



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-143 OFFICE USE ONLY

Data Relative to Subject Property:

Date:

11/1/24 OFFICE USE ONLY

Location address: 4516 Hopkins Avenue

Zoning District: PD-67, Tract 1

Lot No.: 28

Block No.: B/4993

Acreage: 0.73 - 7402.50 MS 8,250 sf

Census Tract: 48113007102

Street Frontage (in Feet): 1) 59.7'

2) \_\_\_\_\_

3) \_\_\_\_\_

4) \_\_\_\_\_

5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Topletz Properties Partnership, LLC

Applicant: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75226

E-mail Address: rob@baldwinplanning.com michele@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates

Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas

Zip Code: 75226

E-mail Address: rob@baldwinplanning.com michele@baldwinplanning.com

Affirm that an appeal has been made for a Variance  or Special Exception  of The maximum height and maximum lot coverage requirements. We are seeking a height variance so Section 51P7.105(b)(3)

is triggered at 32'; a height variance to allow a structure to be 32 feet tall and a maximum lot coverage of 50% rather than 40%.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The structure was permitted and built with approved plans and permits issued by the city (Permit #2212051142 / 2212121022). The variances

are warranted because the financial cost to come into compliance would exceed 50% of the value of the structure pursuant to Section 51A-3.102(B)(i) of the Dallas Development Code.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

Before me the undersigned on this day personally appeared \_\_\_\_\_

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Rob Baldwin

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 23 day of October, 2024



Michele Stoy  
Notary Public in and for Dallas County, Texas



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA \_\_\_\_\_

I, Topletz Properties Partnership, LLC, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4516 Hopkins Avenue  
(Address of property as stated on application)

Authorize: \_\_\_\_\_ Rob Baldwin, Baldwin Associates  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- \_\_\_\_\_ Special Exception (specify below)
- \_\_\_\_\_ Other Appeal (specify below)

Specify: Variance to the maximum height and lot coverage

TOPLETZ PROPERTIES PARTNERSHIP LLC

By: DENNIS TOPLETZ  
Print name of property owner or registered agent

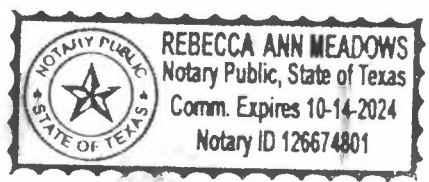
By: [Signature]  
Signature of property owner or registered agent

Date 9-26-24

Before me, the undersigned, on this day personally appeared DENNIS TOPLETZ

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 26 day of Sept, 2024



Rebecca Ann Meadows  
Notary Public for Dallas County, Texas

Commission expires on 10-14-24



AFFIDAVIT

Appeal number: BDA 234-143

I, Topletz Properties Partnership, LLC, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4516 Hopkins Avenue  
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Variance to the maximum height and lot coverage

TOPLETZ PROPERTIES PARTNERSHIP, LLC

By: DENNIS TOPLETZ  
Print name of property owner or registered agent

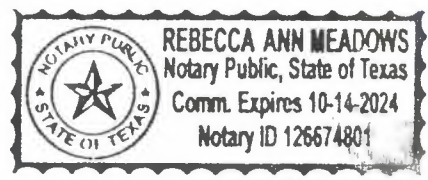
By: [Signature]  
Signature of property owner or registered agent

Date 9-26-24

Before me, the undersigned, on this day personally appeared DENNIS TOPLETZ

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 26 day of Sept, 2024



Rebecca Ann Meadows  
Notary Public for Dallas County, Texas

Commission expires on 10-14-24

**TEXAS SECRETARY of STATE**  
**JANE NELSON**

**BUSINESS ORGANIZATIONS INQUIRY - VIEW ENTITY**

**Filing Number:** 802548515      **Entity Type:** Domestic Limited Liability Company (LLC)  
**Original Date of Filing:** September 16, 2016      **Entity Status:** In existence  
**Formation Date:** N/A  
**Tax ID:** 32061637438      **FEIN:**  
**Duration:** Perpetual  
  
**Name:** TOPLETZ PROPERTIES PARTNERSHIP LLC  
**Address:** 7509 INWOOD RD STE 301  
DALLAS, TX 75209 USA

<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>	<u>INITIAL ADDRESS</u>
		<b>Name</b>	<b>Address</b>		<b>Inactive Date</b>	
		DENNIS D TOPLETZ	7509 INWOOD RD, #301 Dallas, TX 75209 USA			

**Instructions:**

- To place an order for additional information about a filing press the 'Order' button.





