



## Planning & Development Department

320 E Jefferson Blvd,  
Dallas TX 75203  
(214) 948-4480

Board of Adjustment:  
1500 Marilla Street, 5CN  
Dallas Tx 75201  
(214) 948-4480

### APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

#### OFFICE USE ONLY

Case no. \_\_\_\_\_  
Date \_\_\_\_\_

Data Relative to Subject Property: \_\_\_\_\_

Location address: 5315 BONITA AVE

Zoning District: \_\_\_\_\_

Lot No.: 25 Block No.: 22/1942 Acreage: 0.227 Census Tract: 0010.02

Street Frontage (in Ft.): 1) 50 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ (5) \_\_\_\_\_

#### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): ANKIT & PRIYA PATEL

Applicant: DANIEL LE Telephone: 339-674-8008

Mailing Address: 108 N BERNICE DR, GARLAND, TX Zip Code: 75042

E-mail Address: DANNY@FENWAYDEVELOPMENT.COM

Represented by: DANIEL LE Telephone: 339-674-8008

Mailing Address: 108 N BERNICE DR, GARLAND, TX Zip Code: 75042

E-mail Address: DANNY@FENWAYDEVELOPMENT.COM

Affirm that an appeal has been made for a ☐ Variance or ☒ Special Exception, of:

ACCESSORY DWELLING UNIT (ADU)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

WITHIN 25% REQUIREMENT. NOT GOING TO BE USED FOR RENT OR AFFECT NEIGHBORING PROPERTIES

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

#### Affidavit

Before me, the undersigned on this day personally appeared Daniel Le  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/ Applicant's signature)



Subscribed and sworn to before me this 9th day of June, 20 25

Notary Public in and for Dallas County, Texas [Signature]

Together we are planning and building a better Dallas for all!

4/30/2025



# Planning & Development Department

320 E Jefferson Blvd, Dallas TX 75203

(214) 948-4480

## BOARD OF ADJUSTMENT REFERRAL FORM

Referred by: \_\_\_\_\_ Date: \_\_\_\_\_

Department: \_\_\_\_\_

Phone/Email: \_\_\_\_\_

Manager signature: *Loree Lewis*

Consulted with: \_\_\_\_\_

☐ Applicant

☐ Representative

☐ Owner

Name: \_\_\_\_\_

Phone/Email: \_\_\_\_\_

Property Information

Address: \_\_\_\_\_

Lot: \_\_\_\_\_

City Block: \_\_\_\_\_

Zoning Classification: \_\_\_\_\_

Issues that require Board action

List the City of Dallas Development Code(s) this project is non-compliant with: \_\_\_\_\_

**Check all that apply:** ☐ Variance ☐ Special Exception

☐ Yard setback

☐ Lot Width

☐ Lot Depth

☐ Lot coverage

☐ Floor area for accessory structures for single-family uses

☐ Height

☐ Minimum width of sidewalk

☐ Off-street parking

☐ Off-street loading

☐ Landscape regulations

☐ fence height and/or standards

☐ Visibility triangle obstructions

☐ Parking demand

☐ Additional dwelling unit (not for rent) ☐ Accessory dwelling unit (for rent)

☐ Carport

☐ Non-conforming use or structure

☐ Administrative Official Appeal

☐ Other: \_\_\_\_\_

Description: \_\_\_\_\_

Alternative resolutions discussed/offered: \_\_\_\_\_

SHIPPED  
DATE: 5-2-90  
RECEIVED  
DATE: 7-1-90

ANNEXED \_\_\_\_\_ ORD. NO. \_\_\_\_\_  
SURVEY J. HART \_\_\_\_\_ ABST. 578 \_\_\_\_\_

# CITY OF DALLAS PLAT BOOKS

ADDITION PT. OF VICKERY PLACE

SCALE 100 FT. EQUALS 1 INCH

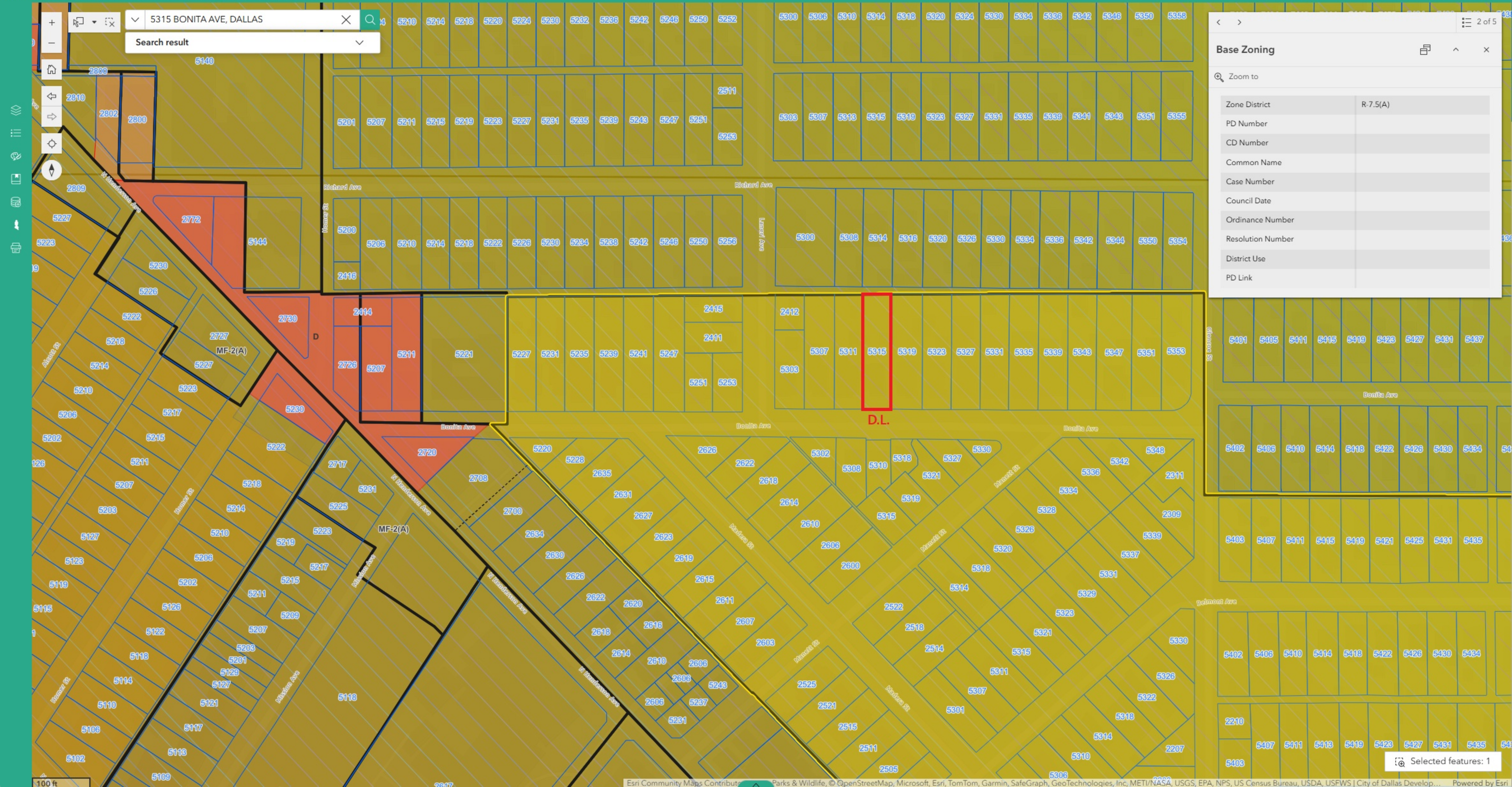
PHA II-5-87

BLOCKS 1938-1943

SCHOOL DISTRICT DALLAS











5/16/2025  
5:49:39 PM

PATEL ACCESSORY

5315 BONITA AVE  
DALLAS, TX 75206

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#	REVISION	DATE
1	ISSUE FOR PERMIT	05.16.25

