



City of Dallas

BOARD OF ADJUSTMENT (PANEL C)

**October 17, 2022, Briefing at 11:00 A.M. and the Public Hearing at 1:00 P.M.
Dallas City Hall, 6ES Council Briefing Room and Videoconference**

* The Board of Adjustment hearing will be held by videoconference and in 6ES at City Hall. Individuals who wish to speak in accordance with the Board of Adjustment Rules of Procedure **by joining the meeting virtually**, must register online at <https://form.jotform.com/210907944450153> or contact the Development Services Department at 214-670-4545 **by the close of business Friday, October 14, 2022. All virtual speakers will be required to show their video in order to address the board.** Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 96 or 99; and bit.ly/cityofdallastv or [YouTube.com/CityofDallasCityHall](https://www.youtube.com/CityofDallasCityHall), and the WebEx link: <https://bit.ly/101722C>

AGENDA

- | | | |
|------|---|---------------------------|
| I. | Call to Order | Robert Agnich, Vice-Chair |
| II. | Staff Presentation/Briefing | |
| III. | Public Hearing | Board of Adjustment |
| IV. | Public Testimony | |
| V. | Miscellaneous Items - Approval of Panel C Minutes – September 19, 2022 | |
| VI. | Case Docket | Board of Adjustment |
| | - Uncontested Items | |
| | - Individual Items | |
| VII. | Adjournment | |

Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

"Pursuant to Section 46.03, Penal Code (places weapons prohibited), a person may not carry a firearm or other weapon into any open meeting on this property."

"De conformidad con la Sección 46.03, Código Penal (coloca armas prohibidas), una persona no puede llevar un arma de fuego u otra arma a ninguna reunión abierta en esta propiedad."

EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt . Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex Govt. Code §551.089]

UNCONTESTED CASE(S)

BDA212-093(OA)	9330 Hollow Way Rd REQUEST: Application of Trenton Robertson for a (1) special exception to the fence height regulations, and (2) a special exception to the fence standards regulations	1
BDA212-094(OA)	9915 Avalon Creek Ct REQUEST: Application of Trenton Robertson for a (1) special exception to the fence height regulations, and (2) a special exception to the visibility obstruction regulations	2
BDA212-100(OA)	1325 Grant St REQUEST: Application of Julio Roman for a special exception to the single-family regulations	3
BDA212-104(OA)	521 Faulk St REQUEST: Application of Krystine Paige for (1) a special exception to the visibility obstruction regulations, (2) a special exception to the visibility obstruction regulations, (3) a variance to the front yard setback regulations, and (4) a variance to the maximum allowed lot coverage	4

HOLDOVERS

None.

REGULAR CASES

FILE NUMBER: BDA212-093(OA)

BUILDING OFFICIAL'S REPORT: Application of Trenton Robertson for a special exception to the fence height regulations and for a special exception to the fence standard regulations at 9330 Hollow Way Road. This property is more fully described as Lot 19-A and part of Lot 3 in Block 7/5597, and is zoned R-1ac(A), which limits the height of a fence in the front yard to four feet, and requires a fence panel with a surface area that is less than 50 percent open to be located a minimum of five feet from the front lot line. The applicant proposes to construct and/or maintain up to an eight-foot high fence in a required front yard, which will require a four-foot special exception to the fence regulations and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than five feet from the front lot line, which will require a special exception to the fence regulations.

LOCATION: 9330 Hollow Way Road

APPLICANT: Trenton Robertson

REQUESTS:

The following requests have been made on a site that is developed with a single family home:

1. A request for a special exception to the fence height regulations of four feet is made to construct an eight-foot wood panel fence with eight-foot wood panel gates and an eight-foot wire mesh fence with steel posts in the required 40-foot front yard on Hollow Way Road on a site developed with a single-family home.
2. A request for a special exception to the fence standards regulations related to fence panels with a surface area that is less than 50 percent open and less than five feet from the front lot line is made to construct and maintain the eight-foot wood panel fence with eight-foot wood panel gates less than five feet from the front lot line.

STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS REGULATIONS:

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards regulations when in the opinion of the board, the special exception will not adversely affect neighboring property.

STAFF RECOMMENDATION (fence standards regulations):

No staff recommendation is made on this or any request for a special exception to the fence standards regulations since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

BACKGROUND INFORMATION:

Zoning:

Site: R-1ac(A) (Single Family District)
North: R-1ac(A) (Single Family District)
South: R-1ac(A) (Single Family District)
East: R-1ac(A) (Single Family District)
West: R-1ac(A) (Single Family District)

Land Use:

The subject site is developed with a single family home. The areas to the north, east, south, and west are developed with single family uses.

Zoning/BDA History:

- | | |
|--|---|
| 1 BDA201-047
Property located at 5500
Chatham Hill Road
(Property located to
the south) | On June 21, 2021, the Board of Adjustment Panel C granted a request to requests is to construct and maintain a 1,175-square-foot accessory structure and an eight-foot-high solid masonry fence and maintain an eight-foot six-inch-tall solid metal/stone fence with a pedestrian gate in both front yards |
| 2. BDA190-068, Property
located at 15505
Chatham Hill Road
(Property located to
the north) | On August 19, 2020, the Board of Adjustment Panel B granted a request to installing and maintaining an additional electrical utility service and electrical meter. |
| 3. BDA178-086, Property
located at 15505
Chatham Hill Road
(Property located to
the south) | On August 22, 2018, the Board of Adjustment Panel B granted a request for a variance to the front yard setback regulations, a request for a special exception to the single-family use regulations; a request for a special exception to the fence standards related to fence height, and a request for special exceptions are made to construct and maintain fence panels with surface areas that are less than 50 percent open. |

GENERAL FACTS/STAFF ANALYSIS (fence standards special exceptions):

The purpose of these requests is to construct an eight-foot wood panel fence with eight-foot wood panel gates and an eight-foot wire mesh fence with steel posts in the required 40-foot front yard and to maintain the eight-foot wood panel fence with eight-foot wood panel gates less than five feet from the front lot line fronting Hollow Way Road. The subject site is zoned an R-1a(A) Single Family District which requires a minimum front yard setback of 40 feet.

The requests for special exceptions to the fence standards regulations related to height and fence panel materials/location from a front lot line focus on:

- constructing and maintaining an eight-foot wood panel fence with eight-foot wood panel gates and an eight-foot wire mesh fence with steel posts located in the site's front yard setback.

Section 51A-4.602(a)(2) of the Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed four feet above grade when located in the required front yard. As noted, the proposed fence would be within the required 40-foot front yard setback.

Additionally, the Dallas Development Code states that in single family districts, a fence panel with a surface area that is less than 50 percent open may not be located less than five feet from the front lot line.

The submitted site plan and elevation denotes a portion of the proposed eight-foot wood panel fence with eight-foot wood panel gates located within the required front yard and as close as being along the property line.

The following additional information was gleaned from the submitted site plan:

- The proposed masonry fence is approximately 200 feet in length parallel to Hollow Way to the front property line of this street.
- The distance between the proposed fence and the pavement line is between 19 to 47 feet.

Staff conducted a field visit of the site and surrounding area and noted several fences that appeared to be above four feet-in-height in the required front yard on Hollow Way Road.

As of October 5, 2022, 10 letters of support have been submitted and 0 in opposition for the requests.

The applicant has the burden of proof in establishing that the special exceptions to the fence standards related to the height of four feet and to location and materials located on Hollow Way Road will not adversely affect neighboring property.

Granting these special exceptions to the fence standards related to the height and opacity would require the proposal exceeding four feet-in-height in the front yard setbacks located on Hollow Way Road front yard and exceeding 50 percent opacity to be maintained in the locations and of the heights and materials as shown on these documents.

Timeline:

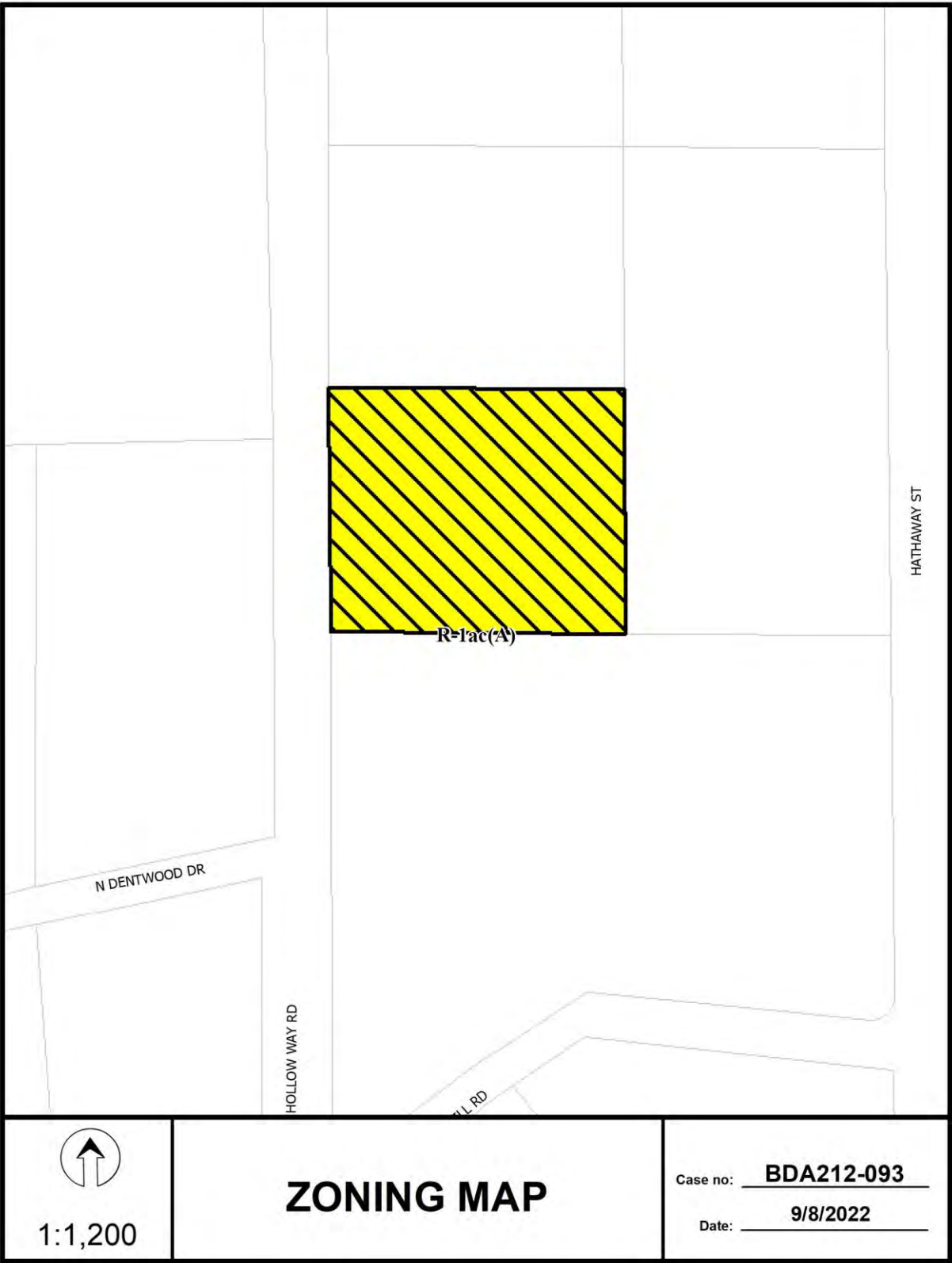
July 13, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

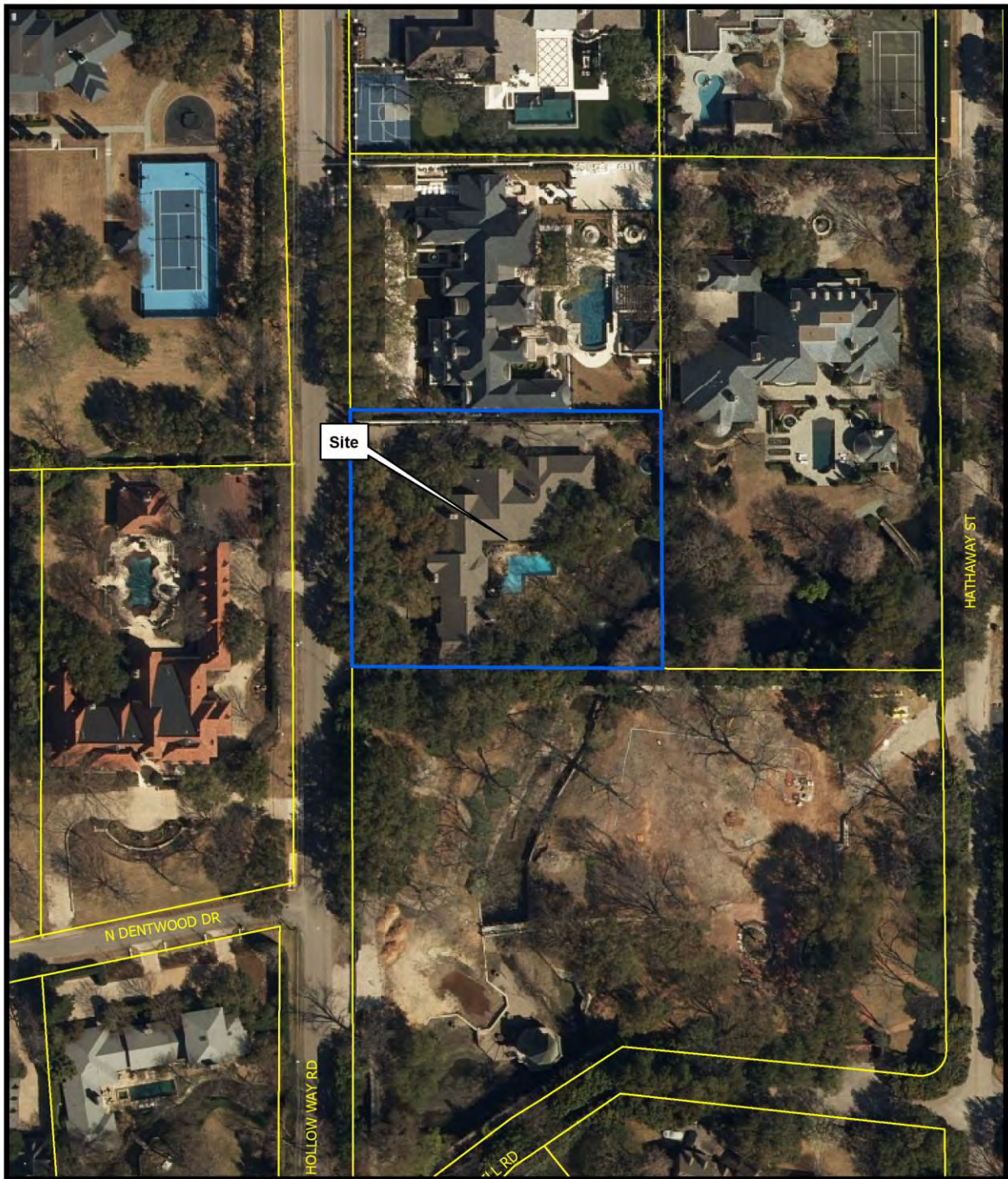
September 9, 2022: The Board Administrator emailed the applicant the following information:

- a copy of the application materials including the Building Official’s report on the application.
- an attachment that provided the public hearing date and panel that will consider the application; the September 28th deadline to submit additional evidence for staff to factor into their analysis; and the October 7th deadline to submit additional evidence to be incorporated into the Board’s docket materials.
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

September 29: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the October public hearing. Review team members in attendance included: the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, the Assistant City Attorney to the Board, and Jason Pool Senior Planner.

October 6, 2022: The applicant submitted additional information to staff beyond what was submitted with the original application (**Attachment A**).