CITY OF DALLAS

September 16, 2024

Mr. Tanner Rivera  
7219 Centenary Ave  
Dallas, TX 75225  
[tannerrivera1@yahoo.com](mailto:tannerrivera1@yahoo.com)

Via Email

**RE: Project / Permit # 2212051142 / 2212121022**

This letter serves as official notification that project 2212051142 and master permit 2212121022, for the construction of a new duplex at 4516 Hopkins Ave., Dallas, Texas 75209, were issued in error by the Planning and Development Department (PDV). You have **15-Days** to submit corrective application/s for the following violations or this permit/project will be revoked:

- Structure exceeds the maximum allowed lot coverage of 40 percent for the district per Dallas Development code [§ 51P-67.107\(c\)\(2\)](#).
- Structure exceeds the maximum allowed height for the district per Dallas Development Code [§ 51P-67.107\(c\)\(1\)](#).
- Non-compliant roof type per the design standards for Planned Development No. 67 per Dallas Development Code [§ 51P-67.107\(c\)\(3\)](#).

#### **Next Steps:**

Please reach out to Planning and Development to discuss any of the following options:

- **Option 1 – Submit an Addendum:** Revise and submit plans that comply with all [Planned Development No. 67](#) standards and conditions.
- **Option 2 – Submit Appeal/s Application to the Board of Adjustment:** The Board of Adjustment has the power and duty to hear and grant variances from front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape violations as listed and provided for in [51A-3.102\(d\)\(10\)](#).
  - **Design Standard Limitation:** The Board of Adjustment does not have the authority to grant variances for design standards, such as roof type. Roof-related violations cannot be appealed for a variance through the Board.



CITY OF DALLAS

These can only be addressed by appealing the revocation of the permit through an Administrative Official appeal as provided in Section [51A-4.703\(a\)\(2\)](#).

Please note, these options are provided as a means toward potential compliance and are not intended to constitute legal advice. Please do not hesitate to reach out to Assistant Director (I) / Zoning Administrator, Jason Pool, should you have any questions or require additional information.

**If no action is taken within 15-days of the date on the letter, this permit/project will be revoked and referred to the City's Department of Code Compliance for enforcement.**

