

# Residential Proximity Slope in PDs

## DCA190-009

Zoning Ordinance Advisory  
Committee (ZOAC)

Thursday, July 9, 2020

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**City of Dallas**

Residential proximity slope is a plane projected upward and outward that restricts building height.

RPS originating from R, R(A), D, D(A), TH, and TH(A)



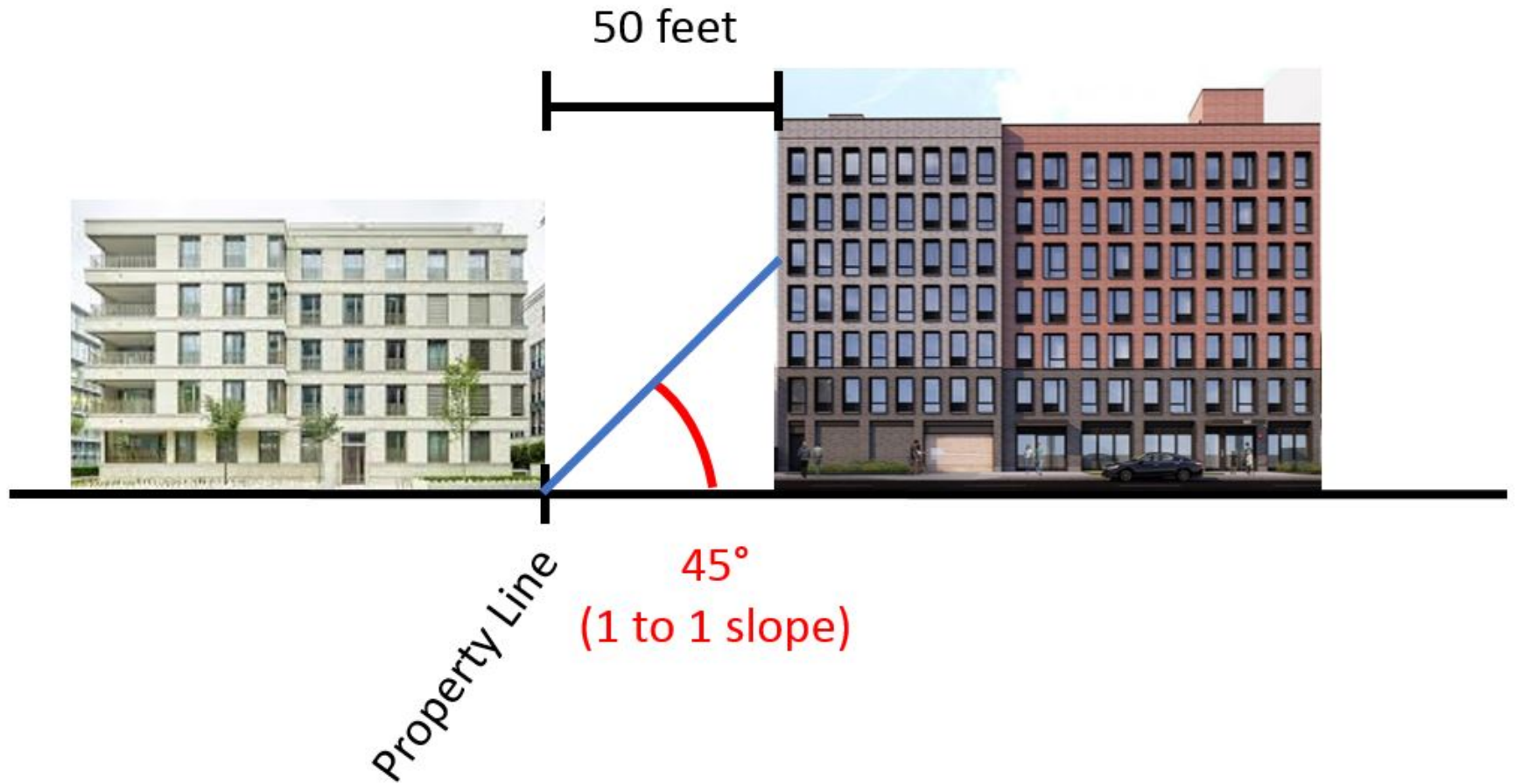
Property Line

18.4°  
(1 to 3 slope)



