



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-101

RECEIVED
JUN 27 REC'D
BY: [Signature]

Data Relative to Subject Property: 6801 TYREE STREET

Date: 6/12/24

Location address: 6801 TYREE STREET DALLAS

Zoning District: PD 67 DALLAS

Lot No.: 18 Block No.: C/2595 Acreage: .12

Census Tract:

Street Frontage (in Feet): 1) 50 2) 3) 4) 5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): 4901-4903 NEWMORE LLP

Applicant: AKBER MEGHANI Telephone: 2143953622

Mailing Address: 5329 NORTHMOOR DR DALLAS Zip Code: 75229

E-mail Address: AKBER@GRANDDEVELOPMENT.NET

Represented by: AKBER MEGHANI Telephone: 214-395-3622

Mailing Address: 5329 NORTHMOOR DR DALLAS Zip Code: 75229

E-mail Address: AKBER@GRANDDEVELOPMENT.NET

Affirm that an appeal has been made for a Variance __ or Special Exception __ of

AO APPEAL - SEE REVOCATION LETTER

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

WE HAVE BEEN ISSUED BUILDING PERMIT AND LOT IS ZONED DUPLEX PD 67A AND THEN ZONE CHANGE TO SINGLE FAMILY WE HAVE ALREADY STARTED BUILDING AND WE HAVE

DONE FRAMING AND NOW DRYWALL STAGE

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared

Akber Meghani

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner or principal or authorized representative of the subject property

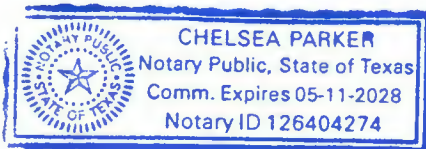
Respectfully submitted:

(Affiant/Applicant's signature)

Akber Meghani

Subscribed and sworn to before me this 11 day of June, 2024

Chelsea Parker
Notary Public in and for Dallas County, Texas





CITY OF DALLAS

June 25, 2024

Mr. Akber Meghani
5329 Northmoor Dr.
Dallas, TX 75229
akbermeghani@gmail.com

Via Email

RE: Project/Permit # 2211181039 and 2211181139

This letter serves as official notification that project 2211181039 and master permit 2211181139, for the construction of a new duplex at 6801 Tyree, Dallas, Texas 75209, were issued in error by the Development Services Department (DSD) are hereby revoked for the following reasons:

- Illegal Land Use per [Exhibit 67A](#) of [Planned Development No. 67](#).
- Structure exceeds the maximum allowed height for the district per Dallas Development Code [§ 51P-67.107\(c\)\(1\)](#).
- Non-compliant roof type per the design standards for Planned Development No. 67 per Dallas Development Code [§ 51P-67.107\(c\)\(3\)](#).

Next Steps:

Please reach out to Development Services to discuss any of the following options:

- **Option 1 – Board of Adjustment Administrative Official Appeal:** The Board of Adjustment is charged with the duty to hear and decide appeals from decisions of administrative officials made in the enforcement of the zoning ordinance of the city as listed in [51A-3.102\(d\)\(1\)](#) & [51A-4.703\(a\)\(2\)](#).
- **Option 2 – Submit New Permit:** Submit new plans and permit for a structure compliant with all [Planned Development No. 67](#) standards and conditions.

Please note, these options are provided as a means toward potential compliance and are not intended to constitute legal advice. Please do not hesitate to reach out to Jason Pool, Development Services Administrator, should you have any questions or require additional information.

Should the property owner choose not to take any of the above actions, this matter will be referred to the City's Department of Code Compliance for enforcement.



CITY OF DALLAS

This decision is final unless appealed to the Board of Adjustment in accordance with Section [51A-4.703\(a\)\(2\)](#) of the Dallas City Code within 20 days after written notice of the above action.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read 'Jason Pool'.

Jason Pool
Development Services Administrator
Land Development Division
214-948-4392
Jason.Pool@Dallas.gov

c: Andrew Espinoza, Director/Building Official
M. Samuel Eskander, Assistant Director
Vernon Young, Assistant Director
Michael Herron, Zoning Inspections Supervisor
Jill Haning, Assistant City Attorney

Christopher Christian, Director
Jeremy Reed, Assistant Director
Alfred Beecham, Manager
Stormy Gonzalez, Manager
Charlotta Riley, Assistant City Attorney