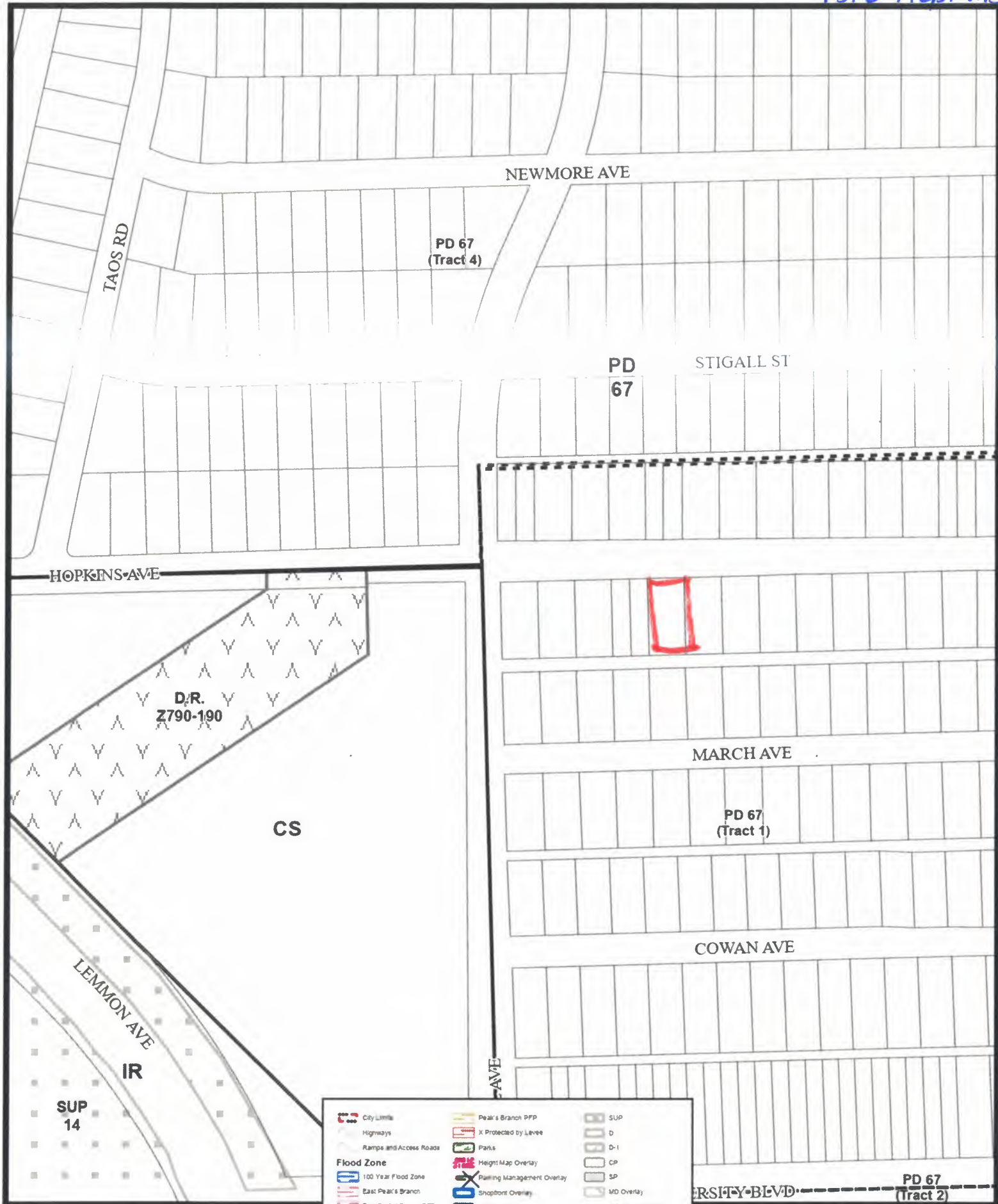
Permit/Project revocation is final unless appealed to the Board of Adjustment in accordance with Section [51A-4.703\(a\)\(2\)](#) of the Dallas City Code within 20 days after written notice of the above action.

Thank you for your prompt attention to this matter.

Jason Pool  
Assistant Director (I) / Zoning Administrator  
214-948-4392  
[Jason.Pool@Dallas.gov](mailto:Jason.Pool@Dallas.gov)

c: Emily Lui, Director  
M. Samuel Eskander, Deputy Director/Building Official (I)  
Vernon Young, Deputy Director  
Michael Herron, Zoning Inspections Supervisor  
Jill Haning, Assistant City Attorney

Christopher Christian, Director  
Jeremy Reed, Assistant Director  
Alfred Beecham, Manager  
Stormy Gonzalez, Manager  
Charlotta Riley, Assistant City Attorney



1:2,400

	City Limits		Peak's Branch PFP		SUP
	Highways		X Protected by Levee		D
	Ramps and Access Roads		Parks		D-1
<b>Flood Zone</b>					CP
	100 Year Flood Zone		Planning Management Overlay		SP
	East Peak's Branch		Shopfront Overlay		MD Overlay
	East Peak's Branch PFP		Base Zoning		Historic Subdistricts
	Floodway		PD 193 Oak Lawn		Historic Overlay
	Mill Creek		Dallas Environmental Corridors		CD Subdistricts
	Mill Creek PFP		DDO Overlay		PD Subdistricts
	Peak's Branch		Deed Restrictions		PDS Subdistricts
					NSO Subdistricts

Case ID:

Printed: 9/17/2024



**FLOOR PLAN NOTES**

**GENERAL NOTES**

- PLANS ARE DESIGNED TO 2015 INTERNATIONAL BUILDING CODES. CONTRACTOR TO VERIFY PLANS CONFORM TO LOCAL BUILDING STANDARDS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF APPLIANCES AND FIXTURES WITH SUB-CONTRACTOR TRADES BASED ON OWNER SELECTIONS. INSTALL ALL FIXTURES AND APPLIANCES PER MANUFACTURER'S RECOMMENDATIONS. CONTACT ARCHITECT PRIOR TO INSTALLATION IF OWNER SUBSTITUTIONS AFFECT DESIGN.
- INSTALL IN-WALL BLOCKING AS REQUIRED FOR ALL FIXTURES, APPLIANCES AND ACCESSORIES AS REQUIRED TO SUPPORT SAID ITEMS.
- LANDSCAPE DESIGN AND SITE WORK BY OTHERS.