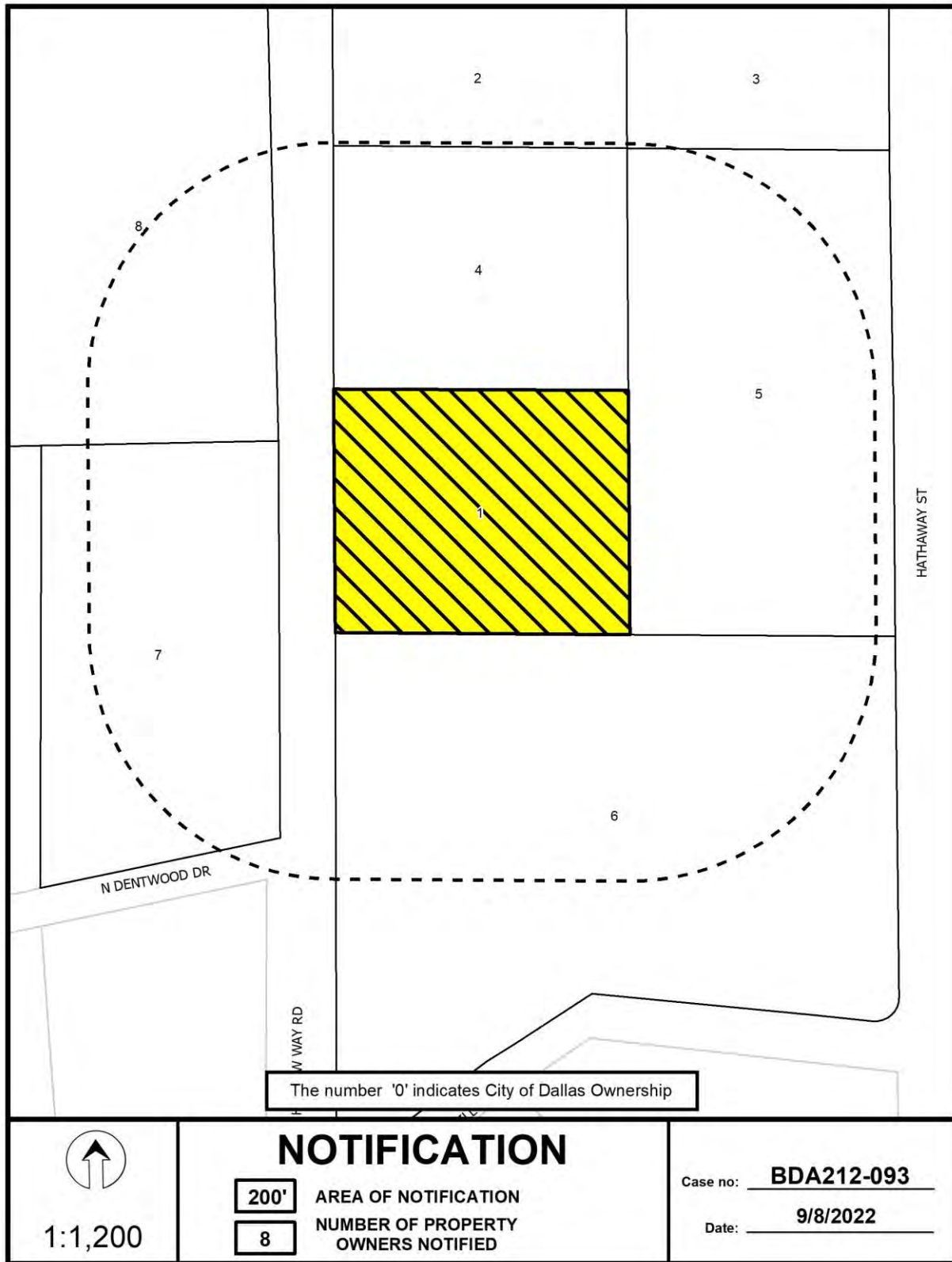


1:1,200

AERIAL MAP

Case no: BDA212-093

Date: 9/8/2022



09/06/2022

Notification List of Property Owners

BDA212-093

8 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	9330 HOLLOW WAY RD	BR TRUST THE
2	5506 DELOACHE AVE	ROYALL HIRAM WALKER &
3	5526 DELOACHE AVE	SMITH MARK CLAY &
4	9362 HOLLOW WAY RD	LEDBETTER TERRY LEE & RETA LAURIE
5	9339 HATHAWAY ST	KING MARK A 2020 RESIDENCE &
6	5505 CHATHAM HILL RD	BR TRUST THE
7	5445 N DENTWOOD DR	MNP I
8	5424 DELOACHE AVE	CUBAN MARK



APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 212-093

Data Relative to Subject Property:

Date: 7/6/2022

Location address: 9330 Hollow Way RD. Zoning District: R-1ac(A)

Lot No.: 19-A Block No.: 7/5597 Acreage: 1.102 Census Tract: 2010 - 0206.00

Street Frontage (in Feet): 1) 200 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): BR Trust

Applicant: Masterplan (Trenton Robertson) Telephone: 972-561-8732

Mailing Address: 2201 Main Street STE. 1280 Dallas, TX Zip Code: 75201

E-mail Address: trobertson@masterplantexas.com

Represented by: Masterplan (Trenton Robertson) Telephone: 972-561-8732

Mailing Address: 2201 Main Street STE. 1280 Dallas, TX Zip Code: 75201

E-mail Address: trobertson@masterplantexas.com

Affirm that an appeal has been made for a Variance __, or Special Exception X, of 4 feet to the maximum permitted fence height of 4 feet in the required front yard along Hollow Way Road. Add less than 50% open surface. Per

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
The proposed decorative fence will not negatively impact surrounding properties. Other properties in the vicinity also have front yard fences that exceed 4' in height of similar design and height. The requested fence will also provide additional privacy and safety.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

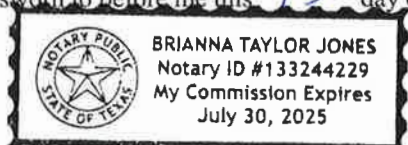
Before me the undersigned on this day personally appeared Trenton Robertson
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 13 day of July, 2022

(Rev. 08-01-11)



[Signature]
Notary Public in and for Dallas County, Texas

**MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT**

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that Trenton Robertson

did submit a request for a special exception to the fence height regulations, and for a special exception to the fence standards regulations

at 9330 HOLLOW WAY RD.

BDA212-093. Application of Trenton Robertson for a special exception to the fence height regulations, and for a special exception to the fence standards regulations at 9330 HOLLOW WAY RD. This property is more fully described as blcok 7/5597 lot 19-A, and is zoned R-1AC(A), which limits the height of a fence in the front yard to 4 feet and requires fence panel with a surface area that is less than 50 percent open may not be located less than 5 feet from the front lot line. The applicant proposes to construct an 8 foot high fence in a required front yard, which will require a 4 foot special exception to the fence regulations, and to construct a fence in a required front yard with a fence panel having les than 50 percent open surface area located less than 5 feet from the front lot line, which wi require a special exception to the fence regulations.

Sincerely,


David Session, Building Official



AFFIDAVIT

Appeal number: BDA 212-093

I, BR Trust, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 9330 Hollow Way Road, Dallas, TX 75220
(Address of property as stated on application)

Authorize: Masterplan TRENTON ROBERTSON
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

 Variance (specify below)

X Special Exception (specify below)

 Other Appeal (specify below)

Specify: 4 feet to the maximum permitted fence height of 4 feet in the required front yard along Hollow Way Road.
50% OPENING

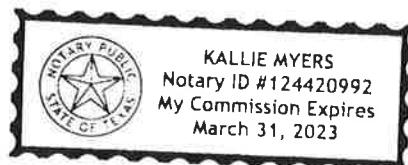
The BR Trust, James Y. Robb III, Trustee J. Y. Robb
Print name of property owner or registered agent Signature of property owner or registered agent

Date June 22, 2023

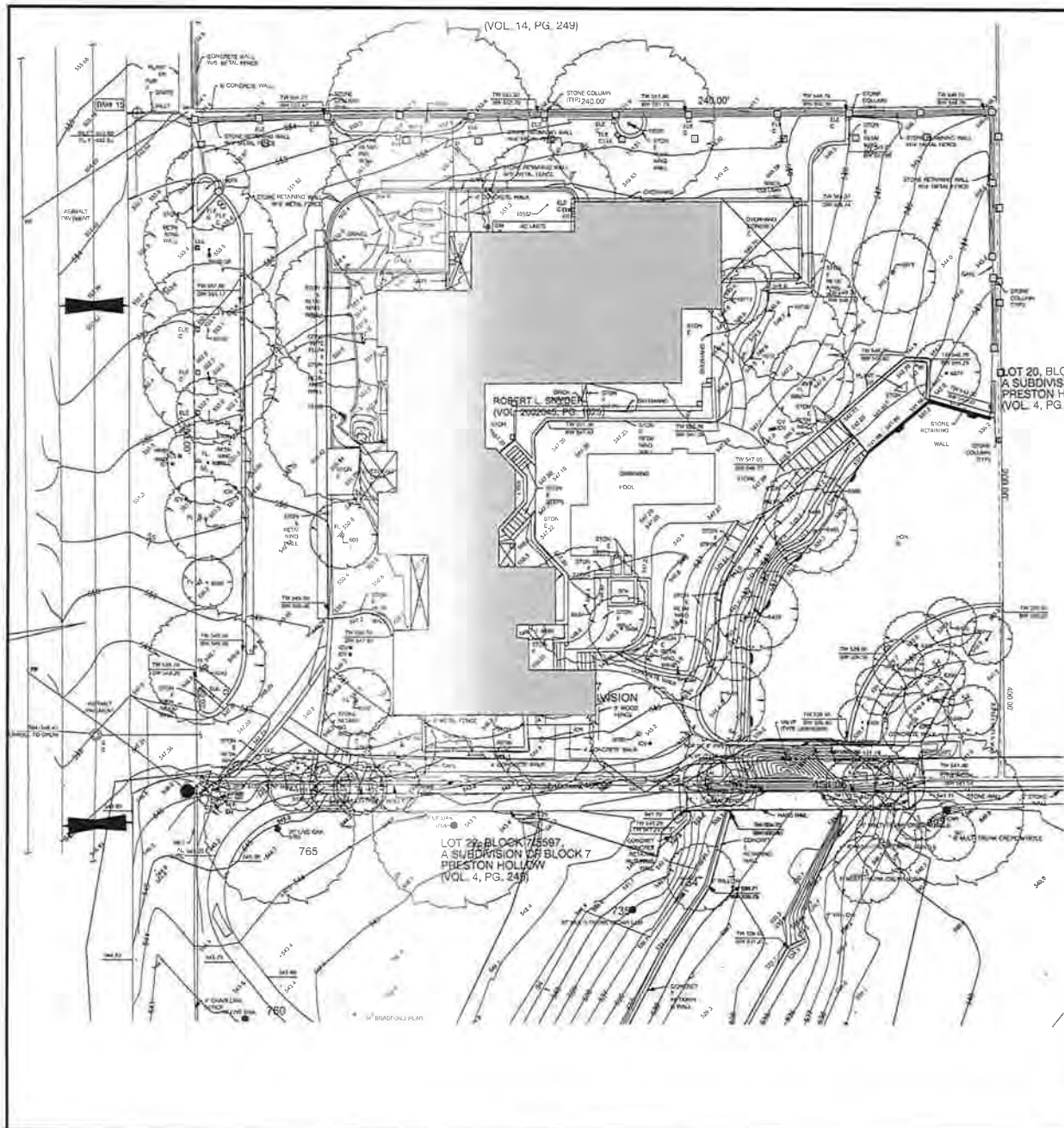
Before me, the undersigned, on this day personally appeared James Y. Robb III

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 22nd day of June, 2022



Kallie Myers
Notary Public for Dallas County, Texas
Commission expires on March 31, 2023



(VOL. 14, PG. 249)

LOT 20, BLOCK 7/6597,
A SUBDIVISION OF BLOCK 7
PRESTON HOLLOW
(VOL. 4, PG. 249)

GENERAL NOTES

1. Existing conditions and topography data are from a survey prepared by Prentiss Korth Civil Engineers - 1527 Randow Road, Suite 1400, Dallas, TX 75231 - 972 235 3031 - July 12, 2018.
2. Contractor shall verify location of any existing utilities and services and provide protection during construction. Utilities damaged during construction shall be repaired at contractor's expense.
3. Contractor shall verify existing grades and set benchmarks as needed.
4. Contractor shall obtain permits for this work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
5. Contractor shall leave site clean and orderly during construction process. Remove from site all excess materials, soil, debris and equipment. Store materials only in an approved location.

SITE DEMOLITION NOTES

1. Contractor shall verify all existing conditions in the field and report any discrepancies between plans and actual conditions to Landscape Architect before beginning work.
2. All tree removals to be flagged in advance and approved by Landscape Architect prior to removal.
3. Building structure and paving removal shall include the disconnection and capping of any utilities (sewer, gas, associated base material) and satisfactory off-site disposal of all debris produced through the removal operations.
4. Tree and shrub removal shall include the felling, cutting, grubbing out of roots and satisfactory off-site disposal of all stumps, vegetative and excessive debris produced through the removal operations, unless otherwise directed by arborist or landscape architect.
5. Existing trees and shrubs to remain shall not be altered under any circumstances and must remain in the same condition as observed prior to construction.
6. No heavy machinery is to be used within the root system of existing trees. Excavation within root system zones is to be performed by hand.
7. Any items scheduled to remain which are damaged by Contractor's operations shall be at Contractor's expense.
8. Any items scheduled to be stockpiled on site which are damaged by Contractor's operations shall be at Contractor's expense.
9. Area for stockpiled items shall be documented by Contractor and approved by Landscape Architect and owner prior to removal operations.
10. Arborist to be consulted in advance for removal of structures within tree protection zones.
10. Contractor shall leave work site free of any debris at the end of each day's operations.

TREE TABLE		TREE TABLE	
POINT NO.	DESCRIPTION	POINT NO.	DESCRIPTION
4065	28" PECAN	6421	8" MULTI-TRUNK HOLLY
4067	8" MULTI-TRUNK CREPE MYRTLE	6423	8" MULTI-TRUNK HOLLY
5008	8" HOLLY	6426	5" MULTI-TRUNK HOLLY
5010	10" MULTI-TRUNK HOLLY	6429	8" MULTI-TRUNK HOLLY
5011	6" MULTI-TRUNK CREPE MYRTLE	6435	24" CEDAR
5012	6" MULTI-TRUNK CREPE MYRTLE	6437	12" ELW
5765	28" LIVE OAK	6439	24" ASH
5769	28" LIVE OAK	6446	12" LIVE OAK
6043	32" LIVE OAK	6456	18" LIVE OAK
6046	12" LIVE OAK	6458	6" MULTI-TRUNK HOLLY
6047	24" LIVE OAK	6469	8" MULTI-TRUNK HOLLY
6050	18" LIVE OAK	6470	8" MULTI-TRUNK HOLLY
6091	28" LIVE OAK	6485	28" ELM
6132	8" MULTI-TRUNK MISC. TREE	6488	12" ASH
6162	16" LIVE OAK	6500	24" MULTI-TRUNK ASH
6174	24" PECAN	6534	18" OAK
6177	6" MULTI-TRUNK MISC. TREE	6566	8" MULTI-TRUNK CREPE MYRTLE
6180	4" MULTI-TRUNK MISC. TREE	6577	18" MAGNOLIA
6181	6" MULTI-TRUNK MISC. TREE	6579	28" MULTI-TRUNK LIVE OAK
6184	6" MULTI-TRUNK MISC. TREE	6582	24" MULTI-TRUNK LIVE OAK
6185	8" MULTI-TRUNK MISC. TREE	10078	14" LIVE OAK
6188	8" MULTI-TRUNK MISC. TREE	10125	18" LIVE OAK
6261	36" MULTI-TRUNK LIVE OAK	10136	14" LIVE OAK
6280	32" MULTI-TRUNK LIVE OAK	10137	14" LIVE OAK
6386	14" LIVE OAK	10138	14" LIVE OAK
6389	18" BOIS D'ARC	10189	22" MULTI-TRUNK LIVE OAK
6390	8" LIVE OAK	10235	24" LIVE OAK
6392	18" BOIS D'ARC	10319	28" LIVE OAK
6399	8" LIVE OAK	10427	30" PECAN
6400	8" CYPRESS	10536	24" PECAN
6402	24" CYPRESS	10562	14" LIVE OAK
6403	12" CYPRESS	10614	10" MULTI-TRUNK HOLLY
6404	18" CYPRESS	10730	18" LIVE OAK
6405	12" CYPRESS	10731	24" LIVE OAK

**CHATHAM HILL RD
RESIDENCE
NORTH PROPERTY
DALLAS TX**

REED-HILDERBRAND

Landscape Architecture
130 Bishop Allen Drive
Cambridge MA 02139
P617 923 2422 P617 923 3740
www.reedhilderbrand.com

MARWAN ALSAYED INC

ARCHITECTURE LANDSCAPE PRODUCTS
1112 San Julian Street,
Los Angeles, CA 90015
213 462 4805
inquiry@masasstudio.com

FOR PERMIT

Project Address
9330 HOLLOW WAY ROAD
DALLAS, TX 75220

Revisions
Number Date Description

Number	Date	Description

Job Number
Drawn by
Scale 1/8" = 1'-0" Date 25 MAY 2022

0 1 16'

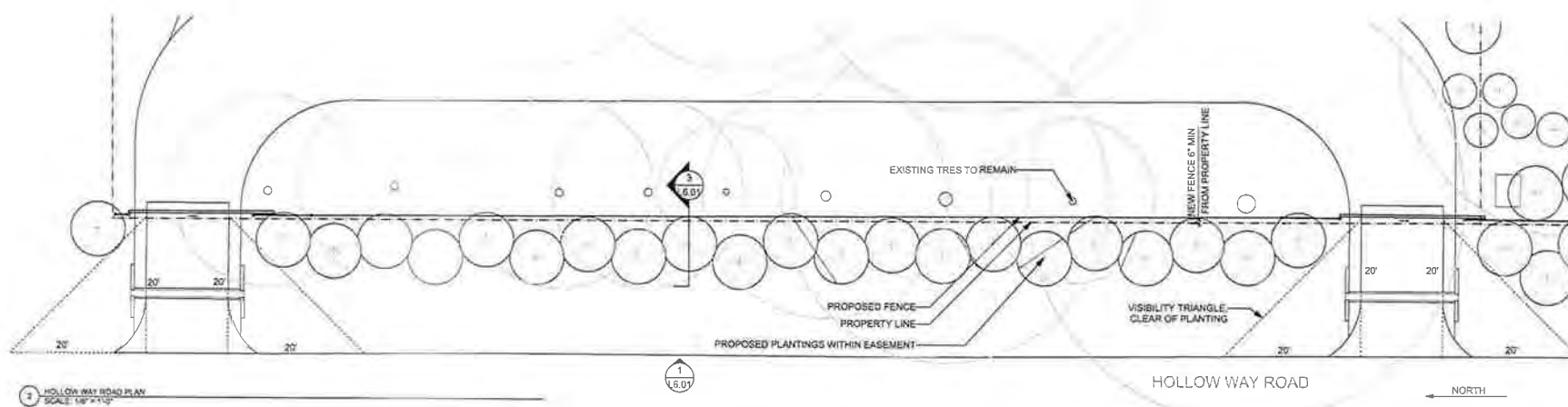
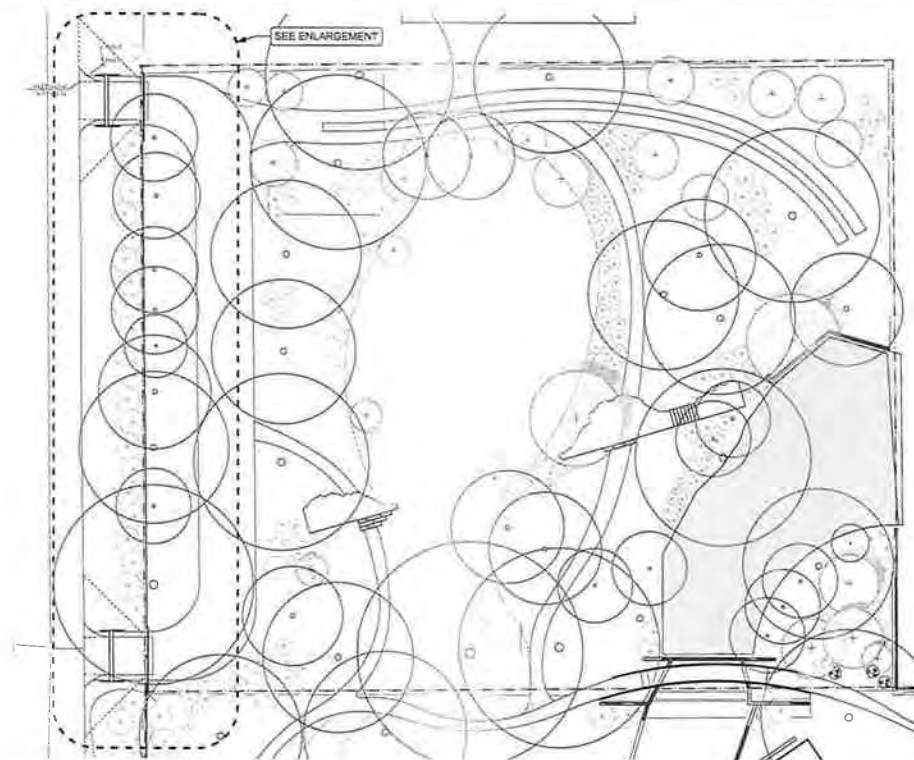
Stamp

Sheet Title

**NORTH PROP
SURVEY**

Sheet Number

L1.00



**CHATHAM HILL RD
RESIDENCE
NORTH PROPERTY
DALLAS TX**

REED+HILDERBRAND

NEEDY NEDERBORN
Landscape Architecture
130 Bishop Allen Drive
Cambridge MA 02139
P617 923 2422 F617 923 3740

www.hewlett-packard.com

MARWAN ALSAYED INC

1112 san julian street
los angeles, ca 90015
213.460.4808
inquiry@masastudio.com

FOR PERMITTING

Print Address

9330 HOLLOW WAY ROAD
DALLAS, TX 75220

Section

Number	Date	Description
--------	------	-------------

1	2	3
4	5	6

--	--	--

L6.00

PLAT OF
BATESON'S SUBDIVISION

OF LOT 19, BLOCK 7

PRESTON HOLLOW ADDN.

