S)	LIGHT (S)	S.N.R.	SANITARY NAPKIN RECEPTACLE
AGGR	AGGREGATE	EXP	EXPANSION EXPOSED	LVR	LOUVER	SO	SOFA
AL	ALUMINUM	EXP	EXPANSION JOINT	MACH	MACHINE	SPEC	SPECIFICATION
ALD	ALD	EXT	EXTENSION	MAX	MAXIMUM	SPR	SPRINKLER
A.P.	ACCESS PANEL	FAM	FRESH AIR INSTALL	MECH	MECHANICAL	SPR	SQUARE FEET
ARCH	ARCHITECTURAL	F.A.	FIRE ALARM	M.E.R.	MECHANICAL EQUIPMENT ROOM	SS	SQUARE FEET
ASBL	ASBESTOS	F.B.	FRESH AIR INTAKE	MEZZ	MEZZANINE	SS	SQUARE FEET
ASPH	ASPHALT	FC	FLOOR COATING	MFR	MANUFACTURER	ST	STONE
		F.D.	FLOOR DRAIN	M.H.	MANHOLE	STA	STATION
BD	BOARD	F.F.	FLOOR FINISH	MIR	MIRROR	STL	STEEL
BTM	BOTTOM	F.F.C.	FIRE EXTINGUISHER (CABINET)	MISC	MISCELLANEOUS	STD	STANDARD
BK	BOOK CASE	F.H.	FIRE HYDRANT FLAT HEAD	M.O.	MASONRY OPENING	STF	STORE FLOOR
BKD	BULKHEAD	FHC	FIRE HOUSE (CABINET)	M.O.U.	MASONRY SERVICE UNIT	STOR	STORAGE
BKND	BULKHEAD	FHR	FIRE HOUSE (RACK)	MTO	METAL	STRUCT	STRUCTURAL
BKND	BULKHEAD	FHGL	FIREHOUSE GLASS (FRESHET)	MTO	METAL	STM	STONE WALL
B.O.	BOTTOM OF	FIN FL	FINISHED FLOOR	MTL	METAL	SUSP	SUSPENDED
BOT	BOTTOM	FL GR	FLOOR GRADE	N	NORTH	SVC	SERVICE
BRK	BRICK (BREAK)	FL	FLOOR	N.I.G.	NOT IN CONTRACT	SVP	SPECIALTY WALL FINISH
B.S.	BOTH SIDES	FL FR	FLOOR FINISH	N.L.	NOT LIGHT	SYN	SYMMETRICAL
BMT	BASIN	F.L.	FLOOR FINISH	N.O.	NUMBER		
B.T.	BACK TO BACK	F.L.C.	FLOOR FINISH	NOM	NOMINAL		
BUR	BUILT UP ROOF	F.O.	FACE OF	N.R.C.	ROOF REDUCTION COEFFICIENT		
		F.P.	FIRE PROOF SELF CLOSING	N.T.S.	NOT TO SCALE		
C	CENTERLINE	F.S.P.	FIRE STANPIPE				
CAB	CABINET	F.S.	FRAME	GA	OVERALL		
CAP	CAPACITY	F.S.	FULL SIZE	GB	GROUND		
C.B.	CATCH BASIN	FT	FOOT, FEET	GB	GROUND		
CBM	CEMENT (MORTAR)	FTC	FOOTING	G.C.	GENERAL CONTRACTOR		
CER	CERAMIC	FUR	FURRING	GL	GALVANIZED IRON		
C.F.M.	CUBIC FEET PER MIN	FUT	FUTURE	GLZ	GLAZING		
C.G.	CORNER GUARD	FVP	FABRIC VARNISHED PANEL	GP	GRADE		
CH	CHAIR	FXT	FIXTURE	GT	GLASS TILE		
CL	CLOSET			GWB	GYPSPUM WALL BOARD		
CLG	CLEAR			GYP	GYPSPUM		
CLR	CLEAR			H	HIGH		
C.M.U.	CONCRETE MASONRY UNIT			H.C.	HOLE CABINET		
CNTY	COUNTER			HDR	HEADER		
C.O.	CLEANOUT			HDR	HARDWOOD		
CONF	CONFERENCE			HDR	HARDWARE		
COL	COLLUM			H.M.	HOLLOW METAL		
COMM	COMMUNICATION			H.M.	HORIZONTAL		
CONC	CONCRETE			H.M.	HORIZONTAL		
CONSTR	CONSTRUCTION			H.M.	HORIZONTAL		
CONT	CONTINUOUS CONTRACTION			H.M.	HORIZONTAL		
CONV	CONVECTOR			H.M.	HORIZONTAL		
CORR	CORROSION			H.M.	HORIZONTAL		
CR	CARPET			H.M.	HORIZONTAL		
CR	CARPET			H.M.	HORIZONTAL		
CR	CARPET			H.M.	HORIZONTAL		
CRS	CORUSION			H.M.	HORIZONTAL		
CRS	CORUSION			H.M.	HORIZONTAL		
CTR	CERAMIC TILE FLOOR			H.M.	HORIZONTAL		
CTR	CENTERLINE			H.M.	HORIZONTAL		
CTR	CENTER			H.M.	HORIZONTAL		
DBL	DOUBLE			H.M.	HORIZONTAL		
DET	DETAIL			H.M.	HORIZONTAL		
DEPT	DEPARTMENT			H.M.	HORIZONTAL		
D.F.	DRAINAGE FOUNTAIN			H.M.	HORIZONTAL		
DA	DAMAGED			H.M.	HORIZONTAL		
DAG	DAMAGED			H.M.	HORIZONTAL		
DIM	DIMENSION			H.M.	HORIZONTAL		
DISP	DISPENSER			H.M.	HORIZONTAL		
DK	DECK			H.M.	HORIZONTAL		
DKG	DECKING			H.M.	HORIZONTAL		
DN	DOWN			H.M.	HORIZONTAL		
D.O.	DOOR OPENING			H.M.	HORIZONTAL		
DR	DOOR DRAW			H.M.	HORIZONTAL		
D.S.	DOWNSPROUT			H.M.	HORIZONTAL		
DWG	DRY STAND PIPE			H.M.	HORIZONTAL		
DWG	DRAWING			H.M.	HORIZONTAL		
DWR	DRAWER			H.M.	HORIZONTAL		

TROPHY DALLAS

2711 ELM ST. DALLAS, TX
75226

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DESIGN STUDIO.

DESIGN CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

FOR PERMIT 02.18.2025

REVISIONS:

△ CITY COMMENTS 03.06.25

△ CITY COMMENTS 03.11.25

Date 09/05/2025

GENERAL PROJECT
INFORMATION

G001

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75226

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CONSULTANT

75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949

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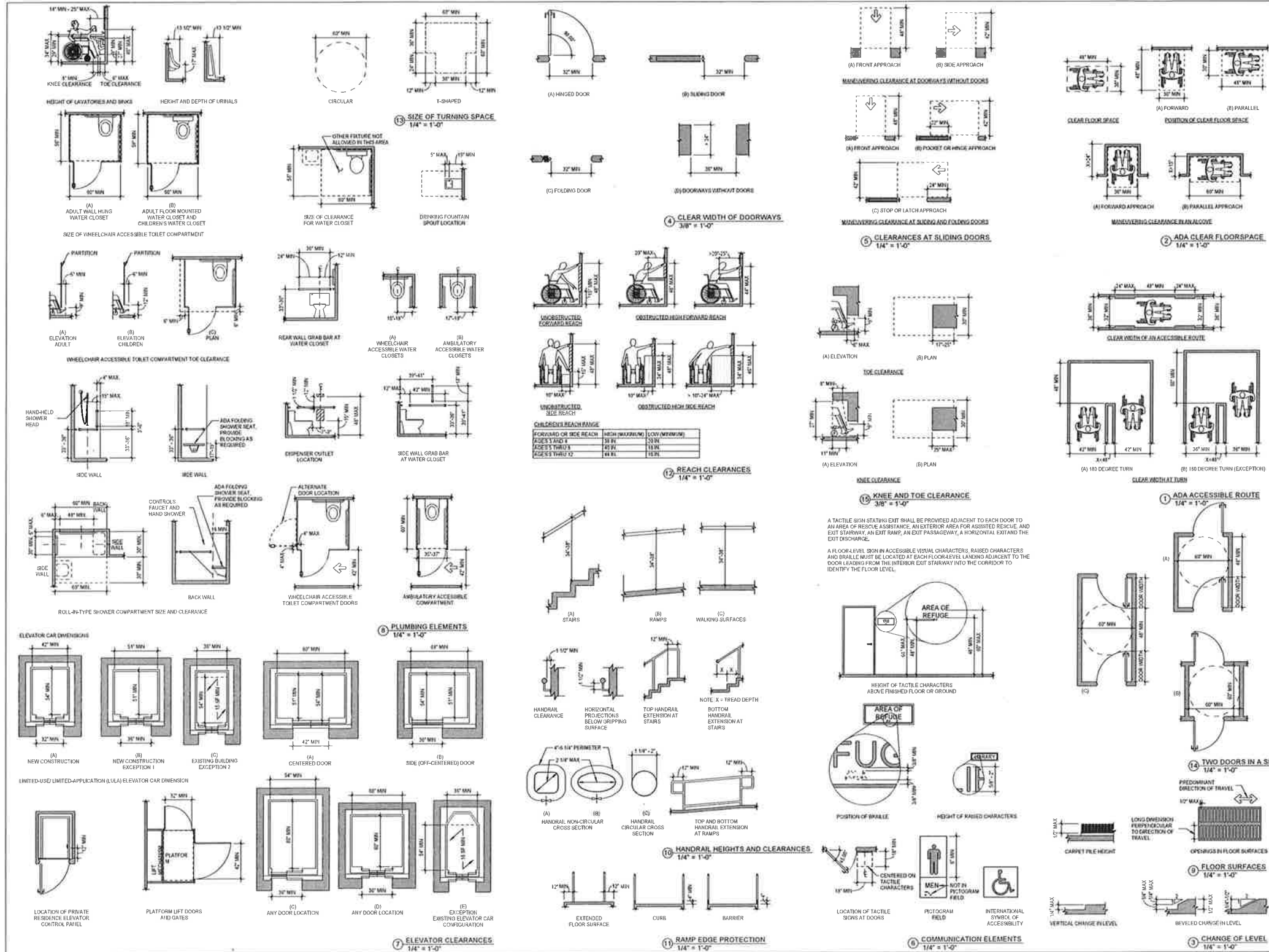
REVISIONS:

1 CITY COMMENTS: 03.08.25

Date 09/05/2025

GENERAL NOTES

G002

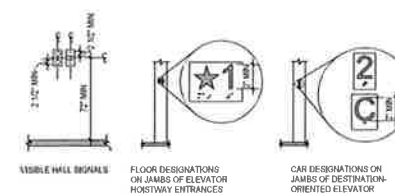


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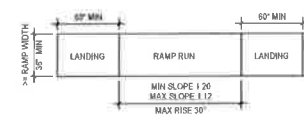
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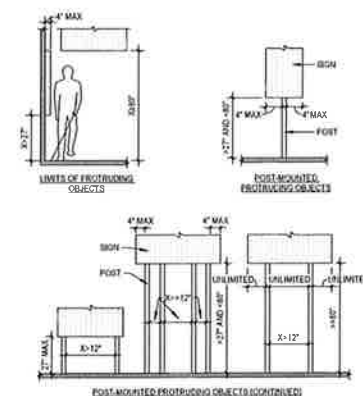
③ ELEVATOR DESIGNATION
1/4" = 1'-0"



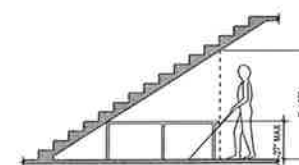
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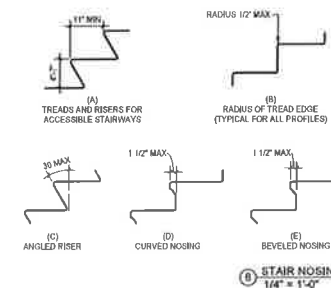
(B)
CHANGE IN DIRECTION



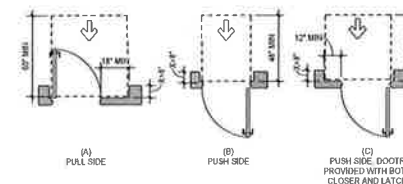
④ PROTRUDING OBJECTS
1/4" = 1'-0"



④ PROTRUDING OBJECTS
1/4" = 1'-0"



⑧ STAIR NOSING
1/4" = 1'-0"



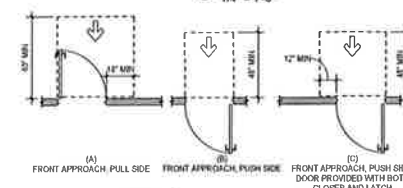
(A)
PIH1 SM

(B)
PUSH SF

(C)
PUSH SIDE DOOR
PROVIDED WITH BOTH
CLOSER AND LATCH

CLEARANCES AT DOOR RECESSES

DOORS
1/4" x 1'-0"



(A)
FRONT VIEW

FRONT APPROACH 3

(C)
FRONT APPROACH, PUSH SH
DOOR PROVIDED WITH BOT
CLOSED AND LATCH

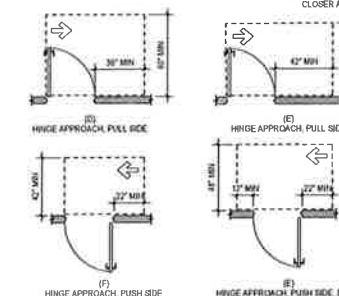
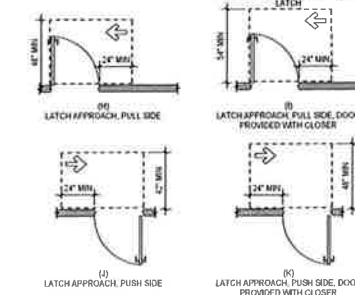


FIGURE 10
HINDLE APPROACH, FULL SIDE

(E)
HINGE APPROACH, FULL SIDE

(F)
HINGE APPROACH, PUSH S

(E)
HINGE APPROACH, PUSH SIDE, DOOR
PROVIDED WITH BOTH CLOSER AND
LATCH



(6)
LATCH APPROACH, PULSED

(b)
LATCH APPROACH FULL SIZE D

(J)

(K)
LATCH APPROACH, PUSH SIDE, DOOR
PROVIDED WITH CLOSER

ISSUE:

FOR PERMIT 02.19.2025

REVISIONS

4 CITY COMMENTS 03.08.25

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Date _____

09/05/2025

ADA GENERAL
INFORMATION SHEETS

G003

TROPHY DALLAS

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DEMO PLAN

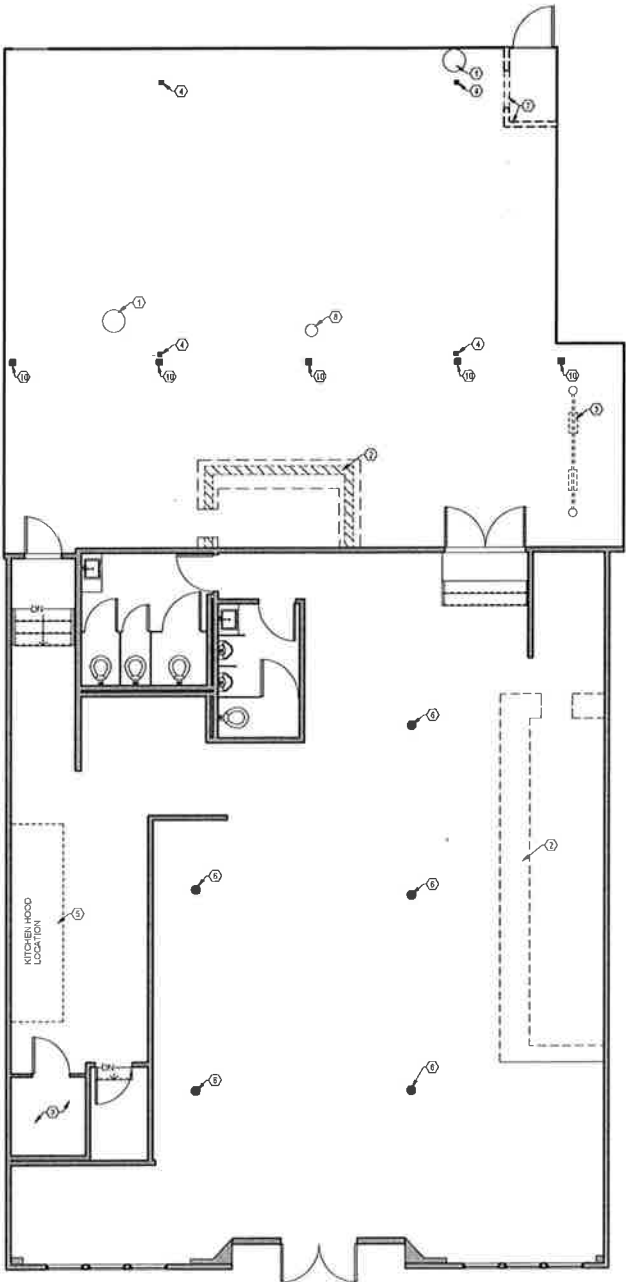
D100

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING EXTERIOR AND CORE WALLS		OFFICE ROOM AREA NAME
	EXISTING INTERIOR PARTITIONS TO REMAIN		ROOM AREA NUMBER
	PARTITION TYPE		REVISION NUMBER
	NEW GLASS PARTITION		KEYNOTE NUMBER
	NEW CMU WALL		SECTION NUMBER
	NEW CONCRETE WALL		SHEET NUMBER
	NEW SPECIALTY WALL		DETAIL NUMBER
	NEW LOW WALL		SHEET NUMBER
	RECESSED FIRE EXTINGUISHER CABINET		REFERENCE TYPE
	SURFACE MOUNTED FIRE EXTINGUISHER		ELEVATION NUMBER
	FLOOR NUMBER		SHEET NUMBER
	ROOM NUMBER		ELEVATION NUMBER
	DOOR LETTERING		SHEET NUMBER
	AREA NOT IN CONTRACT		ELEVATION NUMBER
	CORNER GUARD		SHEET NUMBER
	EXISTING STAND PIPE & FIRE HOSE		

DEMO KEY NOTES

- EXISTING TREE LOCATIONS.
- EXISTING BAR COUNTER AND LOW WALLS.
- EXISTING SWING.
- EXISTING PERGOLA STRUCTURE.
- EXISTING KITCHEN HOOD LOCATION.
- EXISTING POST LOCATIONS.
- REMOVE EXISTING WALLS.
- REMOVE EXISTING TREE.
- EXISTING WALK IN COOLER.
- REMOVE EXISTING PERGOLA.