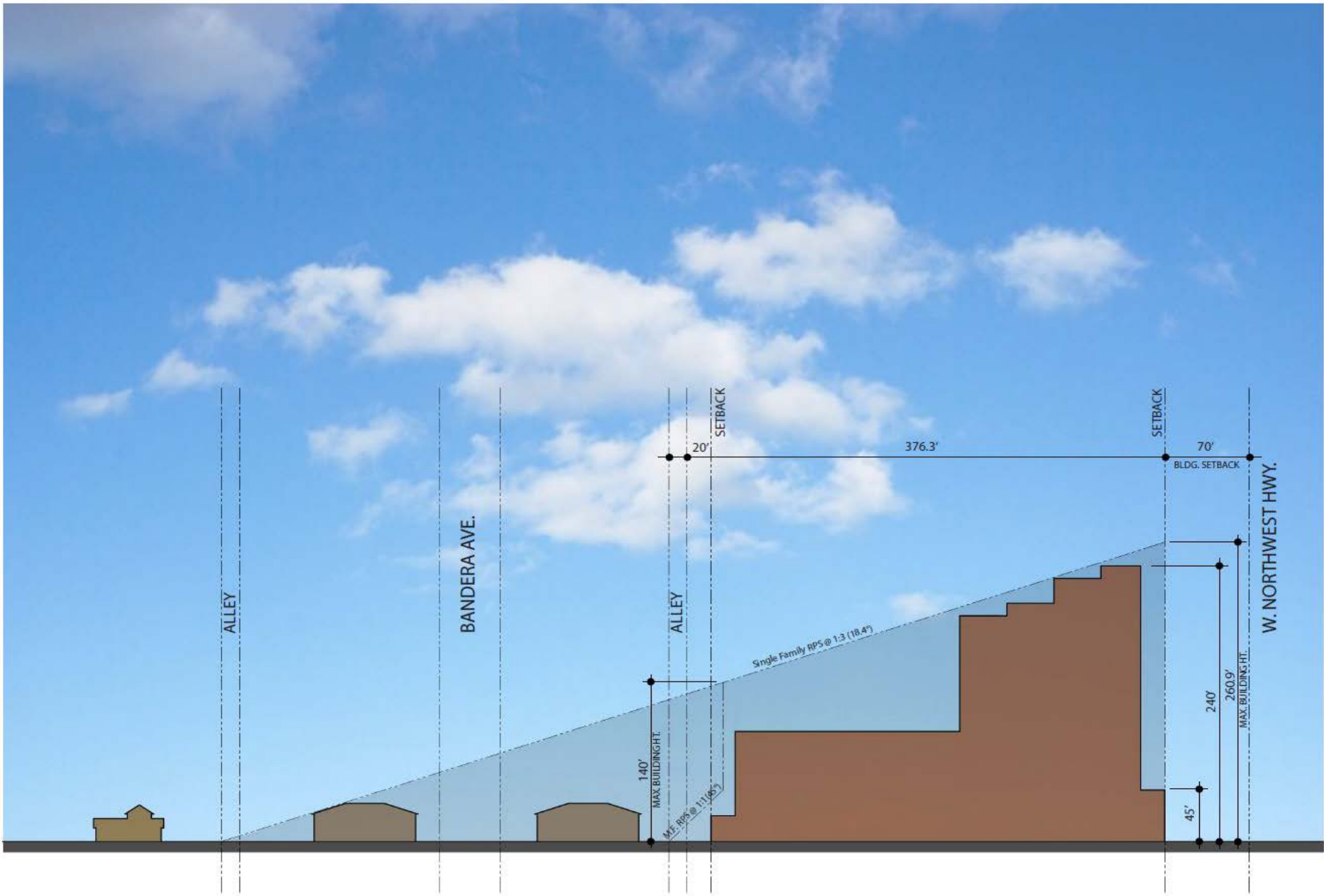
City of Dallas

# RPS originating from CH, MF-1, MF-1(A), MF-2, and MF-2(A)



- Each zoning district which initiates RPS contains the language in the yard, lot, and space regulations that if any portion of a structure is over 26 feet in height, that portion of the structure may not be located above a residential proximity slope.