1:1,128

ANNEXED OCTOBER 25, 1929 ORD. NO. SURVEY G. G. COLE

ABST 320

CITY OF DALLAS PLAT BOOKS ADDITION WEBSTER & WOOD'S NORTH PARK

SCALE 100 FT. EQUALS 1 INCH

BLOCKS 2593, 2594, 2595, 2596

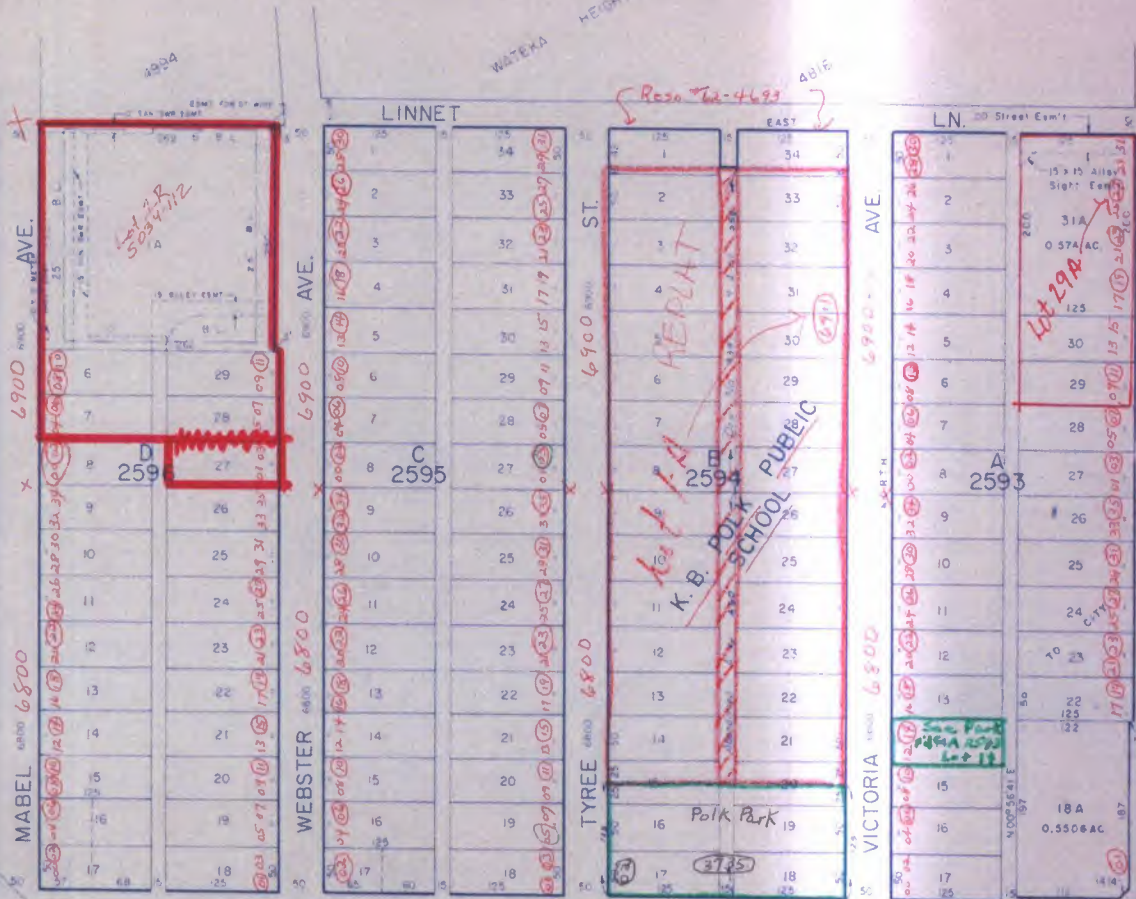
SCHOOL DISTRICT DALLAS

EXC'D JUNE 5, 1890 FILED 11-30-88 BLK 4/2593 LOT 8A POLK PARK (CITY PARK) FILED 1-13-88 BLK D/2596 LOT 1A LEMMON AVE PROPERTY FILED 2-2-93 Northpark Missionary Baptist Church LOT 31A, BLK. A/2593

LOVE F.E.D. AIRPORT

LEMMON AVE

AVE



MABEL AVE 6800

WEBSTER AVE 6800

TYREE AVE 6800

VICTORIA AVE 6800

LINNET ST.

LN. EAST

Reso 72-4693

HE PLAT
POLK SCHOOL PUBLIC

THEDFORD 3000 ST. 3800

2601

2602

2603

2604

5043

LOCKHEED HILLS ADDN
5041
5042





City of Dallas

Permit # 2211181039

Issue Date: 12/20/2022

Sustainable Construction and Development | Building Inspection Division | 214/948-4480 | www.dallascityhall.com

Address: **6801 TYREE ST 75209**

Land Use Description: TWO FAMILY DWELLING

Work Description: NEW DUPLEX

Value Of Work: \$0.00

Owner Or Tenant: akber meghani
5329
dallas
TX
75229
(214) 395-3622
akbermeghani@gmail.com

Applicant: akber meghani
Contractor: 4901-4903 NEWMORE LLP
Business Address: 5329 NORTHMOOR DR, DALLAS, TX 75229
Telephone: 214/395-3622 Fax:

Lot: 18	Block: C/259	Zoning: PD-67	PDD: 67	SUP:
Historic Dist:	Consv Dist: Chapter 51	Pro Park: 4	Req Park: 4	Park Agrmt: N
Dwlg Units: 2	Stories: 2	New Area: 5746	Lot Area: 6250	Total Area: 5746
Type Const: VB	Sprinkler: None	Occ Code: R3	Occ Load:	
Inches Of Removed Trees:				

ALL WORK SUBJECT TO FIELD INSPECTOR APPROVAL Parking is for entire project.

This document is issued on the basis of information furnished in the application and is subject to the provisions of all governing ordinances, which must be complied with, whether or not herein specified.

THIS DOCUMENT SHALL BE POSTED AT WORK SITE AND IS SUBJECT TO CANCELLATION UPON NOTICE.



LAS

UNITS
ONE-STOP SERVICE

(972) 846-UNIT
UnitsDelivered.com



25423

061164



EXHIBIT 67A
PLANNED DEVELOPMENT
DISTRICT NO. 67

EXISTING LAND USE	
	Single Family
	Duplex
	Neighborhood Service
	Vacant
	Church
	School
	Parking

Z012-294/11766-NW(MF)
 Exhibit B
 Page 1 of 1



WATER-RESISTIVE & AIR BARRIER PROTECTIVE SHEETING

STOP WORK ORDER

WORK PERFORMED ON THESE PREMISES IS IN VIOLATION OF CHAPTER 51C OF THE DALLAS CITY CODE

ANY PERSON OR PERSONS PERFORMING CONSTRUCTION RELATED ACTIVITIES WHILE THIS NOTICE IS IN EFFECT COMMIT AN OFFENSE PUNISHABLE BY A FINE NOT TO EXCEED \$5000 PER DAY