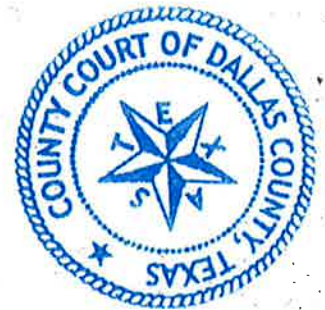
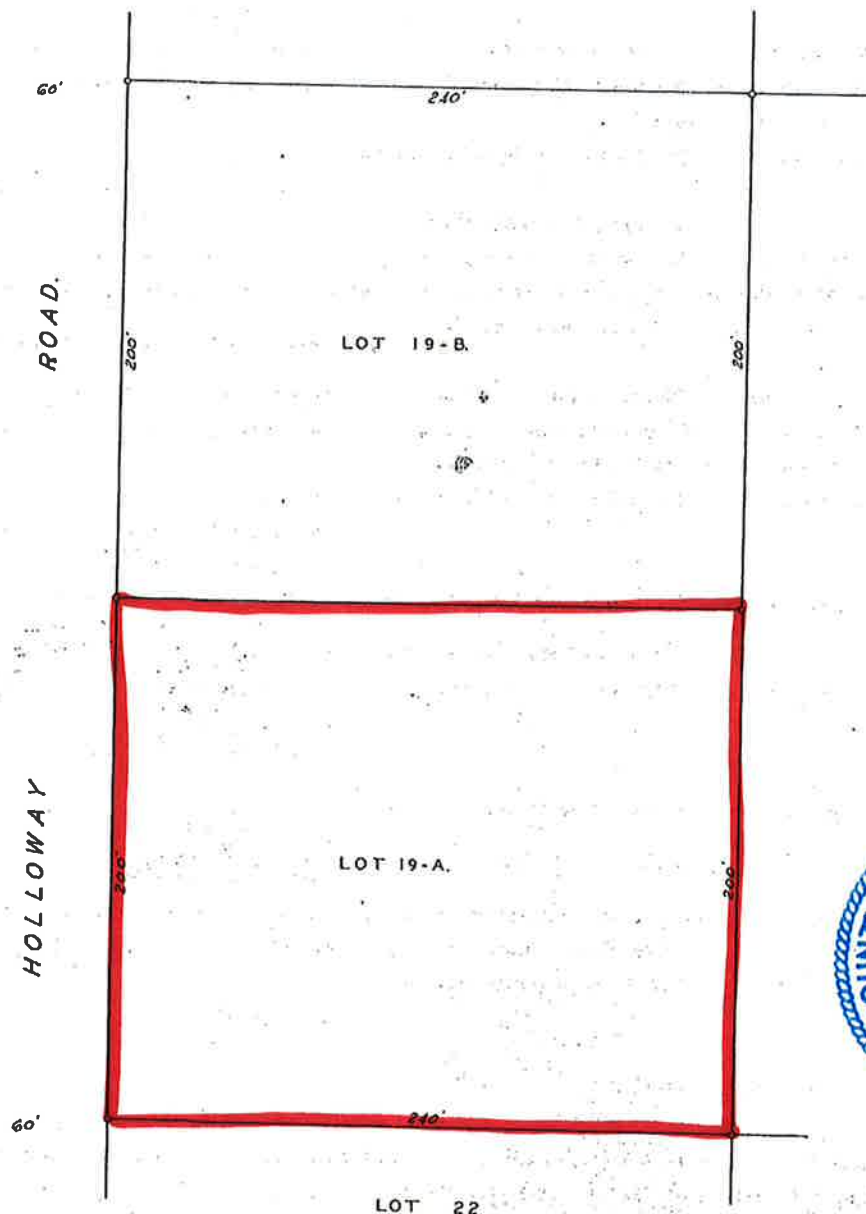
CITY OF DALLAS, TEXAS

SCALE 1" = 40' — NOV. 16, 1949

JOE R. JOHN

ENGINEER AND SURVEYOR.

LOT 15



LOT 22

Vol 14-295



Dallas Tax Parcels	NSO Overlay	Height Map Overlay	SP
Dead Restrictions	NSO Subdistricts	Shop Front Overlay	Turtle Creek Setback Corridor
Dry Overlay	MD Overlay	Parking Management Overlay	Demolition Delay Overlay
D	CD Subdistricts	Base Zoning	
D-1	PD Subdistricts	SPSD Overlay	
Historic Overlay	PD189 Oak Lawn	Pedestrian Overlay	
Historic Subdistricts	PDS Subdistrict	CP	
SUP			

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



1:1,128



e+double+wire+fence+panel&urlz=1C1GCEA_enUS928US928&tbm=isch&source=iu&ictx=1&vet=1&fir=9gwa1c5emzy4uM%252CLD-OF..._2VIM%252C_%253Bp7ZN4pCbB6F8bM%252CLD-ORI

ce panel



ural



modern fence gate



mesh



evolution



security fence



metal fence



welded wire mesh fence



gate



ble Wire Fence [1028bad] | AR...



Omega II Commercial Fence Products ...
peerlessfence.com



OMEGA II - EVOLUTION Double Wire
omegafence.com



- OMEGA ARCHITECTURAL
te.com



OMEGA II - SECUR Double Wire
omegafence.com



Omega II Fence Systems - Elite Double ...
pinterest.com



i Max



Omega II Fence Systems | Se...
arcat.com



OMEGA II - Omega Max
omegafence.com



Omega II Fence Systems - Omega...
pinterest.com



Omega Fence

OMEGA II - SECUR Double Wire

Images may be subject to copyright. [Learn More](#)

Related images



CITY OF DALLAS PLAT BOOKS

212-093

NO. PRESTON HOLLOW
ABST. 580

ADDITION PRESTON HOLLOW (PART)

BLOCKS 5597

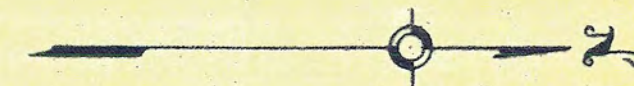
SCALE 100 FT. EQUALS 1 INCH

SCHOOL DIST. DALLAS

9-28-46

5 M.P.
731

212-093



BROOK

5600

5600

5600

ADDN.

PRESTON

HOLLOW

ADDITION

5600

9200

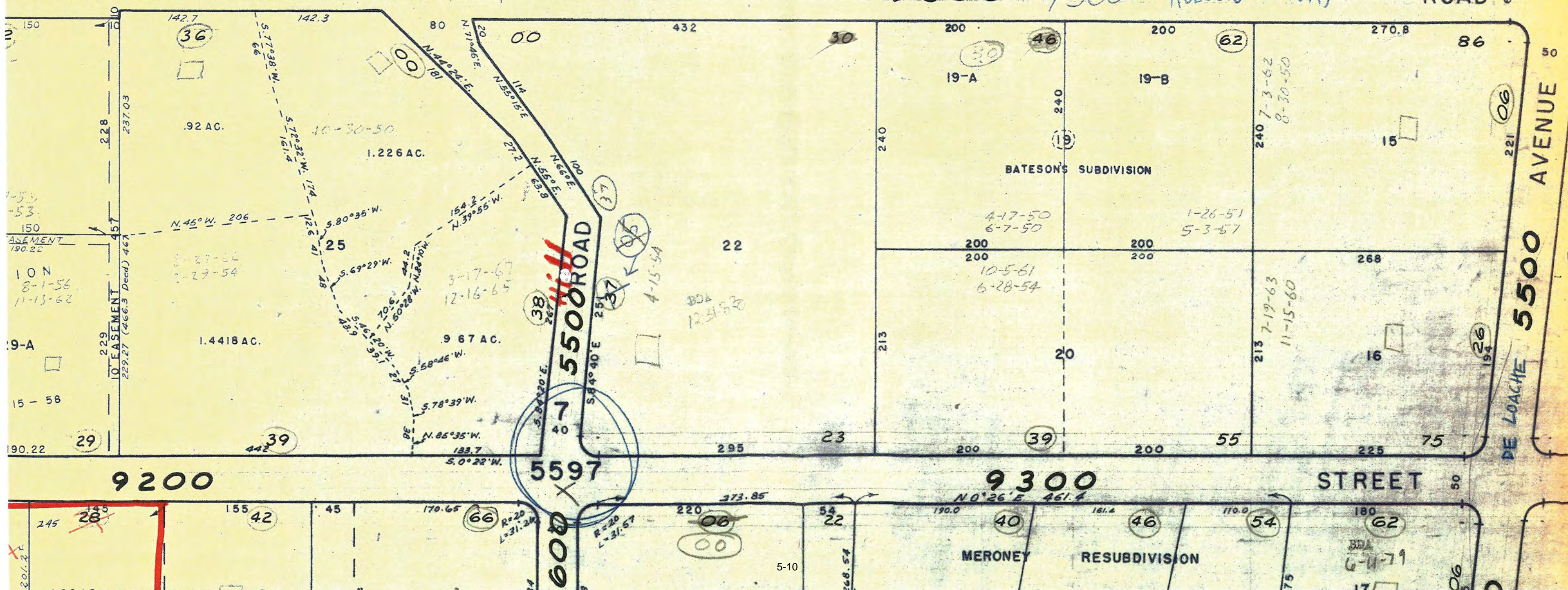
HOLLOW WAY

~~9300~~

9300

HOLLOW WAY

ROAD 60



REED+HILDERBRAND
Landscape Architecture
130 Bishop Allen Drive
Cambridge MA 02139
P617 923 2422 F617 923 3740
www.reedhilderbrand.com

FOR PERMITTING

Project Address
9330 HOLLOW WAY ROAD
DALLAS, TX 75220

[illegible]

Stamp _____

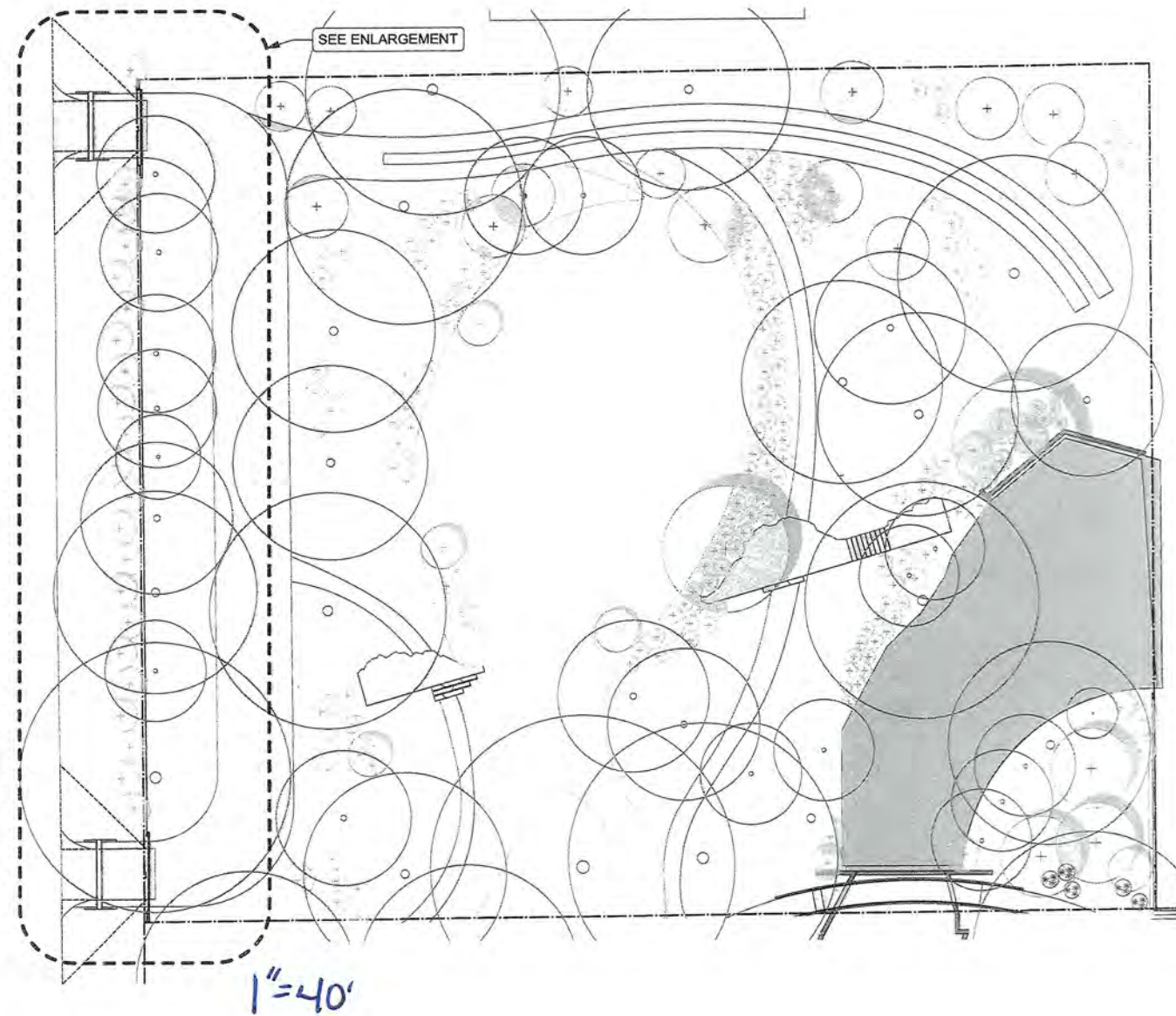
Sheet Title

HOLLOW WAY
FENCE
VARIANCE PLAN

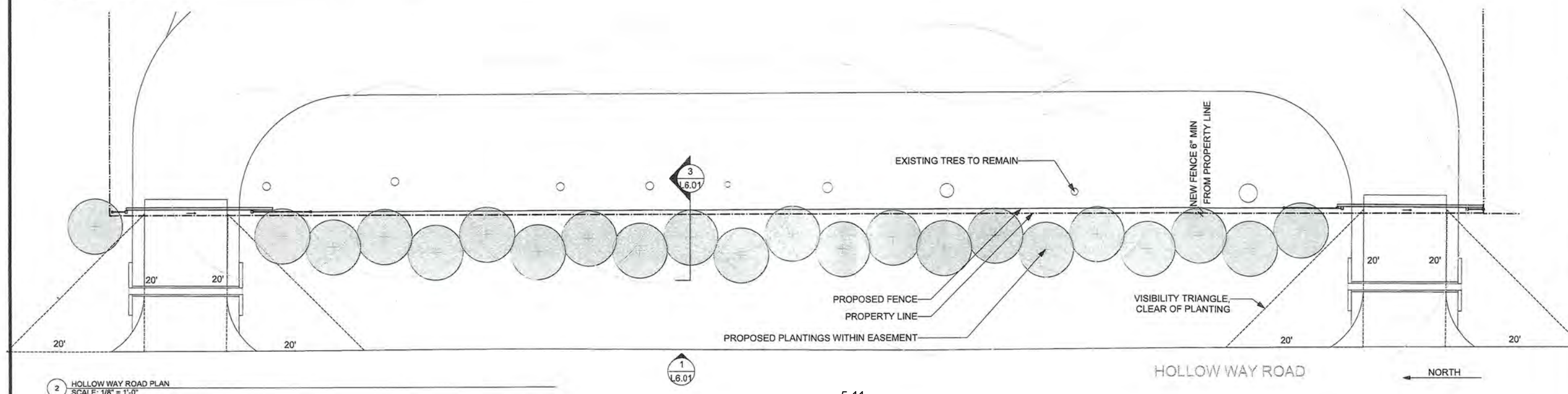
Sheet Number

L6.00

212-093



1 SITE PLAN
SCALE: 1" = 20'-0"



2 HOLLOW WAY ROAD PLAN
SCALE: 1/8" = 1'-0"



October 7, 2022

Charles Trammell
Chief Planner
Current Planning
1500 Marilla, 5BN
Dallas, TX 75201

RE: BDA212-093; 9330 Hollow Way Rd.