1 DEMO PLAN 3/16" = 1'-0"

GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE. FOR THE VENDOR/BUILDING, PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESENTING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFP, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO KCURTIS@75DESIGNSTUDIO.COM OR ERIC@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TARRANT REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 6.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F., EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES, ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

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CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR BUT NOT LIMITED TO: DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS. TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

TROPHY DALLAS

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75226

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ISSUE:

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1 CITY COMMENTS 03.06.25

2 CITY COMMENTS 03.11.25

Date 09/05/2025

CONSTRUCTION PLAN

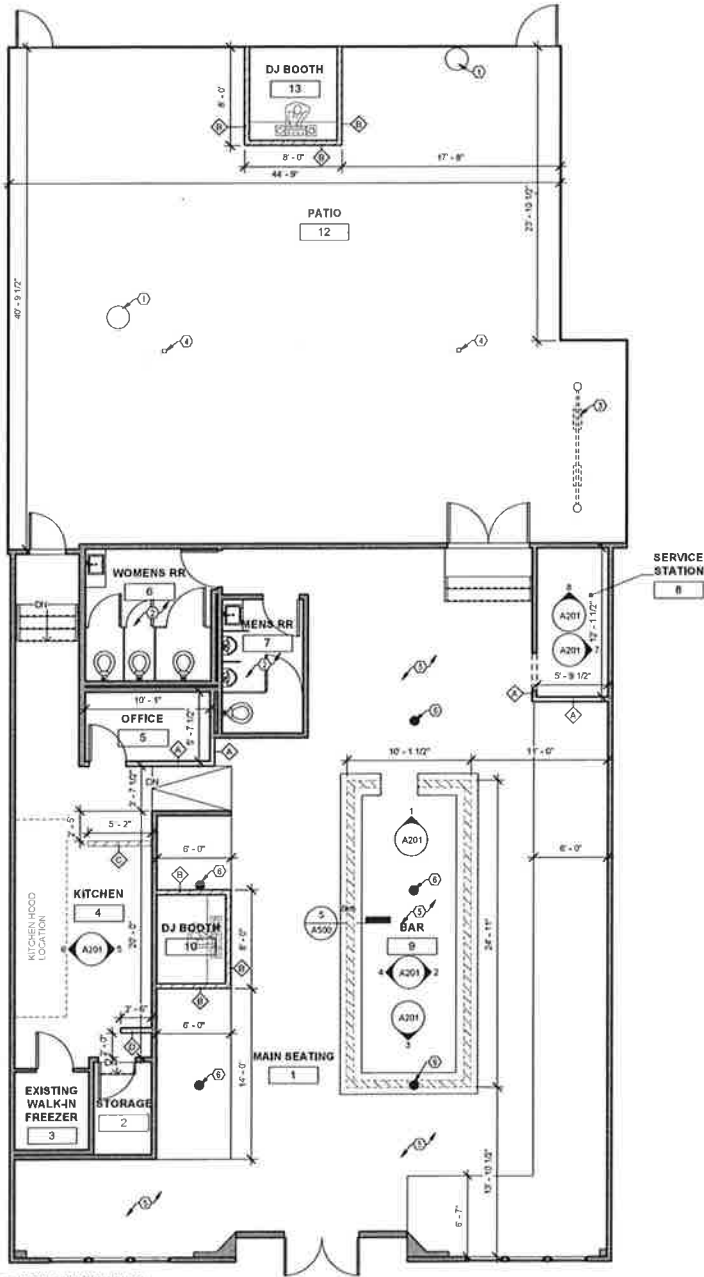
A100

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING EXTERIOR AND CORE WALLS		OFFICE ROOM/AREA NAME
	EXISTING INTERIOR PARTITIONS TO REMAIN		ROOM/AREA NUMBER
	PARTITION TYPE		REVISION NUMBER
	NEW CORE PARTITION		KEYNOTE NUMBER
	NEW CMU WALL		SECTION NUMBER
	NEW CONCRETE WALL		SHEET NUMBER
	NEW SPECIALTY WALL		DETAIL NUMBER
	NEW LOW WALL		ELEVATION TYPE
	RECESSED FIRE EXTINGUISHER CABINET		ELEVATION NUMBER
	SURFACE MOUNTED FIRE EXTINGUISHER		SHEET NUMBER
	FLOOR NUMBER, ROOM NUMBER, DOOR LETTERING		ELEVATION NUMBER
	AREA NOT IN CONTRACT		SHEET NUMBER
	CORNER GUARD		
	EXISTING STAND PIPE & FIRE HOSE		

CONSTRUCTION KEY NOTES

- EXISTING TREE LOCATIONS.
- FOR ALL RESTROOM PLUMBING FIXTURES AND ACCESSORIES SPECIFICATIONS, REFER TO SCHEDULE E.
- EXISTING SWING.
- EXISTING PERGOLA STRUCTURE.
- NEW FINISHES THROUGHOUT.
- EXISTING POST LOCATIONS.



1 CONSTRUCTION PLAN
3/16" = 1'-0"

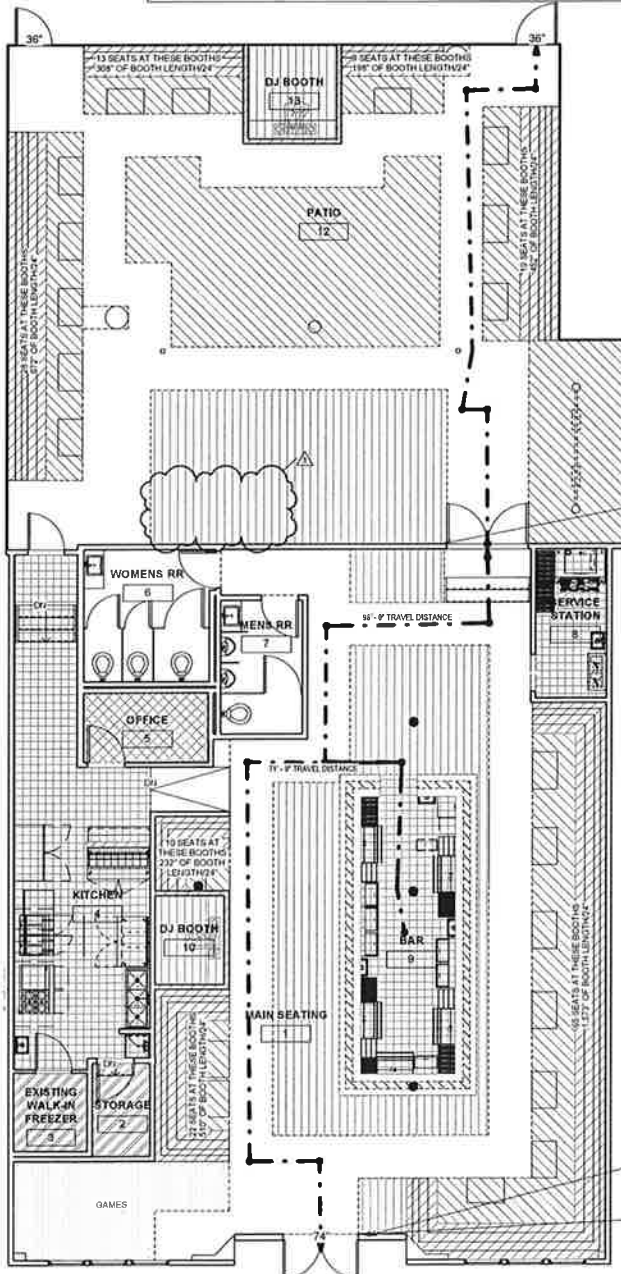
EGRESS REQUIREMENTS

PER 2021 IBC - MAX FLOOR AREA ALLOWANCE/OCCUPANT

ASSEMBLY AREAS (INTERIOR)	AREA	OCCUPANTS
ASSEMBLY AREAS WITH FIXED SEATS - ONE SEAT PER EVERY 24" OF BOOTH SEAT LENGTH PER OCCUPANT	2,319 SF	97
ASSEMBLY AREAS WITH FIXED SEATS - CONCENTRATED 15 SQ FT PER OCCUPANT	211 SF	14
ASSEMBLY AREAS WITH FIXED SEATS - STANDING SPACE 5 SQ FT PER OCCUPANT	430 SF	86
NECESSARY STORAGE/MECH/EQUIP 300 SQ FT PER OCCUPANT	74 SF	8

ASSEMBLY AREAS WITH FIXED SEATS - ONE SEAT PER EVERY 24" OF BOOTH SEAT LENGTH PER OCCUPANT	118 SF	16
BUSINESS AREAS 150 OR 50 FT PER OCCUPANT	57 SF	6
KITCHEN AREAS 150 OR 50 FT PER OCCUPANT	608 SF	4
UNOCCUPIED ACCESSORY USE AREAS TOILET ROOMS, ABLES, CIRCULATION 100 OR 50 SQ FT PER OCCUPANT	542 SF	8
INTERIOR OCCUPANT LOAD		225

ASSEMBLY AREAS (EXTERIOR)	AREA	OCCUPANTS
ASSEMBLY AREAS WITH FIXED SEATS - ONE SEAT PER EVERY 24" OF BOOTH SEAT LENGTH PER OCCUPANT	1,532 SF	54
ASSEMBLY AREAS WITH FIXED SEATS - CONCENTRATED 15 SQ FT PER OCCUPANT	661 SF	44
ASSEMBLY AREAS WITH FIXED SEATS - STANDING SPACE 5 SQ FT PER OCCUPANT	263 SF	53
KITCHEN AREAS 150 OR 50 FT PER OCCUPANT	84 SF	6
UNOCCUPIED ACCESSORY USE AREAS TOILET ROOMS, ABLES, CIRCULATION 100 OR 50 SQ FT PER OCCUPANT	654 SF	7
EXTERIOR OCCUPANT LOAD		173
INTERIOR AND EXTERIOR OCCUPANT LOAD TOTAL		398



NOTE: POST EXTERIOR OCCUPANCY OF 173 @ THIS LOCATION @ 5'-0" AFF

NOTE: POST INTERIOR OCCUPANCY OF 225 @ THIS LOCATION @ 5'-0" AFF

NOTE: POST SIGN STATING THIS FLOOR TO REMAIN UNOCCUPIED WHEN THIS SPACE IS OCCUPIED AT THIS LOCATION @ 5'-0" AFF

TRUE NORTH

RESTROOM PLUMBING FIXTURES

BUILDING OCCUPANCY 398
WATER CLOSETS
(159 MEN, 159 FEMALES) / 75 = 3 PER SEX
LAVATORIES
1 PER 200 = 1 PER SEX

REQUIRED	PROVIDED
MEN W.C. URINAL LAVATORY	WOMEN W.C. URINAL LAVATORY
1 1 2 1	3 1 2 1

LEGEND

- COMMON PATH OF TRAVEL (MAXIMUM ALLOWED 75')
- EXIT SIGN
- EMERGENCY LIGHT WITH BATTERY BACKUP
- FIRE EXTINGUISHER - MOUNTED 34" AFF TO TOP

*CONTRACTOR TO PROVIDE & INSTALL NECESSARY FIRE EXTINGUISHERS PER LOCAL & FEDERAL CODE. COORDINATE ALL LOCATIONS WITH FIRE MARSHALL.

*CLASS 1 FIRE EXTINGUISHERS TO BE LOCATED WITHIN 75'-0" BETWEEN EACH EXTINGUISHER AND FOR WALKING DISTANCE

EGRESS CALCULATIONS

MAX TRAVEL DISTANCE	REQ'D	PROVIDED
PER 2021 IBC OCCUPANCY, A2 W/SPRINKLER SYSTEM	150'	99' 0"
NUMBER OF EXITS		
PER 2021 IBC, TABLE 1004.3.3 OCCUPANCY, MORE THAN 1,000 PER STORY	2	3
TOTAL EGRESS WIDTH		
PER 2021 IBC OCCUPANCY, A2 W/SPRINKLER SYSTEM (398 X 0.2 = 79.6)	79.6"	140"

BUILDING TYPE	TYPE IIB
OCCUPANCY	A2
BUILDING CODE	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE 2015 INTERNATIONAL FIRE CODE 2021 LIFE SAFETY CODE 2012 ACCESSIBILITY CODE 2021 ENERGY CODE
CONSTRUCTION AREA	TOTAL INTERIOR AREA: 2,814 SF TOTAL EXTERIOR AREA: 1,898 SF

TROPHY DALLAS

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EGRESS PLAN

A101

TROPHY
DALLAS

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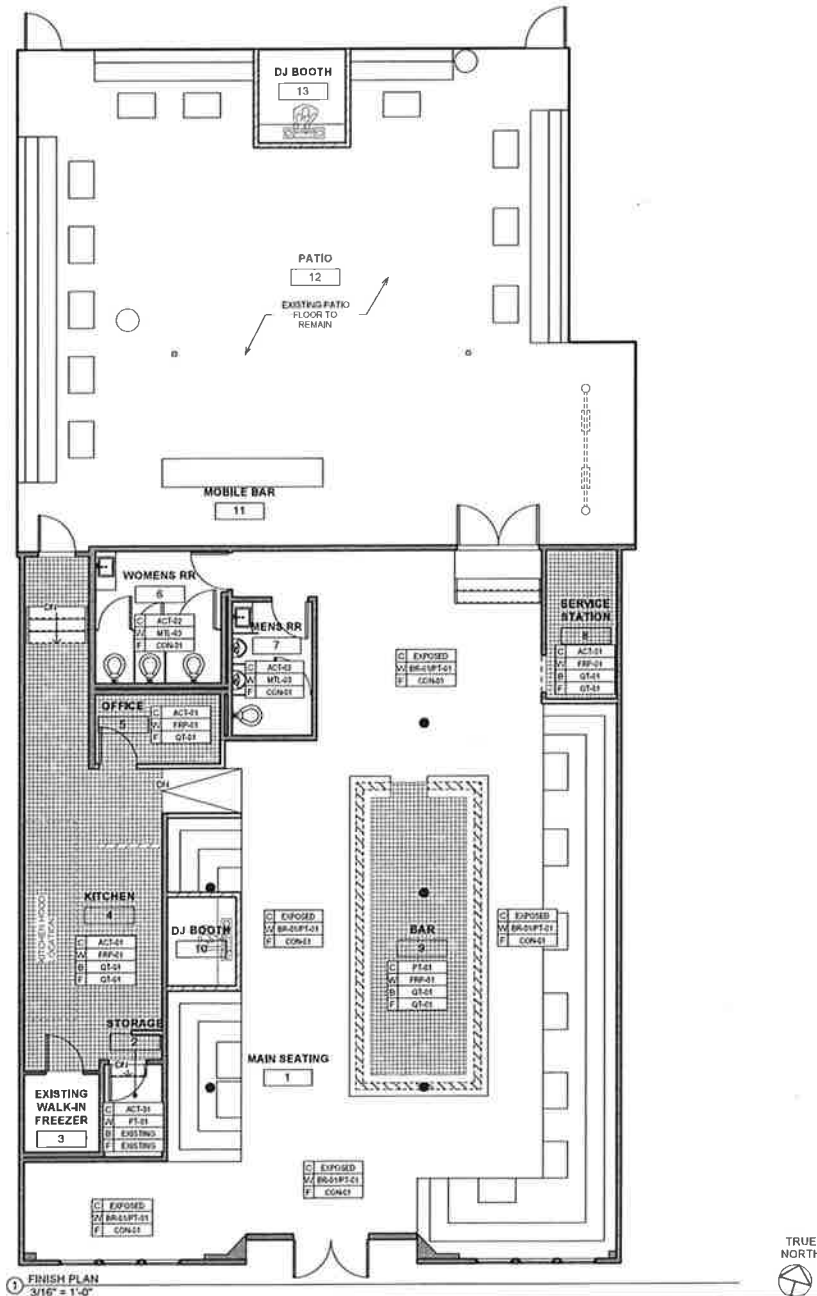
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09/05/2025

FINISH PLAN

A102



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CC: ERIC@75DEGREEDESIGNSTUDIO.COM

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MINIMUM AND 48" MAXIMUM A.F.F.

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ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 15 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F. EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES, ADA REACH RANGE IS: MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS, CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN DISCIPLINES AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE ATTENTION OF TS DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS. TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION, COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

ISSUE:

FOR PERMIT 02.19.2025

REVISIONS:

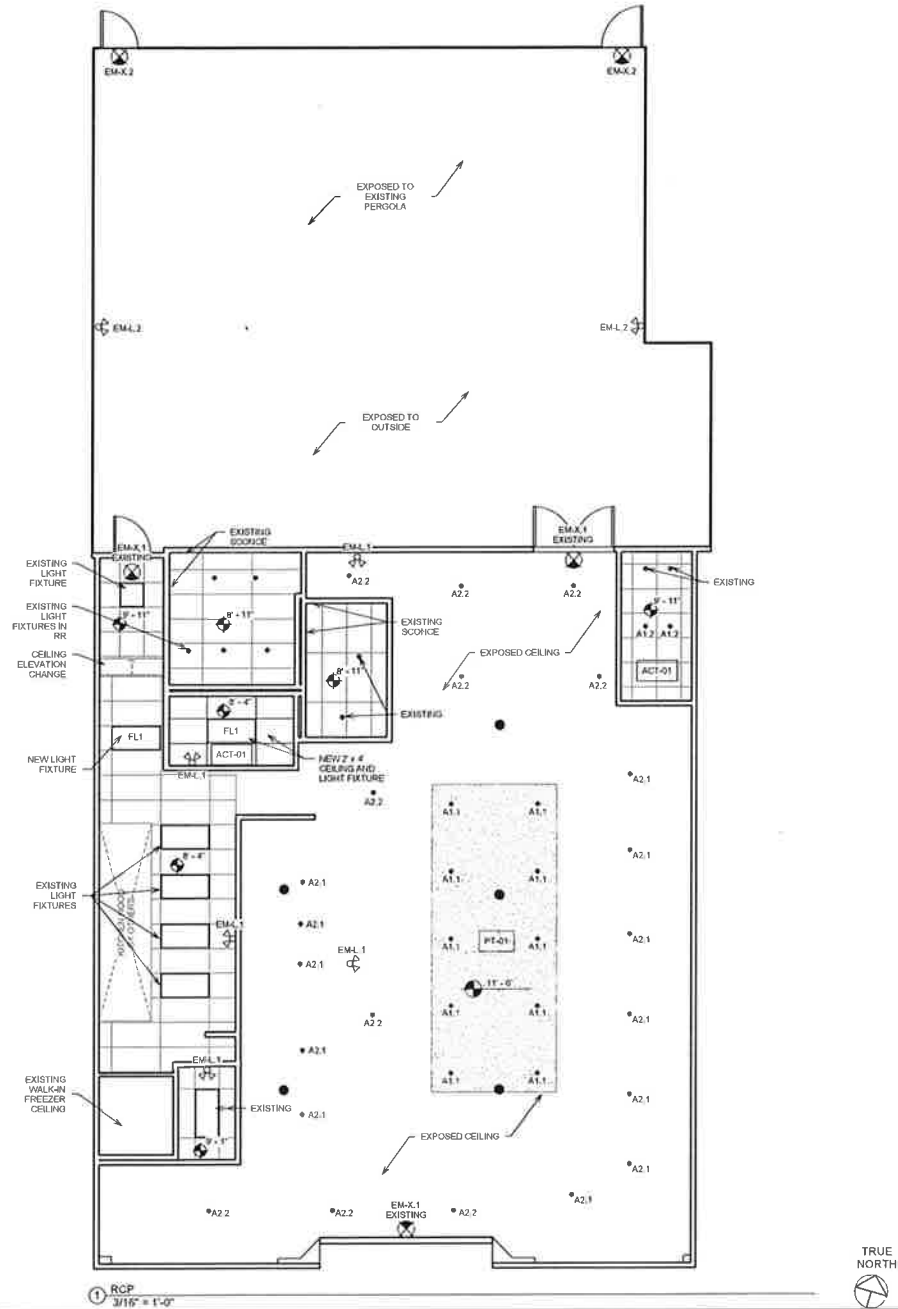
1 CITY COMMENTS 03.06.25

2 CITY COMMENTS 03.11.25

Date 09/05/2025

RCP

A103



TROPHY DALLAS

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75226

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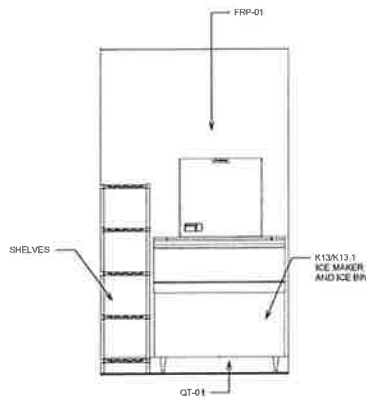
△ CITY COMMENTS 03.11.25