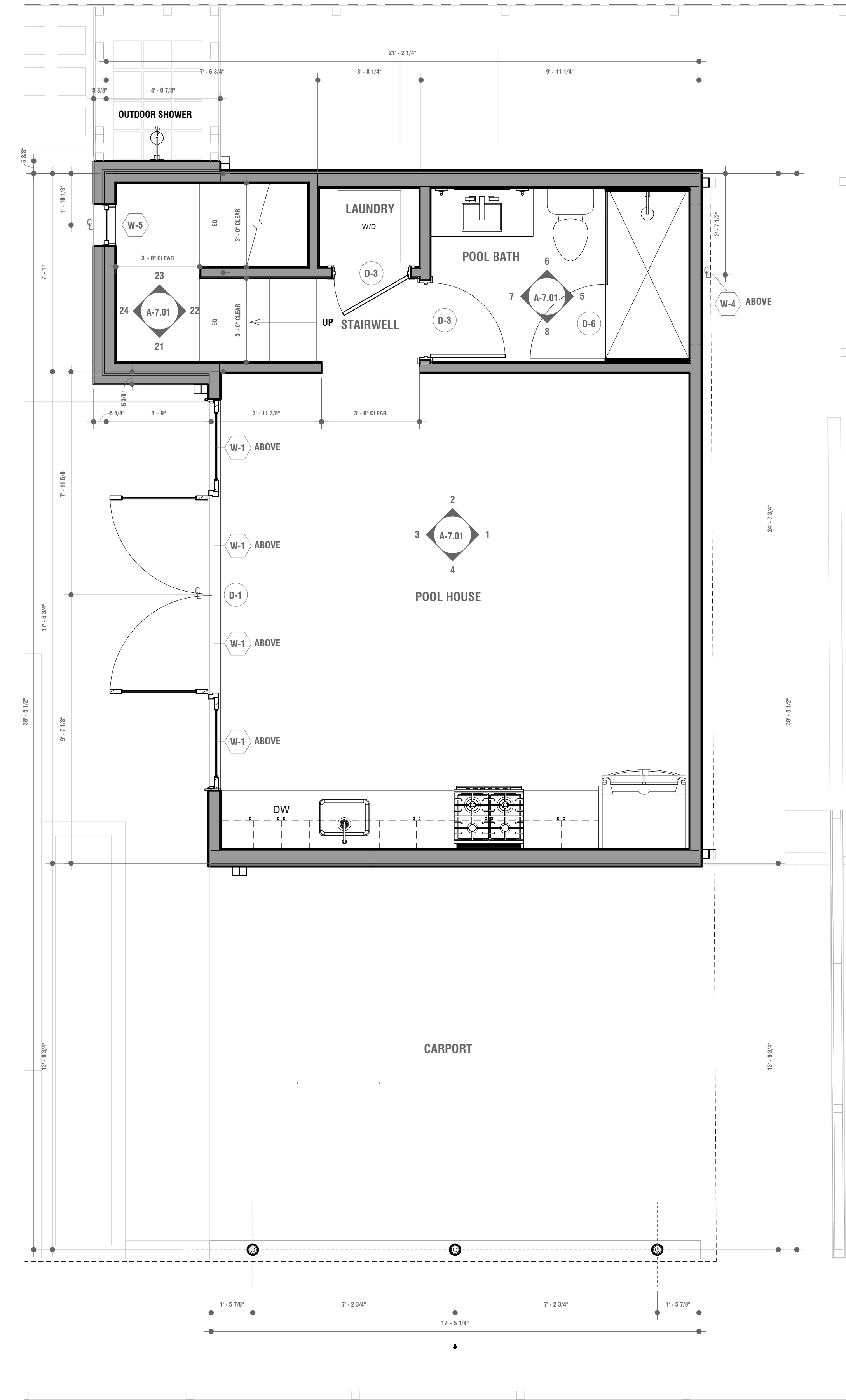
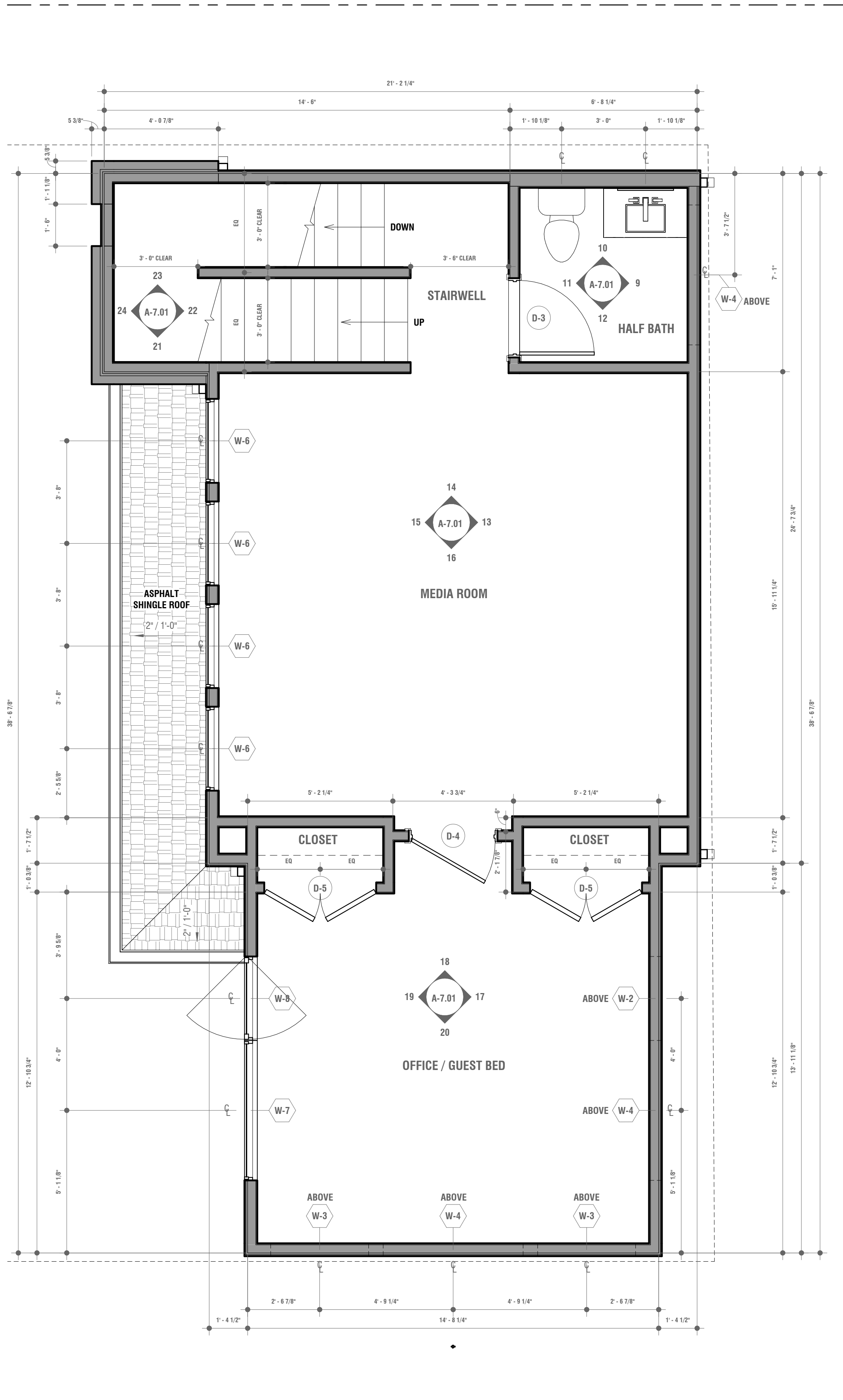
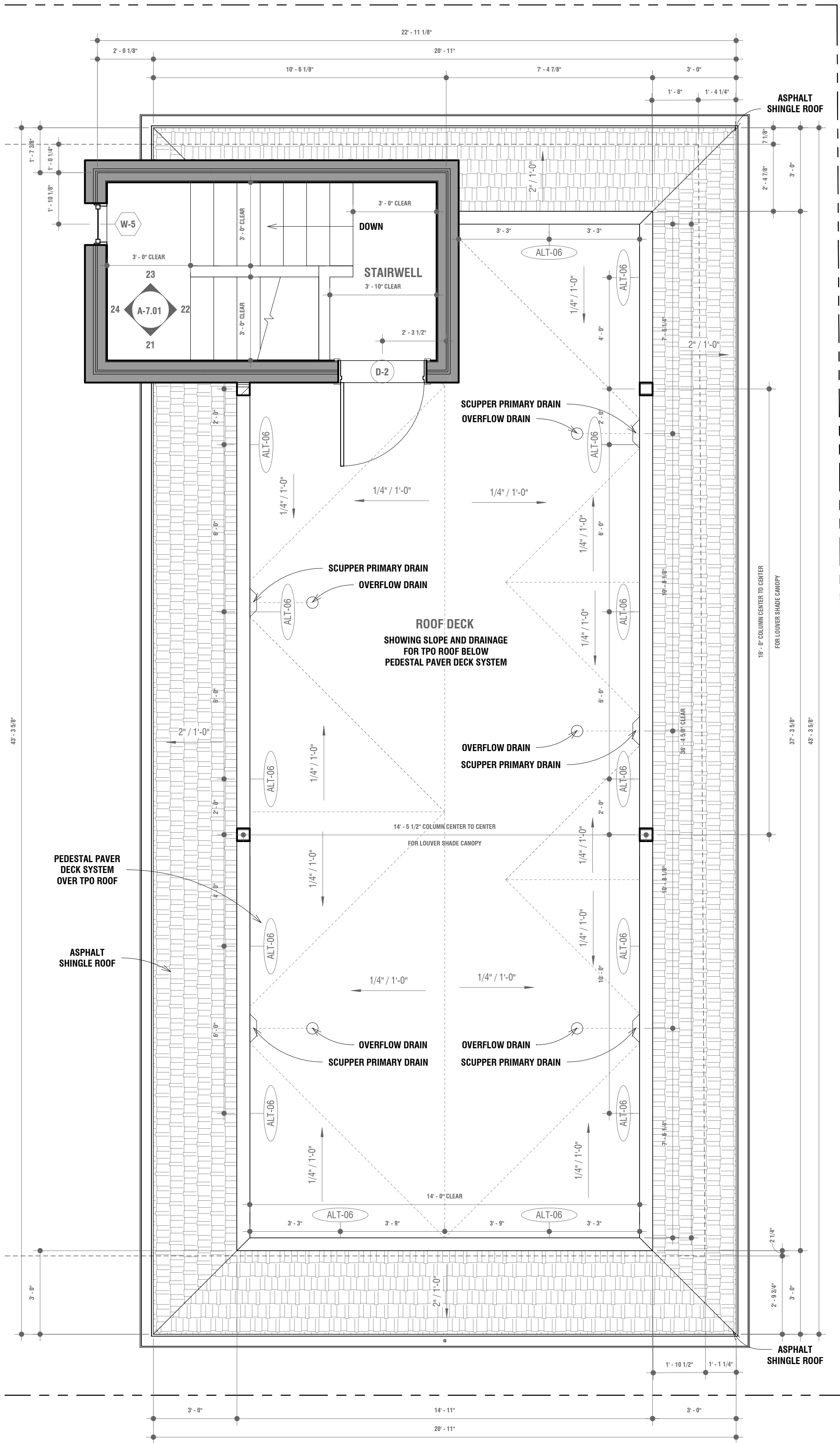
PROJECT	PATEL ACCESSORY
ADDRESS	5315 BONITA AVE DALLAS, TX 75206
PROJECT #	24026

