



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 034-144 OFFICE USE ONLY

Data Relative to Subject Property: _____ Date: 11/1/24 PUBLIC USE ONLY

Location address: 4500 Hopkins Avenue Zoning District: PD-67, Tract 1

Lot No.: 32 Block No.: B/4993 Acreage: 6.170 7462.53 8,356 -sf Census Tract: 48113007102

Street Frontage (in Feet): 1) 59.7' 2) 125' 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Topletz Properties Partnership, LLC

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com michele@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com michele@baldwinplanning.com

Affirm that an appeal has been made for a Variance X, or Special Exception _____, of The maximum height and maximum lot coverage requirements. We are seeking a height variance so Section 51P7.105(b)(3) is triggered at 27' 3" and a maximum lot coverage of 49.61% rather than 40%. (1)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:
The structure was permitted and built with approved plans and permits issued by the city (Permit # 2221051141 / 2212091120). The variances are warranted because the financial cost to come into compliance would exceed 50% of the value of the structure pursuant to Section 51A-3.102(B)(i) of the Dallas Development Code.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared _____

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: Rob Baldwin
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 23 day of October, 2024



Michelle Stog
Notary Public in and for Dallas County, Texas



AFFIDAVIT

Appeal number: BDA 234-144

I, Topletz Properties Partnership, LLC, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4500 Hopkins Avenue
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Variance to the maximum height and lot coverage

TOPLETZ PROPERTIES PARTNERSHIP, LLC

By: [Signature]
Print name of property owner or registered agent

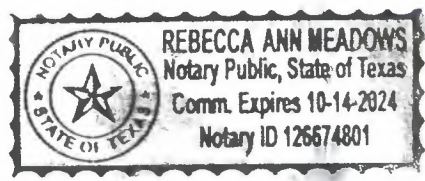
By: DENNIS TOPLETZ
Signature of property owner or registered agent

Date 9-26-24

Before me, the undersigned, on this day personally appeared DENNIS TOPLETZ

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 26 day of Sept, 2024



[Signature]
Notary Public for Dallas County, Texas

Commission expires on 10-14-24



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA _____

I, Topletz Properties Partnership, LLC, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4500 Hopkins Avenue
(Address of property as stated on application)

Authorize: Rob Baldwin, Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Variance to the maximum height and lot coverage

TOPLETZ PROPERTIES PARTNERSHIP LLC

By: Dennis Topletz
Print name of property owner or registered agent

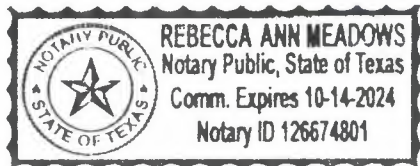
By: [Signature]
Signature of property owner or registered agent

Date 9-26-24

Before me, the undersigned, on this day personally appeared Dennis Topletz

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 26 day of Sept, 2024



Rebecca Ann Meadows
Notary Public for Dallas County, Texas

Commission expires on 10-14-24

TEXAS SECRETARY of STATE
JANE NELSON

BUSINESS ORGANIZATIONS INQUIRY - VIEW ENTITY

Filing Number: 802548515
Original Date of Filing: September 16, 2016
Formation Date: N/A
Tax ID: 32061637438
Duration: Perpetual

Entity Type: Domestic Limited Liability Company (LLC)
Entity Status: In existence
FEIN:

Name: TOPLETZ PROPERTIES PARTNERSHIP LLC
Address: 7509 INWOOD RD STE 301
DALLAS, TX 75209 USA

<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>	<u>INITIAL ADDRESS</u>
		Name DENNIS D TOPLETZ	Address 7509 INWOOD RD, #301 Dallas, TX 75209 USA			Inactive Date

Instructions:
● To place an order for additional information about a filing press the 'Order' button.



CITY OF DALLAS

September 16, 2024

Mr. Tanner Rivera
7219 Centenary Ave
Dallas, TX 75225
tannerrivera1@yahoo.com

Via Email

RE: Project / Permit # 2212051141 / 2212091120

This letter serves as official notification that project 2212051141 and master permit 2212091120, for the construction of a new duplex at 4500 Hopkins Ave., Dallas, Texas 75209, were issued in error by the Planning and Development Department (PDV). You have **15-Days** to submit corrective application/s for the following violations or this permit/project will be revoked:

- Structure exceeds the maximum allowed lot coverage of 40 percent for the district per Dallas Development code [§ 51P-67.107\(c\)\(2\)](#).
- Non-compliant roof type per the design standards for Planned Development No. 67 per Dallas Development Code [§ 51P-67.107\(c\)\(3\)](#).