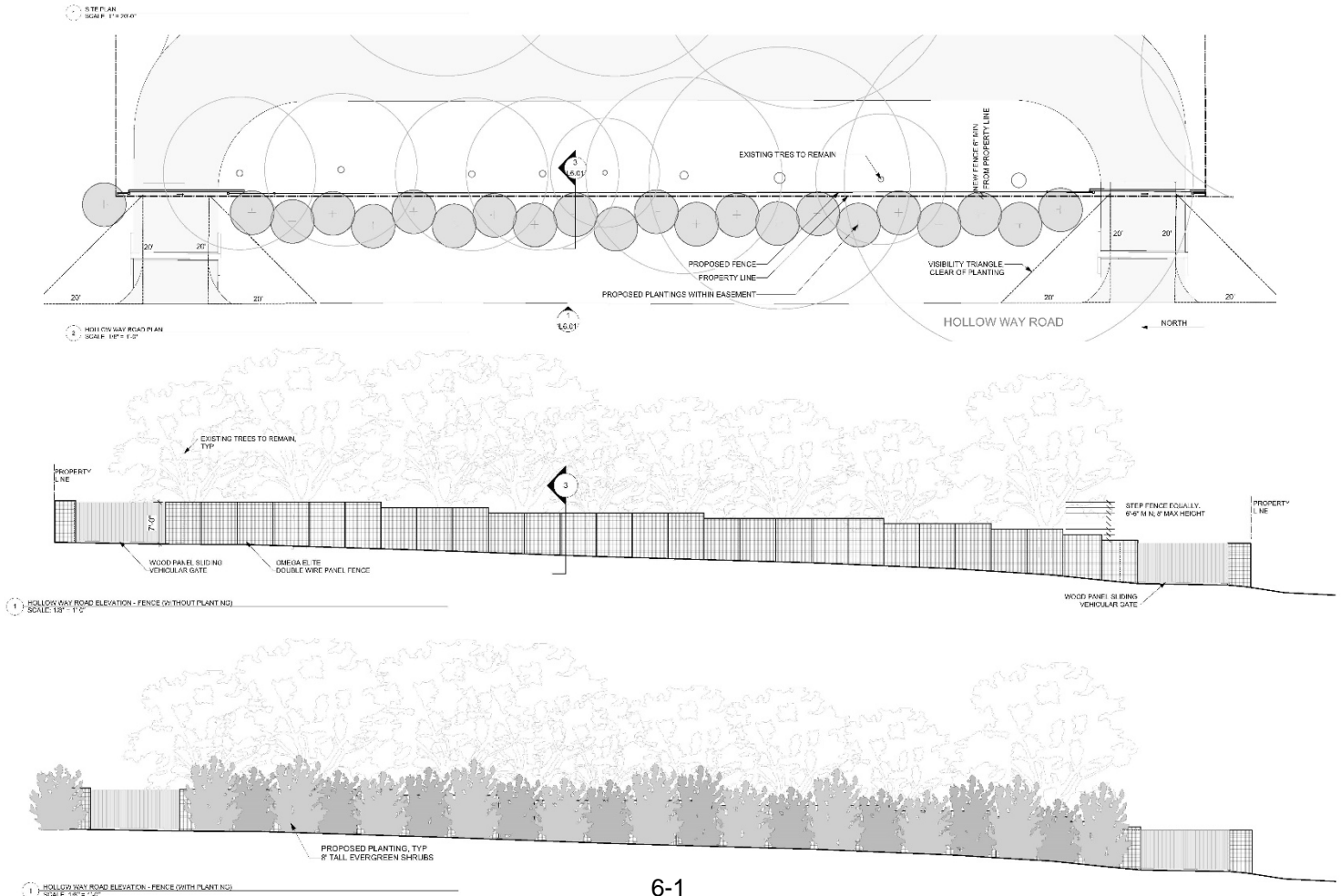
Dear Mr. Charles Trammell:

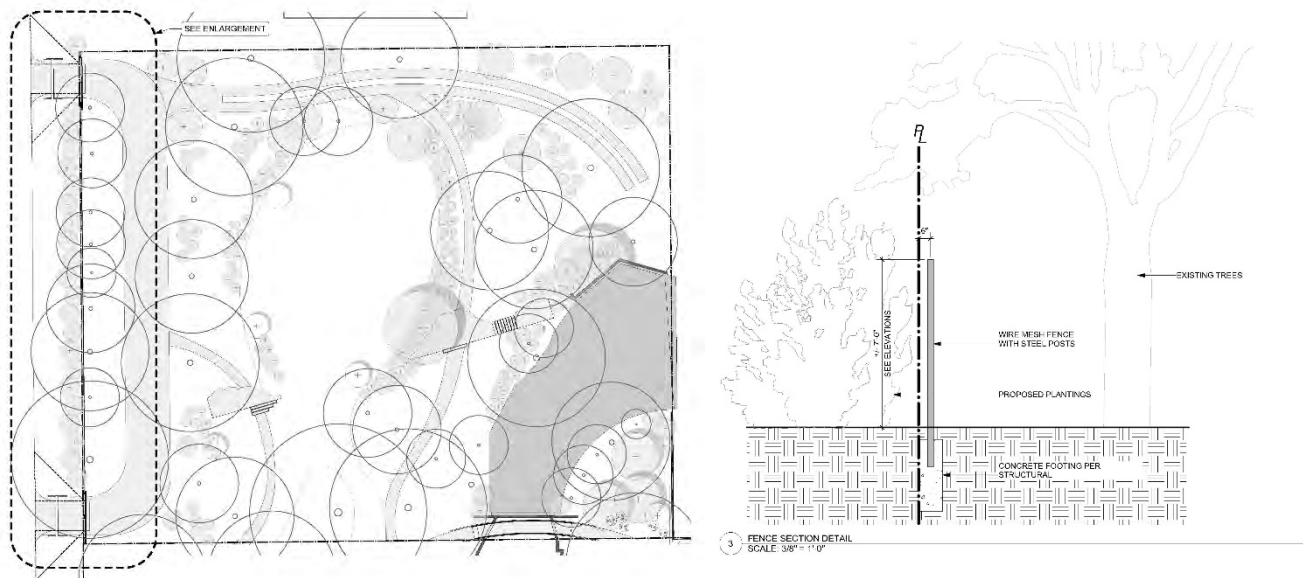
The subject site is located to the east of Hollow Way Road, between Chattham Hill Road and Deloache Avenue (commonly known as 9330 Hollow Way Road). In accordance with SEC. 51A-4.602, the subject site must comply with the following fence standard: "In all residential districts except multifamily districts, a fence may not exceed four feet above grade when located in the required front yard."

Along Hollow Way Road, the following is proposed:

- An eight-foot tall steel wire fence, with two non-opaque gates within 5-feet of the property line;
- Vegetative screening;

Therefore, a special exception to allow for a front yard fence within 5-feet from the property line that is less than 50% open and taller than 4-feet in height (not to exceed a maximum of 8-feet in height). The proposed fence location complies with visibility triangle and drive gate requirements per the regulations of the development code.





The proposed request is consistent with the surrounding neighborhood. Over the years similar requests have been approved. In 2018, a similar request was approved by the BDA for the property adjoining to the south (BDA178-086). The proposed fence will be a continuation in the design and style of the neighboring fence approved in 2018. We are proposing a predominantly open fence excluding the gate with vegetative screening along the front property line to provide privacy, security, and consistency with similar fence design in adjoining properties. The request will not cause any harm but only strengthen the character of the overall neighborhood. As part of our due diligence, we have reached to the neighboring property owners and have received multiple letters of support of our request.

The proposed request is in harmony with Section 51A-4.602 and the surrounding area. The request would allow for a fence to be constructed that is consistent with other fences in the neighborhood and would allow for the continuation of an approved fence on the adjoining property to the south.

Regards,

Trenton Robertson, AICP
Senior Consultant
Masterplan Texas

From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: 9930 Hollow Way
Date: Friday, July 22, 2022 12:05:30 AM
Attachments: [Fence Rendering.docx](#)

For your files.

This is from Terry Ledbetter. Map #9. Our immediate neighbor to the North.

With the exception of Angela Horowitz, we have notified all neighbors on your list. Ms. Anne Coke is very old and I've sent the notices to her children. I doubt anyone will care and I doubt they will respond.

Begin forwarded message:

From: Terry Ledbetter [REDACTED]
Subject: Re: 9930 Hollow Way
Date: July 21, 2022 at 5:22:43 PM MDT
To: Eric Reeves [REDACTED]
Cc: Laurie Ledbetter [REDACTED], Barbara Lane [REDACTED]
[REDACTED]

Eric-

I appreciate the information you have provided. I have no concerns with the plans you have presented.

Kind regards,

Terry

Terry Ledbetter

On Jul 20, 2022, at 6:50 PM, Eric Reeves [REDACTED] wrote:

Katherine and I hate to bug you. As you know, we purchased the property at 9930 Hollow Way Rd. last year. Our plan for the property is not to construct any buildings and to develop the property as an exceptional green space and garden. Hopefully, it will be an asset to our community and it will be visually pleasing for you.

In order to maintain a consistent fence line along Hollow Way, we are asking the City of Dallas for a special exception to allow the fence

and the fence line to be consistent with the entire line along Hollow Way. Attached below is a document to illustrate how it will look.

The fence line will be consistent in height and distance from the street as your front fence.

In order to accomplish this result, we need prior authorization from the City of Dallas Board of Appeals. The proposed fence will be located behind bushes so the view from the street would be well-maintained landscaping.

Under the circumstances, we respectfully request you to consider supporting our exemption request and to let us know how you feel about this request. We would appreciate a reply, either way. And, we will let the Board know of your position.

Please feel free to contact me personally at the number below or email me with any thoughts or concerns.

ERIC REEVES

Managing Director
High || STEPS, LLC



ERIC REEVES

Managing Director
High || STEPS, LLC



From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Cc: [Reeves Katherine Perot](#)
Subject: Fwd: Board of Appeals
Date: Tuesday, July 26, 2022 1:08:13 PM

Here is another positive response from a neighbor directly on Hollow Way. For your reference, this was neighbor number 4 on your map.

Eric

Begin forwarded message:

From: Donald James Carry [REDACTED]
Subject: Re: Board of Appeals
Date: July 26, 2022 at 11:59:05 AM MDT
To: Eric Reeves [REDACTED]

Eric,
The fence looks wonderful. We have no objections at all.
I hope your summer is going well.
Best,
James Carry

On Wed, Jul 20, 2022 at 7:37 PM Eric Reeves [REDACTED] > wrote:

Katherine and I hate to bug you. As you may know, we purchased the property at [9930 Hollow Way Rd.](#) last year. Our plan for the property is not to construct any buildings and to develop the property as an exceptional green space and garden. Hopefully, it will be an asset to our community.

In order to maintain a consistent fence line along Hollow Way, we are asking the City of Dallas for a special exception to allow the fence and the fence line to be consistent with the entire line along Hollow Way. Attached below is a document to illustrate how it will look.

In order to accomplish this result, we need prior authorization from the City of Dallas Board of Appeals. The proposed fence will be located behind bushes so the view from the street would be well-maintained landscaping.

Under the circumstances, we respectfully request you to consider supporting our exemption request and to let us know how you feel about this request. We would appreciate a reply, either way. And, we will let the Board know of your position.

Please feel free to contact me personally at the number below or email me with any thoughts or concerns.

ERIC REEVES

Managing Director
High || STEPS, LLC

[REDACTED]

--

D. James Carry
President
A.I.A. N.C.A.R.B.

D. JAMES CARRY design studio llc
5446 N. Dentwood Drive
dallas texas 75220

[REDACTED]

ERIC REEVES

Managing Director
High || STEPS, LLC

[REDACTED]

From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: Board of Appeals
Date: Tuesday, July 26, 2022 5:40:19 PM

For your files.

This is another neighbor on Hollow Way -
just outside your notification circle.

So, we are doing pretty well.

Eric

Begin forwarded message:

From: John Henry Seale [REDACTED]
Subject: Re: Board of Appeals
Date: July 26, 2022 at 2:52:29 PM MDT
To: Eric Reeves [REDACTED]
Cc: [REDACTED]

Hi Eric,

We are up in Montana getting ready to come back down to the heat. I hope you
and your Katherine are side stepping the heat.

Thank you for the heads up on your plans for Hollow Way. I remember you
bought that property once you were into the project. It looks like you are
extending the fence to include that property. Many people in our neighborhood do
that. Lots of fencing and wall treatments in Preston Hollow. We are no strangers
to large, fenced in lots. We have no particular objection to the attached treatment
on Hollow Way.

Henry and I will be back on Monday. Time to get ready for school... Take care

John Henry
John Henry Seale
CEO
GAP Assist, PBM
11700 Preston Road
Ste. 660 PMB# 395
Dallas, Texas 75230
[REDACTED]

On Thu, Jul 21, 2022 at 2:49 PM Eric Reeves [REDACTED] wrote:
Katherine and I hate to bug you. As you may know, we purchased the
property at 9930 Hollow Way Rd. last year. Our plan for the property

is not to construct any buildings and to develop the property as an exceptional green space and garden. Hopefully, it will be an asset to our community.

In order to maintain a consistent fence line along Hollow Way, we are asking the City of Dallas for a special exception to allow the fence and the fence line to be consistent with the entire line along Hollow Way. Attached below is a document to illustrate how it will look.

In order to accomplish this result, we need prior authorization from the City of Dallas Board of Appeals. The proposed fence will be located behind bushes so the view from the street would be well-maintained landscaping.

Under the circumstances, we respectfully request you to consider supporting our exemption request and to let us know how you feel about this request. We would appreciate a reply, either way. And, we will let the Board know of your position.

Please feel free to contact me personally at the number below or email me with any thoughts or concerns.

We love how your new work is coming along. Looks good.

ERIC REEVES

Managing Director
High || STEPS, LLC



ERIC REEVES

Managing Director
High || STEPS, LLC



From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: Letter of Support
Date: Thursday, July 28, 2022 10:21:57 AM

For the files

McGowen address is 9300 Hathaway

They are outside the circle of notice, but we thought it would help to have them.

Eric

Begin forwarded message:

From: Katherine Reeves <katherineperotreeves@me.com>
[REDACTED] **Support**
Date: July 28, 2022 at 9:04:33 AM MDT
To: ERIC REEVES [REDACTED]

Begin forwarded message:

From: Tammy McGowen <[\[REDACTED\]](#)>
Subject: Re: Letter of Support
Date: July 28, 2022 at 9:03:36 AM MDT
To: Katherine Reeves [REDACTED]

I support your proposed variance.

Tammy McGowen

On Jul 28, 2022, at 9:56 AM, Katherine Reeves
[REDACTED] wrote:

Dear Tammy and James,

Hope this finds you two well and enjoying your summer.

Attached you will find our proposed variance to our fence height for our property along Holloway. We would greatly appreciate it if you could indicate your support via email. Please reach out if you have any questions or concerns!

Sincerely,

Katherine and Eric

<Neighborhood Support Letter emr 20220712.docx>

ERIC REEVES

Managing Director
High || STEPS, LLC



Fence Request for 9930 Hollow Way Rd.

July 11, 2022

Dear Neighbors:

We hate to bug you during the summer. As you may know, we purchased the property at 9930 Hollow Way Road last year.

In order to maintain a consistent fence treatment for the entire property, we are in the process of requesting a special exception from the City of Dallas to allow for an 8' tall decorative metal fence with vegetation to be located along our property on Hollow Way Road within 5' of the property line. Current city codes do not allow any fences taller than 4' in height within 5' of the front property line without prior authorization from the Board of Appeals. I have attached to this letter a copy of our concept plan for the fence. Our proposed fence would be located behind bushes so the view from the street would be well-maintained landscaping.

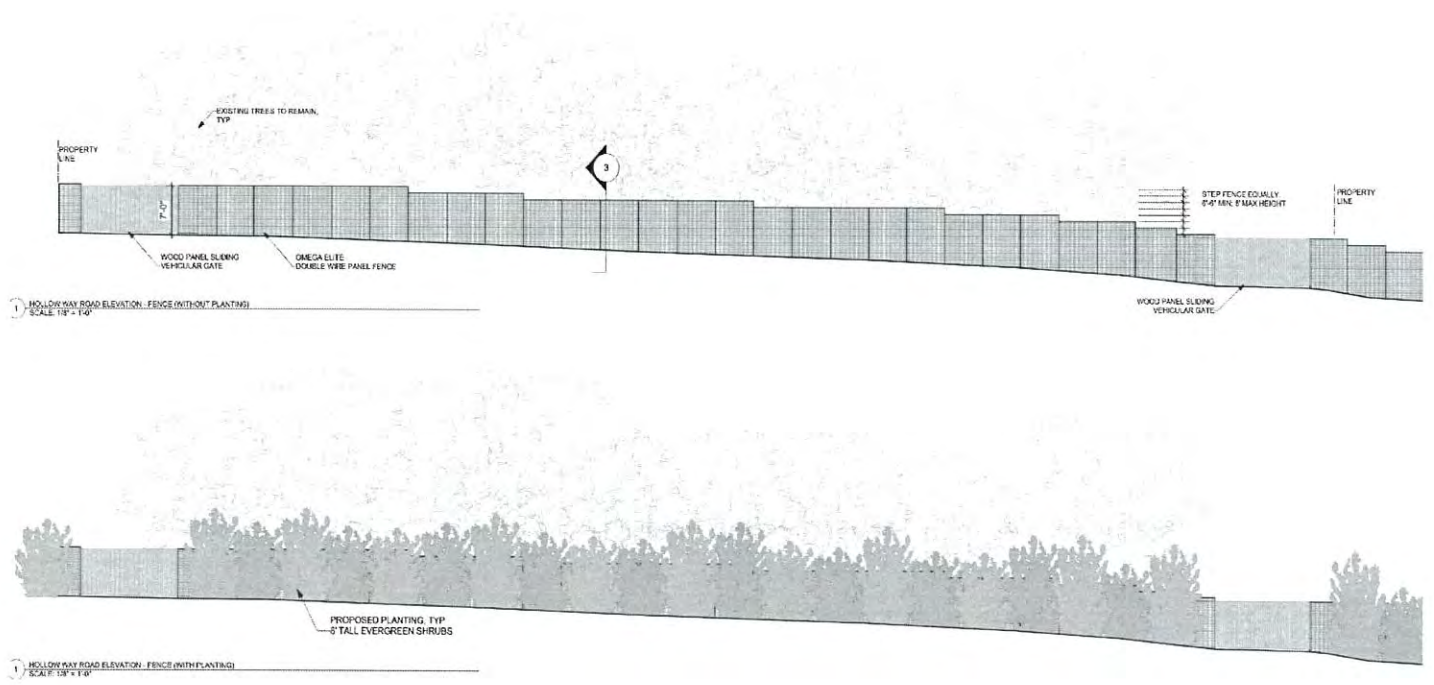
If approved, our fence will be consistent in height and treatment with our fence for 5505 Chatham Hill Road and will be consistent with the neighboring fences along Holloway Road. Unfortunately our only option to achieve our goal is going through the Board of Appeals. We hope you will agree and support our request.