ADDRESS: *6801 Tyree*



City of Dallas

FOR MORE INFORMATION CALL BUILDING INSPECTION:
PHONE: *214-671-1511*

PD 67 (TRACT 3)

F - 25'
S - 5'
R - 10'
HT - 36'
LOT - 60%
P - 4

**MINIMUM 2 MEDIUM OR
LARGE TREES REQUIRED**

**SUBJECT TO FIELD INSPECTOR'S
APPROVAL**

**A PERMIT IS BEING ISSUED FOR WATER/WASTEWATER UTILITIES.
YOU ARE RESPONSIBLE TO VERIFY THAT UTILITIES ARE
AVAILABLE FOR THIS PROPERTY. IF UTILITIES ARE NOT
AVAILABLE FOR THIS SITE, THE CITY OF DALLAS IS NOT
RESPONSIBLE.**

**NOTICE
CHECK FOR PRIVATE DEED
RESTRICTIONS FILE AT
COUNTY OFFICE**

THESE PLANS HAVE BEEN REVIEWED BY
THE BUILDING INSPECTION DIVISION
AND ARE APPROVED FOR THE START OF
CONSTRUCTION. ANY DEVIATION FROM
THESE PLANS SHALL BE APPROVED BY
THE BUILDING OFFICIAL.

ZO DATE: 12/20/2022

BY: Loree Myers

BU DATE: 12/20/2022

BY: Loree Myers

THIS APPROVAL DOES NOT PERMIT
THE VIOLATION OF ANY CITY
ORDINANCE OR STATE LAW



OF 1

221014

10-13-22

REVISIONS

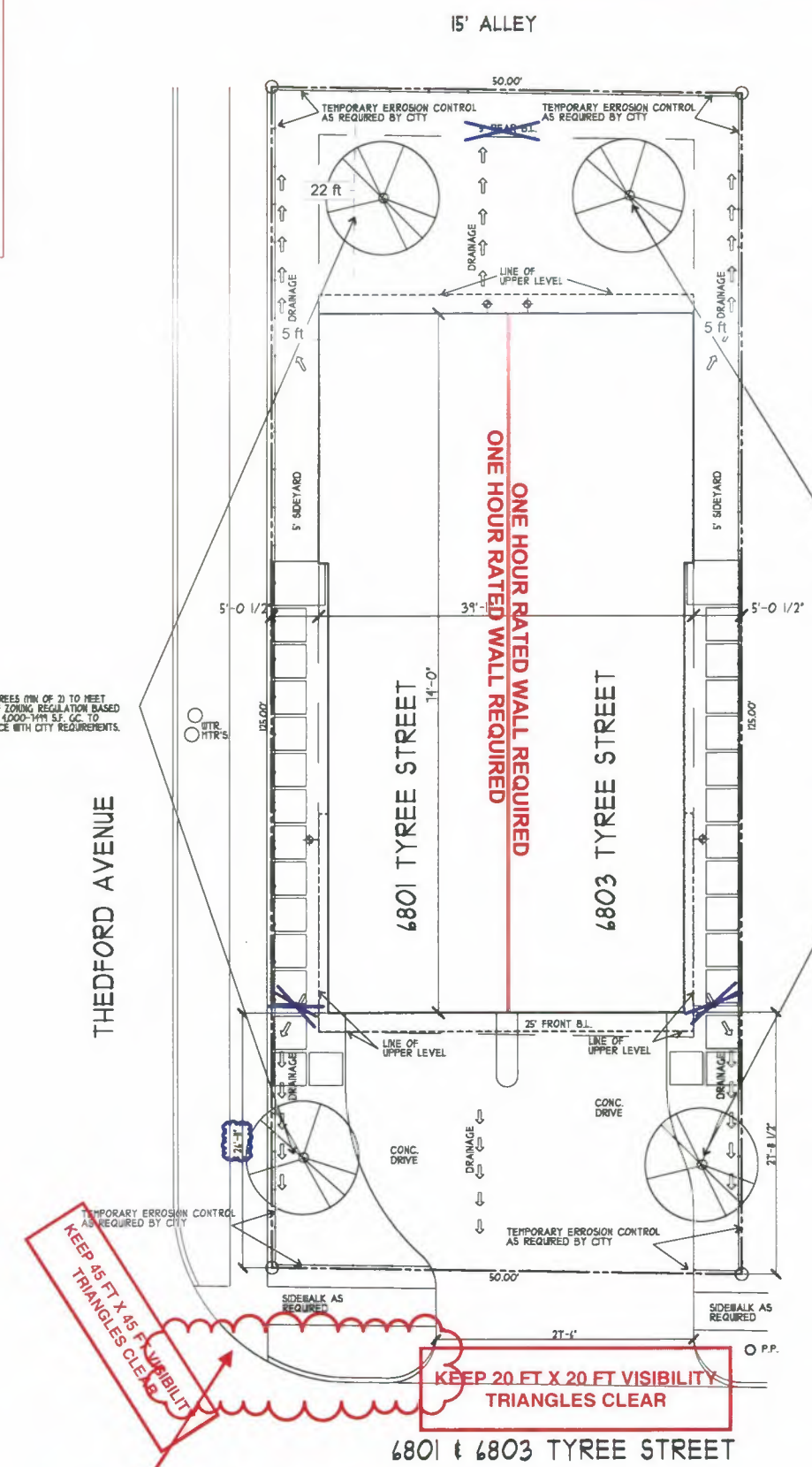
A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS



972-492-4384

All Documents by the
corporation are instruments
of service for the project
and shall remain the property
of the corporation, and shall
not be used for any other
purpose without the written
consent of the corporation.

copyright ©2022
all rights reserved
Rossi Designer, Inc.