Date

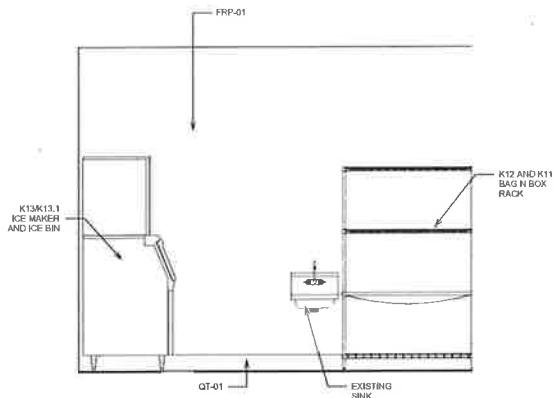
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KITCHEN ELEVATIONS

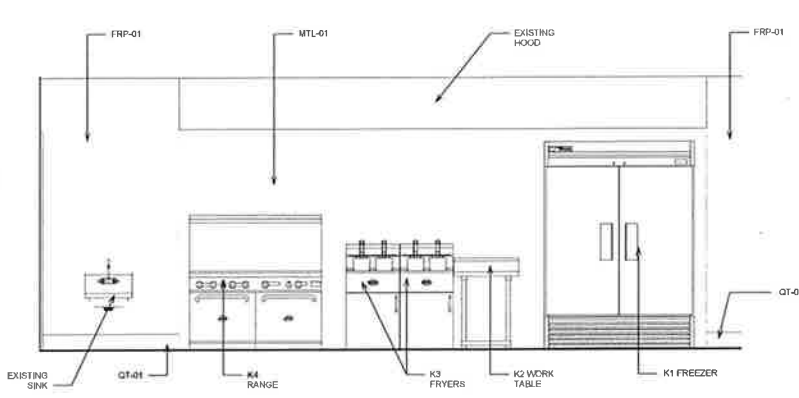
A201



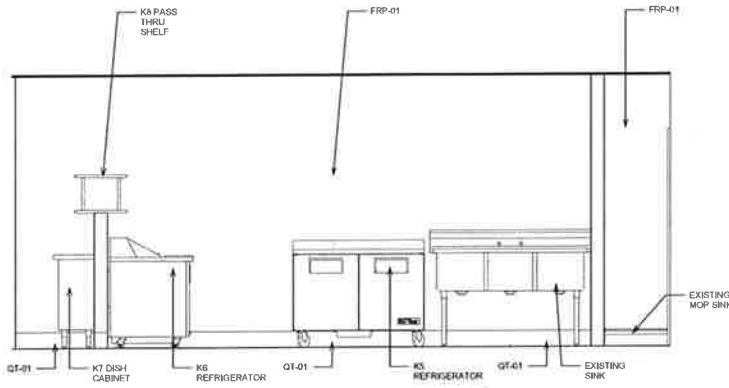
8 SERVICE STATION - NORTH ELEVATION
1/2" = 1'-0"



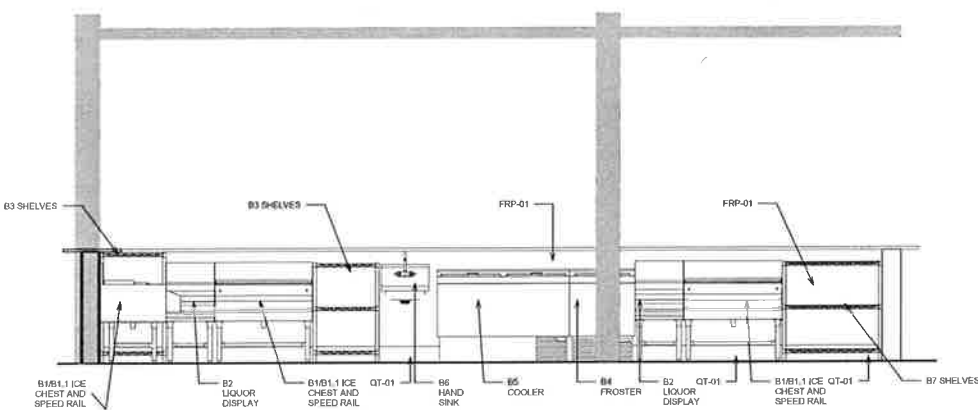
7 SERVICE STATION - EAST ELEVATION
1/2" = 1'-0"



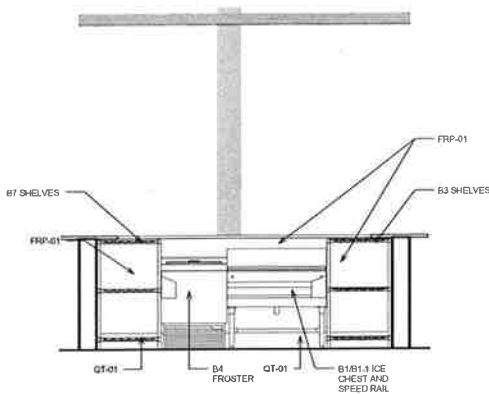
6 KITCHEN - WEST ELEVATION
1/2" = 1'-0"



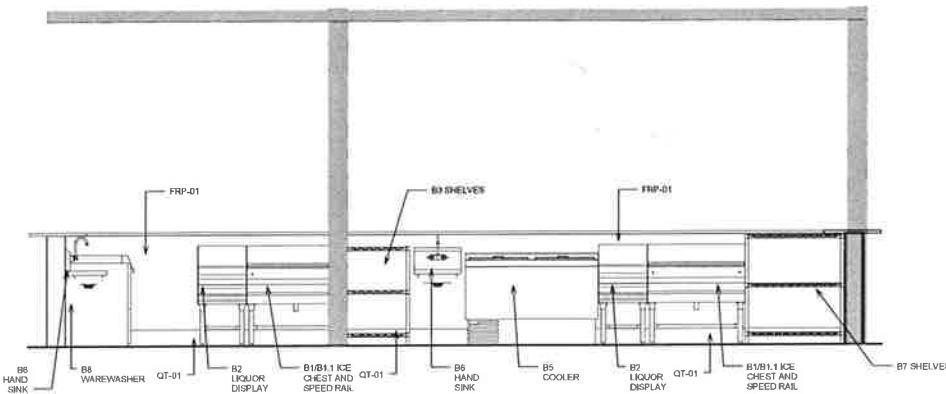
5 KITCHEN - EAST ELEVATION
1/2" = 1'-0"



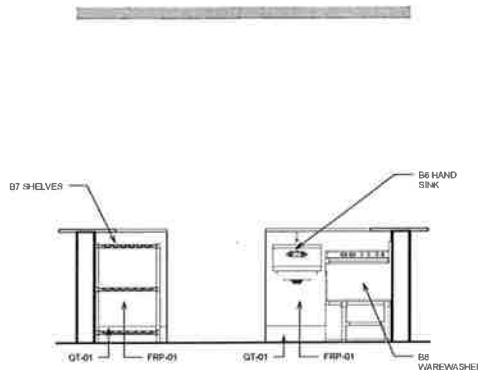
4 BAR - WEST ELEVATION
1/2" = 1'-0"



3 BAR - SOUTH ELEVATION
1/2" = 1'-0"



2 BAR - EAST ELEVATION
1/2" = 1'-0"



1 BAR - NORTH ELEVATION
1/2" = 1'-0"

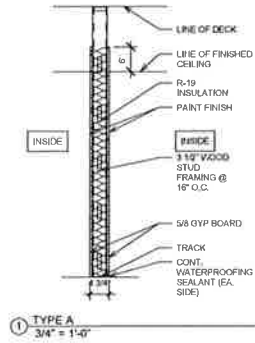
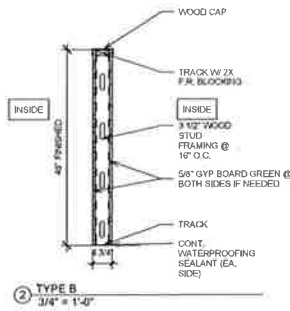
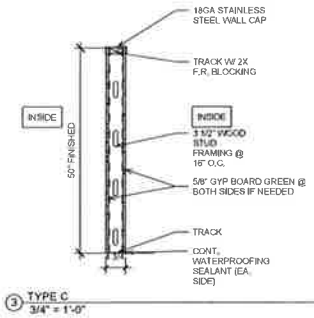
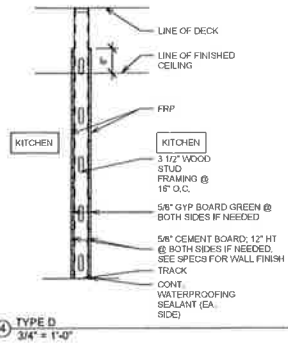
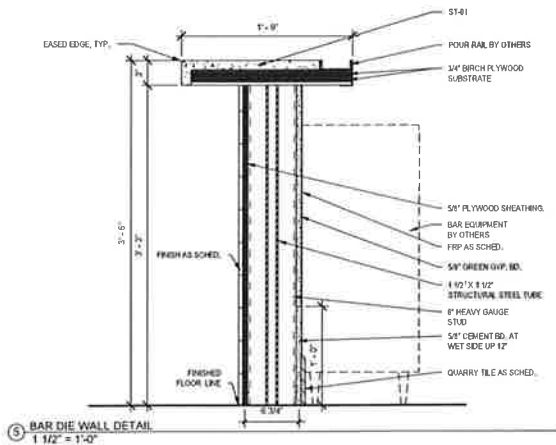
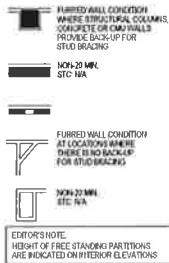
INTERIOR METAL STUD SCHEDULE

SIZE	GA.	TYPE	16" O.C. MAX. UNSUPP. HGT.	24" O.C. DEFLECTION (1/12) (L)	DEFLECTION LATERAL LOAD
1 1/2"	25	ST	12'-2"	19'-9"	L100 @ 5 P.S.F.
	20	ST	13'-0"	13'-2"	L120 @ 5 P.S.F.
	25	ST	14'-11"	17'-0"	L150 @ 5 P.S.F.
2 1/2"	22	ST	13'-10"	11'-4"	L100 @ 5 P.S.F.
	20	ST	16'-11"	16'-1"	L120 @ 5 P.S.F.
	25	ST	19'-5"	18'-8"	L120 @ 5 P.S.F.
3 1/2"	25	ST	19'-5"	18'-8"	L120 @ 5 P.S.F.
	22	ST	16'-4"	13'-4"	L120 @ 5 P.S.F.
	20	ST	21'-5"	19'-3"	L120 @ 5 P.S.F.
	20	SJ	17'-3"	15'-2"	L140 @ 5 P.S.F.
	18	SJ	16'-1"	16'-8"	L140 @ 5 P.S.F.
	16	SJ	20'-0"	17'-11"	L140 @ 5 P.S.F.
	14	SJ	21'-11"	19'-3"	L140 @ 5 P.S.F.
	22	ST	20'-10"	17'-1"	L120 @ 5 P.S.F.
4"	22	ST	17'-3"	14'-1"	L120 @ 5 P.S.F.
	20	ST	23'-2"	20'-8"	L120 @ 5 P.S.F.
	20	SJ	27'-1"	26'-0"	L140 @ 5 P.S.F.
	18	SJ	25'-2"	22'-3"	L140 @ 5 P.S.F.
	10	SJ	26'-0"	23'-11"	L140 @ 5 P.S.F.
	14	SJ	29'-1"	26'-2"	L140 @ 5 P.S.F.
	25	ST	25'-2"	20'-8"	L120 @ 5 P.S.F.
	22	ST	23'-2"	18'-11"	L120 @ 5 P.S.F.
6"	20	SW	25'-0"	21'-10"	L140 @ 5 P.S.F.
	20	SJ	23'-1"	20'-8"	L120 @ 5 P.S.F.
	20	SW	27'-3"	23'-6"	L140 @ 5 P.S.F.
	18	SJ	26'-4"	24'-8"	L140 @ 5 P.S.F.
	16	SJ	29'-5"	26'-3"	L140 @ 5 P.S.F.
	14	SJ	32'-7"	28'-8"	L140 @ 5 P.S.F.
	20	SJ	32'-10"	28'-8"	L140 @ 5 P.S.F.
	18	SJ	35'-0"	31'-3"	L140 @ 5 P.S.F.
8"	16	SJ	38'-4"	33'-4"	L140 @ 5 P.S.F.
	14	SJ	41'-4"	35'-11"	L140 @ 5 P.S.F.

1. BASED ON INTERIOR NON-BEARING PARTITIONS WITH ONE LAYER OF 5/8" GYPSON BOARD EACH SIDE. USE GAUGE TYPE AS SCHEDULED UNLESS NOTED OTHERWISE ON DRAWINGS. RUNNER TRACK GAUGE TO MATCH STUD.
2. WALLS OVER 12'-0" HIGH TO BE Laterally BRACED @ 8'-0" O.C. VERTICALLY WITH 1 1/2", 16GA. COLD-ROLLED CHANNELS CLIP ANCHORED TO METAL STUDS.
3. TYPICAL INTERIOR PARTITIONS TYPE "ST" ARE BASED ON A L120 @ 5 P.S.F.
4. TYPICAL INTERIOR PARTITIONS TYPE "SJ", "SW" & "WW" ARE BASED ON A L240 @ 5 P.S.F.

PARTITION NOTES

1. PARTITIONS ARE DISTINGUISHED ON FLOOR PLAN BY GRAPHIC DESIGNATION OR BY SYMBOL - REFER TO GRAPHIC DESIGNATION AND SYMBOL PARTITION SCHEDULES.
2. LINE OF STRUCTURE INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY.
3. SEALANT
- A. TYPES
1. FIRE RESISTANCE 20 MIN. PARTITIONS SHALL USE FIRE STOP SEALANT SYSTEM.
2. NON-SMOKE PARTITIONS AND NON-20 MIN. SMOKE RESISTANT PARTITIONS SHALL USE NONSTRUCTURAL SEALANT.
4. INSULATION - HEAD CONDITIONS AT FLOOR/ROOF DECK
- A. TYPES
1. FIRE RESISTANCE 20 MIN. PARTITIONS SHALL USE FIRE STOP INSULATION.
2. NON-SMOKE PARTITIONS HEADS SHALL BE ATTACHED TO:
1. REFER TO SCHEDULE IN SPECIFICATIONS FOR STUD GAUGE, SPACING AND ALLOWABLE LIMITS TO HEIGHT (DEFLECTION CRITERIA FOR GYPSON BOARD ASSEMBLIES).
2. SOUND ATTENUATION RALPHAPETS ARE TO BE INSTALLED IN ALL PARTITIONS SURROUNDING A RESTROOM AND SHALL ASSEMBLY TO INCLUDE DRYWALL @ STALLS.
7. FIRE AND/OR SMOKE RESISTANT PARTITIONS ARE TO SURROUND ALL OPENINGS IN 22 MIN. PARTITIONS.
8. FIRE AND/OR SMOKE RESISTANT PARTITIONS SHALL EXTEND AND SEAL TO INSIDE FACE OF EXISTING ONE (1) MIN. INCLUDING EXTENDING THROUGH SCOFFS.
9. EACH PARTITION SHOWN ON THE DRAWINGS TO HAVE A FIRE AND/OR SMOKE RESISTANT RATING SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING ON EACH SEGMENT OF WALL AND 4'-0" O.C. MAX. EACH SIDE OF WALL.
- NOTE: GREEN BOARD TO BE INSTALLED IN KITCHENS AND RESTROOMS THROUGHOUT.



TROPHY DALLAS

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75226

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1. CITY COMMENTS 03.08.25

2. CITY COMMENTS 03.11.25

Date

09/05/2025

WALL PARTITIONS

A500

75 DEGREE DESIGN STUDIO		ISSUE DATE: 02/14/2025 REV. DATE:	PROJECT #2501 PROJECT NAME: TROPHY DALLAS LOCATION: DALLAS, TX	FINISH SCHEDULE		#	ITEM/AREA	MFG./DISTRIBUTOR	DESCRIPTION		SUPPLIED BY (CNO) (CNO) (CNO)	APP MFG.
NOTES (APPLY TO ALL FINISHES): 1. QUANTITY MUST BE VERIFIED BY GC'S INSTALLER PRIOR TO FINISHING ORDER. 2. FINISHES TO BE INSTALLED AS RECOMMENDED BY MANUFACTURER. 3. SEE DRAWINGS FOR LOCATIONS AND DETAILS. 4. REQUEST SAMPLES FOR DESIGNER'S APPROVAL.												
#	ITEM/AREA	MFG./DISTRIBUTOR	DESCRIPTION		SUPPLIED BY (CNO) (CNO) (CNO)	APP MFG.						
ACQUITTAL CEILING TILE (ACT-1)												
ACT-01	VINYL CEILING TILE REF: MFC 8127	USS CORPORATION 800-950-5888	Product Name/Finish: Color: Dimensions: Fire Rating: Material: Edges Detail: Casing Height: Installation:	Kitchen Lay in Panels #3130 White 24" x 24" Class A Vinyl Rounded Reference R10 for Casing Heights Install w/ 1/4" x 1/4" Dimple Suppression Refer to Manufacturer's Installation Instructions. Coordinate with manufacturer for appropriate supports and clips to order for installation.								
ACT-02	METAL CEILING TILE EXISTING RESTROOM CEILING	DECORATIVE CEILING TILES	Product Name/Finish: Color: Material: Dimensions: Thickness: Mounting Method: Installation:	EXISTING EXISTING METAL 24" x 24" 1/2" Screw								
BRICK (BR-1)												
BR-01	EXISTING BRICK INTERIOR WALLS	METRO BRICK AND STONE www.metrobrick.com Pete Hanson 214-637-5848 petehanson@metrobrick.com	Product Name/Finish: Style: Color/Finish: Size: Material: Fire Rating: Installation:	EXISTING Class A Pattern: Running Bond Refer to elevations and finish floor plan for locations, and all per Manufacturer's Recommendations. Provide cutout corner pieces as required.								
CONCRETE (CON-1)												
CON-01	STAINED CONCRETE OVERALL FLOOR EXISTING RESTROOM FLOOR	EXISTING	Product Name/Finish: Style: Color/Finish: Size: Material: Installation:	EXISTING 								
FRP (FRP-1)												
FRP-01	FRP KITCHEN URBEL INTERIOR BAR WALLS	MARLITE OR EQUAL 887-341-0546	Product Name/Finish: Color: Finish: Size: Thickness: Installation: Fire Rating: Notes:	Standard FRP / Item #P100 White Polished Texture 6" x 6" 1/2" thick Install per Manufacturer's Recommendations Class C To be installed with corner guards and PVC trim between panels.								
METAL (MTL-1)												
MTL-01	METAL COLORFUL WALLS	CONTRACTOR'S CHOICE	Product Name/Finish: Color: Name: Finish: Notes:	18 GAUGE GA N/A 216 Restaurant grade industrial Stainless Steel Sheets Brushed Steel Install per Manufacturer's Recommendations, Reference elevations and details for additional information and sizing.								
MTL-03	METAL EXISTING RESTROOM WALLS	CONTRACTOR'S CHOICE	Product Name/Finish: Color: Finish: Notes:	EXISTING 18 GA INCH ROLLED STEEL N/A Clear Matte Seal Install per Manufacturer's Recommendations, Reference elevations and details for additional information and sizing.								
PAINT (PT-1)												
PT-01	PAINT SOFTLY AND OVERALL WALLS	SHERWIN WILLIAMS www.sherwin-williams.com Beth Hockaday 314-555-7940 bhockaday@sherwin.com	Product Name/Finish: Color: Finish: Primer: Sealer: Installation:	Contractor to Advise SW 7063 Iron Ore Flat at ceiling, Eggshell at walls, Satin at painted doors. Contractor to Advise Contractor to Advise 1 Coat Primer, 2 Coats Paint, Apply per manufacturer's recommendations. GC to submit draw down for approval.								
QUARRY TILE (QT-1)												
QT-01	QUARRY TILE KITCHEN, BAR AND SERVICE STATION	DALTILE www.daltile.com Erinna Smith 817-500-7787 erinna.smith@daltile.com	Product Name/Finish: Color: Size: Grout Size: Grout: Installation:	Quarry Tile K0042 Anti Grey 6" x 6" 1/4" Mapek Verapoxy C0-RP25 Off-White Provide 1" Corner Base, Inside Corner Cove Base, and Outside Corner Cove Base as Required. Coordinate w/ required waterproofing.								