We respectfully request you to consider signing the attached form in support of our exemption or communicate back to us via email so that we can hand deliver them to the City of Dallas to show support in our application. I invite you to contact me personally via email at [REDACTED] or phone at [REDACTED], to discuss any questions and/or concerns you may have.

Sincerely,

Eric and Katherine Reeves

5505 Chatham Hill Road



Fence Request for 9930 Hollow Way Rd.


July 11, 2022

Dear City Staff, Board of Appeals:

This letter is in support of the request to allow for 4 feet to be added to the maximum permitted fence height of 4 feet in the required along Hollow Way Road. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

Gil Moutray

(Printed Name)



(Signature)

7/21/22
(Date Signed)

9346 Hathaway St Dallas, TX 75220

(Address)

From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: Letter of Support
Date: Thursday, July 28, 2022 11:44:06 AM
Attachments: [Neighborhood Support Letter emr 20220712.docx](#)

Another letter of support from a nearby neighbor.

The Langes are just outside the notice circle and live at 9245 Hollow Way.

Begin forwarded message:

From: Tracy Lange [REDACTED]
Subject: Re: Letter of Support
Date: July 28, 2022 at 10:31:54 AM MDT
To: Katherine Reeves [REDACTED]
Cc: [REDACTED], Eric Reeves [REDACTED]

Katherine

I am sorry for the delayed response and appreciate you sending us a reminder. We are out of town so please accept this response as a Yes we support your proposed plan. It will be a nice addition to our street. If you need the form we can get it signed and back to you next week.

Thanks
Tracy

Sent from my iPhone

On Jul 28, 2022, at 7:49 AM, Katherine Reeves [REDACTED] wrote:

Dear Tracy and Ben,

I apologize for bothering you with this again, especially in the middle of the summer. Would you please take a quick look at the attached and let us know if you agree with our proposed fence height? An email confirmation will suffice. Thank you!

Katherine

On Jul 21, 2022, at 2:49 PM, Katherine Reeves [REDACTED] wrote:

Dear Tracy and Ben,

We hope this finds you and yours doing well and having

a happy summer!

Attached is a letter asking for your support for a fence variance. We would be so grateful if you could take a look.

Many thanks-

Katherine and Eric Reeves

<Neighborhood Support Letter emr 20220712.docx>

ERIC REEVES

Managing Director
High || STEPS, LLC



From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: Support letter
Date: Thursday, July 28, 2022 3:02:35 PM

Another supporter. For the files.

Eric Reeves
[REDACTED]

Begin forwarded message:

From: Walker Royall [REDACTED]
Date: July 28, 2022 at 12:56:35 PM MDT
To: Katherine Reeves [REDACTED] >, Jennifer Royall
[REDACTED]
Subject: Re: Support letter

Hello Katherine and Eric! I hope you're having a great summer.

Apologies for slow response, I am behind on my emails.

We have no problem with your fence request and support your application.

I believe ours is similar height.

Walker Royall
Briarwood Capital Corp
Wroyall@Briarwood-Capital.com

From: Katherine Reeves [REDACTED]
Sent: Thursday, July 28, 2022 10:50:19 AM
To: Walker Royall [REDACTED]; Jennifer Royall
[REDACTED]
Cc: Eric Reeves [REDACTED]
Subject: Re: Support letter

Dear Walker and Jennifer,

I apologize for bothering you with this again, especially in the middle of the summer. Would you please take a quick look at the attached and let us know if you agree with our proposed fence height? An email confirmation will suffice. Thank you!

Katherine

> On Jul 20, 2022, at 11:38 PM, Katherine Reeves [REDACTED]
wrote:

>

> Dear Walker and Jennifer,

>

> We are applying for a fence variance and would be very grateful if we could have
your support. Please see attached.

>

> Hope you and yours are having a happy summer!

>

> Sincerely,

>

> Katherine and Eric

>>

> <Neighborhood Support Letter emr 20220712.docx>

>

From: [Eric Reeves](#)
To: [Trenton Robertson](#)
Subject: Fwd: Support letter
Date: Thursday, July 28, 2022 3:01:22 PM
Attachments: [Neighborhood Support Letter emr 20220712.docx](#)

For your file. Another supporter.

Eric Reeves
[REDACTED]

Begin forwarded message:

From: Cameron Smith [REDACTED]
Date: July 28, 2022 at 1:45:07 PM MDT
To: Katherine Reeves <[REDACTED]>
Cc: Cameron and Clay Smith [REDACTED], Eric Reeves
[REDACTED]
Subject: Re: Support letter

Hi Katherine - I am so sorry that i did not get this back to you before we left town.
We are headed back today and can sign and scan it to you but we absolutely
support your fence height request.
Thanks for your email!
Best,
Cameron
Sent from my iPhone

On Jul 28, 2022, at 8:47 AM, Katherine Reeves
[REDACTED] wrote:

Dear Cameron and Clay,

I apologize for bothering you again with this especially in the middle
of the summer. Would you please take a quick look at the attached
and let us know if you agree with our proposed fence height? An
email confirmation will suffice. Thank you!

On Jul 20, 2022, at 11:41 PM, Katherine Reeves
[REDACTED] > wrote:

Dear Cameron and Clay,

I hope this finds you and yours doing well! We are applying for a fence variance at our new home and would be grateful if we could have your support. Please see attached.

Hope your summer is a happy one!

Sincerely,

Katherine and Eric

<Neighborhood Support Letter emr 20220712.docx>

From: [ERIC REEVES](#)
To: [Trenton Robertson](#)
Cc: [Maddie Spiecher](#)
Subject: Re: Another Support
Date: Wednesday, August 10, 2022 9:29:15 AM

Mrs. Coke resides at 5433 N Dentwood. Her daughter lives in CA somewhere.

ER

On Aug 10, 2022, at 7:59 AM, Trenton Robertson
<trobertson@masterplantexas.com> wrote:

Thank you. Do you have their address by chance?

Best Regards,

<image001.png>

<image002.jpg>

Trenton Robertson, AICP

Senior Consultant

E trobertson@masterplantexas.com

C 972-561-8732 - **O** 214-389-2284

2201 Main St., Suite 1280, Dallas, TX 75201

masterplantexas.com | labarbapermitservice.com

From: ERIC REEVES [REDACTED]

Sent: Tuesday, August 9, 2022 10:05 PM

To: Trenton Robertson [REDACTED]

Subject: Another Support

This supportive response relates to the neighbor at 5433 N Dentwood Dr., Mrs. Ann Schoellkopf Coke. Mrs. Coke is quite elderly and the family asked me to contact her daughter Sarah Coke King.

The response is supportive.

There are only 3 neighbors in the notification circle that have had no response:
Cuban, Horowitz, and King.

Eric

Sorry, I thought I'd responded but left it in my draft folder...

My mom is definitely in favor of your plan with the plantings and wall along Holloway.
SARAH

Sent from my iPad

On Jul 22, 2022, at 4:41 PM, Sarah King [REDACTED] >
wrote:

Thanks for the quick response, Eric. So I've got it now! And I honestly love the idea of a green space and garden with a natural fence line of bushes, trees to obscure an actual fence or wall.

I'm sure Mom will be fine with it so I will give her a call over the weekend about this and let you know. Like your dear mother-in-law, my mom is soon to be 90. She is incredibly hard of hearing and gets confused easily so I'm glad you reached out to me. And I'm happy to help.

I don't know when you and Katherine will actually move into the neighborhood, but welcome in advance. My parents bought their house on Dentwood in 1968 when I was a first grader. It is such a beautiful and peaceful area. I used to hang out with Dede Percy in the old house on your property. And my 10 year Hockaday reunion was held there. The Thompsons bought the property from the Percy family many years ago as you probably already know. It is a great place to just soak in a pastoral feel in the midst of the Big city.

I'll be in touch.
Sarah
Sent from my iPad

Fence Request for 9930 Hollow Way Rd.

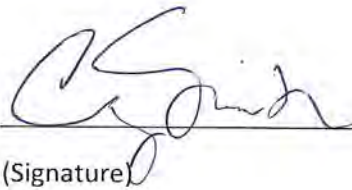
July 11, 2022

Dear City Staff, Board of Appeals:

This letter is in support of the request to allow for 4 feet to be added to the maximum permitted fence height of 4 feet in the required along Hollow Way Road. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

Clay Smith

(Printed Name)



(Signature)

7-28-22

(Date Signed)

5526 Deloach Ave, Dallas, TX 75220

(Address)

FILE NUMBER: BDA212-094(OA)

BUILDING OFFICIAL'S REPORT: Application of Trenton Robertson for a special exception to the fence height regulations, and for a special exception to the visibility obstruction regulations at 9915 Avalon Creek Court. This property is more fully described as Lot 12-A, Block B/5517, and is zoned an R-10(A) Single Family District, which limits the height of a fence in the front yard to four feet and requires a 20-foot visibility triangle at driveway approaches. The applicant proposes to construct a seven-foot-high fence in a required front yard which would require a three-foot special exception to the fence regulations, and to construct a single-family residential fence structure in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation.

LOCATION: 9915 Avalon Creek Court

APPLICANT: Trenton Robertson

REQUEST:

The applicant proposes to construct and maintain a seven-foot-tall decorative metal fence with a metal drive double gate with stone columns located within the required front yard and portion of the fence encroaching within the two 20-foot visibility triangles at the driveway approaches at Avalon Creek Court. The site is developed with a single-family home.

STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS:

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards when, in the opinion of the board, the special exception will not adversely affect neighboring property.

STAFF RECOMMENDATION:

No staff recommendation is made on this or any request for a special exception to the fence standards since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

Section 51A-4.602(d)(3) of the Dallas Development Code states that the board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the board, the item will not constitute a traffic hazard.

STAFF RECOMMENDATION:

No staff recommendation is made on this or any request for a special exception to the visual obstruction regulations since the basis for this type of appeal is when in the opinion of the board, the item will not constitute a traffic hazard. However, staff does provide a technical opinion to assist in the board's decision-making.

The Sustainable Development and Construction Senior Engineer reviewed the proposed obstructions for the fence and recommends denial of the requests stating that the city should aggressively manage obstructions to visibility triangles. Exceptions to visibility standards should only be considered for unique circumstances and/or hardship.

BACKGROUND INFORMATION:

Zoning:

Site: R-10(A) Single Family District
North: R-10(A) Single Family District
East: R-10(A) Single Family District
South: R-10(A) Single Family District
West: R-1ac(A) (Single Family District)

Land Use:

The subject site and all surrounding properties are developed with single-family uses.

Zoning/BDA History:

There have not been any related board or zoning cases in the vicinity within the last five years.

GENERAL FACTS/STAFF ANALYSIS:

This request for a special exception to the fence standards regulations related to a height of three feet is made to construct and maintain a seven-foot-tall decorative metal fence, with metal drive double gate with stone columns located within the required front yard and portion of the fence encroaching within the two 20-foot visibility triangles at the driveway approaches at Avalon Creek Court. The property is developed with a single-family home.

The Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed four feet above grade when located in the required front yard. The subject site is irregular in shape zoned a R10(A) Single Family District which requires a 30-foot front yard setback.

The following information is shown on the submitted site plan:

- The proposed fence is located at the lot line along Avalon Creek Court or approximately 10 feet from the pavement line.
- The length of the proposed fence in the front yard along Avalon Creek Court is approximately 107 feet and 30 feet perpendicular to the street on the east and west side of the lot.

Staff conducted a field visit of the site and surrounding area, approximately 400 feet around the subject site, and noticed several similar fences that appear to be above four feet-in-height and located in a front yard setback.

As of October 5, 2022, four letters have been submitted in support and none in opposition to this request.

The applicant has the burden of proof in establishing that the special exception to the fence height regulations will not adversely affect neighboring property.

Additionally, Section 51A-4.602(d) of the Dallas Development Code states the following: a person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:

- in a visibility triangle as defined in the Code (45-foot visibility triangles at street intersections and 20-foot visibility triangles at drive approaches and at alleys on properties zoned single-family); and
- between two-and-a-half and eight feet-in-height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).

As further noted on the site plan, the proposed fence would obstruct:

- Portions of metal drive double gate with stone columns will be in two 20-foot visibility triangles on the east and west side of the driveway approach at the intersection with Avalon Creek Court.

The Sustainable Development Department Senior Engineer has objections to the request and determined that the City of Dallas should aggressively manage obstructions to visibility triangles (**Attachment A**).

The applicant has the burden of proof to establish how granting these requests to maintain the metal drive double gate with stone columns in the two 20-foot visibility triangles on either side of the driveway do not constitute traffic hazards.

Granting these requests with a condition imposed that the applicant complies with the submitted site plan and elevation would limit the items in the two 20-foot visibility triangles on the east and west side driveway approach at the intersections with Avalon Creek Court to what is shown on these documents.

Timeline:

July 18, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents that have been included as part September 1, 2022: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel C.

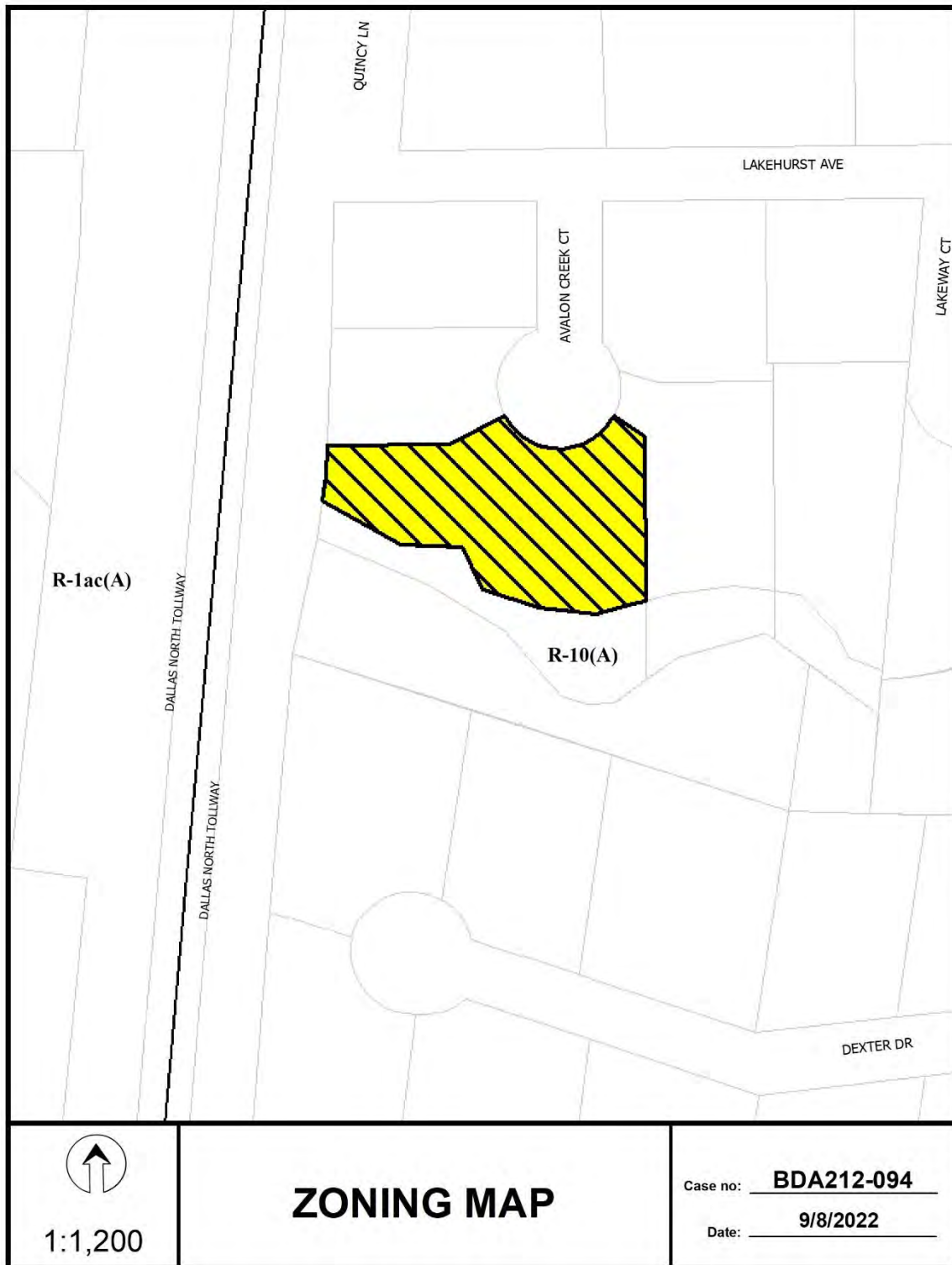
September 9, 2022: The Board Administrator emailed the applicant the following information:

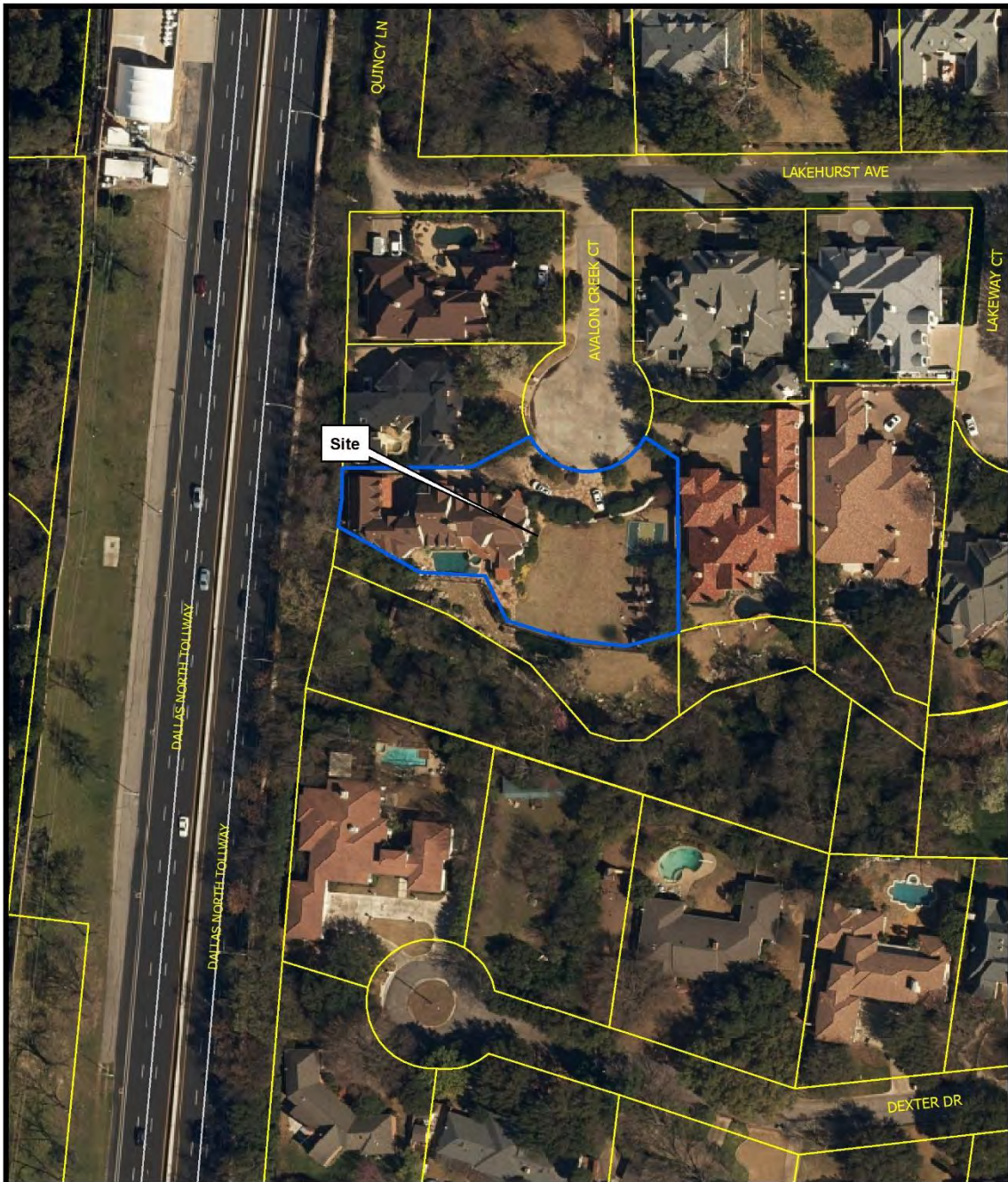
- a copy of the application materials including the Building Official’s report on the application.
- an attachment that provided the public hearing date and panel that will consider the application; the September 28th deadline to submit additional evidence for staff to factor into their analysis; and the October 7th deadline to submit additional evidence to be incorporated into the Board’s docket materials.
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

September 29: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the October public hearing. Review team members in attendance included: the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, the Assistant City Attorney to the Board, and Jason Pool Senior Planner.