**FINISH NOTES**

- ALL INTERIOR CEILINGS AND WALLS SHALL BE PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD AND INTERIOR CEILING SHALL BE 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.

**WALL AND PARTITION NOTES**

- INSTALL REQUIRED LAYERS OF 40# FELT OR HOUSEWRAP TYPICAL OVER ALL EXTERIOR SHEATHING.
- ALL EXTERIOR WALLS ARE 2x6's UNLESS NOTED OTHERWISE.
- ALL INTERIOR PARTITIONS ARE 2x4's, TYPE A, EXCEPT FOR WALLS WITH PLUMBING AND WALLS FOR POCKET DOORS. PARTITIONS WITH PLUMBING AND WALL FOR POCKET DOORS ARE 2x6's TYPE B.
- INSTALL THERMAL INSULATION IN ALL WALLS AND CEILING ADJACENT TO CONDITIONED INTERIOR SPACES.
- INSTALL THERMAL INSULATION IN ALL INTERIOR REQUIRING ACOUSTICAL PRIVACY.
- INSTALL FIBER CEMENT BACKER BOARD IN ALL INTERIOR WET WALLS, TYPE D AND E AND CEILING.

**DIMENSION NOTES:**

- ALL EXTERIOR DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD

**PARTITION TYPE NOTES:**

- PARTITIONS ARE TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- FILL ALL VOIDS BETWEEN STUDS AND SOUND BATT INSULATION AND CAULK WITH ACOUSTICAL SEALANT AT TOP AND BOTTOM OF EACH LAYER OF DRYWALL AND ALL PENETRATIONS FOR LOCATIONS NEEDING ACOUSTICAL PRIVACY.
- ALL GYPSUM BOARD WALL TO BE PAINTED FLAT. COLOR TO BE DETERMINED BY CLIENT.

**LIGHTING AND ELECTRICAL NOTES:**

- CONTRACTOR TO COORDINATE LIGHT SWITCH LOCATIONS WITH OWNER.
- IN THE EVENT LIGHT FIXTURE/CEILING MOUNTED ITEM LOCATIONS IN CONFLICT WITH TRUSS LOCATIONS, LOCATE SAID FIXTURE STRING AS NEAR AS POSSIBLE TO INTENDED LOCATION.
- ALL SWITCHED DIMMERS TO BE WHITE.
- CONTRACTOR TO COORDINATE OUTLET LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS. CONTRACTOR TO COORDINATE ALL DATA, TV, AV, ETC. LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS.
- CONTRACTOR TO COORDINATE OUTLET REQUIREMENTS AND LOCATIONS WITH FINAL APPLIANCE SELECTION SPECIFICATIONS.

**MATERIALS:**

**ARTISAN HARDIE BOARD SIDING:**  
INSTALL PER MANUFACTURERS RECOMMENDATIONS

**STUCCO:**

3/4" PORTLAND CEMENT INTEGRAL COLOR PLASTER WITH ELASTOMERIC TOP COAT (3-PART SYSTEM) INSTALLED OVER METAL LATH. INSTALL FRY REGLET "V" STYLE CONTROL JOINTS AS INDICATED ON EXTERIOR ELEVATIONS. FINISH SHALL BE SMOOTH TROWELED TOP COAT.

**BRICK VENEER:**

STANDARD SIZE BRICK. SPECIES SHALL BE SELECTED BY OWNER. PROVIDE WATERPROOFING AROUND ALL BRICK TIES TO ENSURE SUB-SHEATHING IS WATERPROOF. PROVIDE THROUGH WALL FLASHING AT THE BASE OF ALL BRICK. PROVIDE STEEL LINTELS TO CARRY WEIGHT OF BRICK ABOVE ALL OPENINGS ALONG WITH THROUGH WALL FLASHING. PROVIDE GALV. BRICK TIES AT 24" O.C. W. PROVIDE WEEPS AT 24" O.C. MORTAR COLOR TO BE SELECTED BY OWNER.