TROPHY DALLAS

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75226

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CITY COMMENTS 03.06.25

CITY COMMENTS 03.11.25

Date 09/05/2025

FINISH SCHEDULE

A600

75 DEGREE DESIGN STUDIO	1408 N Riverfront Blvd #129 Dallas TX 75207	ISSUE DATE: 06/06/2024	PROJECT: #2501	LIGHTING SCHEDULE	
		REV. DATE:	PROJECT NAME: TROPHY DALLAS LOCATION: DALLAS, TX		
NOTES: (APPLY TO ALL LIGHTING)					
1. MUST BE CONTRACT QUALITY AND UL LISTED.					
2. LIGHTING TO BE INSTALLED AS RECOMMENDED BY MANUFACTURER.					
3. SEE TO DRAWINGS FOR LOCATIONS AND DETAILS.					
4. SUBMIT ALL FINISH SAMPLES, CUT SHEETS AND/OR SHOP DRAWINGS FOR DESIGNER'S APPROVAL BEFORE FABRICATION.					
5. ALL LED LAMPS TO BE 2700K UNLESS OTHERWISE NOTED.					
6. ALL FIXTURES SPECIFIED ARE 120 V UNLESS OTHERWISE NOTED.					
7. QUANTITY MUST BE VERIFIED BY OWNER'S INSTALLER PRIOR TO PLACING ORDER.					
8. CONTRACTOR TO ASSEMBLE AND INSTALL ALL FIXTURES AND LAMPING.					
9. REFER TO 20 CONEC, MANUAL AND PSE MANUAL FOR FULL SPECIFICATIONS.					
10. GO TO COORDINATE WITH THE MANUFACTURER FOR ALL THE SPRINKLER LOCATION OUTCUTS ROOM TO MANUFACTURING.					
11. ALL LAMPING (BULBS) FOR CUSTOM FIXTURES TO BE SUPPLIED BY MANUFACTURER.					
12. ALL LAMPING (BULBS) FOR BUILT-IN FIXTURES TO BE SUPPLIED BY GC.					
#	ITEM/ AREA	REQ./ DISTRIBUTOR	DESCRIPTION	SUPPLIED BY OWNER [X] USG [X] MFC [X]	PRICE
ARCHITECTURAL LIGHTING (A)					
A1.1	RECESSED SPOT WHITE	ALPHABET	Product Name: NUS 3" Round Downlight - 15 Degree Product #: NUS-RD-SW-15/3A-27K-90-150-MCL-6K-6K-NC-UNV-CHASD Accessories: HCL Mercury/LED Lensar Finish: Black Overall Dimensions: 3.125" Dia x 3.514" H Cutting Height: 3" 0" APF Lamping: 1290 Lumens LED E700K Voltage: 120V Voltage: 120-277V Dimming: 0-10V dimming to 1% Connect to Dimmer System		\$
A1.2	RECESSED FLOOD WHITE	ALPHABET	Product Name: NUS 3" Round Downlight - 40 Degree Product #: NUS-RD-SW-15/3A-27K-90-150-MCL-6K-6K-NC-UNV-CHASD Accessories: HCL Mercury/LED Lensar Finish: Black Overall Dimensions: 3.125" Dia x 3.514" H Cutting Height: 3" 0" APF Lamping: 1290 Lumens LED E700K Voltage: 120V Voltage: 120-277V Dimming: 0-10V dimming to 1% Connect to Dimmer System		\$
A2.1	CYLINDER SPOT	ALPHABET	Product Name: Beta 3" Cylinder Spot Product #: BETA-3A-SW-15/3A-27K-90-150-MCL-6K-6K-NC-UNV-CHASD Accessories: Mercury/LED Lensar Finish: Black Overall Dimensions: 3.125" Dia x 3.514" H Cutting Height: Bottom of Fixture to be Mounted 4" Below Bottom of Jot Lamping: 1290 Lumens LED E700K Voltage: 120V Voltage: 120-277V Dimming: 0-10V dimming to 1% Connect to Dimmer System		\$
A2.2	CYLINDER FLOOD	ALPHABET	Product Name: Beta 3" Cylinder Flood Product #: BETA-3A-SW-15/3A-27K-90-150-MCL-6K-6K-NC-UNV-CHASD Accessories: Mercury/LED Lensar Finish: Black Overall Dimensions: 3.125" Dia x 3.514" H Cutting Height: Bottom of Fixture to be Mounted 4" Below Bottom of Jot Lamping: 1290 Lumens LED E700K Voltage: 120V Voltage: 120-277V Dimming: 0-10V dimming to 1% Connect to Dimmer System		\$
LED FLAT PANEL (FL)					
FL1	RECESSED PANEL	LITHORA LIGHTING	Product: 2 x 4 recessed Flat Panel Product Number: 2PANEL-24-400LM-800H-40K-RAND-2T-ADJUST Overall Dimensions: 2' x 4' Lamping: 4000 3000K 42 DIMM Voltage: 120-277V Notes: Connect to Dimmer System		\$
EMERGENCY LIGHT (EM)					
EM-X.1	EMERGENCY EXIT SIGN/EXIT UNIT	ELIP	Product Name: EXIT LED Exit Sign/Combo Unit Product #: EXIT280 Finish: 3030/3030 LED Lensar Voltage: 120V Voltage: 120-277V		\$
EM-X.2	EMERGENCY EXIT SIGN EXTERIOR	ELIP	Product Name: Exit Location Thermoplastic Exit Product #: EXITVALER 3 R 6 Finish: 3030/3030 LED Lensar Voltage: 120V Voltage: 120-277V		\$
EM-L.1	EMERGENCY LIGHT	ELIP	Product Name: Emergency Light with Photopic Lensar Product #: ELIP25 LED-BLA (FROM ONLY) ENG'S LED (NOTCH/NO ONLY) Finish: Black (2 Only) WMA (Notched/Notched only) Voltage: 120V Voltage: 120-277V Notes: For hospital ceiling location. Mount to suspended steel @ height of Bottom of Jot		\$
EM-L.2	OUTDOOR EMERGENCY LIGHT	ELIP	Product Name: Outdoor LED AC/DC Unit Product #: OWEL-PAV-EM-BK Finish: Black Voltage: 120V Voltage: 120-277V		\$

OWNER: OWNER SUPPLIER/OWNER INSTALLED
CONTRACTOR: CONTRACTOR SUPPLIER/CONTRACTOR INSTALLED
GENERAL CONTRACTOR: GENERAL CONTRACTOR SUPPLIER/GENERAL CONTRACTOR INSTALLED
DESIGNER: DESIGNER SUPPLIER/DESIGNER INSTALLED
NOTES: GENERAL CONTRACTOR IS REQUIRED TO SUPPLY DESIGNER WITH SAMPLES OF ALL MATERIALS WHEN GENERAL CONTRACTOR IS SUPPLYING & INSTALLING. THIS INCLUDES ALL ADHESIVE, FINISHES (1 1/2" x 1 1/2" WHITE BOARD), FABRIC, METAL AND WOOD FINISH SAMPLES. IF CONTRACTOR DOES NOT SUPPLY THESE TO DESIGNER FOR WRITTEN APPROVAL PRIOR TO PURCHASING/INSTALLATION, DESIGNER HAS RIGHT TO DISAPPROVE ANY UNAPPROVED FINISH AND REQUIRE CONTRACTOR TO REPLACE ALL MATERIAL AT HIS EXPENSE WITH AN APPROVED MATERIAL FINISH. CONTRACTOR TO PROVIDE SHOP DRAWINGS SHOWING COMPLETE LAYOUT OF ALL FIXTURES, MOUNTING METHOD, REMOTE TRANSFORMER LOCATIONS, AND CONTROL DEVICE LOCATIONS. CONTRACTOR TO PROVIDE ADEQUATE BUCKING FOR FIXTURES AS NECESSARY.

TROPHY DALLAS

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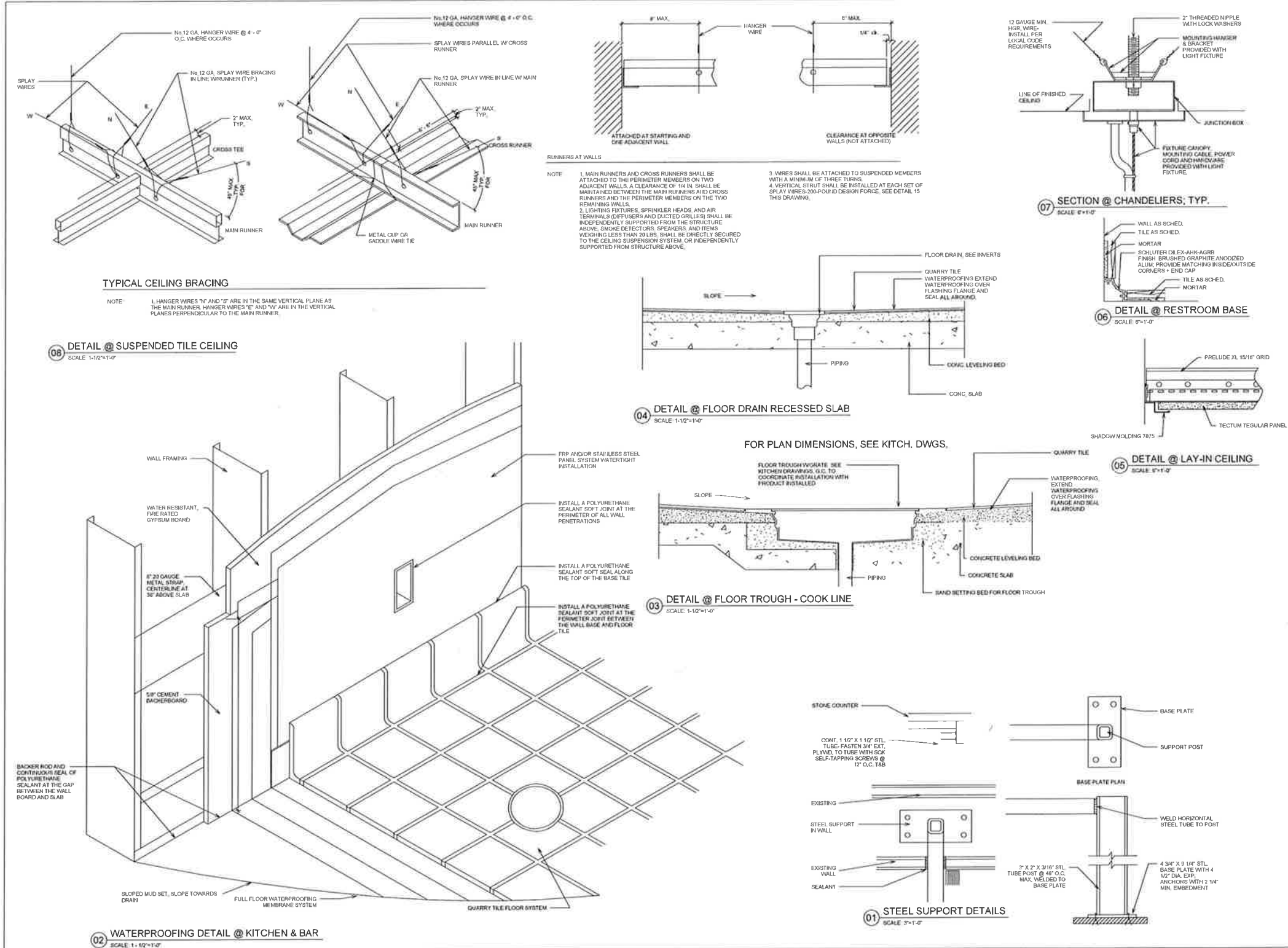
1. CITY COMMENTS 03.08.25

2. CITY COMMENTS 03.11.25

Date 09/05/2025

LIGHTING FIXTURE
SCHEDULE

A601



TROPHY DALLAS

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DETAILS

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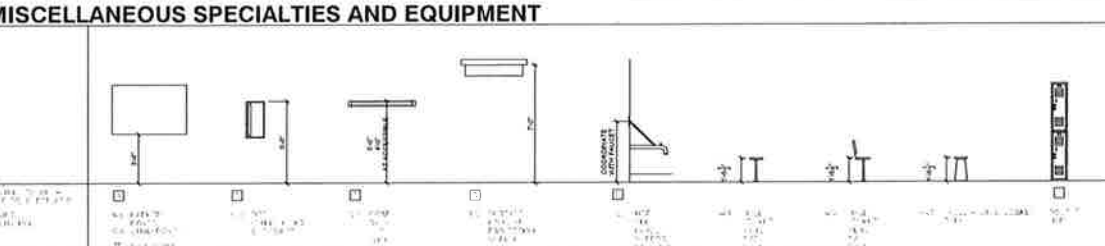
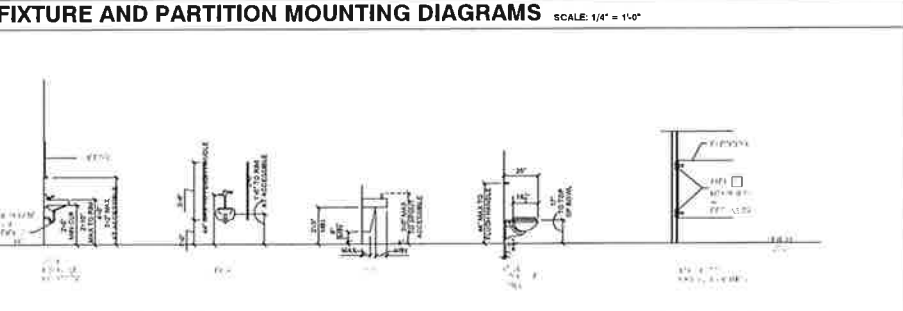
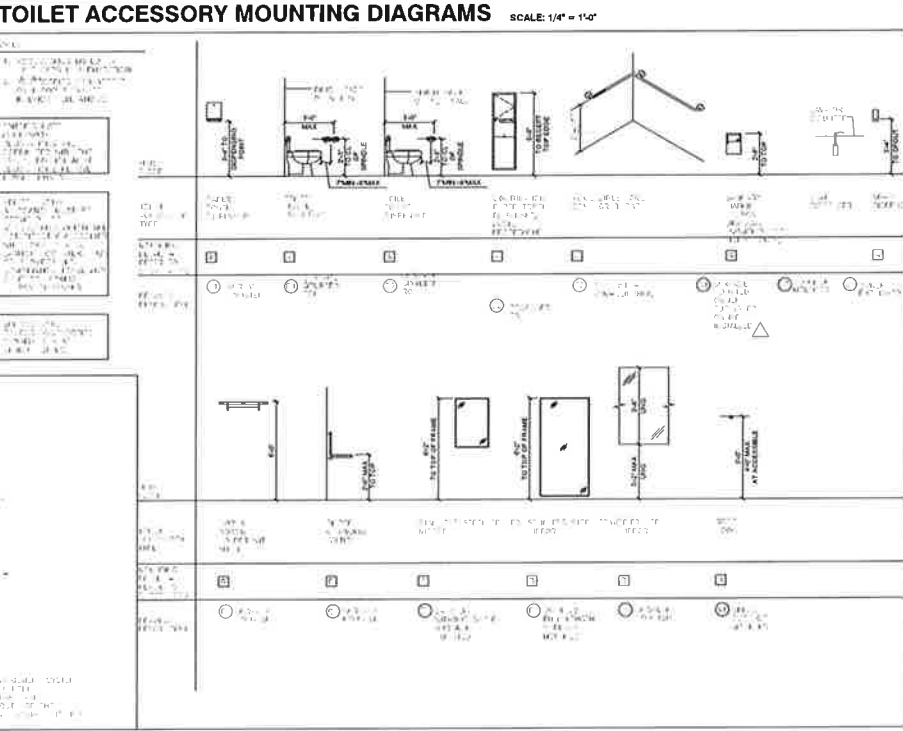
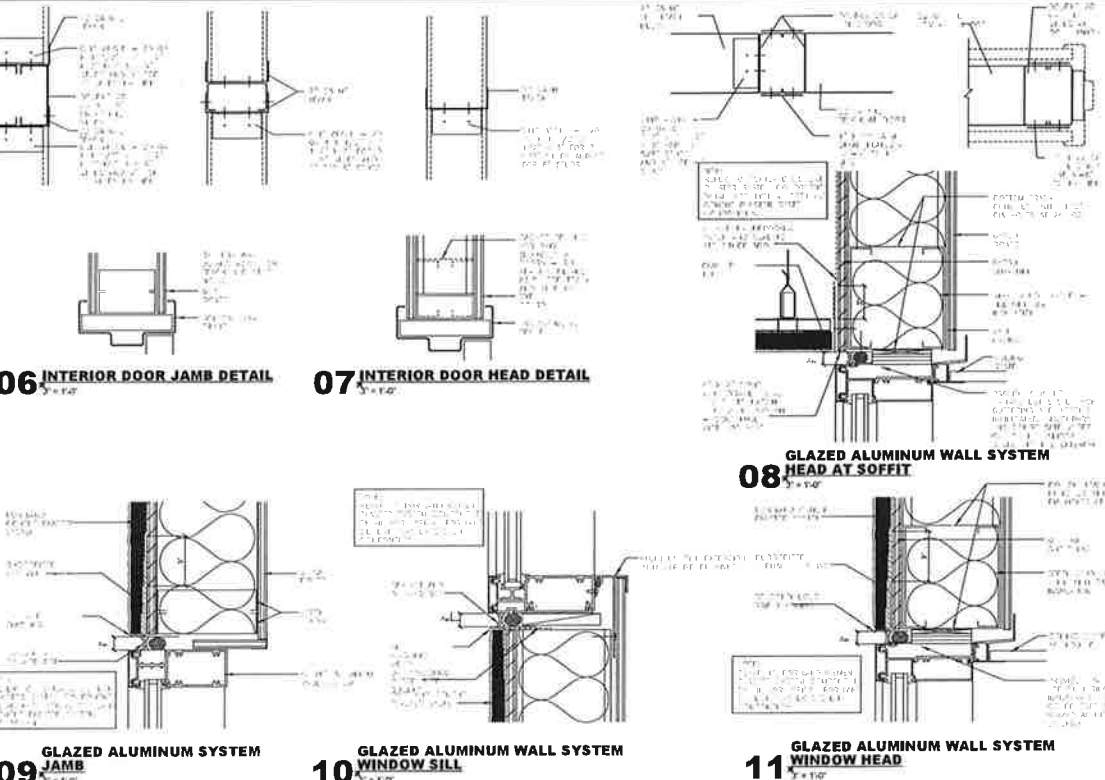
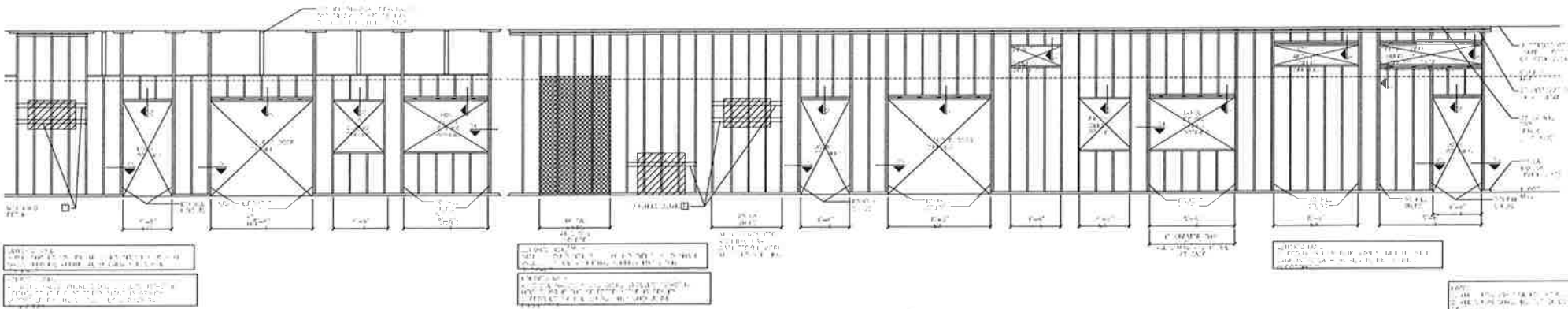
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GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND
INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR
ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE
FOR THE VODORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY
PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN WRITING TO 75
DEGREE DESIGN STUDIO. PRESENTING BUILDING CODES TO BE ADHERED UNDER
ALL CIRCUMSTANCES.