October 3, 2022: The Sustainable Development and Construction Senior Engineer submitted a review comment sheet (Attachment A).

October 7, 2022: The applicant submitted additional information to staff beyond what was submitted with the original application (**Attachment A**).





1:1,200

AERIAL MAP

Case no: **BDA212-094**

Date: **9/8/2022**



09/06/2022

Notification List of Property Owners

BDA212-094

15 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	9915 AVALON CREEK CT	C & C RESIDENTIAL PROPERTIES INC
2	5815 DEXTER DR	MILLER CHARLES B FAMILY TRUST
3	5815 DEXTER DR	CHT TRUST
4	5801 DEXTER DR	DANON GREGG M
5	5813 DEXTER DR	MILLER CHARLES B FAMILY TRUST
6	10 AVALON CREEK CT	PROSPERITY BANK
7	10 AVALON CREEK CT	TOLEDO VICTOR & THOMY SUE
8	10 AVALON CREEK CT	PETERSON ROBERT W & JENIFER P
9	9922 LAKEWAY CT	SMITH KAREN A
10	9923 AVALON CREEK CT	BANKSTON CATHERINE NEMECEK
11	9919 AVALON CREEK CT	MGSB FAMILY TRUST
12	5822 LAKEHURST AVE	REED CRICKETT S & SCOTT W REED
13	9925 LAKEWAY CT	HEFFELFINGER MICHAEL
14	9918 AVALON CREEK CT	CREASON MATTHEW F &
15	5818 LAKEHURST AVE	COLLINS RICHARD H



APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 212-094

Data Relative to Subject Property:

Date: 10 June 2022

Location address: 9915 Avalon Creek CT Zoning District: R-10(A)

Lot No.: 12A Block No.: B/5515 Acreage: 0.642 Census Tract: _____

Street Frontage (in Feet): 1) 107 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): CREME ANTHONY N & KALI N

Applicant: Masterplan (Trenton Robertson, AICP) Telephone: 972-561-8732

Mailing Address: 2201 Main St, Suite 1280, Dallas, TX Zip Code: 75201

E-mail Address: trobertson@masterplantexas.com

Represented by: Masterplan (Trenton Robertson, AICP) Telephone: 972-561-8732

Mailing Address: 2201 Main St, Suite 1280, Dallas, TX Zip Code: 75201

E-mail Address: trobertson@masterplantexas.com

Affirm that an appeal has been made for a Variance __, or Special Exception X, of 3 feet to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court. Add Visibility triangle. Am

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
The proposed decorative fence will not negatively impact surrounding properties. Other properties in the vicinity also have front yard fences that exceed 4' in height of similar design and height. The requested fence will also provide additional privacy and safety.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

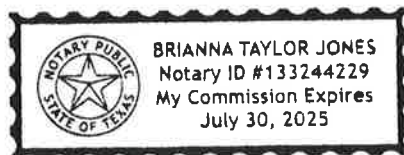
Affidavit

Before me the undersigned on this day personally appeared Trenton Robertson
(Affiant/Applicant's name printed)
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 18 day of July, 2022

(Rev. 08-01-11)



Notary Public in and for Dallas County, Texas

**MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT**

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks

Chairman

Building Official's Report

I hereby certify that Trenton Robertson

did submit a request for a special exception to the fence height regulations, and for a special exception to the visibility obstruction regulations
at 9915 AVALON CREEK COURT

BDA212-094. Application of Trenton Robertson for a special exception to the fence height regulations, and for a special exception to the visibility obstruction regulations at 9915 AVALON CREEK CT. This property is more fully described as block B/5515 lot 12-A and is zoned R-10(A), which limits the height of a fence in the front yard to 4 feet and requires a 20 foot visibility triangle at driveway approaches. The applicant proposes to construct an 8 foot 6 inch high fence in a required front yard, which will require a 4 foot 6 inch special exception to the fence regulations, and to construct a single family residential fence structure in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation

Sincerely,


David Session, Building Official



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 212-094

I, Anthony N & Kali N Creme, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 9915 Avalon Creek CT
(Address of property as stated on application)

Authorize: Trenton Robertson
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

 Variance (specify below)

 X Special Exception (specify below)

 Other Appeal (specify below)

Specify: 3 feet to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court.

Anthony N. Creme Kali N. Creme
Print name of property owner or registered agent

Anthony N. Creme Kali N. Creme
Signature of property owner or registered agent

Date 7/16/22

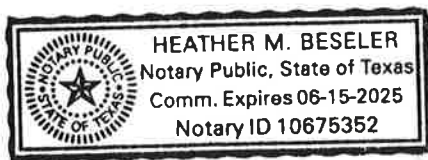
Before me, the undersigned, on this day personally appeared Anthony Creme & Kali Creme

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 16 day of July, 2022

Heather M. Besler
Notary Public for Dallas County, Texas

Commission expires on 6/15/25





Printed: 7/25/2022

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





SCALE: 1" = 30'



LOCATION MAP
Scale: 1" = 1000'

NORTH DALLAS TOLLWAY
(Variable Width R.O.W.)

LAKEHURST (a 50' R.O.W.) AVENUE

PLACE OF
BEGINNING

AVALON CREEK COURT
(a 60' R.O.W.)

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

PLACE OF
BEGINNING

- Note: 1. The reason for this Replat is to create one lot.
2. Bearings are based on Monuments marking the north line of the two subject lots being S 89° 19' 41" E according to the Final Plat of the Estates of Avalon recorded in Volume 2001011, Page 3719 of the Deed Records of Dallas County, Texas.
3. Lot to lot drainage will not be allowed without Engineering Section approval.

LINE	LENGTH	BEARING
E1	9.01	N87°47'45"W
E2	3.49	N82°24'18"E
E3	14.01	N82°24'18"E
E4	61.61	N82°24'18"E
E5	53.47	N88°21'28"W
E6	39.11	N25°25'21"W
E7	43.25	N72°10'19"W
E8	16.85	N87°47'27"W
E9	19.00	S87°13'54"W
E10	29.89	S88°17'34"W
E11	31.49	S71°17'45"W
E12	54.72	S88°18'06"W
E13	57.11	N79°46'47"W
E14	42.27	N47°15'47"W
E15	20.09	N09°42'01"W
E16	23.94	N45°58'15"W

LEGEND

- BL - Building Line
HOA - Home Owner's Association
C.M.S. - City of Dallas Floodway monument set
C.M.F. - City of Dallas Floodway monument found
FFY - Finished Floor
FFY - Finished Floor
CM - Control Monument



FINAL PLAT
GRISHAM ADDITION

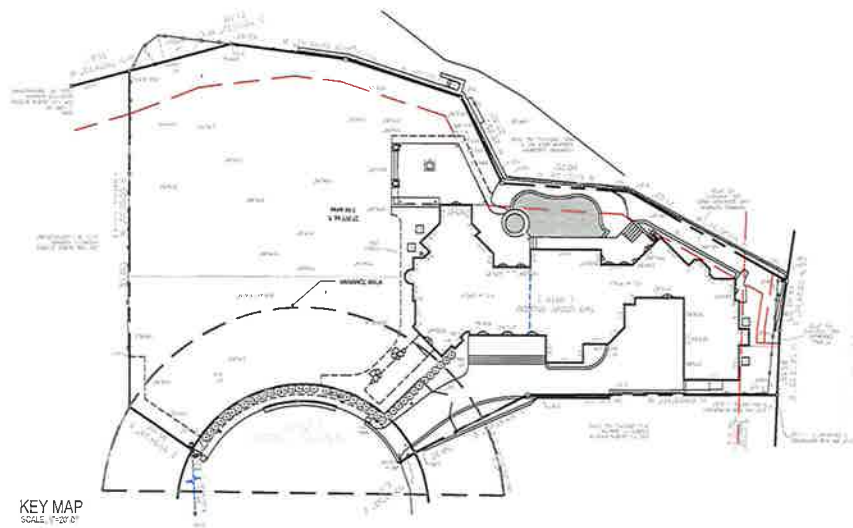
Lot 12A, Block B/5515
A REPLAT OF
Lot 12, Block B/5515 Estates of Avalon
and
Lot 13A, Block B/5515 McCarter Addition
27.978 s.f./0.6423 Acres
C.G. NEWTON SURVEY, ABSTRACT NO. 1091
CITY OF DALLAS, DALLAS COUNTY, TEXAS
CITY PLAN FILE NO. 5078-039

OWNERS
SHAWN M. GRISHAM and
DANICE D. GRISHAM
8915 Avalon Creek Court ~ Dallas, Texas 75230
214-704-0331

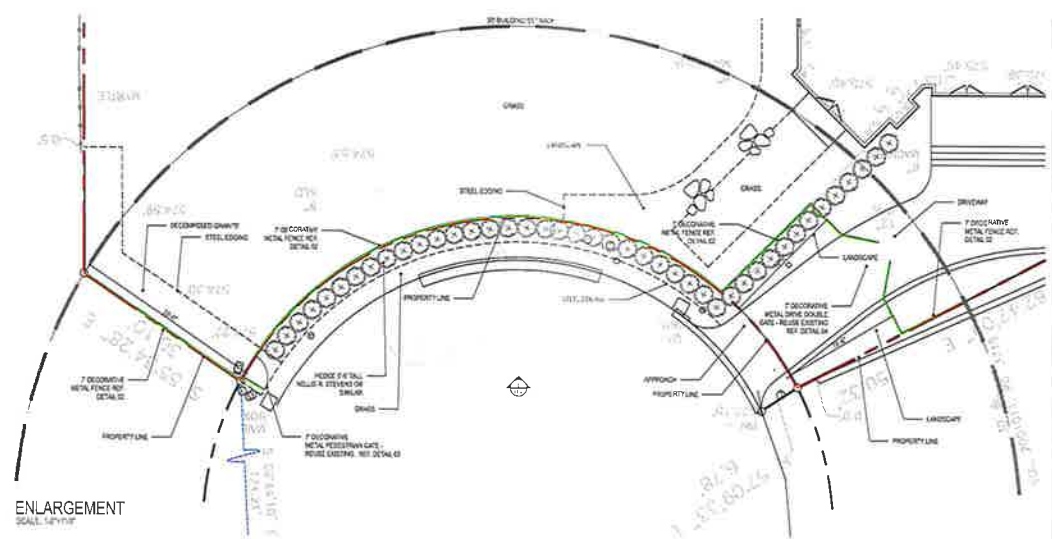
TIPTON ENGINEERING, INC.
ENGINEERING • SURVEYING • PLANNING
6326 Broadway Blvd. • Suite C • Garland, Texas 75043 • (214) 228-2957

1 LOT 27.978 Sq.Ft./0.6423 Ac.

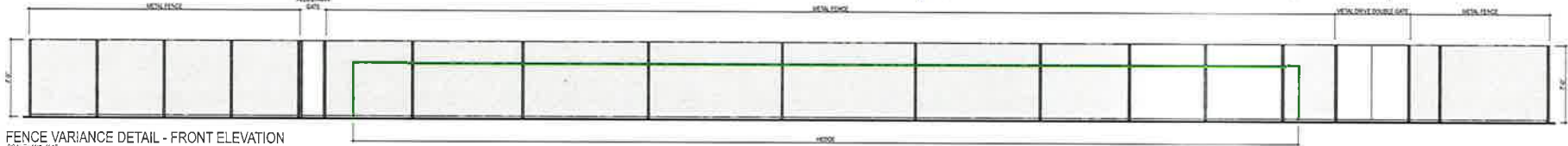
04/01/08 #4904



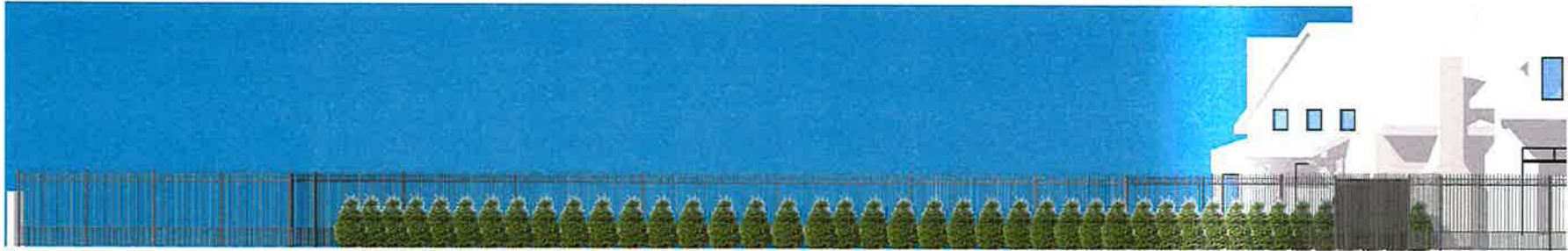
KEY MAP
SCALE: 1"=20' 0"



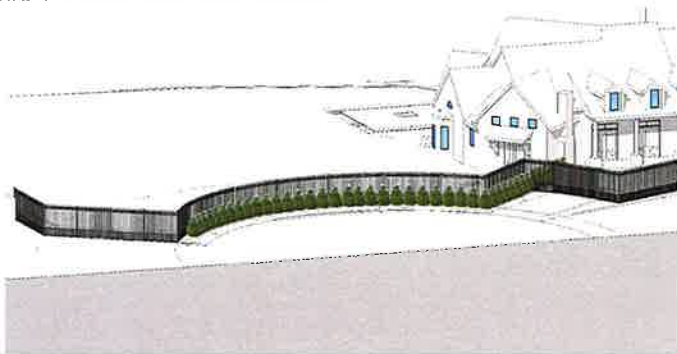
ENLARGEMENT
SCALE: 1/4"=1'-0"



01 FENCE VARIANCE DETAIL - FRONT ELEVATION
SCALE: 1/4"=1'-0"



A FENCE VARIANCE DETAIL - FRONT ELEVATION
SCALE: 1/4"=1'-0"



B FENCE VARIANCE DETAIL - FRONT PERSPECTIVE
SCALE: 1/4"=1'-0"



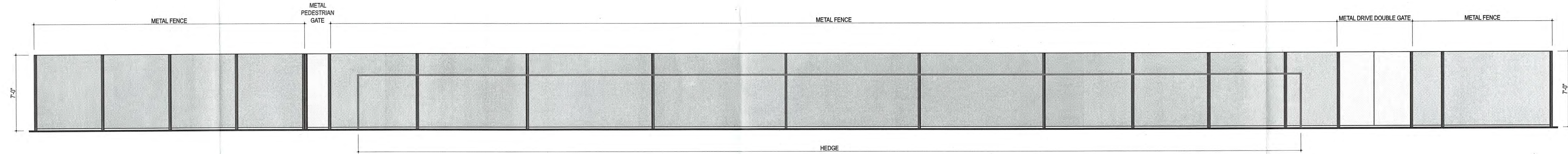
04 DRIVE GATE
SCALE: 1/4"=1'-0"



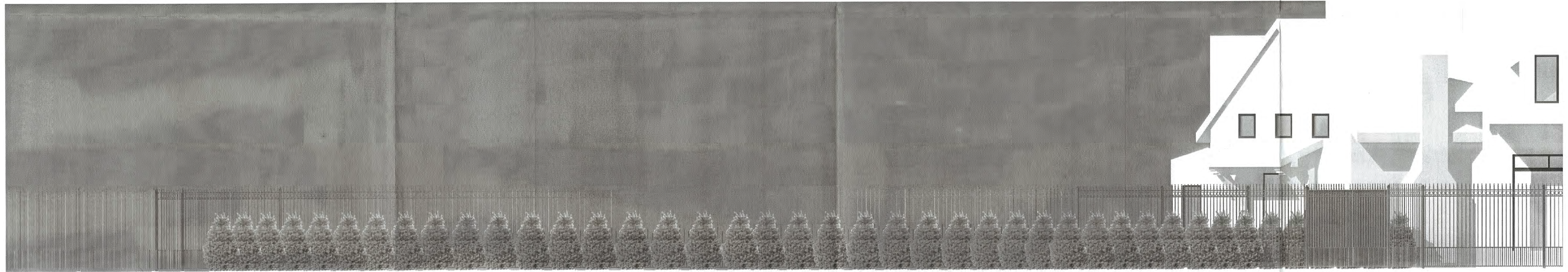
03 PEDESTRIAN GATE
SCALE: 1/4"=1'-0"