**EXTERIOR WOOD SIDING:**

RECOMMENDED SPECIES (FINAL SELECTION BY OWNER) INSTALLATION 1 X 4 SHIP LAP BOARDS CLEAR SEALED SATIN FINISH

**ASPHALT SHINGLE ROOF:**

INSTALL WITH 4" SIDE LAP AND 2" TOP LAP. INSTALL UNDERLAYMENT 6" ON BOTH SIDES OF HIPS AND RIDGES. DRIP EDGES SHALL BE CORROSION RESISTANT METAL AND APPLIED OVER UNDERLAYMENT ALONG RAKE AND DIRECTLY TO THE ROOF DECK LONG THE EAVE. PROVIDE RIDGE VENTS AT ALL ROOF RIDGES.

**STANDING SEAM METAL ROOF:**

INSTALL PER MANUFACTURERS RECOMMENDATIONS

Lots of 4,000 square feet to 7,499 square feet in area require a minimum of two (2) large or medium trees. Must have a minimum of one (1) tree in the front yard.

**FLOOR PLAN NOTES 01**

**DALLAS GREEN BUILDING PROGRAM NOTES - NEW CONSTRUCTION**  
All new construction to comply with Phase-2 of the City of Dallas Prescriptive Checklist.

**Storm Water:**

- 70% of the non-roof area to have vegetative landscaping or permeable paving.

**Water Usage:**

- Utilize drip irrigation in all planting beds.
- Must comply with 3 of the following 5 categories:
  - Lavatory faucets to have a flow rate of 2.0 GPM max.
  - Shower heads to have a flow rate of 2.0 GPM max.
  - Toilets to have an average flush rate of 1.3 GPF max.
  - Dishwasher to be Energy Star labeled and use 8 gal. Max per cycle.
  - Clothes washers to be Energy Star labeled and have a modified energy factor of 2.0 min. and water factor of 5 max.

**Energy Efficiency:**

- The house must achieve energy efficiency 15% better than the Dallas Energy Conservation Code using the IC3 calculator.

**Heat Island Mitigation:**

- Roofing materials shall be Energy Star qualified with a light reflectance value of >= 0.25. A properly installed radiant barrier or a foam encapsulated attic is an acceptable alternative.

**Indoor Air Quality:**

- HVAC and duct work to be located outside of the fire rated garage envelope.
- Minimize pollutants in conditioned space above garage.
  - Penetrations sealed.
  - Floor and ceiling joint beys sealed.
  - Painted walls and ceiling of conditioned space.
- Minimize pollutants in conditioned space adjacent to garage.
  - Penetrations sealed.
  - Doors weatherstripped.
  - Cracks at wall base sealed.
- Air filters to be MERV 8 min.
- Air handler(s) to be properly sized by the mechanical contractor.
- Air filter housing to be airtight.

**GENERAL NOTES TO CONTRACTOR:**

- DO NOT SCALE DRAWINGS.
- CONTACT ARCHITECT WITH QUESTIONS PRIOR TO COMMENCING THAT PORTION OF THE JOB.
- ALL CONSTRUCTION TO CONFORM TO CITY OF DALLAS AND IRC 2015 BUILDING CODE.

**NOTICE**  
CHECK FOR PRIVATE DEED RESTRICTIONS FILE AT COUNTY OFFICE

**SMOKE DETECTORS REQUIRED IMMEDIATELY OUTSIDE ALL SLEEPING AREAS AND AT ALL FLOOR LEVELS**

**UTILITY EASEMENT MUST REMAIN OPEN AND UNOBSTRUCTED. NO ENCROACHMENTS PERMITTED**

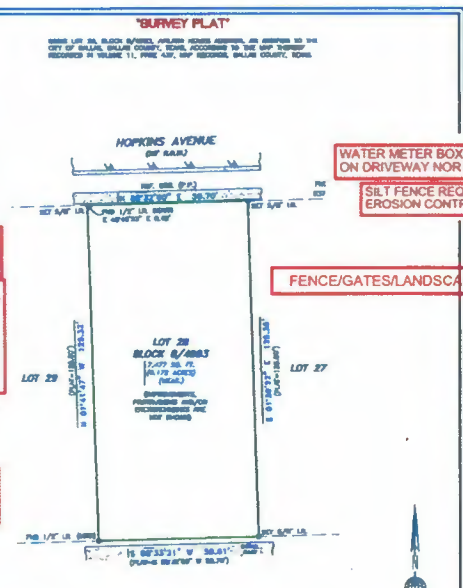
**WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY**