NOTE: SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
FOY@75DEGREEDESIGNSTUDIO.COM
OR 75DEGREEDESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL LIFE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA,
TASTARD REVISIONS AND STANDARDS INCLUDING SLOPES.

ALL EXTERIOR DOORS SHALL NOT EXCEED 6.5 POUNDS OF PRESSURE TO
OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM
ADA REACH RANGE OF 48" A.F.F., EXCEPTIONS NOTED PER ADA GUIDELINES AND
WITH RESPECT TO HORIZONTAL REACH DISTANCES, ADA REACH RANGE 15"
MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS
WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

CONTRACTOR IS RESPONSIBLE FOR CHECKING FIELD CONDITIONS,
CONSTRUCTION DOCUMENTS, FOR CLARITY & ACCURACY PERTAINING TO
SCOPE. ALL QUESTIONS AND CLARIFICATION REQUEST SHALL BE ADDRESSED
PRIOR TO COMMENCING CONSTRUCTION. ANY CONFLICT IN SCOPE BETWEEN
DESIGNER'S AND THEIR DOCUMENTATION SHALL BE BROUGHT TO THE
ATTENTION OF 75 DEGREE DESIGN STUDIO.

ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR
REVIEW & APPROVAL.

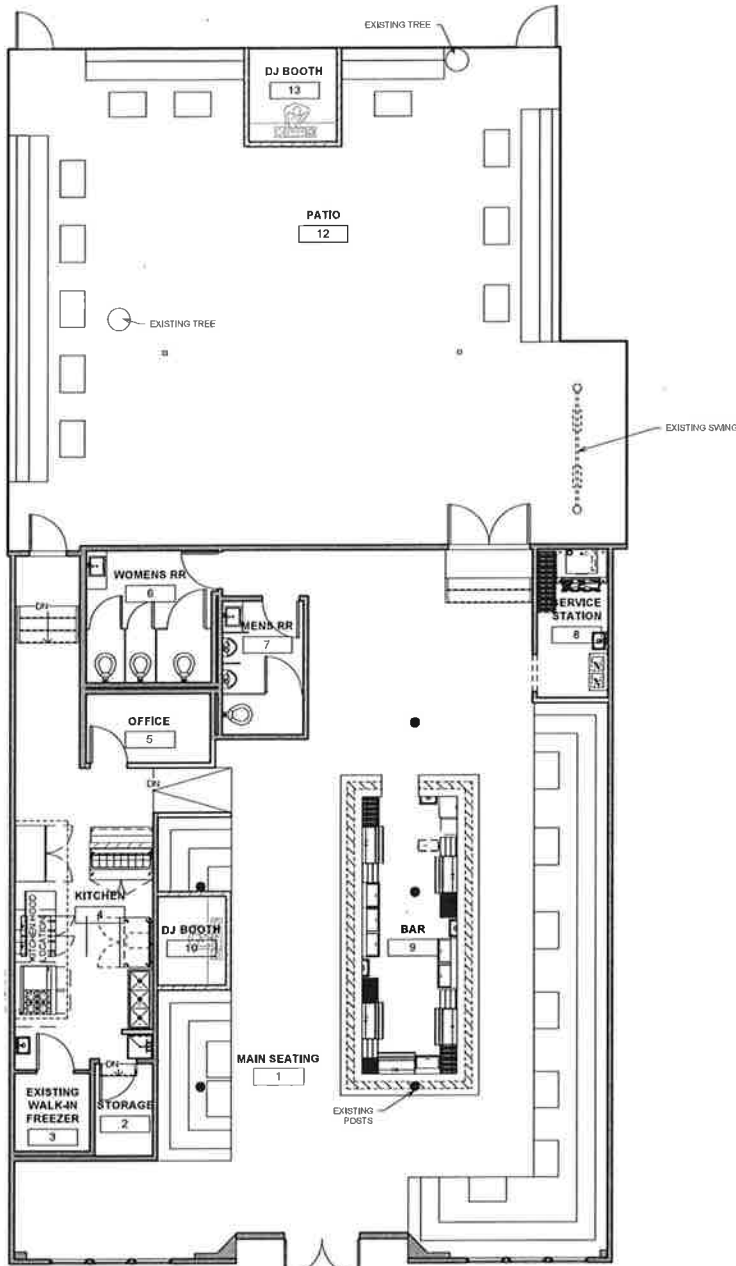
ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED
BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S
RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE
PENETRATIONS FOR, BUT NOT LIMITED TO: DOORS, WINDOWS, ROOF
PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & CORNER FLASHING
WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS. TYPICAL ALL SHEETS.

COMMENCING
CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR
TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT
DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED
RELATING TO THESE DOCUMENTS.

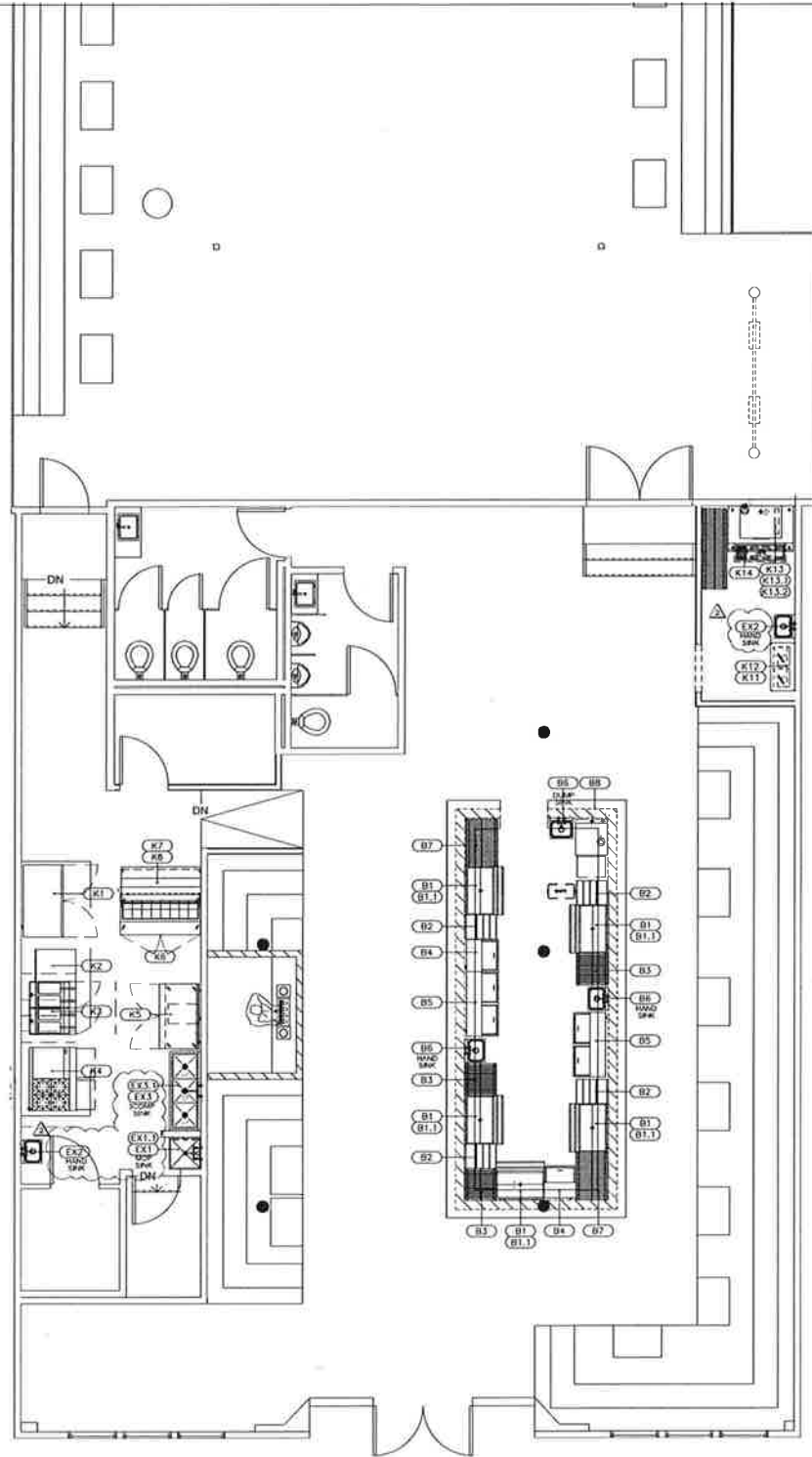


1 FURNITURE PLAN
3/16" = 1'-0"

TRUE
NORTH

FURNITURE FLOOR
PLAN

ID100



01 EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

EQUIPMENT SCHEDULE					
Item No	Qty	Equipment Category	Manufacturer	Model Number	Equipment Remarks
B1	5	Underbar Ice Chest	Eagle Group/Metal Masters	B36IC-24	
B1.1	5	Underbar Speed Rail	Eagle Group/Metal Masters	KSR-36	
B2	4	Underbar Liquor Display	Eagle Group/Metal Masters	LD18-24	
B3	3	Shelving, Wire	Metro	2424NK3	Kit- 36"H
B4	2	Froster/Chiller, Glass/Mug/Plate	Glastender	MF24-B2	
B5	2	Cooler, Bottle	Glastender	ST48-S	
B6	3	Hand Sink, Wall Mount	Advance Tabco	7-PS-60	
B7	2	Shelving, Wire	Metro	2436NK3	Kit- 36"H
B8	1	Warewasher, Undercounter	Champion Industries	UH1.30B	
B9		Removed			
EX1	1	Map Sink, Floor Mount	Mustee	63M	
EX1.1	1	Map Sink Faucet, Wall Mount	T & S Brass	B-0655-BSTP	
EX2	2	Hand Sink, Wall Mount	Advance Tabco	7-PS-60	
EX3	1	Sink, NSF, 3 comp, 16 gauge	Advance Tabco	FC-3-1818	
EX3.1	1	Faucet, Wall Mount	T & S Brass	B-0231	
K1	1	Freezer, Reach-In	True Mfg.	T-49F-HC	
K2	1	Table, Work, 16 gauge, Back Splash w/ Undershelf	Advance Tabco	KMS-302	
K3	2	Fryer, Deep Fat, Gas	Pitco	SC18-S	
K4	1	Range, Restaurant, Gas	Corland	CPE48-4024LL	
K5	1	Refrigerator, Worktop	True Mfg.	TWT-48-HC	
K6	1	Refrigerator, Sandwich/Salad Prep	True Mfg.	TSSU-60-16-ADA-HC	
K7	1	Cabinet, Dish	Eagle Group/Metal Masters	PC1560SE-CS	
K8	1	Shelf, Pass-Thru w/Overshelf	Advance Tabco	PA-18-60-2	
K11	1	Co2 Tank - Secured to Building	By Soda Co	By Beverage Co.	
K12	1	Bag-N-Box Rack	By Soda Co	By Soda Co.	
K13	1	Ice Maker w/o Bin	Scotsman	C1030SR-32D	
K13.1	1	Bin, Ice	Scotsman	B948S	
K13.2	1	Filter System, Icemaker	3M Purification	ICE160-S	
K14	1	Floor Trough	IMC/Teddy	ASFT-1236-SG	

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△ CITY COMMENTS 2 02/19/25

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EQUIPMENT PLAN AND
SCHEDULE

K1.0

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Date

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EQUIPMENT ELECTRICAL
ROUGH-IN

K1.1

ELECTRICAL ROUGH-IN SCHEDULE

Item No	Equipment Category	Volts	Phase	Amps	Direct Plug	Electrical Aff	NEMA	Elec Remarks
E1	General Use Outlet	120	1	20.0	X	1B	5-15P	
E2	General Use Outlet	120	1	20.0	X	36	5-15P	
E3	POS - Data				X	1B		Run conduit to office for data line
E4	Remote Fire Pull				X	48		See detail 2/K1.1
B4	Froster/Chiller, Glass/Mug/Plate	120	1	6.0	X	2	5-15P	
B5	Cooler, Bottle	120	1	4.5	X	2	5-15P	
B8	Wardwisher, Undercounter	208	1	32.0	X			
B9	Removed							
K1	Freezer, Reach-In	115	1	9.6	X		5-15P	
K3	Fryer, Deep Fat, Gas							
K4	Range, Restaurant, Gas	115	1	0.1	X		5-15P	
K5	Refrigerator, Worktop	115	1	5.0	X		5-15P	
K6	Refrigerator, Sandwich/Salad Prep	115	1	6.5	X		5-15P	
K11	Co2 Tank - Secure to Building				VFY			
K12	Bag-N-Box Rack				VFY			
K13	Ice Maker w/o Bin	208-230	1	15.8	X			

ELECTRICAL SYMBOLS

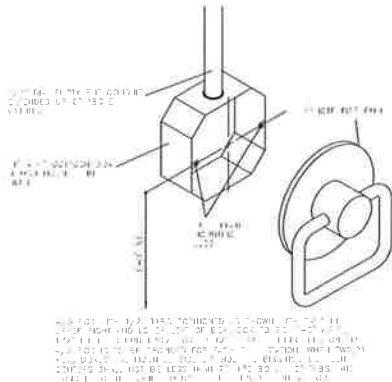
SYMBOLS		ABBREVIATIONS
① SINGLE CONVENIENCE OUTLET (SR)	① SOLENOID OR CONTROL CIRCUIT	EL ELEVATION ABOVE FINISH FLOOR
② DUPLEX CONVENIENCE OUTLET (CR)	② CONDUIT AS NOTED	A AMPERES
③ WEATHER PROOF DUPLEX OUTLET (WFO)	③ FIRE PULL CONDUIT	V VOLTS
④ QUAD CONVENIENCE OUTLET (QCO)	④ CONVENIENCE OUTLET, TWO CIRCUIT, 120/208V, 3 WIRE OR AS NOTED	W WATTS
⑤ SPECIAL PURPOSE OUTLET (SPO)	⑤ SWITCH	Ø PHASE
⑥ JUNCTION BOX (JB)	⑥ SWITCH AND PILOT LIGHT	AFF ABOVE FINISH FLOOR
⑦ DROP CORD RECEPTACLE (DCR)	⑦ TELEPHONE/DATA OUTLET	BTC BRANCH TO CONNECTION POINT AND CONNECT TO EQUIPMENT
⑧ SINGLE POWER OUTLET (SO) AS NOTED	⑧ PANEL BOARD	BFF BRANCH TO FIXTURE, FURNISH/INSTALL RECEPTACLE
⑨ STUB UP ABOVE FINISHED FLOOR	⑨ DISCONNECT SWITCH	DF A DOWN FROM ABOVE
⑩ LIGHT INDICATION		SU STUB UP ABOVE FINISH FLOOR
⑪ HEATED ELEMENT OR POWER		HP HORSEPOWER
⑫ MOTOR OUTLET		KW KILOWATTS
⑬ CEILING RECEPTACLE AS NOTED		
⑭ FLOOR RECEPTACLE AS NOTED		

ELECTRICAL NOTES:

- REFER TO DIMENSIONS ON THIS DRAWING
- VERIFY ALL ELECTRICAL CHARACTERISTICS W/ ARCHITECT'S ENGINEERING DRAWINGS.
- DIMENSION INDICATED ARE TO BE VERIFIED AS REQ'D BY FIELD CONDITIONS
- ACCESSORIES AND FITTINGS PROVIDED LOOSE W/ FOODSERVICE EQUIPMENT BY SECTION 114000, FIELD INSTALLED BY DIV. 26.
- S/S DISCONNECT SWITCH PROVIDED/INSTALLED BY DIV. 26.
- ALL ELECTRICAL CONNECTIONS BENEATH EXHAUST HOOD TO EXTEND TO SHUNT TRIP BREAKERS W/IN ELECTRICAL PANEL BOX FOR SHUT-DOWN DURING FIRE MODE - BU DIV. 26.
- DOOR HEATER(S), LIGHT(S), AND PRESSURE RELIEF PORT(S) PRE-WIRED TO J-BOX AT FINAL CONNECTION BY DIV. 26.
- (7) WIRES AND CONDUIT FROM CONDENSER J-BOX AT COLD STORAGE REFRIGERATION RACK TO EVAPORATOR COIL J-BOX BY DIV. 26.
- INTERCONNECT TO EXHAUST HOOD FANS(S) AND SWITCH BY DIV. 26.
- INTERCONNECT TO EXHAUST HOOD LIGHT(S) AND SWITCH BY DIV. 26.
- INTERCONNECT FIRE PROTECTION SYSTEM TO PANEL BOX SHUNT TRIP(S) AND BUILDING ALARM BY DIV. 26.
- RECEPTACLE(S) TO BE PRE-WIRED TO J-BOX OR LOAD CENTER FOR FINAL CONNECTION BY DIV. 26.
- SECTION 114000 TO VERIFY UTILITY REQ'S OF EXISTING EQUIPMENT.
- EMPTY CONDUIT RUN FROM CASHIER STATION TO MANAGER'S OFFICE FO POS SYSTEM BY DIV. 26. LOCATION OF MANAGER'S OFFICE TO BE VERIFIED.

ELECTRICAL COORDINATION NOTE:

NOTE: ELECTRICAL CONNECTION INDICATED ARE THIS REQ'D FOR THE FOODSERVICE EQUIPMENT AND THOSE REQ'D FOR SUPPORT EQUIPMENT FURNISHED BY DIV. 26. FOR ADDITIONAL REQ'S REFER TO ELECTRICAL ENGINEERS DRAWINGS.