**SMOKE DETECTORS REQUIRED IMMEDIATELY
OUTSIDE ALL SLEEPING AREAS AND AT ALL
FLOOR LEVELS**

**UTILITY EASEMENT MUST REMAIN
OPEN AND UNOBSTRUCTED.
NO ENCROACHMENTS PERMITTED**

**WATER SHALL NOT BE REDIRECTED TO DRAIN
ONTO ADJOINING PRIVATE PROPERTY**

CALCUALTIONS

TOTAL LOT AREA	4250 SF.
TOTAL BUILDING AREA	2854 SF.
TOTAL BUILDING COVERAGE	45.1 %

SITE PLAN
SCALE: 1/8"=1'-0"
LOT 3, BLOCK A, 2513
WEBSTER 1 1/2 BLOCK NORTH PARK ADDITION
DALLAS, TEXAS

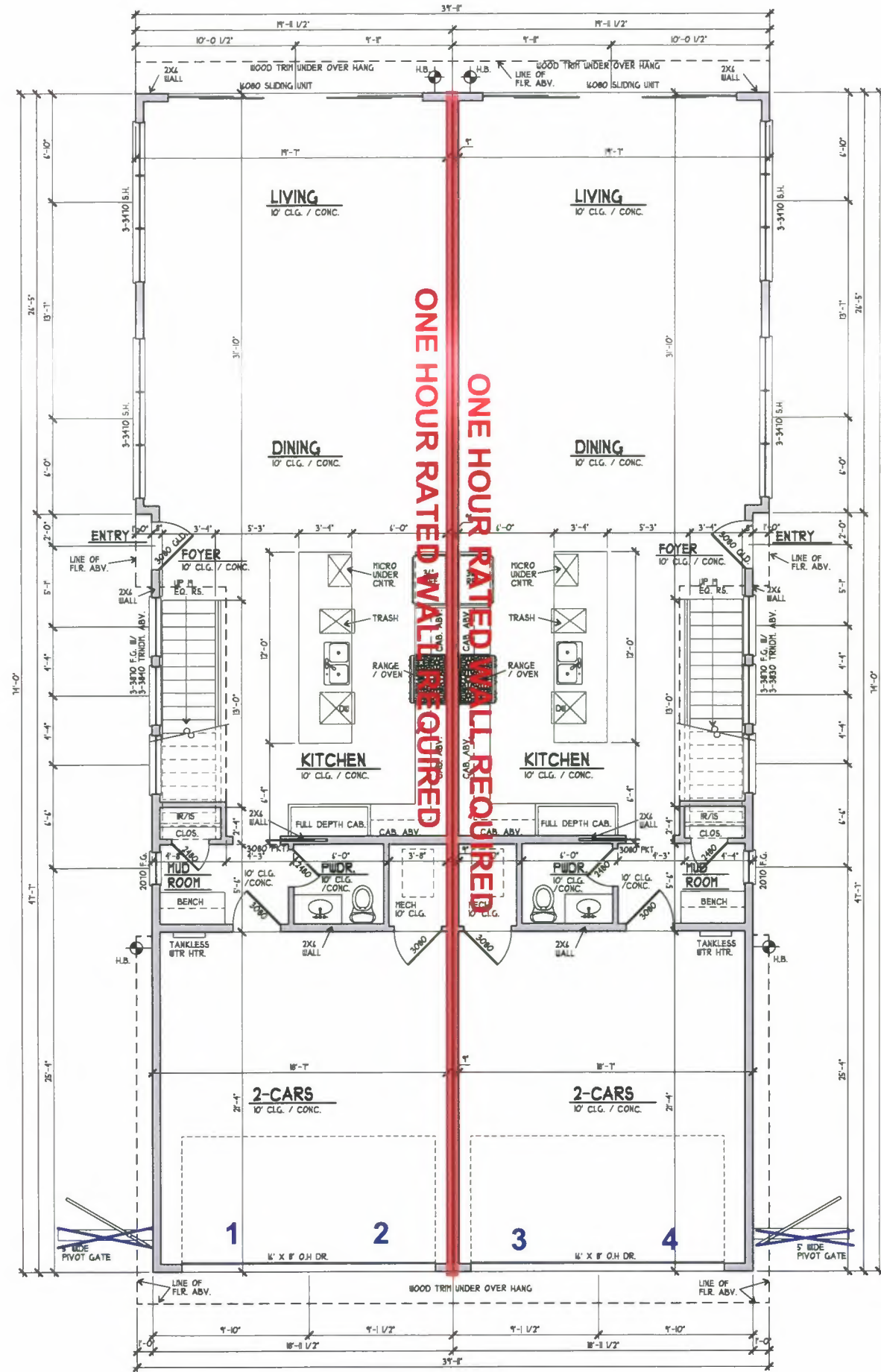
**SIDEWALKS AND DRIVE APPROACH
REQUIRE A SEPARATE PERMIT**

**KEEP 45 FT X 45 FT VISIBILITY
TRIANGLES CLEAR**

**KEEP 20 FT X 20 FT VISIBILITY
TRIANGLES CLEAR**

**MINIMUM 30'
TO CORNER**

SUBJECT TO FIELD INSPECTOR'S APPROVAL



6801 TYREE STREET


AREAS	SQ. FT.
LOWER LEVEL	911
UPPER LEVEL	146
TOTAL (A.C.)	242
AUTOS	401
MECHANICAL	54
TOTAL COVERED	2873

6803 TYREE STREET

AREAS	SQ. FT.
LOWER LEVEL	911
UPPER LEVEL	146
TOTAL (A.C.)	242
AUTOS	401
MECHANICAL	54
TOTAL COVERED	2873

NOTE:
2 x 4 STUDS • ALL EXTERIOR AND PLUMBING WALLS TYP.

LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"


 SHEET **APPROVED**
 Building Inspection
 10-2022
 2

OF 1

22/074

10-13-22

REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
 DALLAS, TEXAS

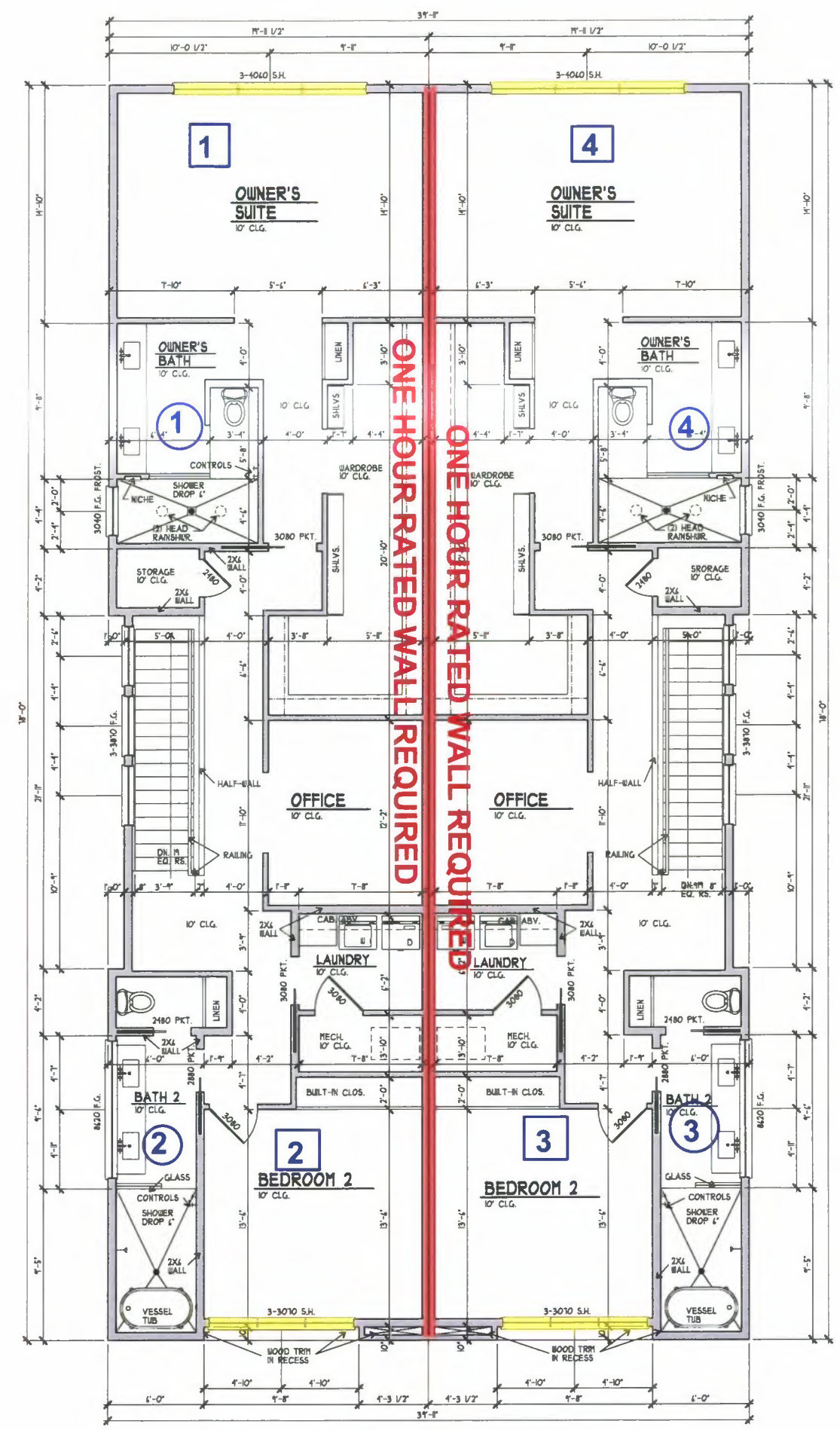
ROSSON
 DESIGNER

912-492-4384

All Documents by the corporation are instruments of service for the project and shall remain the property of the corporation, and not set, be sold for any other endeavor unless the written consent of the corporation.

copyright ©2022
 all rights reserved
 Rosson Design, Home, Inc.

SUBJECT TO FIELD INSPECTOR'S APPROVAL



NOTE:
2 x 4 STUDS • ALL EXTERIOR
A/C AND PLUMBING WALLS TYP.

UPPER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

SHEET 3
City of Dallas
APPROVED
Building Inspection
10/20/22

OF 1
221074
10-13-22
REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER
LAWRENCE, TX

912-492-4384

All Documents by the corporation are instruments of service for the project and shall remain the property of the corporation, and shall not be used for any other endeavor without the written consent of the corporation.

copyright ©2022
all rights reserved
Kamen Design Home, Inc.

A DUPLEX FOR
6801 & 6803 TYREE STREET
 DALLAS, TEXAS

ROSSON
 DESIGNER
 L.L.P.