Next Steps:

Please reach out to Planning and Development to discuss any of the following options:

- **Option 1 – Submit an Addendum:** Revise and submit plans that comply with all [Planned Development No. 67](#) standards and conditions.
- **Option 2 – Submit Appeal/s Application to the Board of Adjustment:** The Board of Adjustment has the power and duty to hear and grant variances from front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape violations as listed and provided for in [51A-3.102\(d\)\(10\)](#).
 - **Design Standard Limitation:** The Board of Adjustment does not have the authority to grant variances for design standards, such as roof type. Roof-related violations cannot be appealed for a variance through the Board. These can only be addressed by appealing the revocation of the permit through an Administrative Official appeal as provided in Section [51A-4.703\(a\)\(2\)](#).



CITY OF DALLAS

Please note, these options are provided as a means toward potential compliance and are not intended to constitute legal advice. Please do not hesitate to reach out to Assistant Director (I) / Zoning Administrator, Jason Pool, should you have any questions or require additional information.

If no action is taken within 15-days of the date on the letter, this permit/project will be revoked and referred to the City's Department of Code Compliance for enforcement.

Permit/Project revocation is final unless appealed to the Board of Adjustment in accordance with [Section 51A-4.703\(a\)\(2\)](#) of the Dallas City Code within 20 days after written notice of the above action.

Thank you for your prompt attention to this matter.

A handwritten signature in blue ink, appearing to read 'Jason Pool'.

Jason Pool
Assistant Director (I) / Zoning Administrator
214-948-4392
Jason.Pool@Dallas.gov

c: Emily Lui, Director
M. Samuel Eskander, Deputy Director/Building Official (I)
Vernon Young, Deputy Director
Michael Herron, Zoning Inspections Supervisor
Jill Haning, Assistant City Attorney

Christopher Christian, Director
Jeremy Reed, Assistant Director
Alfred Beecham, Manager
Stormy Gonzalez, Manager
Charlotta Riley, Assistant City Attorney

FLOOR PLAN NOTES
GENERAL NOTES
 1. PLANS ARE DESIGNED TO 2015 INTERNATIONAL BUILDING CODES. CONTRACTOR TO VERIFY PLANS CONFORM TO LOCAL BUILDING STANDARDS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR SHALL COORDINATE INSTALLATION OF APPLIANCES AND FIXTURES WITH SUB-CONTRACTOR TRADES BASED ON OWNER SELECTIONS. INSTALL ALL FIXTURES AND APPLIANCES PER MANUFACTURER'S RECOMMENDATIONS. CONTACT ARCHITECT PRIOR TO INSTALLATION IF OWNER SUBSTITUTIONS AFFECT DESIGN.
 3. INSTALL IN-WALL BLOCKING AS REQUIRED FOR ALL FIXTURES, APPLIANCES AND ACCESSORIES AS REQUIRED TO SUPPORT SAID ITEMS.
 4. LANDSCAPE DESIGN AND SITE WORK BY OTHERS.

FINISH NOTES
 1. ALL INTERIOR CEILINGS AND WALLS SHALL BE PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.
 ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD AND INTERIOR CEILING SHALL BE 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.

WALL AND PARTITION NOTES
 1. INSTALL REQUIRED LAYERS OF 40# FELT OR HOUSEWRAP TYPICAL OVER ALL EXTERIOR SHEATHING.
 2. ALL EXTERIOR WALLS ARE 2x6'S UNLESS NOTED OTHERWISE.
 3. ALL INTERIOR PARTITIONS ARE 2x4'S, TYPE A, EXCEPT FOR WALLS WITH PLUMBING AND WALLS FOR POCKET DOORS. PARTITIONS WITH PLUMBING AND WALL FOR POCKET DOORS ARE 2x6'S TYPE B.
 4. INSTALL THERMAL INSULATION IN ALL WALLS AND CEILINGS ADJACENT TO CONDITIONED INTERIOR SPACES.
 5. INSTALL THERMAL INSULATION IN ALL INTERIOR REQUIRING ACOUSTICAL PRIVACY.
 6. INSTALL FIBER CEMENT BACKER BOARD IN ALL INTERIOR WET WALLS, TYPE D AND E AND CEILINGS