FLOOR PLANS

A-1.01

5/16/2025 5:49:39 PM

CITY OF DALLAS  
REVIEW STAMP



3  
A-1.01 LVL 03 / ROOF ACCESS - FLOOR PLAN 3/8" = 1'-0"

2  
A-1.01 LVL 02 - FLOOR PLAN 3/8" = 1'-0"

1  
A-1.01 LVL 01 - FLOOR PLAN 3/8" = 1'-0"





5/16/2025  
4:45:40 PM

PATEL RESIDENCE

5315 BONITA AVE  
DALLAS, TX 75206

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1	ISSUE FOR PERMIT	05.16.25

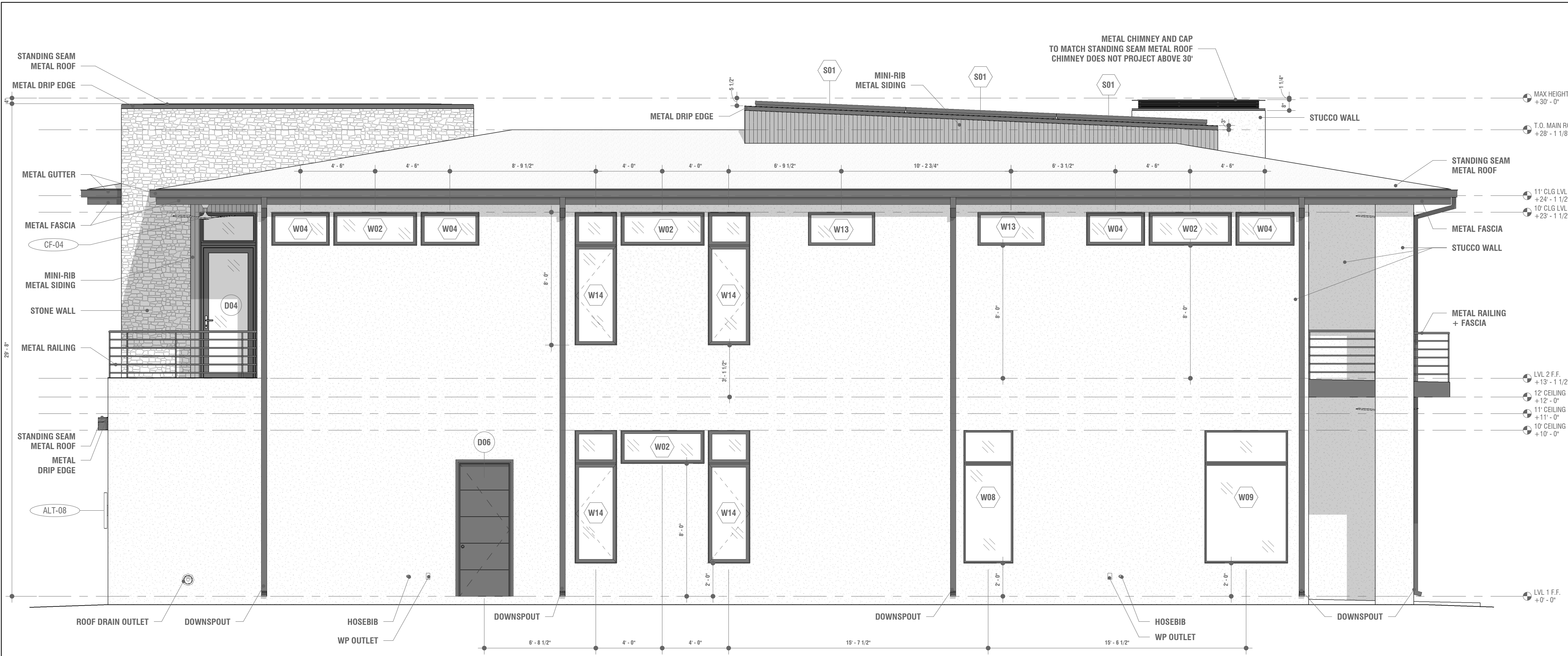
PROJECT	PATEL RESIDENCE
ADDRESS	5315 BONITA AVE DALLAS, TX 75206
PROJECT #	24025