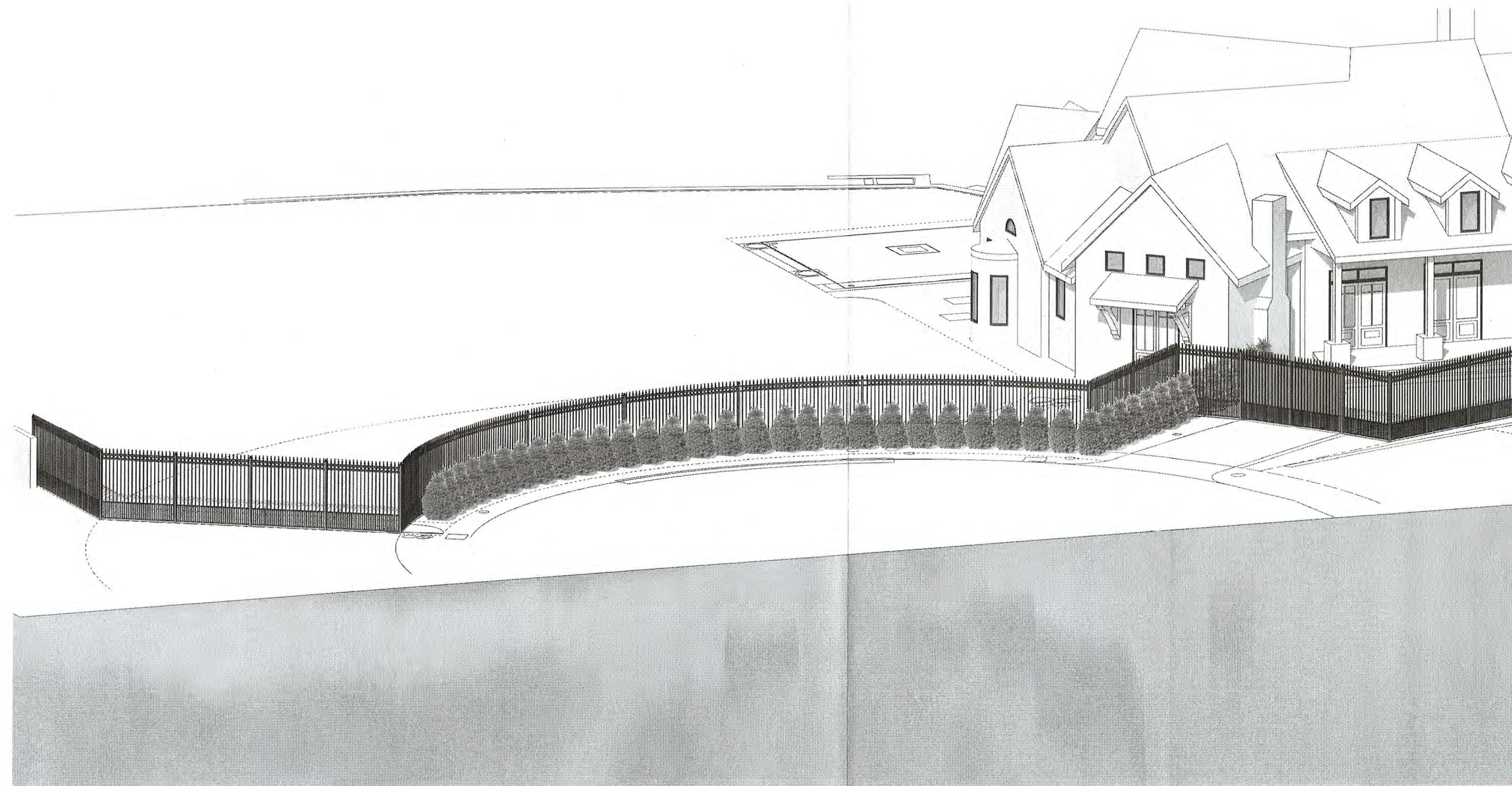
02 FENCE VARIANCE TYPICAL DETAIL
SCALE: 1/4"=1'-0"



01 FENCE VARIANCE DETAIL - FRONT ELEVATION
SCALE: 3/16"=1'-0"



A FENCE VARIANCE DETAIL - FRONT ELEVATION ILLUSTRATIVE
SCALE: NOT TO SCALE



B FENCE VARIANCE DETAIL - FRONT PERSPECTIVE ILLUSTRATIVE
SCALE: NOT TO SCALE

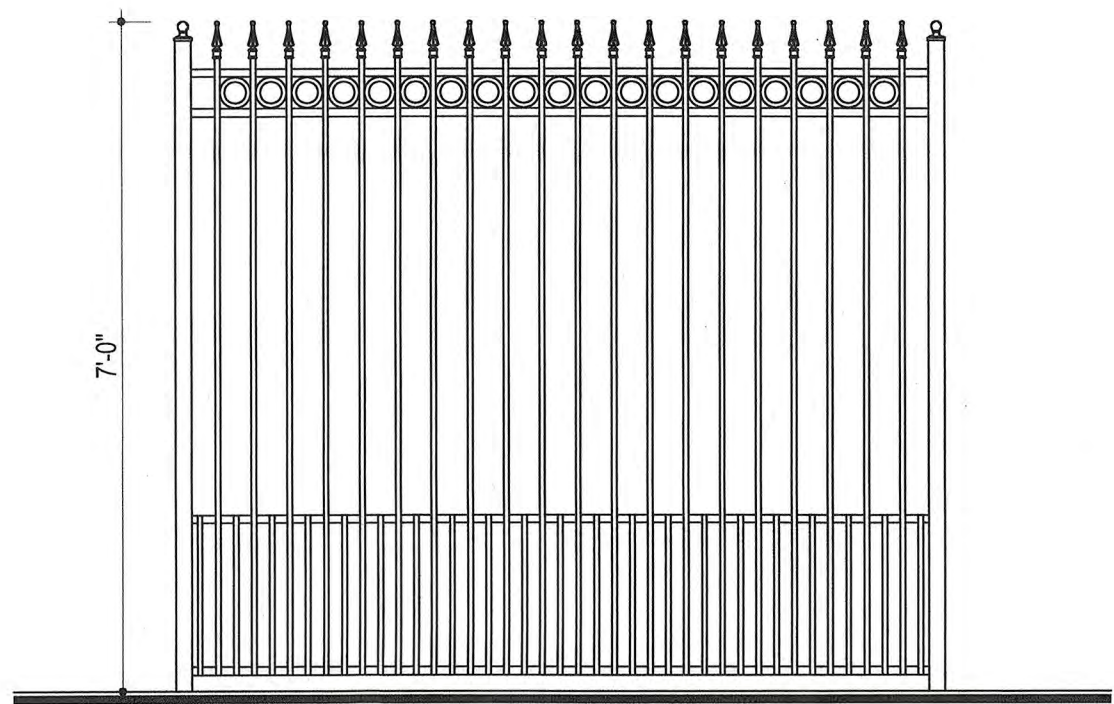




03 PEDESTRIAN GATE
SCALE: NTS

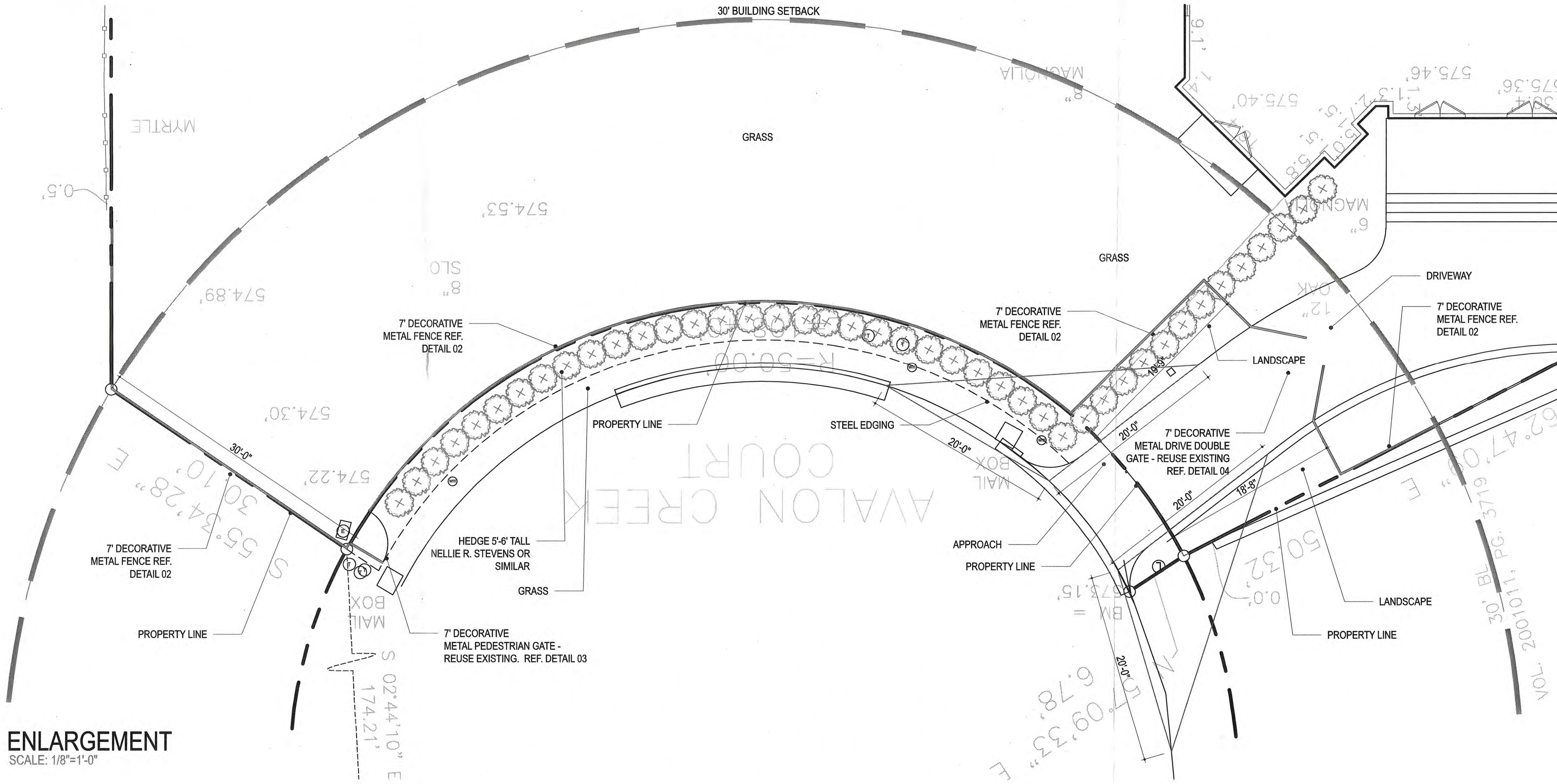
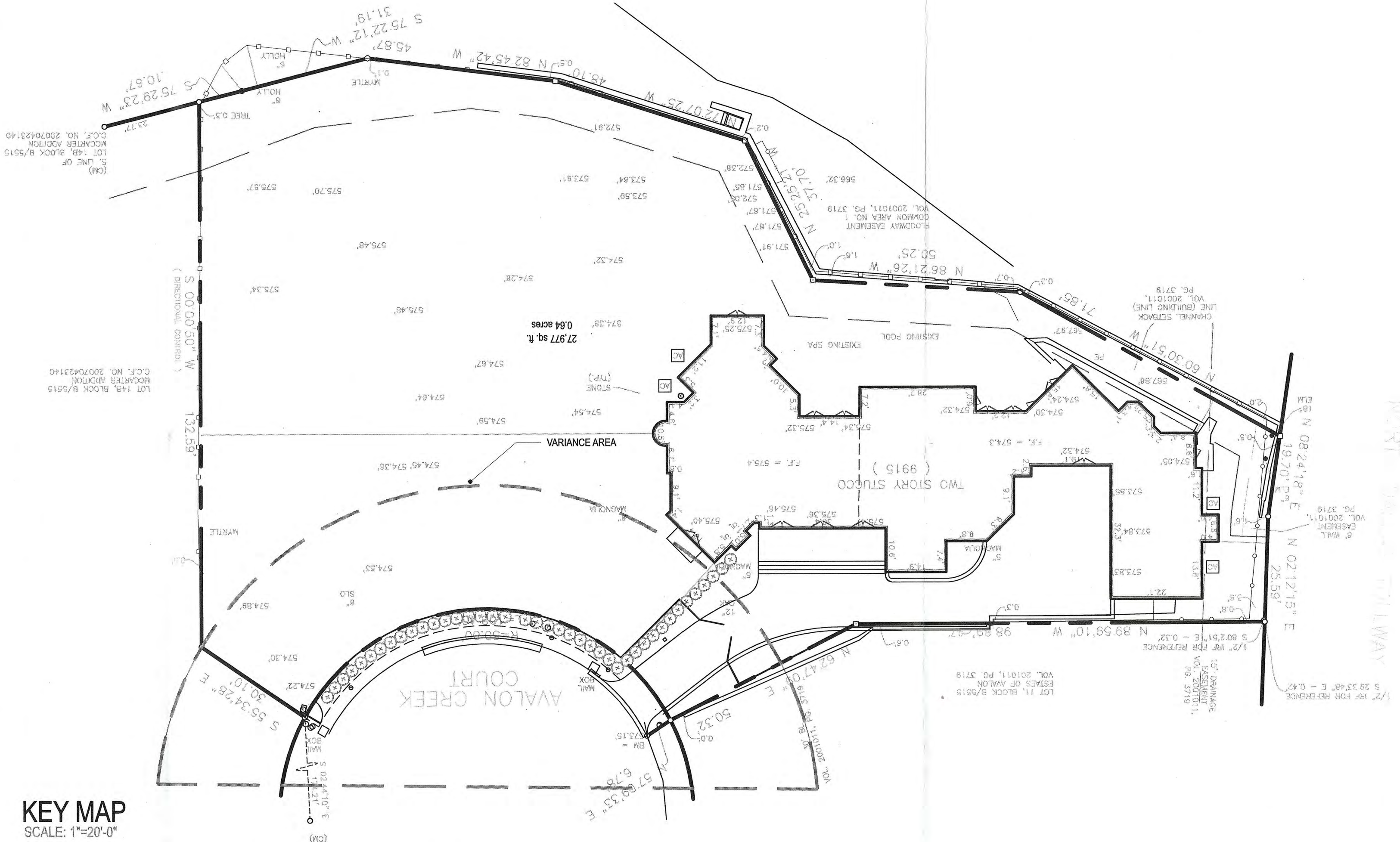


04 DRIVE GATE
SCALE: NTS



02 FENCE VARIANCE TYPICAL DETAIL
SCALE: 1/2"=1'-0"

KEY MAP
SCALE: 1"=20'-0"



ENLARGEMENT
SCALE: 1/8"=1'-0"





October 7, 2022

Charles Trammell
Chief Planner
Current Planning
1500 Marilla, 5BN
Dallas, TX 75201

RE: BDA212-094; 9915 Avalon Creek Ct.

Dear Mr. Charles Trammell:

The subject site is located on the south end of Avalon Creek Ct., between Dexter Drive and Lakehurst Avenue (commonly known as 9915 Avalon Creek Ct.). In accordance with SEC. 51A-4.602, the subject site must comply with the following fence standard: "In all residential districts except multifamily districts, a fence may not exceed four feet above grade when located in the required front yard."

Along Avalon Creek Ct., the following is proposed:

- A seven-foot-tall decorative metal fence within 5-feet of the property line;
- Vegetative screening;
- Portion of the fence not meeting the visibility triangle requirements.

Therefore, a special exception to allow for a front yard fence within 5-feet from the property line that is less than 50% open and taller than 4-feet in height (not to exceed a maximum of 7-feet in height). The proposed fence location does not comply with the visibility triangle regulations but does meet the drive gate requirements per the regulations of the development code (see attached plans).

The proposed request is consistent with the surrounding neighborhood. Over the years similar requests have been approved. The requested fence will allow for additional privacy and security. Currently, the houses main entrance is less than 15-feet from the road creating unsafe conditions for the residents to use this portion of their yard. Unfortunately, due to the irregular shape of the lot and the creek located in the rear there were no other options to reorient or move the house further back from the current configuration. The fence would act as an additional safety measure and buffer from the road. The existing regulations in Section 51A-4.602 if literally applied would continue to cause an unnecessary hardship on the owner.

We are proposing a decorative metal fence with vegetative screening along the front property line to provide privacy and consistency with similar fence design found in the area. The proposed request is in harmony with Section 51A-4.602. The antithesis of this request falls in line with the purpose and goals the City of Dallas has created when allowing for special exceptions pertaining to fences.