**A PERMIT IS BEING ISSUED FOR WATER/WASTEWATER UTILITIES. YOU ARE RESPONSIBLE TO VERIFY THAT UTILITIES ARE AVAILABLE FOR THIS PROPERTY. IF UTILITIES ARE NOT AVAILABLE FOR THIS SITE, THE CITY OF DALLAS IS NOT RESPONSIBLE.**

**KEEP 20 FT X 20 FT VISIBILITY TRIANGLES CLEAR**

**SUBJECT TO FIELD INSPECTOR'S APPROVAL**

**SIDEWALKS AND DRIVE APPROACH REQUIRE A SEPARATE PERMIT**



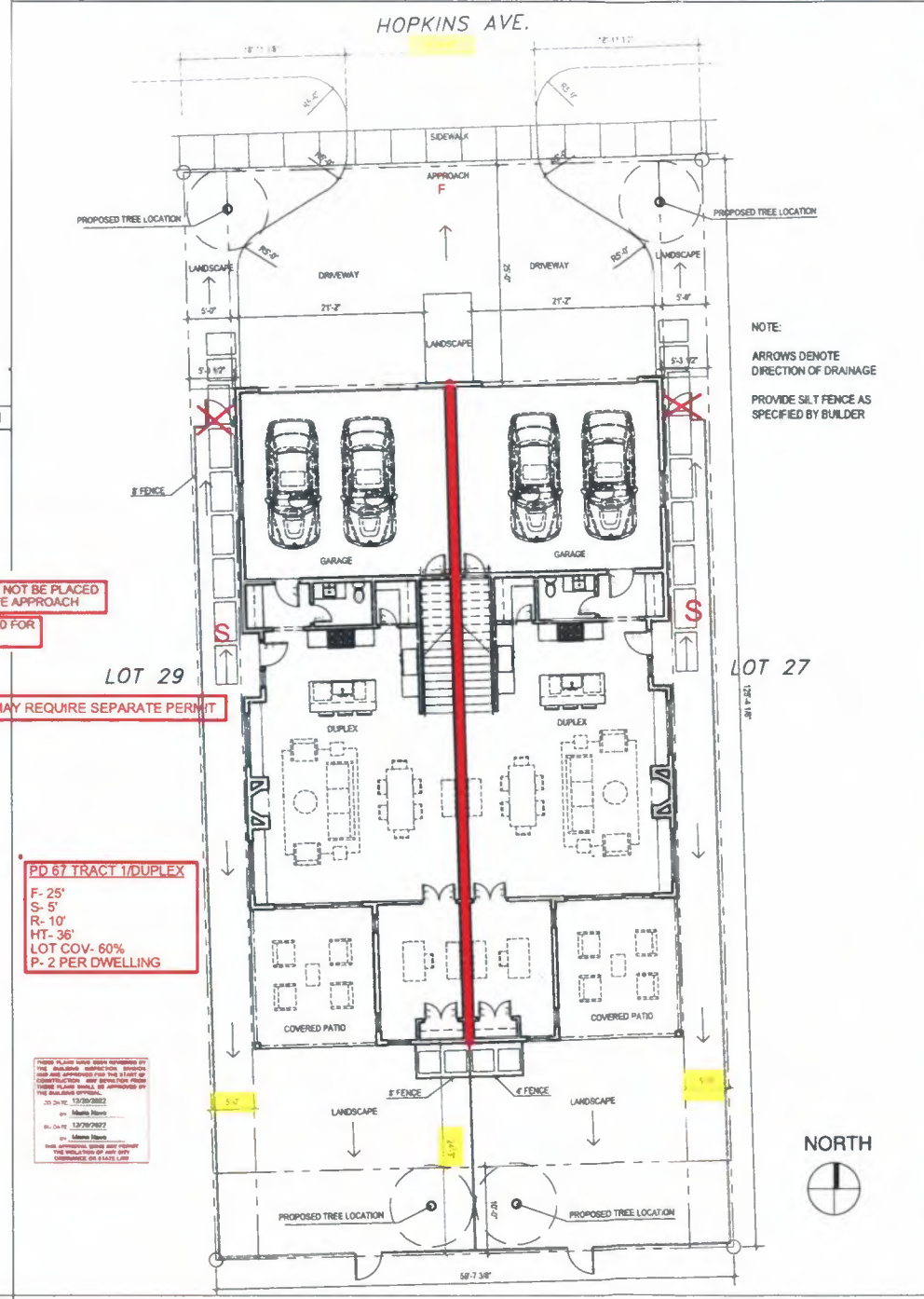
**Global Land Surveying, Inc.**  
SERVING COLLIN, DALLAS AND SERRA COUNTY SINCE 2003

Survey plat details including bearings, distances, and area calculations.