DIMENSION NOTES
 1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD

PARTITION TYPE NOTES:
 1. PARTITIONS ARE TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
 2. FILL ALL VOIDS BETWEEN STUDS AND SOUND BATT INSULATION AND CAULK WITH ACOUSTICAL SEALANT AT TOP AND BOTTOM OF EACH LAYER OF DRYWALL AND ALL PENETRATIONS FOR LOCATIONS NEEDING ACOUSTICAL PRIVACY.
 3. ALL GYPSUM BOARD WALL TO BE PAINTED FLAT. COLOR TO BE DETERMINED BY CLIENT

LIGHTING AND ELECTRICAL NOTES:
 1. CONTRACTOR TO COORDINATE LIGHT SWITCH LOCATIONS WITH OWNER.
 2. IN THE EVENT LIGHT FIXTURES ARE MOUNTED ITEM LOCATIONS IN CONTACT WITH TRUSS LOCATIONS LOCATE SAID FIXTURES AS NEAR AS POSSIBLE TO INTENDED LOCATION.
 3. ALL SWITCHES DIMMERS TO BE WHITE.
 4. CONTRACTOR TO COORDINATE OUTLET LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS. CONTRACTOR TO COORDINATE ALL DATA, TV, AV, ETC. LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS.
 5. CONTRACTOR TO COORDINATE OUTLET REQUIREMENTS AND LOCATIONS WITH FINAL APPLIANCE SELECTION SPECIFICATIONS.

MATERIALS
ARTISAN HARDIE BOARD SIDING:
 INSTALL PER MANUFACTURER'S RECOMMENDATIONS

STUCCO
 3/4" PORTLAND CEMENT INTEGRAL COLOR PLASTER WITH ELASTOMERIC TOP COAT (3-PART SYSTEM) INSTALLED OVER METAL LATH. INSTALL FRY REGLET "Y" STYLE CONTROL JOINTS AS INDICATED ON EXTERIOR ELEVATIONS. FINISH SHALL BE SMOOTH TROWELED TOP COAT.

BRICK VENEER:
 STANDARD SIZE BRICK, SPECIES SHALL BE SELECTED BY OWNER. PROVIDE WATERPROOFING AROUND ALL BRICK TIES TO ENSURE SUB-SHEATHING IS WATERPROOF. PROVIDE THROUGH WALL FLASHING AT THE BASE OF ALL BRICK. PROVIDE STEEL LINTELS TO CARRY WEIGHT OF BRICK ABOVE ALL OPENINGS ALONG WITH THROUGH WALL FLASHING. PROVIDE GALV. BRICK TIES AT 24" O.C. PROVIDE WEEPS AT 24" O.C. MORTAR COLOR TO BE SELECTED BY OWNER

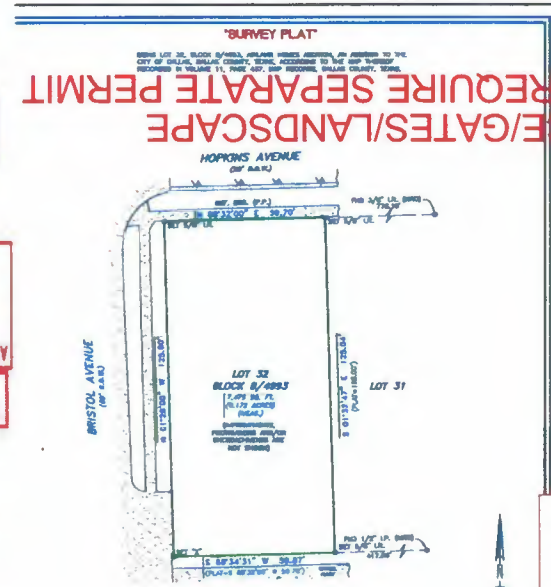
EXTERIOR WOOD SIDING
 RECOMMENDED SPECIES IPE (FINAL SELECTION BY OWNER) INSTALLATION 1 X 4 SHIP LAP BOARDS CLEAR SEALED SATIN FINISH

ASPHALT SHINGLE ROOF
 INSTALL WITH 4" SIDE LAP AND 2" TOP LAP. INSTALL UNDERLAYMENT 5' ON BOTH SIDES OF HIPS AND RIDGES. DRIP EDGES SHALL BE CORROSION RESISTANT METAL AND APPLIED OVER UNDERLAYMENT ALONG RAKE AND DIRECTLY TO THE ROOF DECK LONG THE EAVE. PROVIDE RIDGE VENTS AT ALL ROOF RIDGES.