EXTERIOR  
ELEVATIONS

A-5.01

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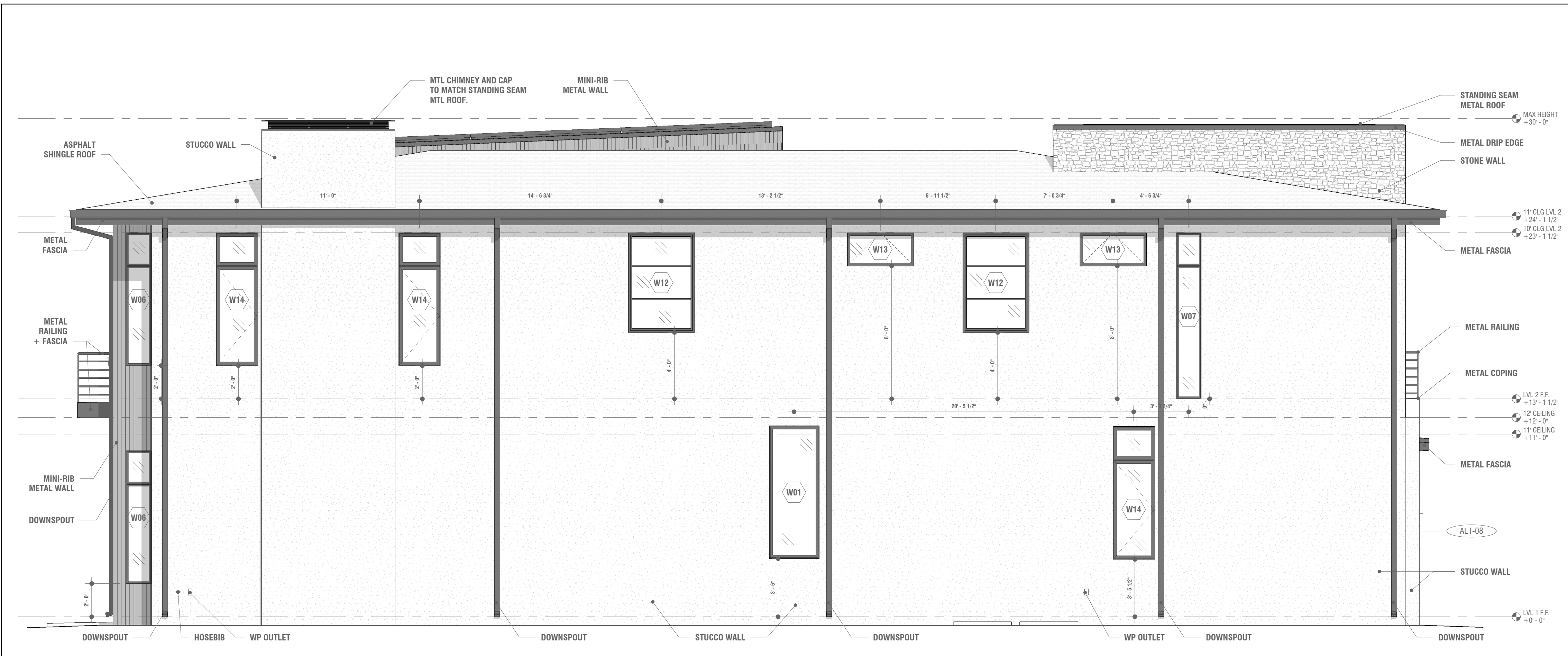
<b>WALL ASSEMBLIES</b> <b>STUCCO WALL</b> THREE COAT STUCCO ON MTL LATHE DRAINAGE PLANE MEMBRANE ZIP BD SHEATHING 2X FRAMING 16" O.C. W/ R-20 BATT INSULATION 5/8" GYP. BD. (CONFIRM FINISH SAMPLE WITH OWNER) <b>METAL WALL</b> MINI-RIB METAL CLADDING ZIP BD SHEATHING 2X FRAMING 16" O.C. W/ R-20 BATT INSULATION 5/8" GYP. BD. <b>STONE WALL</b> STONE 1-1/2" AIR GAP ZIP BD SHEATHING 2X FRAMING 16" O.C. W/ R-20 BATT INSULATION 5/8" GYP. BD. <b>FLOOR/CEILING ASSEMBLIES</b> <b>TYPICAL FLOOR/CEILING</b> FLOOR FINISH MATERIAL ASSEMBLY 11/16" OR 3/4" FLOOR SHEATHING ENGINEERED FLOOR TRUSSES (REF. STRUCTURAL DRAWINGS) WITH ACOUSTICAL BATT INSULATION 5/8" GYP. BD.	<b>ROOF ASSEMBLIES</b> <b>METAL ROOF</b> AT INTERIOR CEILING 12" STANDING SEAM METAL ROOFING UNDERLAYMENT 3/4" ROOF SHEATHING 2X8 FRAMING 24" O.C. MAX W/ R-38 BATT INSULATION 5/8" GYP. BD. AT EXTERIOR SOFFIT 12" STANDING SEAM METAL ROOFING UNDERLAYMENT 3/4" ROOF SHEATHING 2X8 FRAMING 24" O.C. MAX SOFFIT MATERIAL (2 OPTIONS) -OPTION A: HARDIE SOFFIT PANEL -OPTION B: WOOD LOOK ALUMINUM SOFFIT PANEL <b>ASPHALT SHINGLE ROOF</b> ASPHALT SHINGLES (BASIS OF DESIGN GAF SLATELINE) DOUBLE LAYER OF ROOF DECK PROTECTION PER SHINGLE MANUFACTURER 3/4" MIN. ROOF SHEATHING 2X8 FRAMING 24" O.C. MAX W/ R-38 BATT INSULATION 5/8" GYP. BD.	<b>EXTERIOR DECK ASSEMBLIES</b> <b>FRONT BALCONY</b> COMPOSITE DECKING PEDESTAL SYSTEM TPO ROOF MEMBRANE LAYERS PROTECTION BOARD TAPERED RIGID INSULATION R-20 MIN. 3/4" ROOF SHEATHING 2X8 FRAMING 24" O.C. MAX W/ R-20 BATT INSULATION 5/8" GYP. BD. <b>REAR BALCONY</b> COMPOSITE DECKING 2X8 FRAMING 24" O.C. MAX SOFFIT MATERIAL (2 OPTIONS) -OPTION A: HARDIE SOFFIT PANEL -OPTION B: WOOD LOOK ALUMINUM SOFFIT PANEL	<b>NOTES</b> 1. REF. 2021 IRC SECTION 301 FOR DESIGN CRITERIA AND LOAD TABLES 2. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA PER 2021 IRC TABLE 301.2(1) AS AMENDED BY THE CITY OF DALLAS -GROUND SNOW LOAD: 5 LBS/SQ.FT. -WIND DESIGN: -SPEED (MPH): 115 -TOPOGRAPHIC EFFECTS: NO -SPECIAL WIND REGION: NO -WINDBORNE DEBRIS ZONE: NO -SEISMIC DESIGN CATEGORY: A -SUBJECT TO DAMAGE FROM: -WEATHERING: MODERATE -FROST LINE DEPTH: 6" -TERMITE: VERY HEAVY -WINTER DESIGN TEMP: 22 DEG. F -ICE BARRIER UNDERLAYMENT REQ. NO -FLOOD HAZARDS: LOCAL CODES -AIR FREEZING INDEX: 150 -MEAN ANNUAL TEMP: 64.9 DEG. F. 3. REF. 2021 IECC FOR CLIMATE ZONE INFORMATION AND DESIGN CRITERIA CLIMATE ZONE: 2A* (WARM HUMID) -FENESTRATION MAX U-FACTOR: 0.40 -SKYLIGHT MAX U-FACTOR: 0.65 -GLAZED FENESTRATION MAX SHGC: 0.25 -GLAZED SKYLIGHT MAX SHGC: 0.30 -CEILING MAX U-FACTOR: 0.026 -FLOOR MAX U-FACTOR: 0.084 -WOOD FRAME WALL MAX U-FACTOR: 0.084 -MASS WALL MAX U-FACTOR: 0.165 -BASEMENT WALL MAX U-FACTOR: 0.360 -CRAWL SPACE WALL MAX U-FACTOR: 0.477
5 A-5.01	EXTERIOR ASSEMBLIES	NTS	EXTERIOR MATERIALS KEY



4  
A-5.01 EAST ELEVATION 1/4" = 1'-0"



3  
A-5.01 NORTH ELEVATION 1/4" = 1'-0"



2  
A-5.01 WEST ELEVATION 1/4" = 1'-0"



1  
A-5.01 SOUTH ELEVATION 1/4" = 1'-0"





5/16/2025  
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5315 BONITA AVE  
DALLAS, TX 75206