Remote Fire Pull Detail

01 ELECTRICAL ROUGH-IN
SCALE: 1/4" = 1'-0"

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EQUIPMENT PLUMBING ROUGH-IN

K1.2

PLUMBING ROUGH-IN SCHEDULE

Item No	Equipment Category	Cold Water Size (in)	Cold Water AFF (in)	Hot Water Size (in)	Hot Water AFF (in)	Direct Drain Size (in)	Direct Drain AFF (in)	Direct Drain Rough-In	Indir Drain Size (in)	Gas Size (in)	MBTUH	Gas AFF (in)	Equipment Remarks
B1	Underbar Ice Chest								1.5				
B6	Hand Sink, Wall Mount	0.5	21	0.5	21	1.5	18						
B8	Warewasher, Undercounter			0.5	2				1.5				110F Min. hot water connection
EX1	Map Sink, Floor Mount	0.5	53	0.5	53								
EX1.1	Map Sink Faucet, Wall Mount	0.5	53	0.5	53								
EX2	Hand Sink, Wall Mount	0.5	21	0.5	21	1.5	18						
EX3	Sink, NSF, 3 comp, 16 gauge								2				
EX3.1	Faucet, Wall Mount	0.5		0.5									
K3	Fryer, Deep Fat, Gas									0.75	140	15.5	
K4	Range, Restaurant, Gas									1	204	23.25	
K13	Ice Maker w/o Bin	0.375				0.75							3/8" Rem. Cond Liquid line/ 1/2" Discharge Line
K13.1	Bin, Ice								0.75				
K13.2	Filter System, Icemaker	0.5				0.5							
K14	Floor Trough												See Detail 3/K4

DRAIN ROUGH-IN SCHEDULE

#	SIZE	CONN	SERVICE TO	REMARKS
D1	4"	FLOOR DRAIN	GENERAL USE	---
D1E	4"	FLOOR DRAIN	GENERAL USE	EXISTING
D2	12"	FLOOR SINK	EQUIPMENT	P.C. TO RUN INDIRECT DRAIN LINES, 1/2" GRATE
D2E	12"	FLOOR SINK	EQUIPMENT	EXISTING

PLUMBING SYMBOLS

SYMBOLS	ABBREVIATIONS	WATER SUPPLY REQUIREMENTS
① ① HOT/COLD WATER	HW HOT WATER	ALL WATER SUPPLIED KITCHEN EQUIPMENT SYSTEMS ARE SUBJECT TO CONTAMINATION AND FAILURE DUE TO MINERAL CONTENT FOUND IN MOST WATER SUPPLIES. TO MINIMIZE SERVICE PROBLEMS & TO MEET WARRANTY REQUIREMENTS A WATER TREATMENT (SOFTENING) SYSTEM IS RECOMMENDED WHEN WATER QUALITY IS FOUND TO EXCEED LIMITS STATED BELOW & IN OPERATORS MANUALS. RECOMMENDED MINIMUM WATER QUALITY STANDARDS ARE TOTAL DISSOLVED SOLIDS (TDS) CONTENT SHOULD NOT EXCEED 30 PARTS PER MILLION & WATER PH SHOULD BE 7.0 OR HIGHER.
① DRAIN IN WALL	CV COLD WATER	
② PIPING/RUNING CHASE	DR DRAIN	
③ FLOOR DRAIN AS NOTED	AF ABOVE FINISHED FLOOR	
④ FLOOR DRAIN AS NOTED	BF BELOW FINISHED FLOOR	
⑤ HUB DRAIN	FD FLOOR DRAIN	
⑥ FLOOR SINK FULL GRATE	FFD FUNNEL DRAIN	
⑦ FLOOR SINK 3/4 GRATE	FS FLOOR SINK	
⑧ FLOOR SINK HALF GRATE	HB HUB DRAIN	
⑨ FLOOR TROUGH DRAIN	SS STEAM SUPPLY	
⑩ GAS DROP	SR STEAM RETURN	
• STUB UP	SU STUB UP ABOVE FINISHED FLOOR	
	DL DOWN FROM ABOVE	

01 PLUMBING ROUGH-IN
SCALE: 1/4" = 1'-0"

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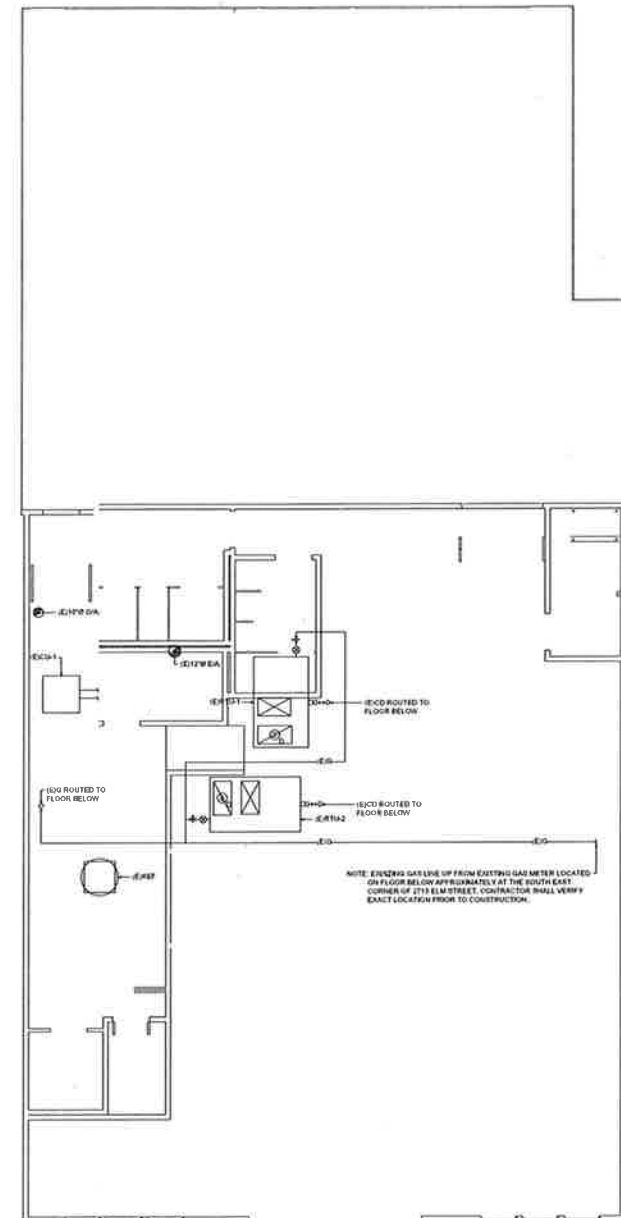
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ROOF PLAN - MEP

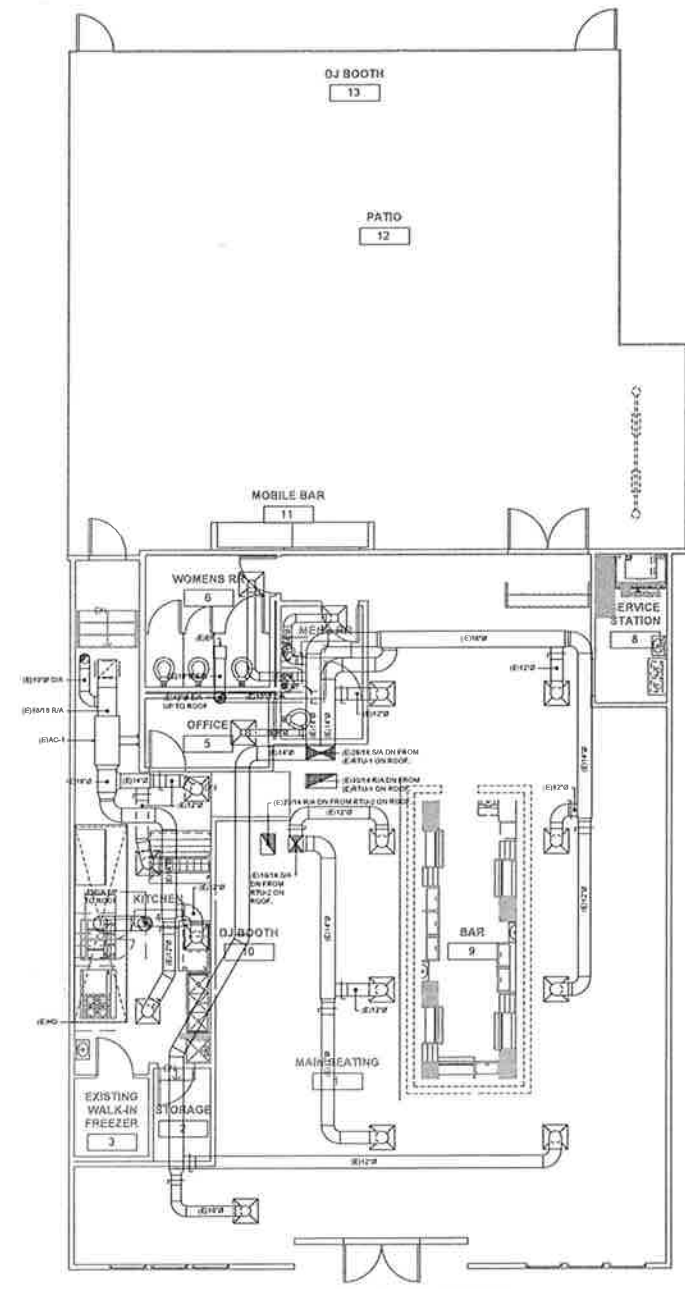
MEP2.02



NOTE: MECHANICAL INFORMATION IS SHOWN FOR REFERENCE ONLY.
MECHANICAL SYSTEMS TO STAY AS IS, THERE IS NO SCOPE AT THIS TIME

01 ROOF PLAN - MEP
SCALE: 3/16" = 1'-0"





GENERAL NOTE(S):

1. ALL EXISTING MECHANICAL SYSTEMS SHALL BE TESTED PRIOR TO CONSTRUCTION TO VERIFY EXISTING CAPACITIES. CLEAR ALL COILS, CHANGE OUT ALL FILTERS, REPLACE ALL BELTS AND TAKE THE NECESSARY PROCEDURES TO ENSURE THAT ALL REQUIRED EQUIPMENT IS IN PROPER WORKING CONDITION.

2. EXISTING DUCTWORK IS APPROXIMATE (BASED ON FIVE YEAR). EXACT ROUTING WILL NEED TO BE VERIFIED FOR ANY MAJOR DISCREPANCIES. ALL EXISTING DUCTWORK THAT REMAINS SHALL BE CLEANED AND INSPECTED FOR LEAKS. REPAIR ANY LEAKS THAT MAY BE PRESENT AT THE TIME OF EXAMINATION.

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FLOOR PLAN - MECHANICAL

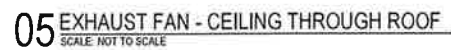
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EXISTING SPLIT SYSTEM SCHEDULE																												
AIR HANDLING UNIT														CONDENSING UNIT						REMARKS								
MARK	NOM. TONS	SUPPLY FAN				COOLING				HEATING		MANUFACTURER	WEIGHT (LBS)	MODEL NO.	VOLT/PH	MCA	MOCD	MARK	AMBIENT TEMP (°F)		VOLT/PH	MCA	MOCD	MANUFACTURER	WEIGHT (LBS)	MODEL NO.		
		O/A	CFM	E.S.P. (\"WG)	BHP/HP	E.A.T. (°F) DB/WB	L.A.T. (°F) DB/WB	TOT. CAP (MBH)	SEN. CAP (MBH)	TYPE	INPUT (MBH)																OUTPUT (MBH)	
HEAC-1	2.5	400	2,000	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	HECA-1	100	207/1	15.9	81	—	COLEMAN	—	EEJF8581A	1

1. UNIT IS EXISTING AND/OR BEING RELOCATED ON THE ROOF.

EXISTING ROOFTOP UNIT SCHEDULE																							
MARK	SERVES	NOM. TONS	AMBIENT TEMP (°F)	O/A CFM	SUPPLY FAN				COOLING COIL				HEATING			ELECTRICAL			MANUFACTURER	MODEL NO.	REMARKS		
					CFM	E.S.P. ("WC)	BHP/HP	RPM	E.A.T. (°F) DB/WB	L.A.T. (°F) DB/WB	TOT. CAP (MBH)	SEN. CAP (MBH)	TYPE	INPUT (MBH)	OUTPUT (MBH)	MOCP	UNIT MCA	UNIT VOLT/PH					
CE2RTA-1	---	7.8	175	800	1.800	---	---	---	---	---	---	---	---	GA8	225	---	---	35	41.6	208/3	DAKIN	EP-0305CH-0000000A	1
CE2RTA-2	---	9.0	175	720	1.800	---	---	---	---	---	---	---	---	GA8	172.5	---	---	100	61	208/3	CARRIER	MTJ0016-0711A	1

5. UNITS EXISTING AND/OR BEING RELOCATED ON THE ROOF.



M5.01

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ENGINEERING
MEP CONSULTANTS | TEXAS REG. #F-0273 | 294.4.06
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TEL: 214-356-4349

ISSUE:

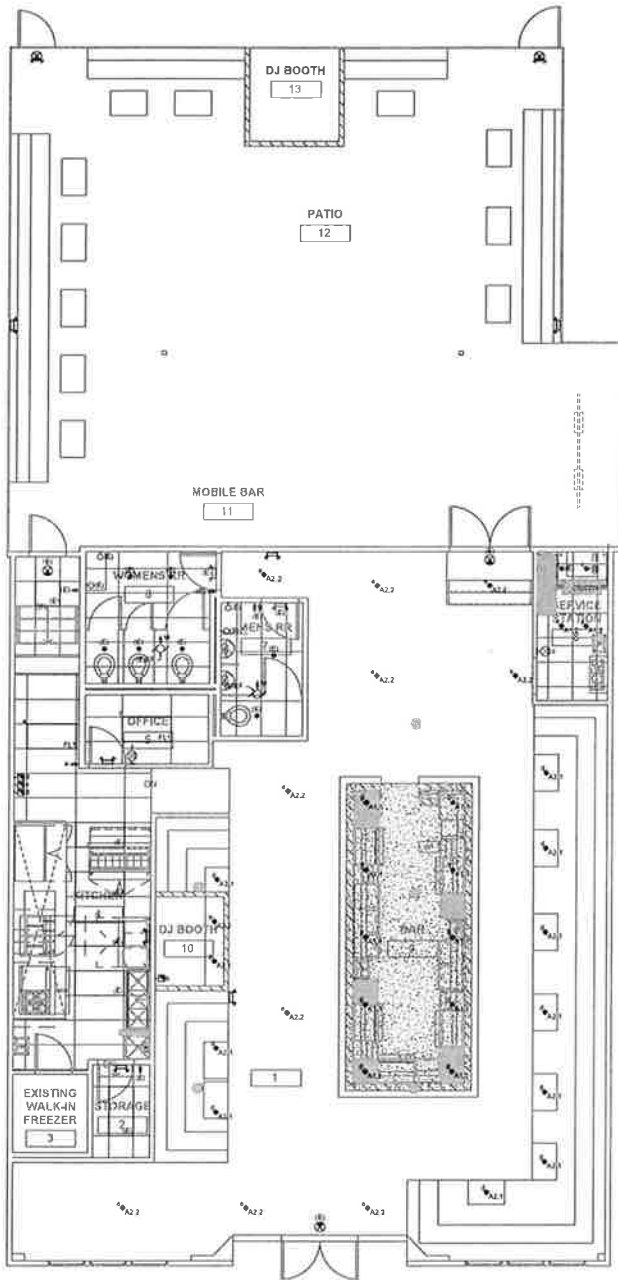
REVISIONS:

Δ CITY COMMENTS 8/06/2025
Δ CITY COMMENTS 8/14/2025

Date 02/19/2025

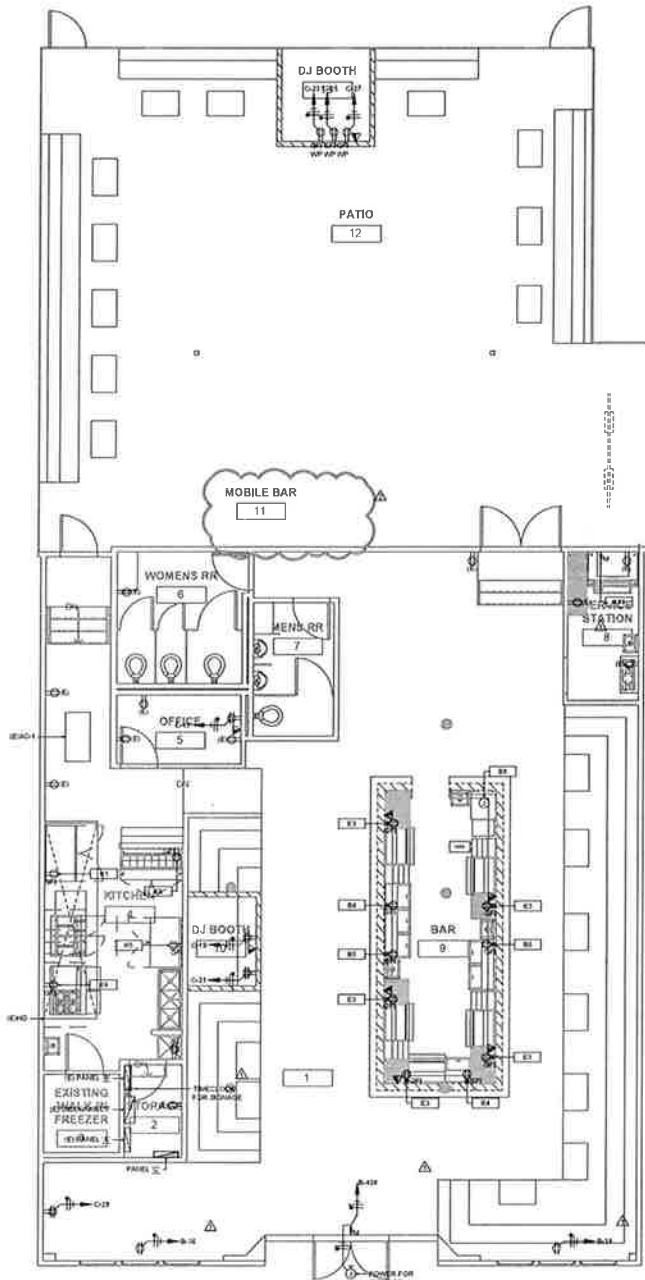
FLOOR PLAN -
ELECTRICAL

E2.01



02 FLOOR PLAN - LIGHTING

SCALE: 3/16" = 1'-0"



01 FLOOR PLAN - ELECTRICAL

SCALE: 3/16" = 1'-0"

ELECTRICAL KITCHEN NOTES:

- REFER TO OTHER PLANS FOR DIMENSIONS. ELEVATIONS GIVEN ARE FROM FINISHED FLOOR TO CENTERLINE OF OUTLET. ALL CONVENIENCE OUTLETS ARE TO BE SET HORIZONTALLY.
- ELECTRICIAN TO CONNECT ALL ELECTRICAL EQUIPMENT AND FIXTURES AND DO ANY INTERNAL WIRING REQUIRED IN THE FIXTURES AS REQUIRED BY THE SPECIFICATIONS. ALL ELECTRICAL OUTLET COVER PLATES ARE TO BE STAIN-LESS STEEL AND ARE TO BE FURNISHED BY THE ELECTRICIAN, AS WELL AS THE RECEPTACLE, UNLESS OTHERWISE SPECIFIED IN THE ITEM SPECIFICATIONS. KITCHEN EQUIPMENT SUPPLIED TO FURNISH A GALVANIZED JUNCTION BOX IN THE FIXTURE CUTOFF TO RECEIVE THE RECEPTACLE, UNLESS OTHERWISE NOTED. ALL DISCONNECT SWITCHES REQUIRED ARE TO BE FURNISHED AND INSTALLED BY THE ELECTRICIAN AT TIME OF INSTALLATION.
- ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO WIRING, INSTALLATION AND WIRING OF EQUIPMENT.
- ALL ELECTRICAL WORK FOR FABRICATED FOODSERVICE EQUIPMENT SHALL BE COMPLETELY WIRING BY FURNISH EQUIPMENT DIVISION TO A JUNCTION BOX OR PULL-BOX MOUNTED ON THE EQUIPMENT IN AN ACCESSIBLE POSITION. FINAL CONNECTIONS TO EQUIPMENT JUNCTION-BOX OR PULL-BOX AND ALL ELECTRICAL WORK FROM PANEL BOARDS, TO BE BY THE ELECTRICAL CONTRACTOR.
- FINAL CONNECTIONS TO ALL EQUIPMENT TO BE BY ELECTRICAL CONTRACTOR, INCLUDING MATERIALS.
- ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL THE FOLLOWING:
 - ALL JUNCTION-BOXES, ELECTRICAL OUTLETS, COVER PLATES SWITCHES, ETC., NOT BUILT INTO FIXTURES OR EQUIPMENT, ALL OUTLETS, JUNCTION-BOXES, COVER PLATES, ETC., IN SPINNING OR AS INDICATED ON SCHEDULE, MUST BE VAPOR-PROOF.
 - ALL PLUGS AND CORDS AS NOTED ON SCHEDULE, ALL CORDS SHALL BE N.E.M.A.-RATED AND U.L.-APPROVED FOR MANUFACTURED AND/OR FABRICATED EQUIPMENT.
- WHERE PORTIONS OF A RACEWAY ARE KNOWN TO BE SUBJECTED TO DIFFERENT TEMPERATURES, WHERE CONDENSATION IS KNOWN TO BE A PROBLEM, AS IN COLD STORAGE AREAS THE RACEWAY SHALL BE FILLED WITH AN APPROVED MATERIAL, NEC ARTICLE 300.7.