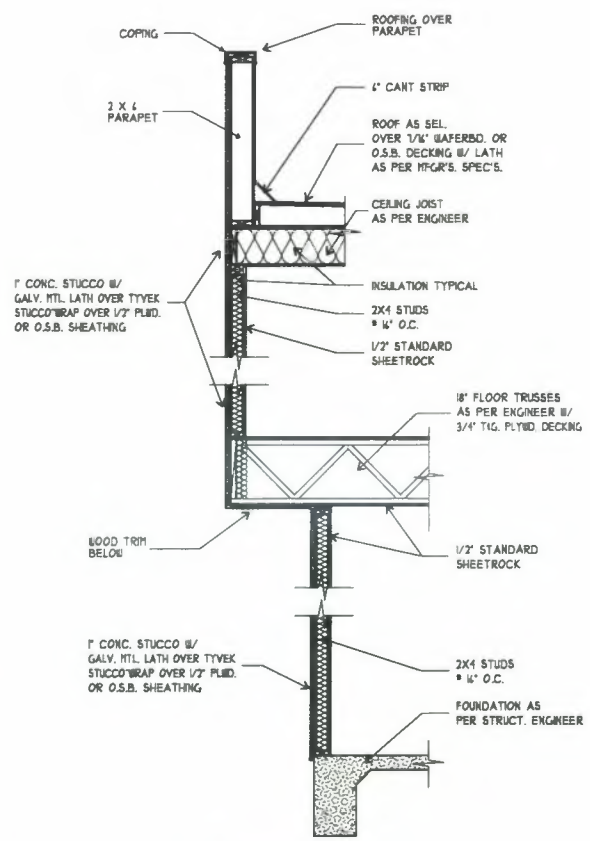
912-492-4384

All Documents by the corporation are instruments of service for the project and shall remain the property of the corporation, and shall not be used for any other endeavor without the written consent of the corporation.

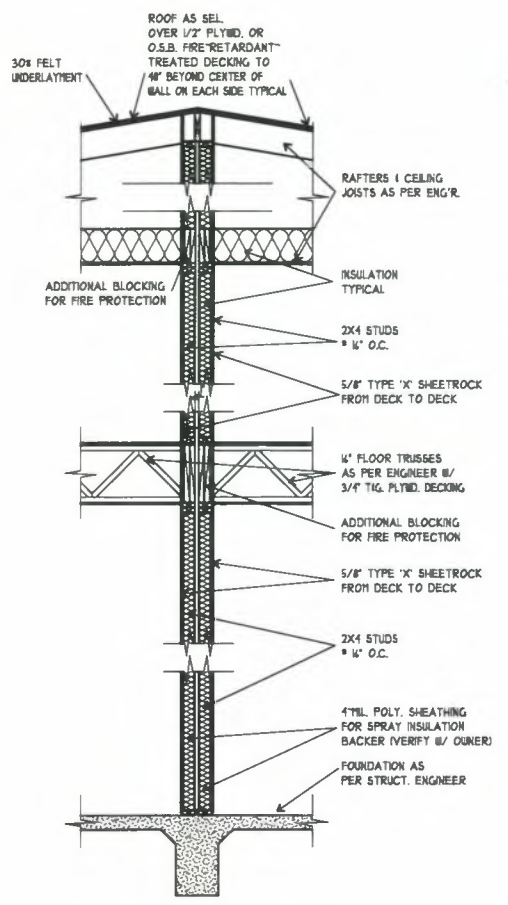
copyright ©2022
 all rights reserved
 Rosson Design Home, Inc.