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#	REVISION	DATE
1	ISSUE FOR PERMIT	05.16.25

PROJECT	PATEL ACCESSORY
ADDRESS	5315 BONITA AVE DALLAS, TX 75206
PROJECT #	24026

SITE PLAN +  
PROJECT INFO

G-0.01

5/16/2025 6:24:48 PM

## PROJECT INFORMATION

PROJECT NAME	PATEL RESIDENCE
PROJECT ADDRESS	5315 BONITA AVE. DALLAS, TX 75206
JURISDICTION	DALLAS, TEXAS
CONSTRUCTION TYPE	TYPE V - WOOD CONSTRUCTION
FIRE PROTECTION	NON-SPRINKLED
FIRE ALARM	SMOKE DETECTORS
OCCUPANCY	SINGLE FAMILY RESIDENTIAL
ZONING	
DISTRICT:	R-7.5(A)
MINIMUM LOT AREA:	7,500 SF MIN
ACTUAL LOT AREA:	9,968.61 SF
REQUIRED SETBACKS	
FRONT YARD:	25'-0" MIN PER ZONING N/A
SIDE YARDS:	5'-0" MIN PER ZONING 5'-2 1/4" MIN PROVIDED
REAR YARD:	5'-0" MIN PER ZONING 5' - 4" MIN. PROVIDED
MAX HEIGHT:	30'-0" MAX PER ZONING 29'-8" MAX SLAB HEIGHT PROVIDED
MAX LOT COVERAGE:	45% MAXIMUM 44.427% PROVIDED (PRIMARY + ACC)
SITE INFORMATION	
PARCEL:	VICKERY PLACE - BLK 22/1942 LOT 25
LOT SIZE:	0.22885 ACRES (9,968.61 SF)
FLOOD PLAIN:	NO
ENERGY COMPLIANCE (PER 2021 IECC)	
CLIMATE ZONE:	2A* (WARM HUMID)
FENESTRATION MAX U-FACTOR:	0.40
SKYLIGHT MAX U-FACTOR:	0.65
GLAZED FENESTRATION MAX SHGC:	0.25
GLAZED SKYLIGHT MAX SHGC:	0.30
CEILING MAX U-FACTOR:	0.026
FLOOR MAX U-FACTOR:	0.064
WOOD FRAME WALL MAX U-FACTOR:	0.084
MASS WALL MAX U-FACTOR:	0.165
BASEMENT WALL MAX U-FACTOR:	0.360
CRAWL SPACE WALL MAX U-FACTOR:	0.477
AREA CALCULATIONS	
456.35 SF - LEVEL 01 CONDITIONED	
680.90 SF - LEVEL 02 CONDITIONED	
35.15 SF - LEVEL 03 CONDITIONED	
1,152.40 SF - CONDITIONED	
1,176.25 SF MAXIMUM AREA (25% OF 4,705 SF PRIMARY RESIDENCE)	
296.15 SF - LEVEL 01 COVERED CARPORT PAVING	
715.34 SF - TOTAL SLAB AREA - EXCLUDES SITE PAVING	
SITE COVERAGE CALCULATION	
9,968.61 SF - SITE AREA	
3,475.57 SF - PRIMARY RESIDENCE - UNDER COVER OF STRUCTURE	
953.15 SF - NEW ACCESSORY STRUCTURE - UNDER COVER OF STRUCTURE	
4,428.72 SF TOTAL	
44.427% SITE COVERAGE TOTAL	
APPLICABLE CODES	
2021 INTERNATIONAL RESIDENTIAL CODE WITH DALLAS AMENDMENTS	
2021 INTERNATIONAL PLUMBING CODE WITH DALLAS AMENDMENTS	
2021 INTERNATIONAL MECHANICAL CODE WITH DALLAS AMENDMENTS	
2020 NATIONAL ELECTRICAL CODE WITH DALLAS AMENDMENTS	
2021 INTERNATIONAL ENERGY CONSERVATION CODE WITH DALLAS AMENDMENTS	
2021 INTERNATIONAL FUEL & GAS CODE WITH DALLAS AMENDMENTS	
2015 INTERNATIONAL GREEN CONSTRUCTION CODE WITH DALLAS AMENDMENTS	

SHEET INDEX			
SHEET #	SHEET NAME	SHEET ISSUE DATE	CURRENT REVISION
G-0.00	COVER SHEET	05.16.25	05.16.25
G-0.01	SITE PLAN + PROJECT INFO	05.16.25	05.16.25
G-0.02	SCHEDULES	05.16.25	05.16.25
A-0.01	SITE LANDSCAPE PLANS	05.16.25	05.16.25
A-1.00	FOUNDATION AND ROOF PLANS	05.16.25	05.16.25
A-1.01	FLOOR PLANS	05.16.25	05.16.25
A-2.01	REFLECTED CEILING PLANS	05.16.25	05.16.25
A-3.01	POWER PLANS	05.16.25	05.16.25
A-4.01	FINISH PLANS	05.16.25	05.16.25
A-5.01	EXTERIOR ELEVATIONS	05.16.25	05.16.25
A-7.01	INTERIOR ELEVATIONS	05.16.25	05.16.25
A-8.01	AXONS	05.16.25	05.16.25
A-8.02	PERSPECTIVE VIEWS	05.16.25	05.16.25
A-8.03	PERSPECTIVE VIEWS	05.16.25	05.16.25



SITE LOCATION MAP

ANNOTATION LEGEND	
ROOM TAG	ROOM TAG
DOOR TAG: REFER TO DOOR SCHEDULE	DOOR TAG: REFER TO DOOR SCHEDULE
WINDOW TAG: REFER TO WINDOW SCHEDULE	WINDOW TAG: REFER TO WINDOW SCHEDULE
WALL TAG: REFER TO WALL TYPES	WALL TAG: REFER TO WALL TYPES
FINISH TAG: REFER TO FINISH SPECIFICATIONS	FINISH TAG: REFER TO FINISH SPECIFICATIONS
FLOOR FINISH TAG: REFER TO FINISH SPECIFICATIONS	FLOOR FINISH TAG: REFER TO FINISH SPECIFICATIONS
FF&E TAG: REFER TO FF&E SPECIFICATIONS	FF&E TAG: REFER TO FF&E SPECIFICATIONS
LIGHT FIXTURE TAG: REF. LIGHTING SPECIFICATIONS	LIGHT FIXTURE TAG: REF. LIGHTING SPECIFICATIONS
CENTERLINE	CENTERLINE
ELEVATION	ELEVATION
STAIRS - # OF RISERS @ RISER HEIGHT	STAIRS - # OF RISERS @ RISER HEIGHT
SINGLE STEP	SINGLE STEP
KEYNOTE TAG	KEYNOTE TAG
GRID LINES	GRID LINES
EXTERIOR ELEVATION	EXTERIOR ELEVATION
INTERIOR ELEVATION	INTERIOR ELEVATION
SECTION / SECTION DETAIL	SECTION / SECTION DETAIL
CALLOUT FOR ENLARGED VIEW	CALLOUT FOR ENLARGED VIEW
REVISION TAG	REVISION TAG