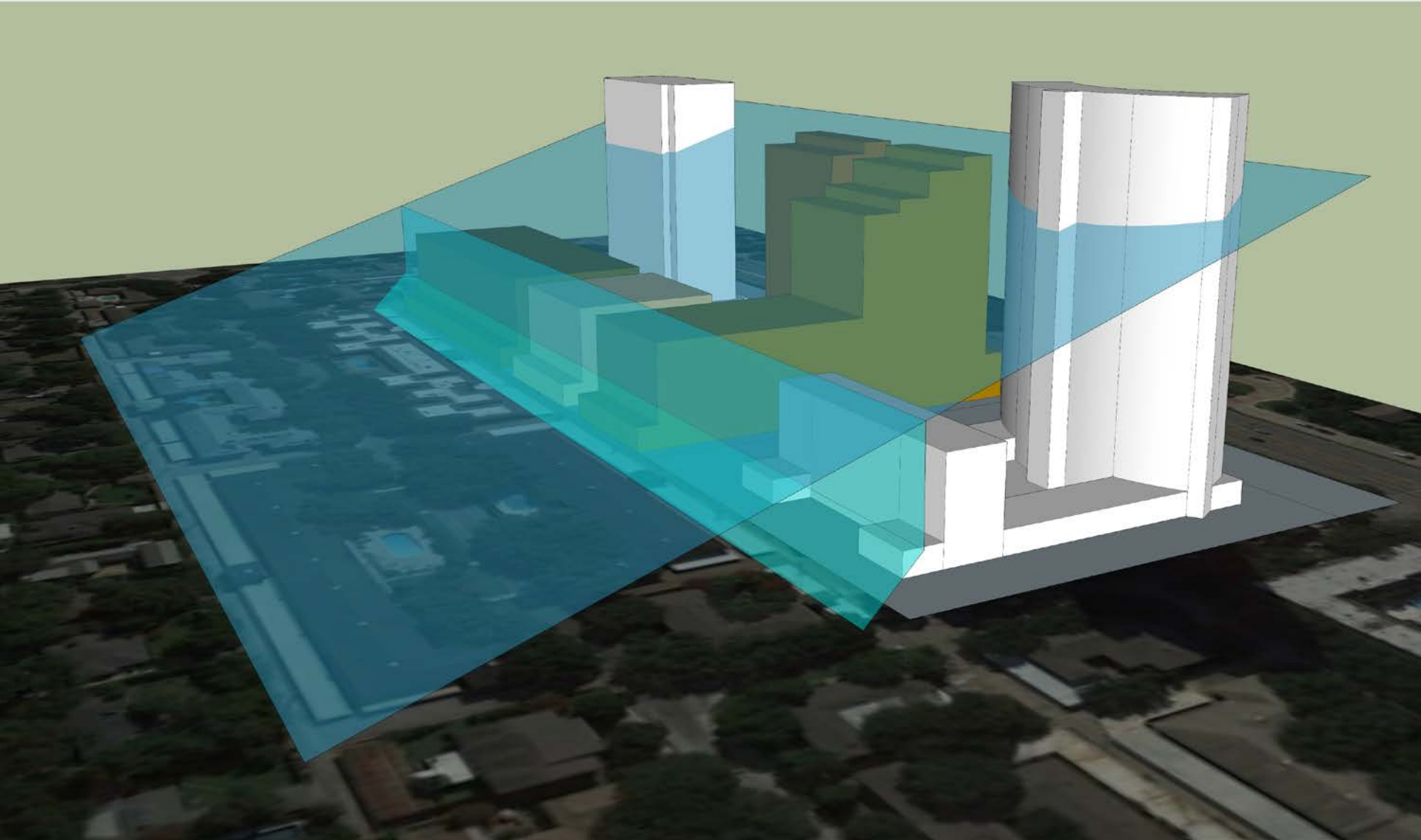


R-10

MF-1 (A)

MF-1 (A)

PD 15



City of Dallas

# Request

- To clarify the application of Residential Proximity Slope in Planned Development Districts by amending Chapter 51A-4.702(a)(8)(A) of the Dallas Development Code



# General Information

- The “standard language” in a Planned Development District providing for Residential Proximity Slope reads as follows:
  - If any portion of a structure is over 26 feet in height, that portion of the structure may not be located above a residential proximity slope





# Issue

- Currently, Residential Proximity Slope must be “expressly incorporated into the height regulations of the PD ordinance” according to Section 51A-4.702(a)(8)(A) of the Dallas Development Code



# Proposal

(8) Residential proximity slope.

(A) The residential proximity slope defined in Section 51A-4.412 governs development in a PD only to the extent set forth in ~~that it is expressly incorporated into~~ the height regulations of the PD ordinance



# Proposal

- The proposed change makes clear that the “standard language” currently incorporated in PDs is sufficient and Residential Proximity Slope is applicable in Planned Development Districts when written into the height regulations of the PD.



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