HOOD EXTINGUISHING:

- UPON ACTIVATION OF ANY FIRE-EXTINGUISHING SYSTEM FOR A COOKING OPERATION, ALL SOURCES OF FUEL AND ELECTRIC POWER THAT PRODUCE HEAT TO ALL EQUIPMENT REQUIRING PROTECTION BY THAT SYSTEM SHALL AUTOMATICALLY SHUT OFF.
- ANY GAS APPLIANCE NOT REQUIRING PROTECTION, BUT LOCATED UNDER THE SAME VENTILATING EQUIPMENT, SHALL ALSO AUTOMATICALLY SHUT OFF UPON ACTIVATION OF ANY EXTINGUISHING SYSTEM.
- SHUTOFF DEVICES REQUIRE MANUAL RESET.

GENERAL NOTES:

- PROVIDE GFI RECEPTACLE FOR ALL KITCHEN AND BAR EQUIPMENT. LOCATE RECEPTACLES SO THEY ARE USABLE AND FREE OF OBSTRUCTION. IF NOT THOROUGHLY ACCESSIBLE, FURNISH A GFI BREAKER WILL BE REQUIRED IN PANEL.
- PROVIDE LOCKABLE CIRCUIT BREAKERS IN ACCORDANCE WITH NEC 240.24 FOR PERMANENTLY CONNECTED KITCHEN EQUIPMENT THAT IS NOT INSTANT OR ASSOCIATED CIRCUIT BREAKER AND PANEL.



(E) PANEL [A] SCHEDULE																								
DESCRIPTION	#	AMP	LIGHT	RECEP	MOTOR	HEAT	KITCH	COMP	OTHER	PHASE	OTHER	COMP	KITCH	HEAT	MOTOR	RECEP	LIGHT	#	AMP	DESCRIPTION				
(E) BREAKER	3	100	0	0	0	0	0	0	0	1 A 2	0	0	0	0	0	0	0	1	20	(E) PAN BACK ODOE				
			0	0	0	0	0	0	0	3 B 4	0	0	0	0	0	0	0	2	20	(E) WPC COND				
			0	0	0	0	0	0	0	3 C 6	0	0	0	0	0	0	0	1						
(E) COOLER	3	30	0	0	0	0	0	0	0	1 A 8	0	0	0	0	0	0	0	2	45	(E) BREAKER				
			0	0	0	0	0	0	0	8 B 10	0	0	0	0	0	0	0	1						
			0	0	0	0	0	0	0	11 C 12	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	13 A 14	0	0	0	0	0	0	0	0						
(E) FAN	3	30	0	0	0	0	0	0	0	15 B 16	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	17 C 18	0	0	0	0	0	0	0	1	20	(E) WPC EVAP				
			0	0	0	0	0	0	0	19 A 20	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	21 B 22	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	23 C 24	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	25 A 26	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	27 B 28	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	29 C 30	0	0	0	0	0	0	0	1	20	(E) BACK BAR OUTLET				
			0	0	0	0	0	0	0	31 A 32	0	0	0	0	0	0	0	2	30	(E) BREAKER				
			0	0	0	0	0	0	0	33 B 34	0	0	0	0	0	0	0	1						
			0	0	0	0	0	0	0	35 C 36	0	0	0	0	0	0	0	1	20	(E) BACK BAR OUTLET				
			0	0	0	0	0	0	0	37 A 38	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	39 B 40	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	41 C 42	0	0	0	0	0	0	0	0						
TOTALS			0	0	0	0	12000	0	0	0	0	0	0	0	0	0	0	0	0	TOTALS				
LOAD SUMMARY		CON KVA		CON AMP		C WSP		OV. FAC		DES KVA		DES AMP		B WSP		NOTES					JOB NO. TROPHY		SUMMARY	
1. LIGHTING		0.0		0.0		0.0		1.25		0.0		0.0		0.0		1. MINIMUM INTEGRATED EQUIPMENT RATING 220K (240V)					DALLAS, TX		34 VOLTAGE	
2. RECEPTACLES		0.2		0.5		0.2		1.00		0.2		0.5		0.2		2. PROVIDE FULL SIZE NEUTRAL AND GROUND BUS					UPSTREAM O.C.P.D.		MCCB O	
3. MOTORS		44.3		106.3		44.3		1.00		44.3		106.3		44.3									AMPS	
4. ELECTRIC HEAT		7.5		18.8		7.5		1.00		7.5		18.8		7.5									# OF POLES	
5. KITCHEN EQUIPMENT		21.0		50.9		21.0		1.00		21.0		50.9		21.0									MOUNT	
6. COMPUTER EQUIPMENT		0.0		0.0		0.0		1.00		0.0		0.0		0.0									BY	
7. OTHER		0.0		0.0		0.0		1.00		0.0		0.0		0.0									TIME	
8. SPARE CAPACITY		0.0		0.0		0.0		1.00		0.0		0.0		0.0									DATE	
TOTAL		73		173		73				00		150		00									5 31:20 PM	
																							1/5/2024	
																							AREA (SF)	
																							1000	

(E) PANEL [B] SCHEDULE																								
DESCRIPTION	#	AMP	LIGHT	RECEP	MOTOR	HEAT	KITCH	COMP	OTHER	PHASE	OTHER	COMP	KITCH	HEAT	MOTOR	RECEP	LIGHT	#	AMP	DESCRIPTION				
(E) INRER LIGHTS EXIT SIGN	1	20	0	0	0	0	0	0	0	1 A 2	0	0	0	0	0	0	0	1	20	(E) LADDER BATHROOM				
			0	0	0	0	0	0	0	3 A 4	0	0	0	0	0	0	0	1	20	(E) KITCHEN LIGHTS				
			0	0	0	0	0	0	0	5 A 6	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	7 A 8	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	9 A 10	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	11 B 12	0	0	0	0	0	0	0	1	20	(E) KITCHEN ROOM LIGHTS				
			0	0	0	0	0	0	0	13 A 14	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	15 B 16	0	0	0	0	0	0	0	0						
(E) KITCHEN OUTLET	1	20	0	0	0	0	0	0	0	17 A 18	0	0	0	0	0	0	0	0						
(E) KITCHEN OUTLET	1	20	0	0	0	0	0	0	0	19 B 20	0	0	0	0	0	0	0	0						
(E) KITCHEN OUTLET	1	20	0	0	0	0	0	0	0	21 A 22	0	0	0	0	0	0	0	0						
(E) FRONT LIGHTS	1	20	0	0	0	0	0	0	0	23 B 24	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	25 A 26	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	27 B 28	0	0	0	0	0	0	0	0						
(E) EXIT LAMP	1	20	0	0	0	0	0	0	0	29 A 30	0	0	0	0	0	0	0	0						
LIGHTING	1	20	0	0	0	0	0	0	0	31 B 32	0	0	0	0	0	0	0	0						
(E) HANGING PEN	1	20	0	0	0	0	0	0	0	33 A 34	0	0	0	0	0	0	0	0						
			0	0	0	0	0	0	0	35 B 36	0	0	0	0	0	0	0	0	1200	1	20	SHOW WINDOW RECEPTACLE		
1 PANEL "C"	2	100	0	0	0	0	0	0	0	37 A 38	0	0	0	0	0	0	0	0	1200	1	20	SHOW WINDOW RECEPTACLE		
1			0	0	0	0	0	0	0	39 B 40	0	0	0	0	0	0	0	0	1200	1	20	SIGNAGE		
TOTALS			204	270	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	TOTALS
LOAD SUMMARY			CON KVA	CON AMP	C WSP	OV. FAC	DES KVA	DES AMP	B WSP	NOTES:					JOB NO. TROPHY					SUMMARY				
1. LIGHTING			0.3	0.6	0.3	1.25	0.3	0.6	0.3	1. MINIMUM INTEGRATED EQUIPMENT RATING 2. PROVIDE FULL SIZE NEUTRAL AND GROUND BUS					DALLAS, TX					14 VOLTAGE				
2. RECEPTACLES			0.3	0.6	0.3	1.00	0.3	0.6	0.3						UPSTREAM O.C.P.D.					MCCB O				
3. MOTORS			0.0	0.0	0.0	1.00	0.0	0.0	0.0											AMPS				
4. ELECTRIC HEAT			0.0	0.0	0.0	1.00	0.0	0.0	0.0											# OF POLES				
5. KITCHEN EQUIPMENT			17.8	74.2	17.8	1.00	17.8	74.2	17.8											MOUNT				
6. COMPUTER EQUIPMENT			0.0	0.0	0.0	1.00	0.0	0.0	0.0											BY				
7. OTHER			0.0	0.0	0.0	1.00	0.0	0.0	0.0											BALANCE PHASES				
8. SHAVE CAPACITY			0.0	0.0	0.0	1.00	0.0	0.0	0.0											WITHIN 1% TOL				
TOTAL			27	114	27		26	121	26											JOB # 25024				
																				NOTE: CONTRACTOR TO				
																				DATE				
																				AREA LSF				
																				5:31:29 PM				
																				3/5/2025				
																				100				

PANEL [C] SCHEDULE																								
DESCRIPTION	P	AMP	LIGHT	RECEP	MOTOR	HEAT	REFCH	COMP	OTHER	PHASE	OTHER	COMP	REFCH	HEAT	MOTOR	RECEP	LIGHT	P	AMP	DESCRIPTION				
1. (K) REACH IN FREEZER	1	25	0	0	0	0	1112	0	0	1 A 3	0	0	1800	0	0	0	0	1	25	EXPPOS				
2. (U) DWAY TRIP		0	0	0	0	0	0	0	0	2 B 4	0	0	1600	0	0	0	0	1	25	EXPPOS				
3. (K) KAMUSE	1	20	0	0	0	0	100	0	0	3 A 8	0	0	1600	0	0	0	0	1	20	EXPPOS				
4. (U) DWAY TRIP		0	0	0	0	0	0	0	0	2 B 8	0	0	1800	0	0	0	0	1	20	EXPPOS				
5. (B) BARWASHER	2	40	0	0	0	0	0	0	0	3 A 10	0	0	1800	0	0	0	0	1	20	EXPPOS				
6. (U) OFCI		0	0	0	0	0	0	0	0	11 B 12	0	0	220	0	0	0	0	1	20	BARFRIESTERCHILLER				
7. (I) ICE MAKER	2	20	0	0	0	0	0	0	0	13 A 14	0	0	720	0	0	0	0	1	20	BARFRIESTERCHILLER				
8. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	15 B 16	0	0	340	0	0	0	0	1	20	ICE-CHILLER				
9. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	17 B 18	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
10. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	19 B 20	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
11. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	21 A 22	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
12. (I) RECEPTACLES	1	20	0	200	0	0	0	0	0	23 B 24	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
13. (I) RECEPTACLES	1	20	0	200	0	0	0	0	0	25 A 26	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
14. (I) RECEPTACLES	1	20	0	200	0	0	0	0	0	27 B 28	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
15. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	29 A 30	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
16. (I) RECEPTACLES	1	20	0	400	0	0	0	0	0	31 A 32	0	0	0	0	0	0	0	1	20	ICE-CHILLER				
TOTALS		0	0	2200	0	0	1212	0	0		0	0	1200	0	0	0	0			TOTALS				
LISC SUMMARY																								
1. LIGHTS		0.0	0.0	0.0	1.25	0.0	0.0	0.0	0.0	NOTES:					JOB #					SUMMARY				
2. RECEPTACLES		2.0	0.2	2.0	1.00	2.0	0.0	0.0	0.0	1. MINIMUM INTEGRATED EQUIPMENT RATING					JOB #					SUMMARY				
3. MOTORS		0.0	0.0	0.0	1.00	0.0	0.0	0.0	0.0	2. PROVIDE FULL SIZE NEUTRAL AND GROUND BUS.					JOB #					SUMMARY				
4. ELECTRIC HEAT		0.0	0.0	0.0	1.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				
5. KITCHEN EQUIPMENT		14.2	0.0	14.2	0.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				
6. COMPUTER EQUIPMENT		0.0	0.0	0.0	1.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				
7. OTHER		0.0	0.0	0.0	1.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				
8. SPARE CAPACITY		0.0	0.0	0.0	1.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				
TOTAL		16	0.0	16	1.00	0.0	0.0	0.0	0.0	JOB #					JOB #					SUMMARY				

KITCHEN EQUIPMENT SCHEDULE

ITEM #	DESCRIPTION	QTY.	CIRCUIT NO.	LOAD (VA)	VOLTAGE/PH.	WIRE	CONDUIT	TERMINATION	HEIGHT
E3	POS/DATA	8	G-0 A 8.13	480	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	18" AFF
E4	FRIESTERCHILLER	2	G-12 14	720	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E5	COOLEN. BOTTLE	2	G-14 16	240	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E6	BARWASHER, UNDERCOUNTER	1	G-15 17	880	208V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E7	BACK BAR COOLER	1	G-16 18	314	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E8	FRIESTER, REACH IN	1	G-17 19	1112	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E9	RANGE	1	G-18 21	180	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E10	REFRIGERATOR, WORKTOP	1	G-24	600	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E11	REFRIGERATOR, UNDERCOUNTER	1	G-25	740	120V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF
E12	ICE MAKER W/0 IN	1	G-19 15	880	208V/1Ø	12M12 & #120.	3/4"	NEMA 5-20R	2" AFF

NOTE: ELECTRICAL CONTRACTOR SHALL COORDINATE LAYOUT AND ELECTRICAL REQUIREMENTS WITH FOOD SERVICE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

LIGHTING CONTROLS SCHEDULE

ZONE	LOCATION	TYPE	QTY	CTRLS	CIRCUIT	LOAD (VA)
1	CORRIDOR	FLY	1	SWITCH	B-11	50
2	DU BOUGH	A2.1	2	SWITCH	B-11	20
3	RECV. STATION	A2.2	4	CCC SENSOR	B-11	12
4	REAR	A2.3	10	SWITCH	B-11	150
5	MAIN SEATING	A2.4	10	SWITCH	B-11	150
6	OFFICE	FLY	1	CCC SENSOR	B-11	30
7	BAR	A2.5	10	SWITCH	B-11	150
TOTALS						544

NOTES:
1. LIGHTING AND CONTROLS SUPPLIERS TO COORDINATE LED DRIVERS WITH DIMMERS TO ENSURE COMPATIBILITY AND FUNCTIONALITY.
2. SWITCH AND DIMMER LOCATIONS ARE SUGGESTION ONLY COORDINATE EXACT LOCATION WITH OWNER/ARCHITECT.

TROPHY DALLAS

2711 ELM ST., DALLAS, TX 75226



DESIGN CONSULTANT

75 DEGREE DESIGN STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4349

ISSUE:

REVISIONS:

1. CITY COMMENTS 03/06/2025
2. CITY COMMENTS 03/11/2025

Date: 02/19/2025

SCHEDULES AND DETAILS - ELECTRICAL

E5.02

TROPHY DALLAS

2711 ELM ST. DALLAS, TX 75228



DESIGN CONSULTANT
75 DEGREE DESIGN STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-356-4949

ISSUE:

REVISIONS:

DATE	DESCRIPTION

Date: 02/19/2025

FLOOR PLAN - PLUMBING

P2.01

ADDED GAS EQUIPMENT:	
EQUIPMENT	GAS (CFH)
REFR	140
REFR	140
RANGE	204
TOTAL	484

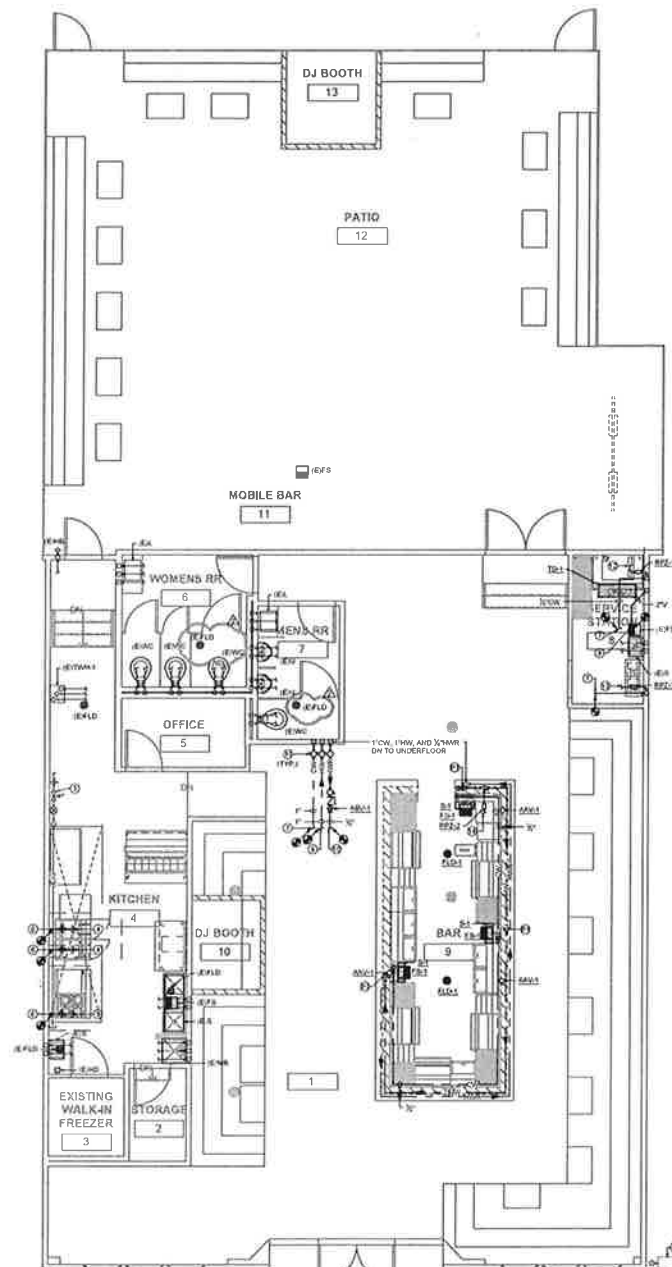
GREASE INTERCEPTOR SIZING				
FIXTURE	QUANTITY	DRAINAGE FIXTURE UNITS	TOTAL GPM	RETENTION TIME (MINUTES)
1/2" DISH	1	1		
1/2" DISH	1	1		
1/2" DISH	1	1		
TOTAL	3	3	30.0 GPM	15.0 MIN