1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND BASE THEIR BID ON THE EXISTING CONDITIONS, IN ADDITION TO THE CURRENT COMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER PROMPTLY OF ANY DISCREPANCIES IN THE FIELD CONDITIONS OR DIMENSIONS PRIOR TO SUBMITTING HIS BID.	1. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND BASE THEIR BID ON THE EXISTING CONDITIONS, IN ADDITION TO THE CURRENT COMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER PROMPTLY OF ANY DISCREPANCIES IN THE FIELD CONDITIONS OR DIMENSIONS PRIOR TO SUBMITTING HIS BID.
2. SHOULD ANY QUESTIONS REGARDING THE LAYOUT ARISE IN THE FIELD WHICH ARE NOT RESOLVED BY THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, TELEPHONE & ELECTRICAL OUTLETS AND LIGHT SWITCHES WITH THE ARCHITECT/DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.	2. SHOULD ANY QUESTIONS REGARDING THE LAYOUT ARISE IN THE FIELD WHICH ARE NOT RESOLVED BY THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, TELEPHONE & ELECTRICAL OUTLETS AND LIGHT SWITCHES WITH THE ARCHITECT/DESIGNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REQUIREMENTS, BUILDING CODES, AND ORDINANCES.	3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REQUIREMENTS, BUILDING CODES, AND ORDINANCES.
4. ALL EQUIPMENT, FIXTURES, ETC. SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.	4. ALL EQUIPMENT, FIXTURES, ETC. SHOWN ON THE PLANS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL SPECIALTY CONSTRUCTION, SPECIALTY FINISHES, ETC. IN A TIMELY MANNER FOR THE ARCHITECT/DESIGNER TO REVIEW PRIOR TO CONSTRUCTION.	5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL SPECIALTY CONSTRUCTION, SPECIALTY FINISHES, ETC. IN A TIMELY MANNER FOR THE ARCHITECT/DESIGNER TO REVIEW PRIOR TO CONSTRUCTION.
6. DIMENSIONS ARE SHOWN ON THE PLANS. DO NOT SCALE OFF THE DRAWINGS.	6. DIMENSIONS ARE SHOWN ON THE PLANS. DO NOT SCALE OFF THE DRAWINGS.
7. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE CONCRETE SLAB UNLESS NOTED OTHERWISE.	7. ALL HEIGHTS ARE DIMENSIONED FROM THE TOP OF THE CONCRETE SLAB UNLESS NOTED OTHERWISE.
8. ALL FINISH & CONSTRUCTION MATERIALS USED SHALL MEET MINIMUM REQUIRED FIRE CLASS & SMOKE DEVELOPED RATINGS, I.E. CLASS A, S.D.0.	8. ALL FINISH & CONSTRUCTION MATERIALS USED SHALL MEET MINIMUM REQUIRED FIRE CLASS & SMOKE DEVELOPED RATINGS, I.E. CLASS A, S.D.0.
9. AT ALL PARTITIONS WHICH EXTEND TO STRUCTURE ABOVE, DRYWALL CONSTRUCTION, TAPED & FLOATED, SHALL OCCUR ABOVE ALL DOORS, GLASS, OR OTHER PENETRATIONS THROUGH THE PARTITION.	9. AT ALL PARTITIONS WHICH EXTEND TO STRUCTURE ABOVE, DRYWALL CONSTRUCTION, TAPED & FLOATED, SHALL OCCUR ABOVE ALL DOORS, GLASS, OR OTHER PENETRATIONS THROUGH THE PARTITION.
10. MANUFACTURED MATERIALS, EQUIPMENT, ETC. SPECIFIED FOR THIS CONTRACT SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.	10. MANUFACTURED MATERIALS, EQUIPMENT, ETC. SPECIFIED FOR THIS CONTRACT SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
11. CONTRACTOR TO COORDINATE DELIVERY AND INSTALLATION OF OWNER FURNISHED ITEMS WITH THE OWNER DIRECTLY. FIELD VERIFY DIMENSIONS AS NECESSARY PRIOR TO INSTALLATION TO CONFIRM MINIMUM CLEARANCES AND OPENING SIZES.	11. CONTRACTOR TO COORDINATE DELIVERY AND INSTALLATION OF OWNER FURNISHED ITEMS WITH THE OWNER DIRECTLY. FIELD VERIFY DIMENSIONS AS NECESSARY PRIOR TO INSTALLATION TO CONFIRM MINIMUM CLEARANCES AND OPENING SIZES.
12. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF CONCRETE BASES AND HOUSEKEEPING PADS WITH SIZES AND REQUIRED CLEARANCES OF THE EQUIPMENT SCHEDULED TO BE INSTALLED ON THEM.	12. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF CONCRETE BASES AND HOUSEKEEPING PADS WITH SIZES AND REQUIRED CLEARANCES OF THE EQUIPMENT SCHEDULED TO BE INSTALLED ON THEM.
13. *TYP.* OR *TYPICAL.* MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.	13. *TYP.* OR *TYPICAL.* MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
14. *ALIGN* MEANS THAT SIMILAR COMPONENTS OF CONSTRUCTION SUCH AS WALLS, JAMBS, ETC. SHALL ALIGN ACROSS VOIDS OR ADJACENT TO EXISTING CONSTRUCTION.	14. *ALIGN* MEANS THAT SIMILAR COMPONENTS OF CONSTRUCTION SUCH AS WALLS, JAMBS, ETC. SHALL ALIGN ACROSS VOIDS OR ADJACENT TO EXISTING CONSTRUCTION.
15. THE ARCHITECT SHALL BE THE PRIMARY SOURCE FOR INFORMATION REGARDING EACH DISCIPLINE, I.E. ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL, ETC.	15. THE ARCHITECT SHALL BE THE PRIMARY SOURCE FOR INFORMATION REGARDING EACH DISCIPLINE, I.E. ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL, ETC.
16. ALL MATERIALS USED FOR NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO, INSULATION, ADHESIVES, COATINGS, ETC. SHALL BE 100% NON-ASBESTOS CONTAINING MATERIALS.	16. ALL MATERIALS USED FOR NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO, INSULATION, ADHESIVES, COATINGS, ETC. SHALL BE 100% NON-ASBESTOS CONTAINING MATERIALS.
17. EXTERIOR FERROUS METAL ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, SHALL BE GALVANIZED AND PAINTED WITH HIGH-PERFORMANCE COATING UNLESS NOTED OTHERWISE: EXPOSED STEEL COLUMNS, LOOSE LINTELS, SHELF ANGLES, STEEL ANGLE OR CHANNEL JAMBS, LADDERS, LADDER SAFETY CAGES, HANDRAILS, GUARDS, AND ROLLARDS; COAT OR OTHERWISE ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC ACTION AND OTHER FORMS OF CORROSION.	17. EXTERIOR FERROUS METAL ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING, SHALL BE GALVANIZED AND PAINTED WITH HIGH-PERFORMANCE COATING UNLESS NOTED OTHERWISE: EXPOSED STEEL COLUMNS, LOOSE LINTELS, SHELF ANGLES, STEEL ANGLE OR CHANNEL JAMBS, LADDERS, LADDER SAFETY CAGES, HANDRAILS, GUARDS, AND ROLLARDS; COAT OR OTHERWISE ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC ACTION AND OTHER FORMS OF CORROSION.
18. ALL FRAMING AND STRUCTURAL MEMBERS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL DIMENSIONS AND DETAILS.	18. ALL FRAMING AND STRUCTURAL MEMBERS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL DIMENSIONS AND DETAILS.
19. FIRE RESISTANCE RATINGS SHOWN ARE MINIMUM RATINGS REQUIRED. REFER TO FLOOR PLANS, PARTITION TYPES, AND SPECIFICATIONS, FOR MORE INFORMATION	19. FIRE RESISTANCE RATINGS SHOWN ARE MINIMUM RATINGS REQUIRED. REFER TO FLOOR PLANS, PARTITION TYPES, AND SPECIFICATIONS, FOR MORE INFORMATION
20. FIRE RESISTANCE RATINGS IN PARTITIONS ARE SHOWN WHERE PARTITIONS ARE NOT CUT BY DOORS, WINDOWS, STOREFRONTS, OR OTHER OBJECTS. RATED PARTITION MAY EXIST ABOVE OBJECTS.	20. FIRE RESISTANCE RATINGS IN PARTITIONS ARE SHOWN WHERE PARTITIONS ARE NOT CUT BY DOORS, WINDOWS, STOREFRONTS, OR OTHER OBJECTS. RATED PARTITION MAY EXIST ABOVE OBJECTS.
21. PARTITION TYPE AND FIRE-RESISTANCE RATING INDICATED FOR A GIVEN PARTITION ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF THAT PARTITION UNLESS NOTED OTHERWISE.	21. PARTITION TYPE AND FIRE-RESISTANCE RATING INDICATED FOR A GIVEN PARTITION ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF THAT PARTITION UNLESS NOTED OTHERWISE.
22. PENETRATIONS THROUGH FIRE-RESISTANCE RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF ASSEMBLIES SHALL BE SEALED WITH APPROVED FIRE-RESISTANT RATED PENETRATION PRESTOPPING SYSTEMS.	22. PENETRATIONS THROUGH FIRE-RESISTANCE RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF ASSEMBLIES SHALL BE SEALED WITH APPROVED FIRE-RESISTANT RATED PENETRATION PRESTOPPING SYSTEMS.
23. MAINTAIN THE FIRE-RESISTANCE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, BOXES AND OTHER ITEMS RECESSED IN THE FIRE-RESISTANCE RATED PARTITION, FLOOR, AND CEILING ASSEMBLIES.	23. MAINTAIN THE FIRE-RESISTANCE RATING OF CONSTRUCTION AROUND CABINETS, PANELS, BOXES AND OTHER ITEMS RECESSED IN THE FIRE-RESISTANCE RATED PARTITION, FLOOR, AND CEILING ASSEMBLIES.
24. REFER TO MECHANICAL DRAWINGS FOR SMOKE, FIRE, AND FIRE/SMOKE DAMPER LOCATIONS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND QUANTITY OF SMOKE DETECTORS.	24. REFER TO MECHANICAL DRAWINGS FOR SMOKE, FIRE, AND FIRE/SMOKE DAMPER LOCATIONS. REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND QUANTITY OF SMOKE DETECTORS.
25. EXIT SIGN LOCATIONS AND QUANTITIES INDICATED ARE APPROXIMATE. MORE PRECISE LOCATIONS AND ADDITIONAL SIGNS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION. NOTIFY THE ARCHITECT OF ANY CHANGES REQUIRED BY THE AUTHORITY HAVING JURISDICTION.	25. EXIT SIGN LOCATIONS AND QUANTITIES INDICATED ARE APPROXIMATE. MORE PRECISE LOCATIONS AND ADDITIONAL SIGNS MAY BE REQUIRED BY THE AUTHORITY HAVING JURISDICTION. NOTIFY THE ARCHITECT OF ANY CHANGES REQUIRED BY THE AUTHORITY HAVING JURISDICTION.