**SURVEY (BY OTHERS) 02**

SHEET LIST	
A1.0	COVER SHEET
A1.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A4.0	WALL SECTIONS
A5.0	SCHEDULES
E1.0	FIRST FLOOR ELECTRICAL PLAN
E1.1	SECOND FLOOR ELECTRICAL PLAN

LEGAL DESCRIPTION		LOT COVERAGE	
4516 and 4518 HOPKINS AVE, LOT 28 BLOCK B4993 DALLAS COUNTY, TEXAS		ALLOWABLE BUILDING FOOTPRINT	4,486.20 S.F. (60%)
ZONED: D - DUPLEX DISTRICT		FRONT SETBACK	3,708.47 S.F. (49.59%)
AREA CALCULATIONS:		PROPOSED SIDE/REAR SETBACK	ALLOWABLE 5'-0" / 7'-0"
LEVEL 1	2,174.04 S.F.	CONDITIONED SPACE	
LEVEL 2	3,289.09 S.F.	CONDITIONED SPACE	
GARAGE	1,086.42 S.F.	NON-CONDITIONED SPACE	
PORCHES	448 S.F.	NON-CONDITIONED SPACE	
TOTAL	5,463.13 S.F.	CONDITIONED SPACE	



**SITE PLAN 1/8" = 1'-0" 03**

**PURVA DESIGN STUDIO**

**A NEW DUPLEX FOR:  
TANNER HOMES**