STANDING SEAM METAL ROOF:
 INSTALL PER MANUFACTURER'S RECOMMENDATIONS

Lot of 4,000 square feet to 7,999 square feet in area requires a minimum of two (2) large or medium trees. Lot of 8,000 square feet or more requires a minimum of one (1) tree in the front yard.

FLOOR PLAN NOTES 01



Global Land Surveying, Inc.
 SURVEY (BY OTHERS) 02

SHEET LIST

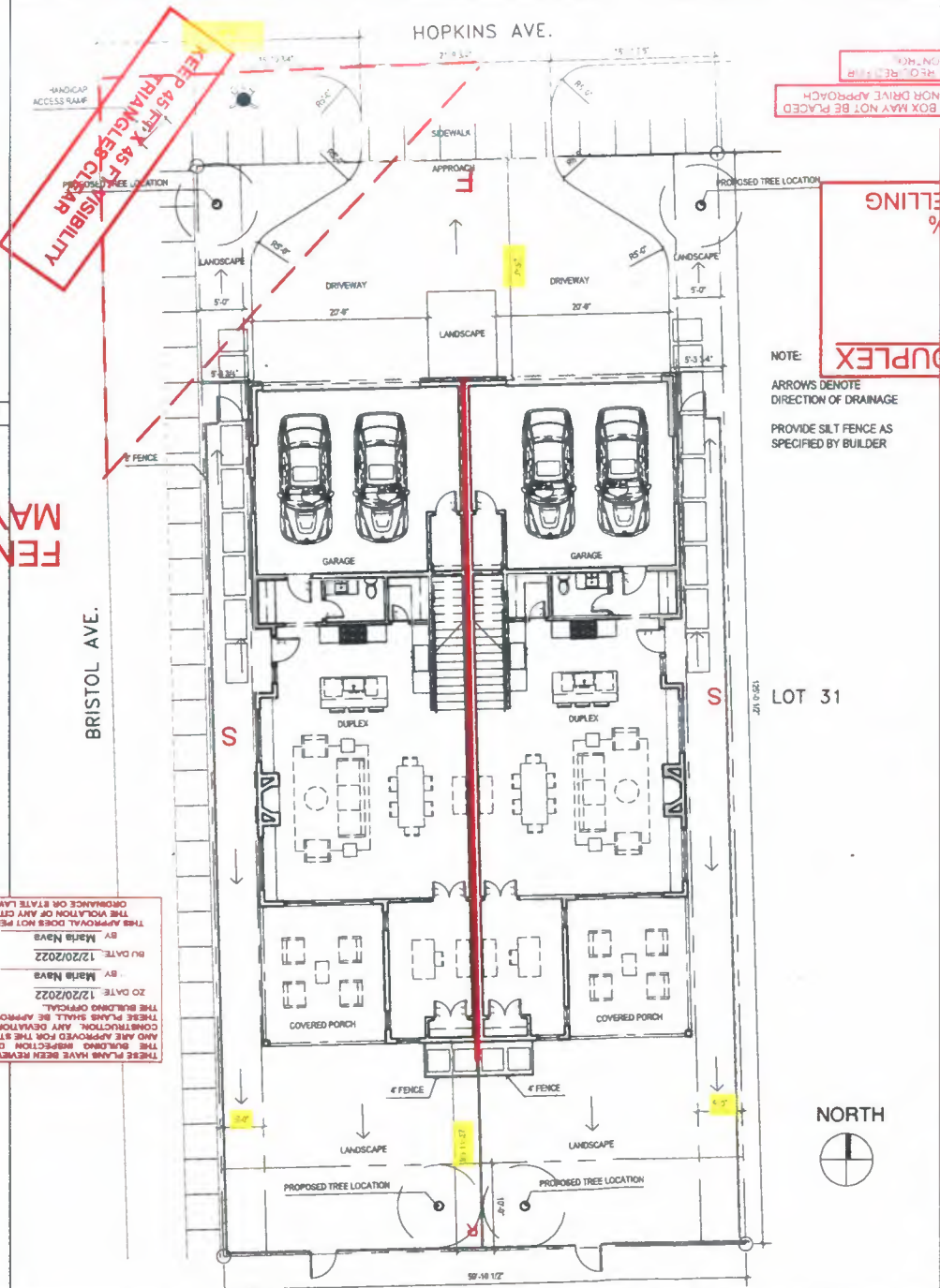
A1.0	COVER SHEET
A1.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3.0	BUILDING SECTIONS
A4.0	WALL SECTIONS
A5.0	SCHEDULES
E1.0	FIRST FLOOR ELECTRICAL PLAN
E1.1	SECOND FLOOR ELECTRICAL PLAN