GENERAL NOTES

1. DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.	1. DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
2. UNIT DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO CENTERLINE OF DEMISING WALL, UNLESS NOTED OTHERWISE.	2. UNIT DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO CENTERLINE OF DEMISING WALL, UNLESS NOTED OTHERWISE.
3. ALL INTERIOR PARTITIONS ARE TYPE W4 UNLESS NOTED OTHERWISE. REFERENCE PARTITION DETAILS FOR TYPICAL DEMISING WALL AND CORRIDOR PARTITION ASSEMBLY.	3. ALL INTERIOR PARTITIONS ARE TYPE W4 UNLESS NOTED OTHERWISE. REFERENCE PARTITION DETAILS FOR TYPICAL DEMISING WALL AND CORRIDOR PARTITION ASSEMBLY.
4. ALL DOORS TO BE INSTALLED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. ALL MDF DOORS TO BE CENTERED IN ROOM. CONTRACTOR TO CONFIRM MINIMUM OF 10" PROVIDED ON THE PUSH SIDE OF ALL DOORS WITHOUT CLOSERS. DOORS WITH CLOSERS AND LATCH MUST MAINTAIN 12" CLEAR ON THE PUSH SIDE OF THE DOOR.	4. ALL DOORS TO BE INSTALLED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. ALL MDF DOORS TO BE CENTERED IN ROOM. CONTRACTOR TO CONFIRM MINIMUM OF 10" PROVIDED ON THE PUSH SIDE OF ALL DOORS WITHOUT CLOSERS. DOORS WITH CLOSERS AND LATCH MUST MAINTAIN 12" CLEAR ON THE PUSH SIDE OF THE DOOR.
5. DIMENSIONS ARE TO CENTERLINE OF WINDOWS AND DOORS WHEN PROVIDED.	5. DIMENSIONS ARE TO CENTERLINE OF WINDOWS AND DOORS WHEN PROVIDED.
6. ALL FIRE ALARM DEVICES TO BE CEILING MOUNTED. NO WALL MOUNTED DEVICES ALLOWED WITHOUT APPROVAL FROM THE ARCHITECT.	6. ALL FIRE ALARM DEVICES TO BE CEILING MOUNTED. NO WALL MOUNTED DEVICES ALLOWED WITHOUT APPROVAL FROM THE ARCHITECT.
7. GC TO COORDINATE BLOCKING FOR WALL AND CEILING MOUNTED ACCESSORIES AS REQUIRED. REFER TO MOUNTING HEIGHTS AND INTERIO DESIGN DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION.	7. GC TO COORDINATE BLOCKING FOR WALL AND CEILING MOUNTED ACCESSORIES AS REQUIRED. REFER TO MOUNTING HEIGHTS AND INTERIO DESIGN DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION.
8. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS, AND SOAP DISPENSERS INSTALLED WITHIN 2 FEET OF A WATER CLOSET, URINAL, SINK, OR LAVATORY SHALL BE SEALED TO PREVENT MOISTURE MIGRATION INTO THE PARTITION OR OTHER CONSTRUCTION IN WHICH THEY ARE INSTALLED.	8. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS, AND SOAP DISPENSERS INSTALLED WITHIN 2 FEET OF A WATER CLOSET, URINAL, SINK, OR LAVATORY SHALL BE SEALED TO PREVENT MOISTURE MIGRATION INTO THE PARTITION OR OTHER CONSTRUCTION IN WHICH THEY ARE INSTALLED.
9. FIBERGLASS REINFORCED TILE BACKER BOARD TO BE INSTALLED AT ALL SHOWER LOCATIONS TO RECEIVE TILE. IF LOCATED AT A FIRE RATED ASSEMBLY, RATED ASSEMBLY TO BE CONTINUOUS BEHIND BACKER BOARD.	9. FIBERGLASS REINFORCED TILE BACKER BOARD TO BE INSTALLED AT ALL SHOWER LOCATIONS TO RECEIVE TILE. IF LOCATED AT A FIRE RATED ASSEMBLY, RATED ASSEMBLY TO BE CONTINUOUS BEHIND BACKER BOARD.
10. REFERENCE FINISH PLANS AND FINISH SCHEDULE FOR ROOM FINISHES.	10. REFERENCE FINISH PLANS AND FINISH SCHEDULE FOR ROOM FINISHES.
11. COORDINATE CASEWORK WITH INTERIOR DESIGN DRAWINGS. FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION. ALL BASE CABINETS TO BE 24" DEEP AND ALL BATHROOM BASE CABINETS TO BE 21" DEEP UNLESS NOTED OTHERWISE. BASE CABINETS IN ADA UNITS MUST BE ADA ADAPTABLE.	11. COORDINATE CASEWORK WITH INTERIOR DESIGN DRAWINGS. FIELD VERIFY ALL CASEWORK DIMENSIONS PRIOR TO FABRICATION. ALL BASE CABINETS TO BE 24" DEEP AND ALL BATHROOM BASE CABINETS TO BE 21" DEEP UNLESS NOTED OTHERWISE. BASE CABINETS IN ADA UNITS MUST BE ADA ADAPTABLE.
12. PROVIDE FINISH PANELS AT ALL EXPOSED AND SEMI-EXPOSED END CONDITIONS OF CABINETS OR CASEWORK.	12. PROVIDE FINISH PANELS AT ALL EXPOSED AND SEMI-EXPOSED END CONDITIONS OF CABINETS OR CASEWORK.
13. REFER TO MEP FOR SUPPORT REQUIRED AT UNIT MECHANICAL CLOSETS.	13. REFER TO MEP FOR SUPPORT REQUIRED AT UNIT MECHANICAL CLOSETS.
14. REFER TO STRUCTURAL FOR SHEAR REQUIREMENTS WITHIN WALLS.	14. REFER TO STRUCTURAL FOR SHEAR REQUIREMENTS WITHIN WALLS.
15. REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE.	15. REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE.

1. DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.	1. DIMENSIONS TO FACE OF PARTITIONS ARE TO FACE OF SUBSTRATE LAYER AS SHOWN IN PARTITION TYPES. FINISHES DEPICTED IN FINISH PLANS AND ELEVATIONS ARE NOT SHOWN ON PARTIAL FLOOR PLANS. REFER TO ENLARGED PLANS, ELEVATIONS, AND DETAILS.
2. COMPARE ARCHITECTURAL REFLECTED WITH MECHANICAL AND ELECTRICAL PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. ALIGNMENT OF CEILING MOUNTED DEVICES SUCH AS SPEAKERS, LIGHTING, MECHANICAL SUPPLY, RETURN, AND EXHAUST, EXIT SIGNS, FIRE PROTECTION AND FIRE ALARM DEVICES ARE CRITICAL.	2. COMPARE ARCHITECTURAL REFLECTED WITH MECHANICAL AND ELECTRICAL PLANS. REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. ALIGNMENT OF CEILING MOUNTED DEVICES SUCH AS SPEAKERS, LIGHTING, MECHANICAL SUPPLY, RETURN, AND EXHAUST, EXIT SIGNS, FIRE PROTECTION AND FIRE ALARM DEVICES ARE CRITICAL.
3. ALL FIRE ALARM DEVICES ARE TO BE CEILING MOUNTED IN PUBLIC SPACES. NO WALL MOUNTED DEVICES WITHOUT APPROVAL FROM THE ARCHITECT.	3. ALL FIRE ALARM DEVICES ARE TO BE CEILING MOUNTED IN PUBLIC SPACES. NO WALL MOUNTED DEVICES WITHOUT APPROVAL FROM THE ARCHITECT.
4. EXIT SIGNS AND SMOKE DETECTORS LOCATED IN CEILINGS SHALL BE LOCATED AND POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION WITH COORDINATION BY THE ARCHITECT.	4. EXIT SIGNS AND SMOKE DETECTORS LOCATED IN CEILINGS SHALL BE LOCATED AND POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION WITH COORDINATION BY THE ARCHITECT.
5. VERIFY ALL ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE TO MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS MAY BE REQUIRED. COORDINATE LOCATION WITH ARCHITECT. WHERE APPLICABLE, ACCESS PANEL SHALL MEET THE UL DESIGN CRITERIA OF THE RATED CEILING.	5. VERIFY ALL ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE TO MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS MAY BE REQUIRED. COORDINATE LOCATION WITH ARCHITECT. WHERE APPLICABLE, ACCESS PANEL SHALL MEET THE UL DESIGN CRITERIA OF THE RATED CEILING.
6. ANY CEILING MOUNTED DEVICE OR FIXTURE SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.	6. ANY CEILING MOUNTED DEVICE OR FIXTURE SHALL BE CENTERED IN EACH ROOM UNLESS NOTED OTHERWISE.
7. ANY DEVICE LOCATED IN ACOUSTICAL CEILING TILES, SHALL BE CENTERED WITHIN THE TILE. DO NOT HANG OR SUSPEND ANY ITEMS FROM METAL ROOF DECKING. SUSPENSION SYSTEMS FOR CEILINGS AND HANGERS OR SUPPORTS FOR DIVISIONS 21 THROUGH 28 SYSTEMS SHALL BE ANCHORED TO BEAMS, JOISTS, OR SLOTTED CHANNEL FRAMING SYSTEMS.	7. ANY DEVICE LOCATED IN ACOUSTICAL CEILING TILES, SHALL BE CENTERED WITHIN THE TILE. DO NOT HANG OR SUSPEND ANY ITEMS FROM METAL ROOF DECKING. SUSPENSION SYSTEMS FOR CEILINGS AND HANGERS OR SUPPORTS FOR DIVISIONS 21 THROUGH 28 SYSTEMS SHALL BE ANCHORED TO BEAMS, JOISTS, OR SLOTTED CHANNEL FRAMING SYSTEMS.
8. ALL STORM WATER PIPING OR CONDENSATE PIPING SUSCEPTIBLE TO CONDENSATION SHALL BE INSULATED FROM THE DRAIN BOWL TO A POINT WHERE PIPING TURNS FROM HORIZONTAL TO VERTICAL. ANY ADDITIONAL HORIZONTAL RUNS THROUGHOUT THE BUILDING SHALL BE INSULATED.	8. ALL STORM WATER PIPING OR CONDENSATE PIPING SUSCEPTIBLE TO CONDENSATION SHALL BE INSULATED FROM THE DRAIN BOWL TO A POINT WHERE PIPING TURNS FROM HORIZONTAL TO VERTICAL. ANY ADDITIONAL HORIZONTAL RUNS THROUGHOUT THE BUILDING SHALL BE INSULATED.
9. WHEN PROVIDED, CONTRACTOR TO COORDINATE AV LOCATIONS WITH ARCHITECT.	9. WHEN PROVIDED, CONTRACTOR TO COORDINATE AV LOCATIONS WITH ARCHITECT.
10. REFERENCE INTERIOR DESIGN DRAWINGS FOR UNIT AND AMENITY CEILING FINISHES, LIGHTING, AND DETAILS.	10. REFERENCE INTERIOR DESIGN DRAWINGS FOR UNIT AND AMENITY CEILING FINISHES, LIGHTING, AND DETAILS.

FLOOR PLAN NOTES

1. MATERIAL SYMBOLS AND PATTERNS ARE TO DISPLAY EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE AND MAY NOT PROVIDE ACCURATE REPRESENTATION OF THE MATERIAL SPECIFIED.	1. MATERIAL SYMBOLS AND PATTERNS ARE TO DISPLAY EXTENT OF THE MATERIAL ONLY. THEY ARE NOT TO SCALE AND MAY NOT PROVIDE ACCURATE REPRESENTATION OF THE MATERIAL SPECIFIED.
2. GRADING SHOWN ON EXTERIOR ELEVATIONS IS FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE FOR ACTUAL GRADING.	2. GRADING SHOWN ON EXTERIOR ELEVATIONS IS FOR REFERENCE ONLY. REFER TO CIVIL AND LANDSCAPE FOR ACTUAL GRADING.
3. ANY EXTERNAL ELECTRICAL PANEL WILL BE PAINTED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.	3. ANY EXTERNAL ELECTRICAL PANEL WILL BE PAINTED TO MATCH THE MATERIAL AND COLOR OF THE BUILDING.
4. EXHAUST VENTS TO BE PAINTED, REFERENCE SCHEDULE.	4. EXHAUST VENTS TO BE PAINTED, REFERENCE SCHEDULE.
5. LIGHT FIXTURES, AIR TERMINALS, GRILLES, ELECTRICAL FIXTURES, OUTLETS, DATA RECEPTACLES, AUDIO/VIDEO CONNECTIONS AND MEDICAL GAS FIXTURES SHOWN ARE FOR ARCHITECTURAL COORDINATION AND DIMENSIONAL CONTROL ONLY. REF. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS	5. LIGHT FIXTURES, AIR TERMINALS, GRILLES, ELECTRICAL FIXTURES, OUTLETS, DATA RECEPTACLES, AUDIO/VIDEO CONNECTIONS AND MEDICAL GAS FIXTURES SHOWN ARE FOR ARCHITECTURAL COORDINATION AND DIMENSIONAL CONTROL ONLY. REF. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS
6. NOT ALL FIXTURES MAY BE SHOWN ON ARCHITECTURAL ELEVATIONS.	6. NOT ALL FIXTURES MAY BE SHOWN ON ARCHITECTURAL ELEVATIONS.
7. ALL FIRE ALARM DEVICES ARE TO BE CEILING MOUNTED IN PUBLIC SPACES. NO WALL MOUNTED DEVICES WITHOUT APPROVAL FROM THE ARCHITECT.	7. ALL FIRE ALARM DEVICES ARE TO BE CEILING MOUNTED IN PUBLIC SPACES. NO WALL MOUNTED DEVICES WITHOUT APPROVAL FROM THE ARCHITECT.
8. REFERENCE SPECIFICATIONS FOR CODE REQUIRED SIGNAGE.	8. REFERENCE SPECIFICATIONS FOR CODE REQUIRED SIGNAGE.

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ELEVATION NOTES

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REFLECTED CEILING PLAN NOTES