**4516 AND 4518 HOPKINS AVE.  
DALLAS, TX 75209**

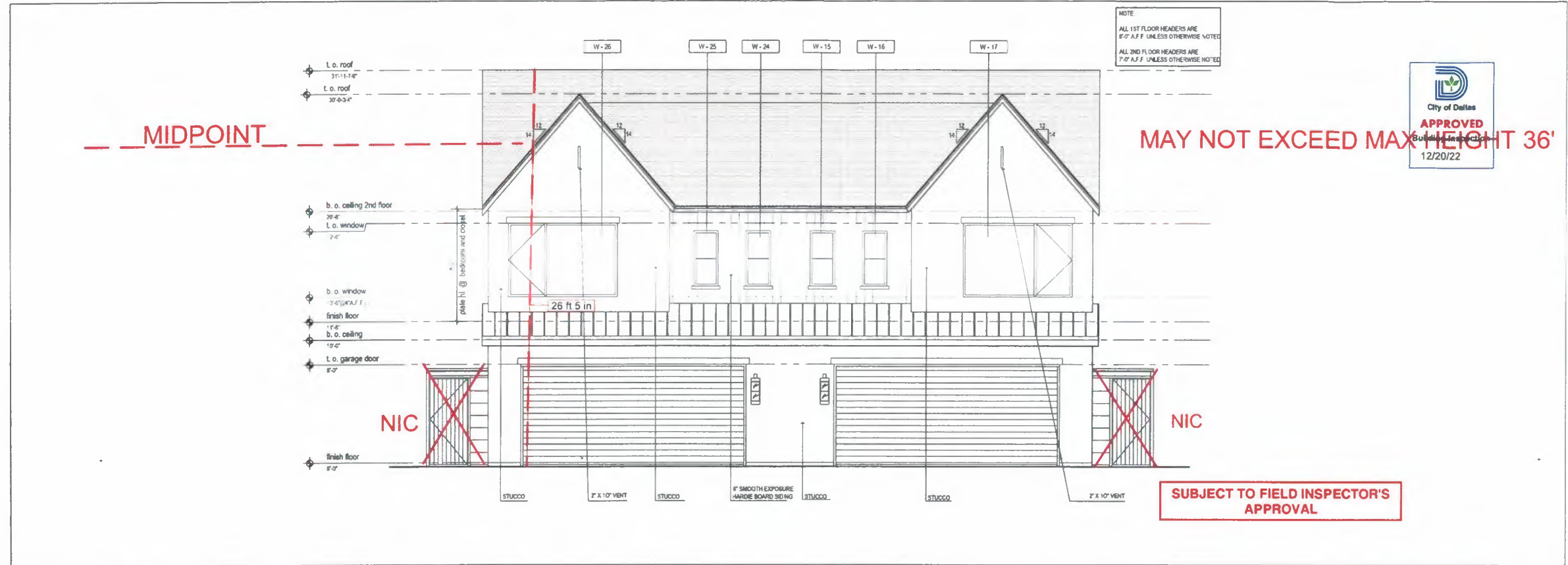
**TANNER HOMES**

ISSUE LOG	DATE	DESCRIPTION
CONSTRUCTION SET	11-21-2022	

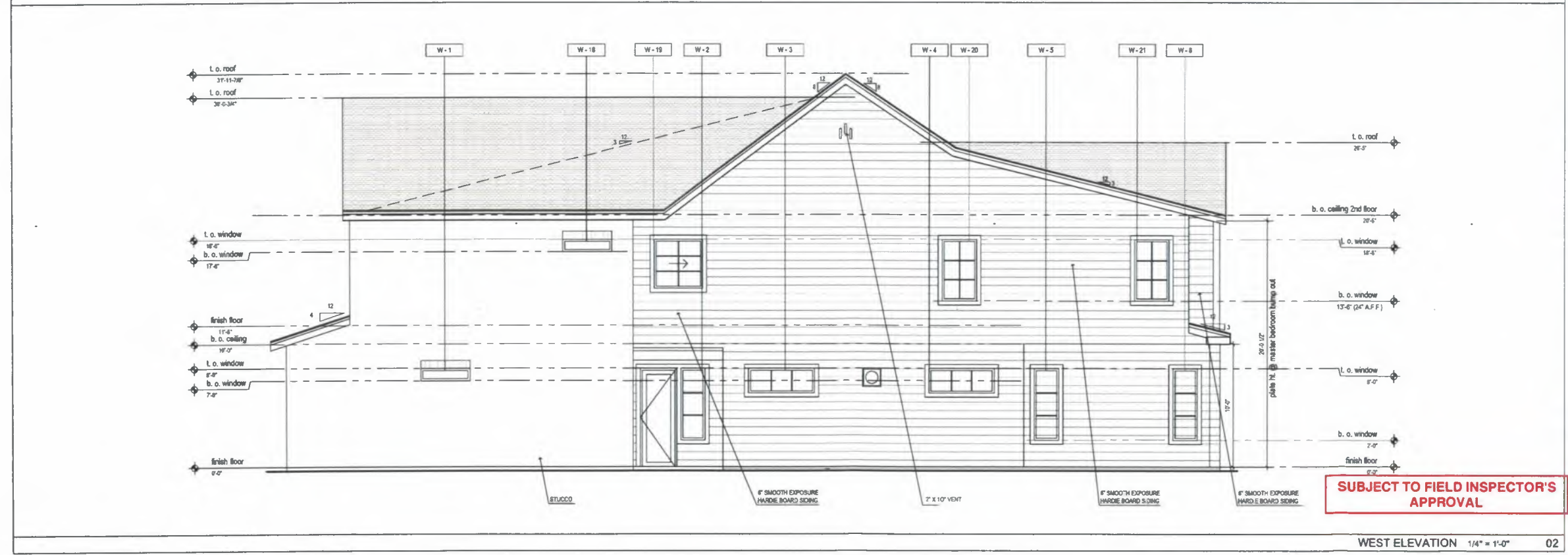
**PROJECT NO:  
2410**

**SHEET NO:  
A1.0**





SOUTH ELEVATION 1/4" = 1'-0" 01



WEST ELEVATION 1/4" = 1'-0" 02

**PURVA  
DESIGN  
STUDIO**

Phone: 214.556.6388  
Email: purva@purva.com  
Website: www.purva.com

All rights reserved. The drawings, design, and text are the property of Purva Design Studio. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Purva Design Studio.

A NEW DUPLEX FOR:  
**TANNER HOMES**

4516 AND 4518 HOPKINS AVE.  
DALLAS, TX 75209



ISSUE LOG	DATE	DESCRIPTION
CONSTRUCTION SET	11.21.2022	

PROJECT NO:  
**2410**

SHEET NO:  
**A2.0**