LEGAL DESCRIPTION:
 4500 and 4502 HOPKINS AVE, LOT 32 BLOCK B4993 DALLAS COUNTY, TEXAS
ZONED: D - DUPLEX DISTRICT

LOT COVERAGE:
 ALLOWABLE 4,485 S.F. (60%)
 BUILDING FOOTPRINT 3,708.47 S.F. (49.61%)
 FRONT SETBACK ALLOWABLE 25'-0"
 PROPOSED SIDE/REAR SETBACK 7'-0"/10'-0"
APPROVED
 City of Dallas Building Inspection

AREA CALCULATIONS:

LEVEL 1	2,234.74 S.F.	CONDITIONED SPACE
LEVEL 2	3,199.44 S.F.	CONDITIONED SPACE
GARAGE	1,025.72 S.F.	NON-CONDITIONED SPACE
PORCHES	448 S.F.	NON-CONDITIONED SPACE
TOTAL	5,434.18 S.F.	CONDITIONED SPACE



SITE PLAN 1/8" = 1'-0" 03

DALLAS GREEN BUILDING PROGRAM NOTES - NEW CONSTRUCTION
 All new construction to comply with Phase-2 of the City of Dallas Prescriptive Checklist.

Storm Water:
 • 70% of the non-roof area to have vegetative landscaping or permeable paving
Water Usage:
 • Utilize drip irrigation in all planting beds.
 must comply with 3 of the following 5 categories:
 • Lavatory faucets to have a flow rate of 2.0 GPM max.
 • Shower heads to have a flow rate of 2.0 GPM max.
 • Toilets to have an average flush rate of 1.3 GPF max.
 • Dishwasher to be Energy Star labeled and use 6 gal. Max per cycle
 • Clothes washers to be Energy Star labeled and have a modified energy factor of 2.0 min. and water factor of 5 max.

Energy Efficiency:
 • The house must achieve energy efficiency 15% better than the Dallas Energy Conservation Code using the IC3 calculator.

Heat Island Mitigation:
 • Roofing materials shall be Energy Star qualified with a light reflectance value of >= 0.25. A properly installed radiant barrier or a foam encapsulated attic is an acceptable alternative.

Indoor Air Quality:
 • HVAC and duct work to be located outside of the fire rated garage envelope
 • Minimize pollutants in conditioned space above garage.
 a) Penetrations sealed
 b) Floor and ceiling joist bays sealed.
 c) Painted walls and ceiling of conditioned space.
 • Minimize pollutants in conditioned space adjacent to garage.
 a) Penetrations sealed
 b) Doors weatherstripped.
 c) Cracks at wall base sealed.
 • Air filters to be MERV 8 min.
 • Air handler(s) to be properly sized by the mechanical contractor
 • Air filter housing to be airtight.

GENERAL NOTES TO CONTRACTOR:
 1. DO NOT SCALE DRAWINGS.
 2. CONTACT ARCHITECT WITH QUESTIONS PRIOR TO COMMENCING THAT PORTION OF THE JOB
 3. ALL CONSTRUCTION TO CONFORM TO CITY OF DALLAS AND IRC 2015 BUILDING CODE.

NOTICE
 CHECK FOR PRIVATE DEED RESTRICTIONS FILE AT COUNTY OFFICE
SMOKE DETECTORS REQUIRED IMMEDIATELY OUTSIDE ALL SLEEPING AREAS AND AT ALL FLOOR LEVELS
UTILITY EASEMENTS MUST REMAIN OPEN AND UNOBSSTRUCTED. NO ENCROACHMENTS PERMITTED.
WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY
A PERMIT IS BEING ISSUED FOR WATER/WASTEWATER UTILITIES. YOU ARE RESPONSIBLE TO VERIFY THAT UTILITIES ARE AVAILABLE FOR THIS PROPERTY. IF UTILITIES ARE NOT AVAILABLE FOR THIS PROPERTY, THE CITY OF DALLAS IS NOT RESPONSIBLE.
KEEP 20 FT X 20 FT VISIBILITY TRIANGLES CLEAR
SUBJECT TO FIELD INSPECTORS APPROVAL
SIDEWALKS AND DRIVE APPROACH REQUIRE A SEPARATE PERMIT