GENERAL NOTES:

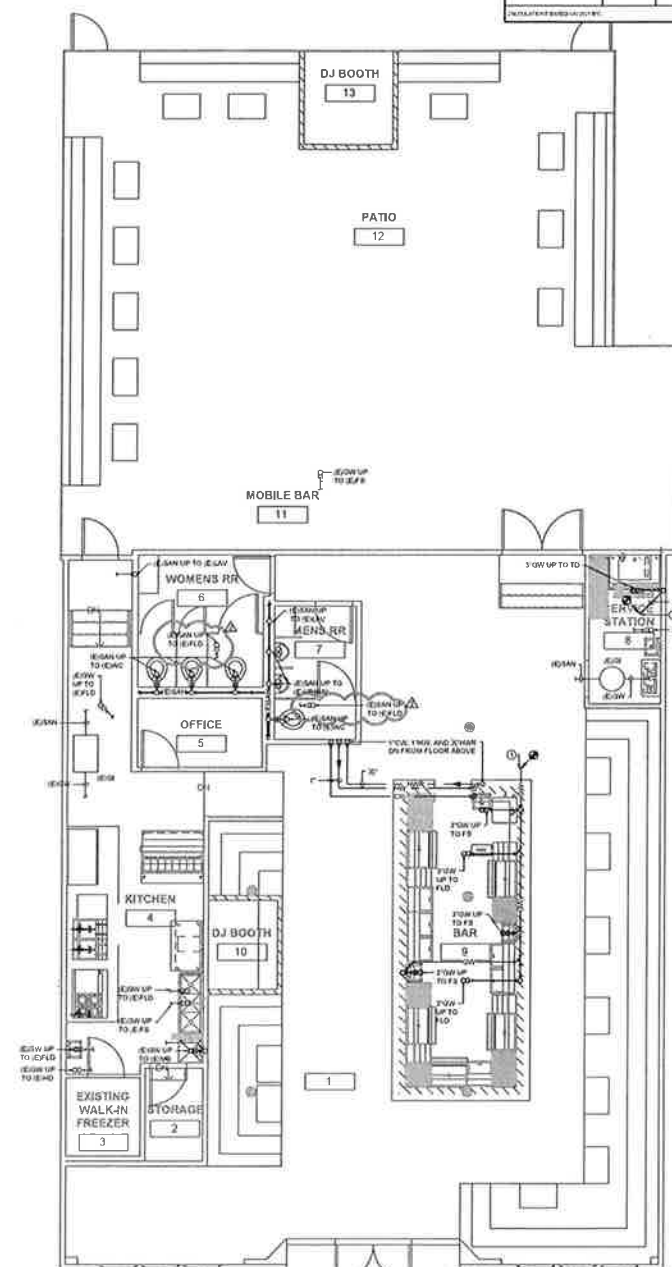
- REFERENCE ARCHITECTURAL AND KITCHEN PLANS FOR DIMENSIONAL LOCATION OF NEW FLOOR BRINK.
- REFERENCE ARCHITECTURAL AND KITCHEN PLANS FOR ALL EQUIPMENT DETAILS.
- ALL NEW SANITARY AND GREASE WASTE SHALL BE 1/2" PER FOOT SLOPE.
- CONTRACTOR SHALL PROVIDE ISOLATION SHUT-OFF VALVES ON THE INCOMING WATER LINES FOR EVERY PLUMBING FIXTURE.

KEYED NOTES BY SYMBOL:

- CONNECT TO NEAREST EXISTING ADEQUATELY SIZED GREASE WASTE MAIN. CONTRACTOR SHALL VERIFY EXACT LOCATION, CONDITION, SIZE AND FLOW OF DIRECTION PRIOR TO CONSTRUCTION.
- COORDINATE ADDED GAS DEMAND OF 484 CFH AT 3 PSI WITH UTILITY COMPANY AND OWNER. EXISTING METER SHALL BE SIZED FOR THE TOTAL CFH DEMAND AS WELL AS A DELIVERY PRESSURE OF 2 PSI. PAINT ALL EXPOSED GAS PIPING APPROXIMATELY 18" FROM LAST EQUIPMENT CONNECTION TO METER IS 18" O.D. PIPING DOWNSTREAM OF THE METER HAS BEEN SIZED FOR 2 PSI. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AVAILABLE PRESSURE FROM THE UTILITY COMPANY PRIOR TO PURCHASING AND INSTALLING GAS PIPING. ANY DISCREPANCIES IN AVAILABLE PRESSURE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. LOWER PRESSURES WILL RESULT IN HAVING TO INCREASE PIPE SIZE.
- 1/2" DISH TO 1/2" DISH: PROVIDE MECHANICAL DIS VALVE EXPOSED TO VIEW IN SUPPRESSION SYSTEM TO INTERRUPT FLOW OF FUEL IN THE EVENT OF AN ALARM. RUN 1/2" DISH BOWING EQUIPMENT LOW AND PROVIDE FULL SIZE CONNECTIONS TO EACH PIECE OF EQUIPMENT COORDINATE REQUIREMENTS WITH OWNER. PAINT ALL EXPOSED PIPING. CONTRACTOR SHALL VERIFY IF PRESENT ON EXISTING GAS LINE.
- 1/2" TO EXIST
- 1/2" TO RANGE
- CONNECT TO NEAREST ADEQUATELY SIZED EXISTING GAS MAIN. CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE AND CONDITION PRIOR TO CONSTRUCTION.
- CONNECT TO NEAREST ADEQUATELY SIZED EXISTING COLD WATER MAIN. CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE AND CONDITION PRIOR TO CONSTRUCTION.
- CONNECT TO NEAREST ADEQUATELY SIZED EXISTING VENT MAIN. CONTRACTOR SHALL VERIFY EXACT LOCATION, SIZE, CONDITION AND FLOW OF DIRECTION PRIOR TO CONSTRUCTION.
- CONNECT TO MAIN HW LOOP SUPPLY. VERIFY LOCATION, CONDITION, SIZE AND FLOW OF DIRECTION PRIOR TO CONNECTION.
- CONNECT NEW MAIN LINE TO MAIN HW LOOP AFTER FIRST VERIFICATION LOCATION, CONDITION, SIZE AND FLOW OF DIRECTION PRIOR TO CONNECTION.
- WATER SHUT-OFF VALVE.
- 1/2" CW TO ICE MAKER THRU WATER FILTER
- 1/2" CW TO BAC-N-BAG
- 1/2" HW TO WAREWASHER



02 FLOOR PLAN - PLUMBING
SCALE: 3/16" = 1'-0"

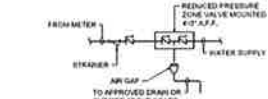


01 UNDERFLOOR PLAN - PLUMBING
SCALE: 3/16" = 1'-0"

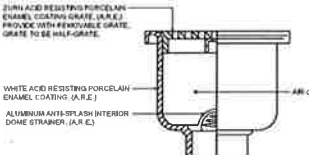


EXISTING TANKLESS GAS WATER HEATER SCHEDULE								
MARK	LOCATION	GAS INPUT (MBH)	VOLT/PH	TEMP. RISE IN °F		MANUFACTURER	MODEL NO.	REMARKS
				5.6 GPM	11.2 GPM			
10TWH-1	PLAN NORTH R KITCHEN	—	120V/1	—	—	NAVEN	HPF-240A (NLS)	1, 2, 3
NOTE: ONE MECHANICAL PLUMBING CONSULTANT HAS ELECTRICIAN TO WATER HEATER ROOM.								
1. SET DEFAULT TEMPERATURE AT 120°F.								
2. ASME CONSTRUCTION WITH GAS, ASME EXPL. TANK AND ASME TAP RELIEF VALVE AND POWER BURNER 4" DIA. FLOW.								
3. LIMITED EXISTING.								

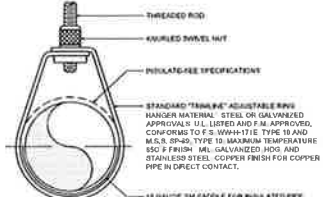
PLUMBING FIXTURE SCHEDULE						
FIXTURE	SPECIFICATION	CW	HW	SAN	VENT	ELEC
AV-1	STUDDOR AIR ADAPTANCE VALVE MODEL MAX-VENT	—	—	—	1"	—
AV-1	AUTO BALANCING VALVE, BRICUTSOLVER MC-SH-430, SELF-ADJUSTING THERMOSTATIC RECIRCULATION VALVE TO CONTROL THE FLOW OF THE RETURN.	—	1/2"	—	—	—
FD-1	ZURN MODEL FD-2100-R10 FLOOR DRAIN, NICKEL FRAME AND GRATE.	—	—	1/2"	2"	—
ES-1	ZURN F2275-1113 12X12" A.R.C. FLOOR SINK, 6 INCH BUMP DEPTH WITH 1/2 INCH GRATE AND 1 INCH PIPE CONNECTION, CAST IRON BODY, ACID-RESISTANT COATING AND PVC ANTI-SPLASH DOME STRAINER.	—	—	3/4"	2"	—
RP-1	WATTS MODEL LP09 1/2" LEAD FREE REDUCED PRESSURE ZONE ASSEMBLY BACKFLOW PREVENTER COMPLETE.	1/2"	—	—	—	—
RP-2	WATTS MODEL LP09 1/2" LEAD FREE REDUCED PRESSURE ZONE ASSEMBLY BACKFLOW PREVENTER COMPLETE.	—	1/2"	—	—	—
SL-1	PROVIDE HAND SINK, REFER TO RESTAURANT SERVICES QUOTE FOR SPECIFICATIONS.	1/2"	1/2"	2"	2"	—
SM-1	WATER MODEL LF100-B-100 THERMOSTATIC MIXING VALVE BRASS BODY, TEMPERATURE SHALL BE SET TO 110°F. ALL MIXED SINKS AND LAVS SHALL BE PROVIDED WITH A THERM.	1/2"	1/2"	—	—	—
ALL FIXTURES REQUIRING 1" TRAP, TUBING WHITE TO WALL, AND ENDPIECES SHALL BE 1/2" GAUGE CHROME PLATED, MODURE OR EQUAL, MOUNTING TO COMPLY WITH ADA 4.1 AND 4.13 C.R.C. LOCATE FLOOR VALVE ON SAME SIDE OF SINK.						
NOTE: ABOVE SIZES ARE MINIMUM UNLESS OTHERWISE NOTED ON EACH.						
GENERAL NOTES:						
1. FITCH ALL TRAPPIPE PIPING AT 1/2" FOOT MINIMUM UNLESS OTHERWISE NOTED.						
2. ALL UNDERGROUND DRAINPIPE PIPING SHALL BE MINIMUM OF 1" IN SIZE, 8' IN PER FT. SLOPE.						
3. PROVIDE TRAP PRIMER UNITS FOR ALL FLOOR DRAINS WITHOUT SUBJECT WASTE PIPING.						



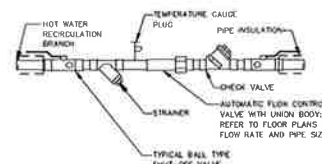
REDUCED PRESSURE
05 ZONE VALVE DETAIL
SCALE: NOT TO SCALE



04 FLOOR SINK DETAIL
SCALE: NOT TO SCALE

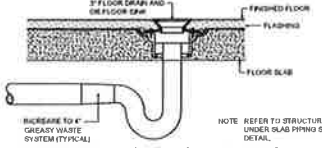


03 TYPICAL PIPE HANGER DETAIL
SCALE: NOT TO SCALE

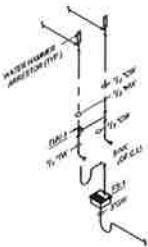


REFER TO SPECIFICATIONS, SCHEDULES, AND NOTES FOR MORE INFORMATION. MAKE CONNECTIONS AND PROVIDE INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ARRANGEMENT SHOWN IS SCHEMATIC. PROVIDE REDUCERS AND ADAPTERS AS REQUIRED.

02 AUTOMATIC BALACING VALVE ASSEMBLY
SCALE: NOT TO SCALE



KITCHEN (COMBINATION WASTE AND VENT)
01 FLOOR DRAIN/FLOOR SINK DETAIL
SCALE: NOT TO SCALE



TYPICAL KITCHEN/BAR HAND SINK
P1 PLUMBING RISER DIAGRAM
SCALE: NO SCALE

TROPHY DALLAS

2711 ELM ST. DALLAS, TX 75226



DESIGN CONSULTANT 75 DEGREE DESIGN STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL: 214-366-4949

ISSUE:

REVISIONS:

Date 02/19/2025

SCHEDULES AND DETAILS - PLUMBING

P5.01





CERTIFICATE OF OCCUPANCY

City of Dallas

Address:

2711 ELM ST

Owner:

TROPHY LOUNGE TEXAS LLC
2711 ELM ST
DALLAS, TX 75226

Issued: 01/02/2026

DBA:

TROPHY

Land Use:

RESTAURANT WITHOUT DRIVE-IN OR DRIVE-THROUGH SERVICE

Occupied Portion

4732 Sq. Ft.

C.O.#:

2502211021_198585071-003

Lot/Block:	BLK C/483 PT LT 40 & LT 41	Zoning:	PD-269	PDD:	269	SUP:	
Historic Dist:		Conserv Dist:	Deep	Pro Park:	0	Reg Park:	0
Stories:	1	Occ Code:	A2	Lot Area:		Total Area:	4732
Sprinkler:	Yes	Occ Load:	398	Alcohol:	Yes	Dance Floor:	No
						Type Const:	IIB

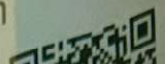
SUBJECT TO INSPECTOR APPROVAL. TABC MBLH 6.26.25 TOTAL OCCUPANT
LOAD:398 INTERIOR:225 PATIO:173

Sam Eskander, PE, CFM, LEED AP BD+C

This certificate shall be displayed on the above premise at all times.

Sustainable Development and Construction | Building Inspection Division | 214/948-4480 | www.dallascityhall.com

complaint about the sale or service
this establishment, contact the
commission





CITY OF DALLAS

July 2, 2026

Trophy Lounge Texas, LLC
c/o Joshua J. Reagan & Joseph Ybanez
2711 Elm Street
Dallas, TX 75226

CERTIFIED MAIL NO. 7017 1450 0000 5000 7988

RE: Revocation of Certificate of Occupancy No. 2502211021_198585071-003 for a Restaurant without Drive-In Service use located at 2711 Elm Street, Dallas, Texas ("the Property")

Dear Mr. Reagan & Mr. Ybanez:

The City of Dallas has completed a review of the Certificate of Occupancy issued for the property located at 2711 Elm Street. As part of that review, the City evaluated the certificate of occupancy application, approved plans, inspection history, and other information obtained during the administration and enforcement of the Dallas City Code.

Based upon that review, the City has determined that revocation of Certificate of Occupancy No. 2502211021 is warranted pursuant to Sections 52-306.13(1), (2), and (3) of the Dallas City Code.

Certificate Issued in Error

Section 52-306.13(1) authorizes the Building Official to revoke a certificate of occupancy that was issued in error.

The approved certificate of occupancy authorizes the premises to operate as a restaurant. During the permit review process, the proposed use was represented as a restaurant without drive-in service. However, information subsequently obtained through inspections and other City records demonstrates that the intended operation of the establishment was materially different from the land use approved under the certificate of occupancy.

Based on the totality of the information reviewed, the City has determined that the approved land use does not accurately reflect either the intended or actual operation of the establishment. Accordingly, the certificate of occupancy was issued in error.

Certificate Issued on the Basis of Materially Incomplete Information

Section 52-306.13(2) authorizes revocation when a certificate of occupancy was issued on the basis of false, incomplete, or incorrect information.

Although the application identified the proposed use as a restaurant, it did not disclose operational characteristics material to the City's land use determination. Those characteristics included, among other things, the significant emphasis on alcohol service, live entertainment, DJs, bottle service, gaming activities, substantial standing-room areas, and other operational features associated with the business.



CITY OF DALLAS

Subsequent inspections consistently documented operations in which food service appeared incidental to the primary operation of the establishment. City inspectors repeatedly observed large standing crowds, dancing, DJs, nightclub-style lighting, extensive alcohol service, minimal food preparation, and limited food consumption by patrons.

When considered together, the application materials, approved plans, inspection history, and other information obtained by the City establish that the information provided during the certificate of occupancy process was materially incomplete and resulted in an incorrect land use determination.

Operation in Violation of Applicable Law

Section 52-306.13(3) authorizes the Building Official to revoke a certificate of occupancy when the use is operated in violation of applicable laws or ordinances in a manner that presents a substantial danger of injury or adverse health impact.

The City's inspection history demonstrates an ongoing pattern of operation inconsistent with the approved restaurant use. Continued operation of the establishment outside the scope of its approved occupancy classification undermines the operational assumptions upon which the applicable building and fire code requirements were evaluated and approved.

Determination

The City's determination is based upon the totality of the information reviewed, including the certificate of occupancy application, approved plans, inspection history, public promotional materials, and other information obtained during the City's investigation and enforcement activities.

Accordingly, pursuant to Sections 52-306.13(1), (2), and (3) of the Dallas City Code, Certificate of Occupancy No. 2502211021 for the property located at 2711 Elm Street is hereby revoked effective immediately.

Operation of the premises under the revoked certificate of occupancy shall immediately cease unless and until a new certificate of occupancy authorizing the lawful use of the premises has been issued.

Appeal Rights

Pursuant to Section 52-306.15 of the Dallas City Code, you have the right to appeal this revocation.

If you wish to appeal the land use and zoning determinations supporting this revocation, you must file an appeal with the Board of Adjustment not later than 20 days after the date of this letter in accordance with Section 51A-4.703 of the Dallas Development Code.



CITY OF DALLAS

If you wish to appeal the Building Official's determination that the Certificate of Occupancy was issued in error or that the current occupancy is inconsistent with the approved Certificate of Occupancy and applicable building regulations, you must file an appeal with the Building Inspection Advisory, Examining and Appeals Board not later than 15 days after the date of this letter in accordance with Dallas City Code Chapter 52, Sections 208.1 and 306.15.

If you have questions regarding this determination, please contact me at (214) 948-4029.

Sincerely,

M. Samuelli Eskander, PE, CBO, CFM, LEED AP BD+C
Deputy Director / Chief Building Official

cc: Robin Bentley, Assistant City Manager
Bertram Vandenberg, City Attorney (I)
Emily Liu, FAICP, Director, Planning and Development
Megan Wimer, AICP, CBO, Assistant Director, Planning and Development
Dominique Artis, Chief of Public Safety
Daniel Comeaux, Police Chief
Justin Ball, Fire Chief
Christopher Christian, Director, Code Compliance