26' 6" GRADE TO TOP
36' MAX HEIGHT

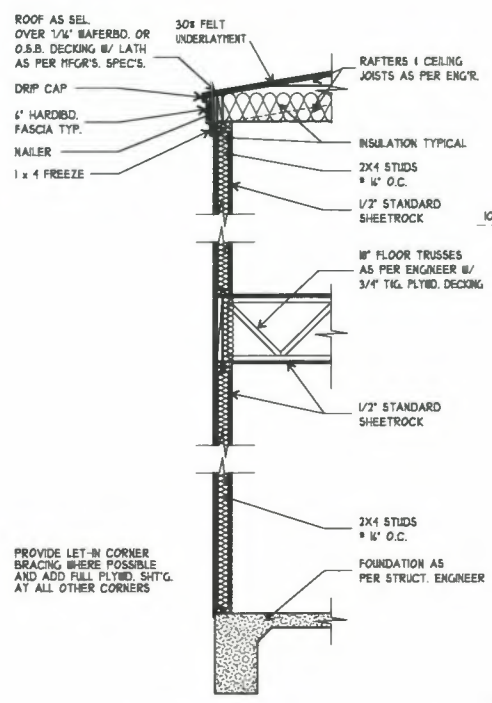
SUBJECT TO FIELD INSPECTOR'S APPROVAL



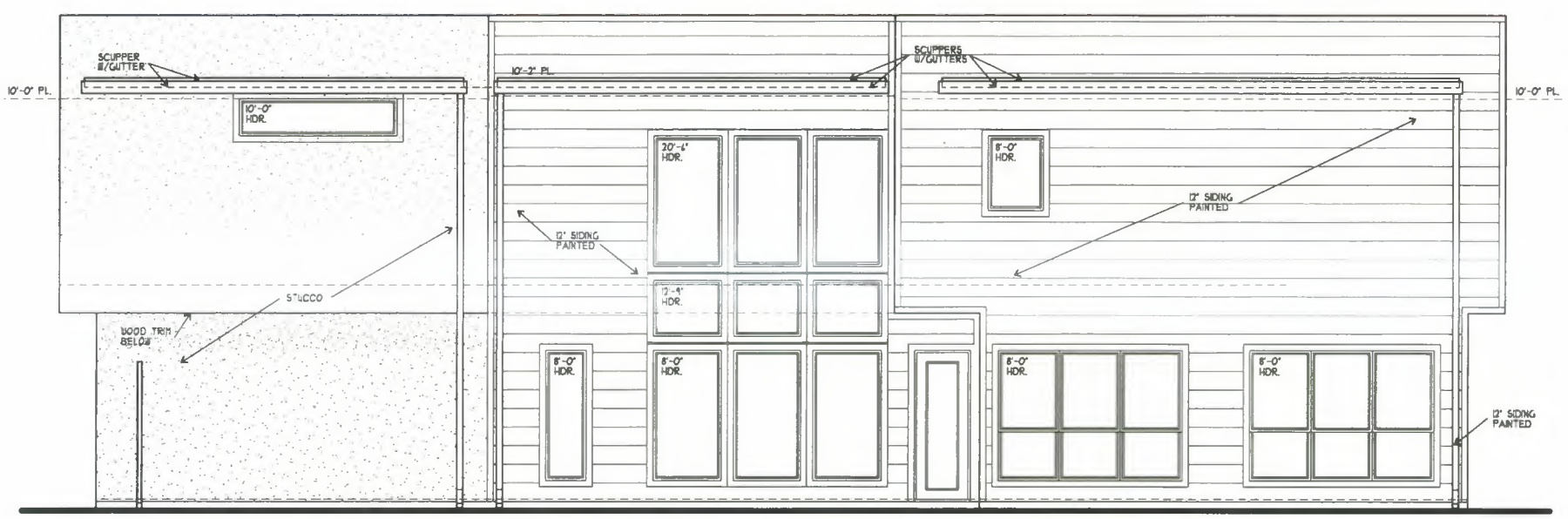
EXTERIOR WALL SECTION 'A'
 SCALE: 1/2" = 1'-0"



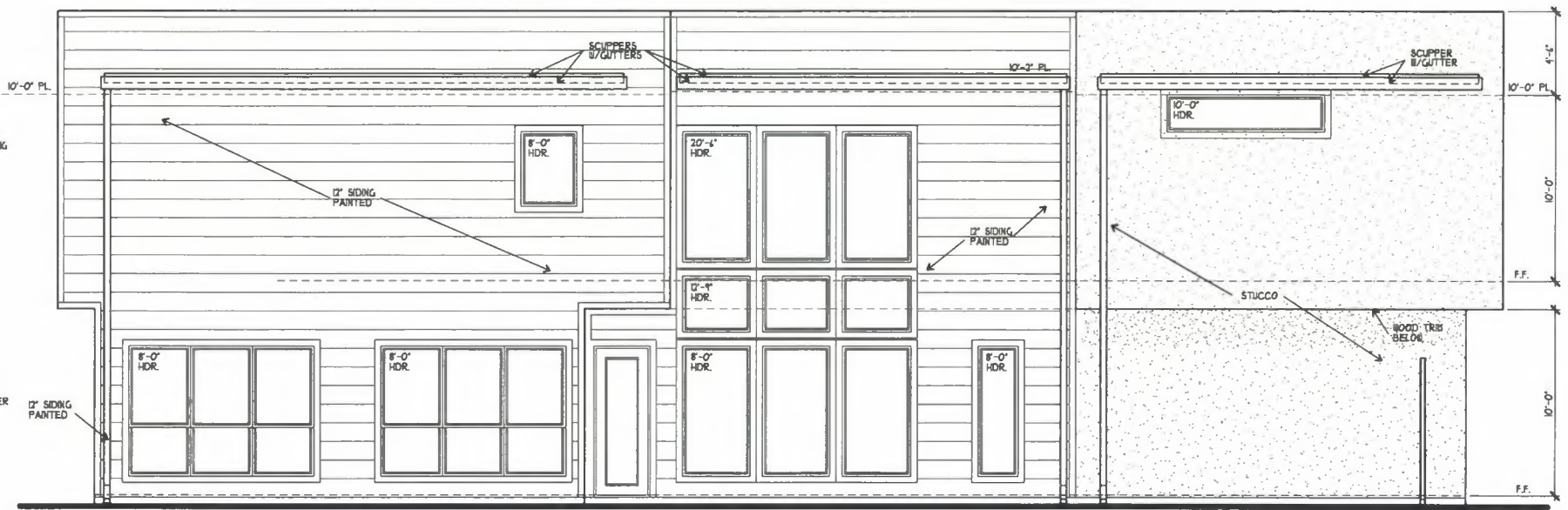
PARTY WALL SECTION
 SCALE: 1/2" = 1'-0"
 DWELLINGS SHALL BE SEPARATED FROM EACH OTHER BY WALL AND FLOOR ASSEMBLIES HAVING NOT LESS THAN A 1-HOUR FIRE RESISTANCE RATING WHERE TESTED IN ACCORDANCE WITH ASTM E119 OR UL233.



EXTERIOR WALL SECTION 'B'
 SCALE: 1/2" = 1'-0"



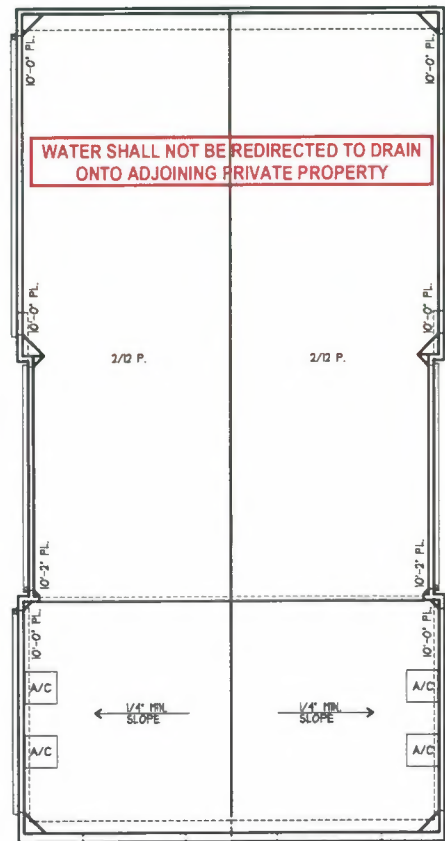
RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