PURVA DESIGN STUDIO

TANNER HOMES
 A NEW RESIDENCE FOR:
 4500 AND 4502 HOPKINS AVE.
 DALLAS, TX 75209

TANNER HOMES

ISSUE LOG	DATE	DESCRIPTION
CONSTRUCTION SET	11.27.2022	

PROJECT NO: 2410
SHEET NO: A1.0

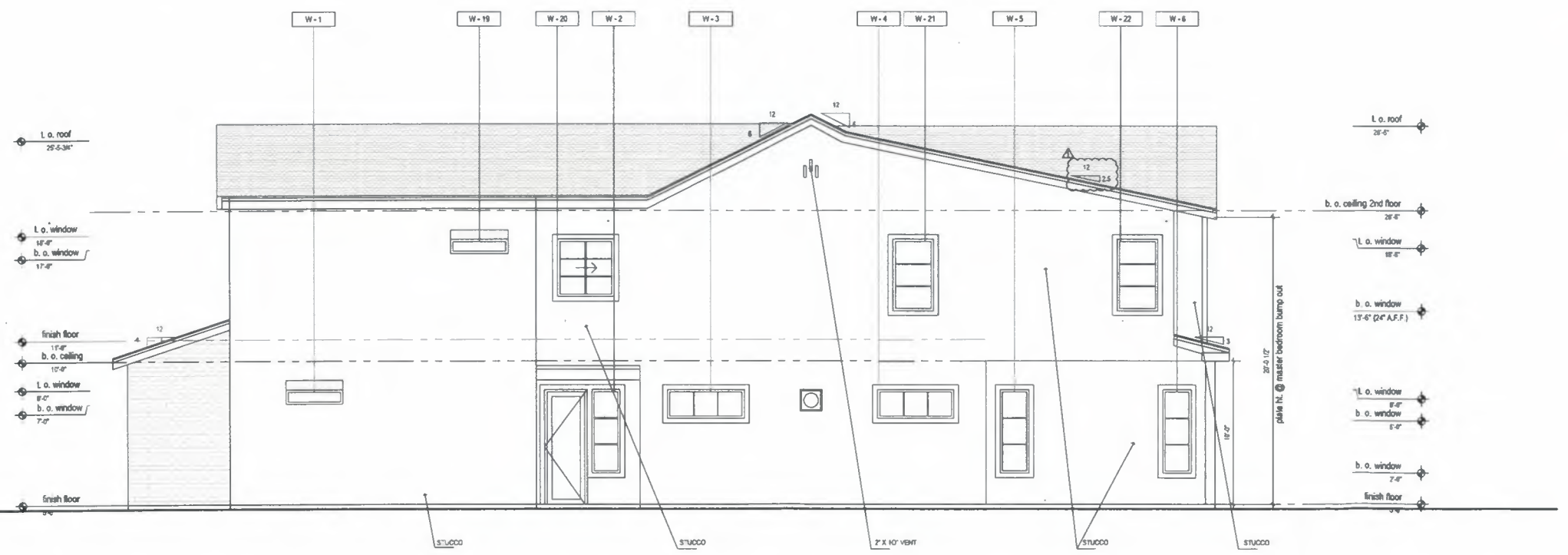
MAY NOT EXCEED MAX HEIGHT 36'

NOTE:
 ALL 1ST FLOOR HEADERS ARE
 6" A.F.F. UNLESS OTHERWISE NOTED
 ALL 2ND FLOOR HEADERS ARE
 7" A.F.F. UNLESS OTHERWISE NOTED



SUBJECT TO FIELD INSPECTOR'S APPROVAL

SOUTH ELEVATION 1/4" = 1'-0" 01



WEST ELEVATION 1/4" = 1'-0" 02



PHOTO: THE FOX HOMES
 PROJECT: 12/20/22
 PROJECT: 12/20/22

A NEW RESIDENCE FOR:
TANNER HOMES
 4500 AND 4502 HOPKINS AVE.
 DALLAS, TX 75209



ISSUE LOG	DATE	DESCRIPTION
CONSTRUCTION SET	11.21.2022	

PROJECT NO:
2410

SHEET NO:
A2.0