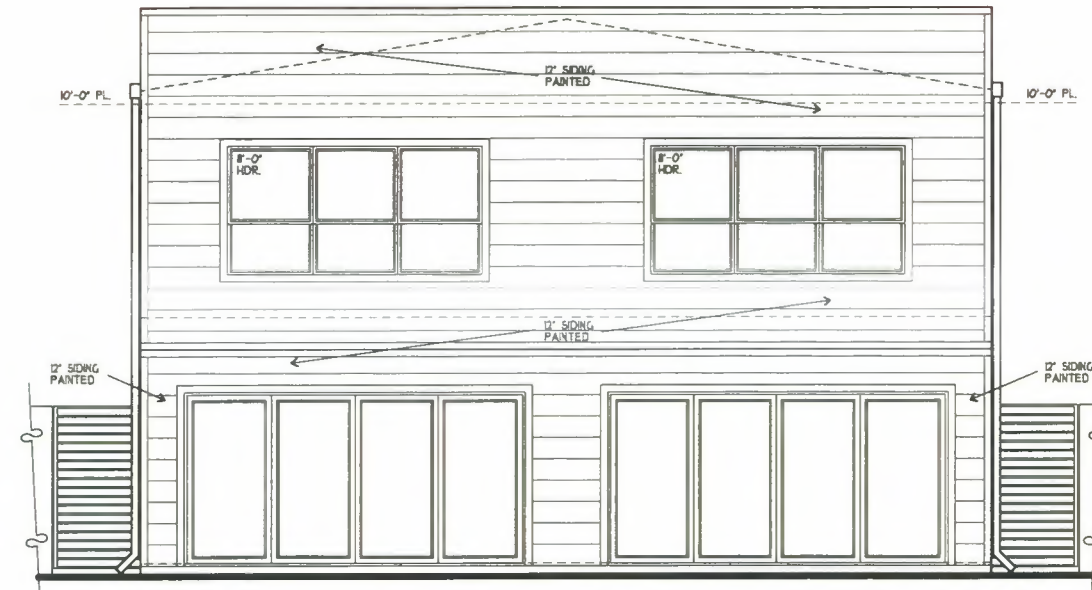
LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

**26' 6" GRADE TO TOP
36' MAX HEIGHT**

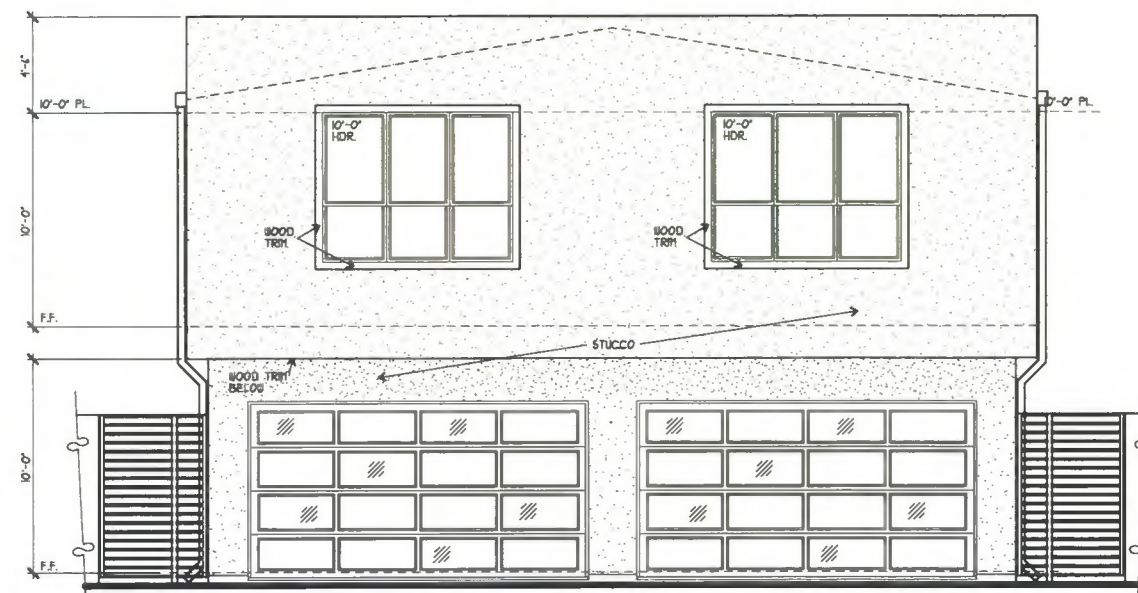
**SUBJECT TO FIELD INSPECTOR'S
APPROVAL**



ROOF PLAN
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



FRONT ELEVATION
SCALE: 1/4"=1'-0"

SHEET 4
APPROVE
City of Dallas
Building Inspection
OF 1

22/014
10-13-22
REVISIONS

A DUPLEX FOR
6801 & 6803 TYREE STREET
DALLAS, TEXAS

ROSSON
DESIGNER
CORPORATION

912-492-4384

All Documents by this corporation are instruments of service for the project and shall remain the property of the corporation, and shall not be used for any other endeavor without the written consent of the corporation.

copyright ©2022
all rights reserved
Rossin Designer Homes, Inc.