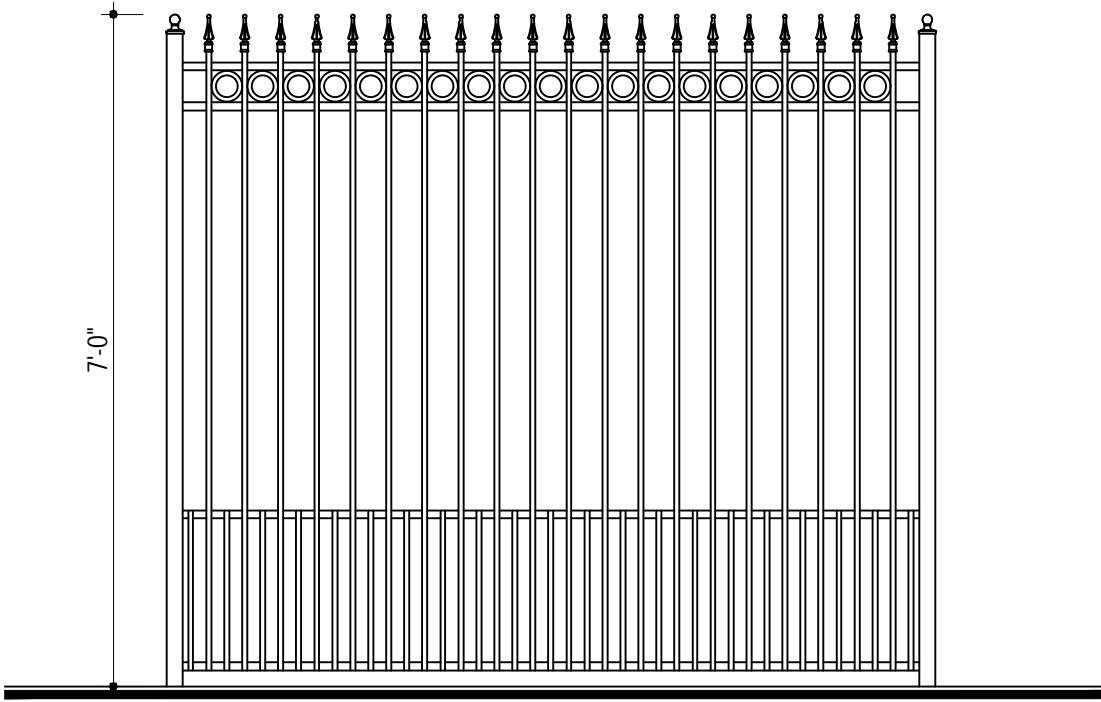
Regards,

A handwritten signature in black ink, appearing to read 'Trenton Robertson'.

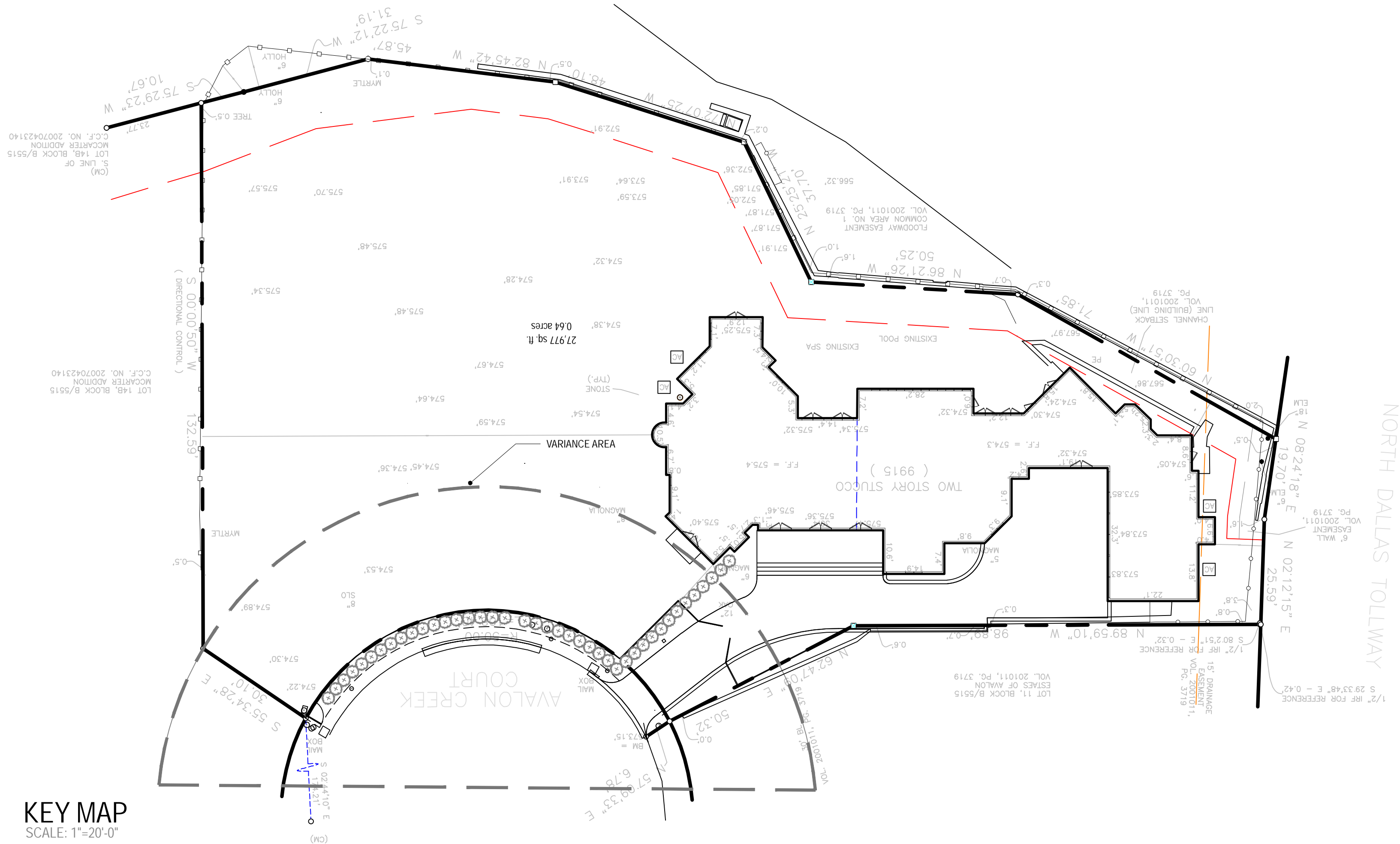
Trenton Robertson, AICP
Senior Consultant
Masterplan Texas



03 PEDESTRIAN GATE
SCALE: NTS



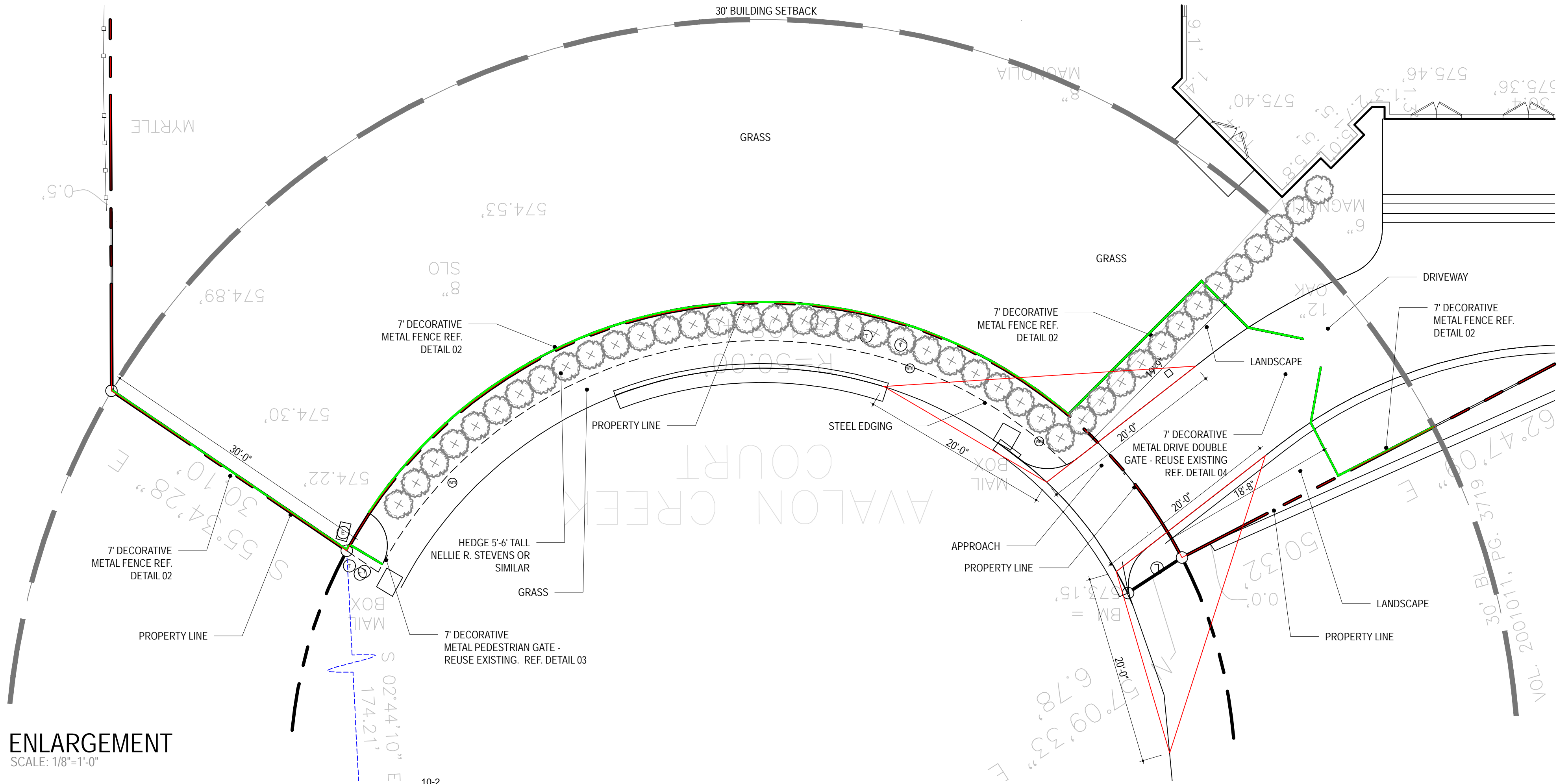
02 FENCE VARIANCE TYPICAL DETAIL
SCALE: 1/2"=1'-0"



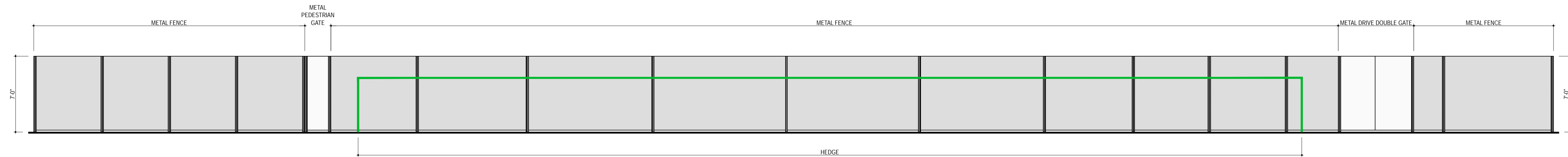
KEY MAP
SCALE: 1"=20'-0"



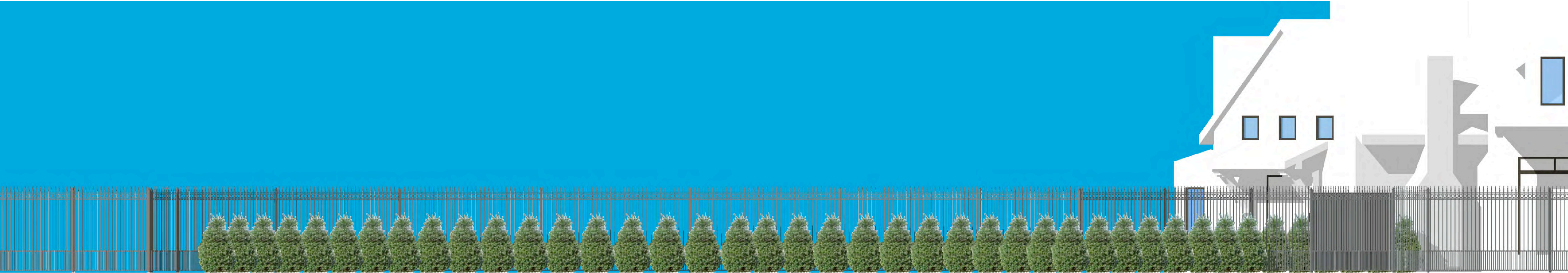
04 DRIVE GATE
SCALE: NTS



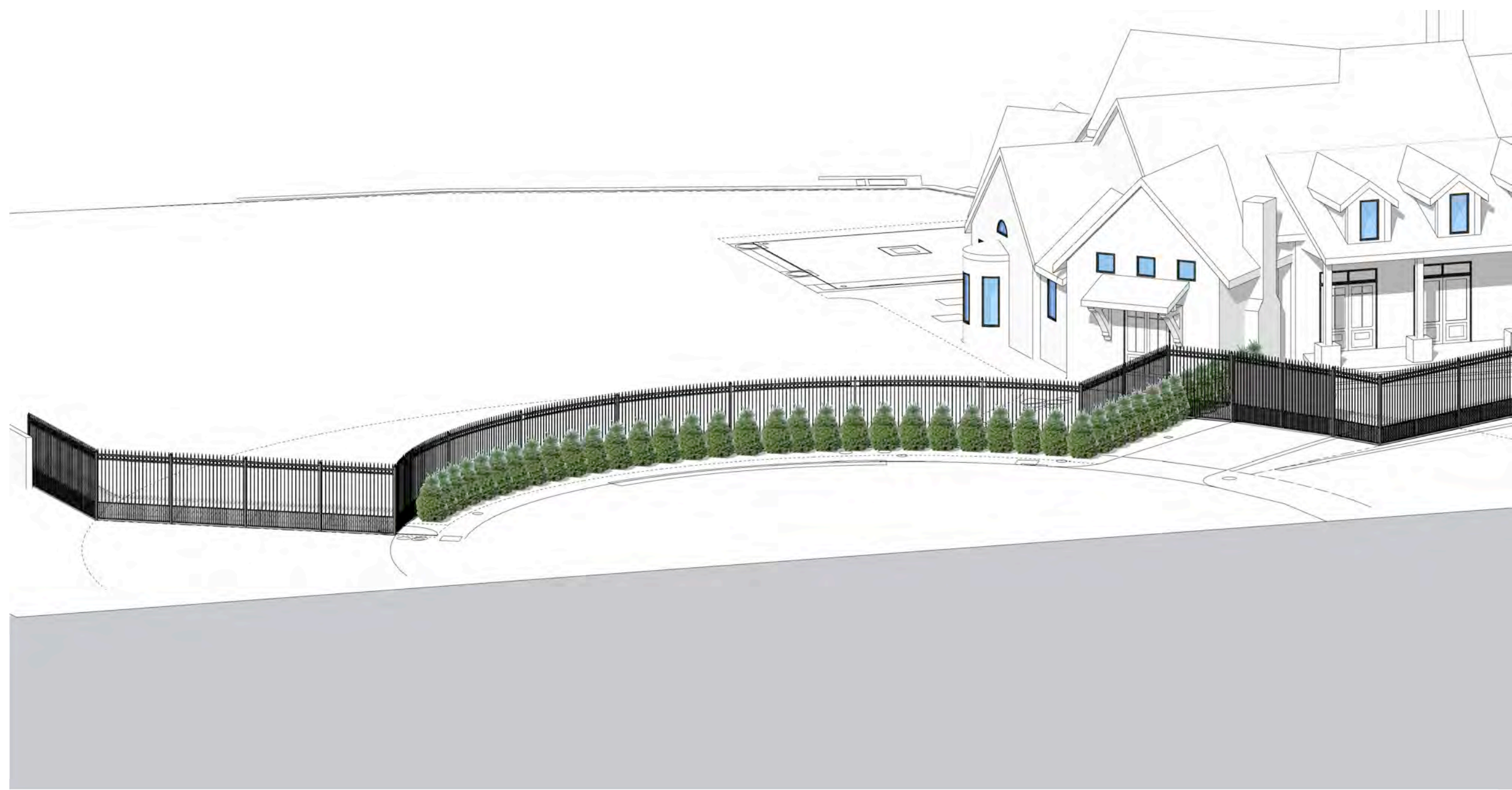
ENLARGEMENT
SCALE: 1/8"=1'-0"



01 FENCE VARIANCE DETAIL - FRONT ELEVATION
SCALE: 3/16"=1'-0"

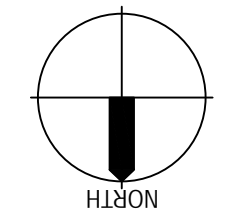


A FENCE VARIANCE DETAIL - FRONT ELEVATION ILLUSTRATIVE
SCALE: NOT TO SCALE



B FENCE VARIANCE DETAIL - FRONT PERSPECTIVE ILLUSTRATIVE
SCALE: NOT TO SCALE

L1.3 Client - 202409.dwg



Fence Request for 9915 Avalon Creek Court

June 25, 2022

Dear City Staff, Board of Appeals:

This letter is in **support** of the request to allow for 3-4 feet to be added to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court, and a special exception to the 50% open surface area requirement located less than 5 feet from the front lot line along Avalon Creek for 9915 Avalon Creek Court. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

William D. Rowe # [Signature] 6/26/22
(Printed Name) (Signature) (Date Signed)

9915 Avalon Creek Ct. Dallas TX 75230
(Address)

Fence Request for 9915 Avalon Creek Court

June 25, 2022

Dear City Staff, Board of Appeals:

This letter is in **support** of the request to allow for 3-4 feet to be added to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court, and a special exception to the 50% open surface area requirement located less than 5 feet from the front lot line along Avalon Creek for 9915 Avalon Creek Court. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

Michael Heikelinger

(Printed Name)

[Signature]

(Signature)

6/30/22

(Date Signed)

9915 Lakeway Ct Dallas TX 75230

(Address)

Fence Request for 9915 Avalon Creek Court

July 13, 2022

Dear City Staff, Board of Appeals:

This letter is in **support** of the request to allow for 3-4 feet to be added to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court, and a special exception to the 50% open surface area requirement located less than 5 feet from the front lot line along Avalon Creek for 9915 Avalon Creek Court. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

John Cain

(Printed Name)



(Signature)

7.13.2022

(Date Signed)

5923 Lakehurst Ave Dallas TX 75230

(Address)

Fence Request for 9915 Avalon Creek Court

July 13, 2022

Dear City Staff, Board of Appeals:

This letter is in support of the request to allow for 3-4 feet to be added to the maximum permitted fence height of 4 feet in the required front yard along Avalon Creek Court, and a special exception to the 50% open surface area requirement located less than 5 feet from the front lot line along Avalon Creek for 9915 Avalon Creek Court. This project will improve the existing property and allow for the same capability as other properties in the surrounding neighborhoods and prevent an unnecessary hardship.

<u>MATT Creason</u>	<u></u>	<u>7/25/2022</u>
(Printed Name)	(Signature)	(Date Signed)

9915 Avalon Creek Ct Dallas, TX 75230

(Address)

FILE NUMBER: BDA212-100(OA)

BUILDING OFFICIAL'S REPORT: Application of Julio Roman for a special exception to the single family regulations at 1325 Grant Street. This property is more fully described as lot 8 block 30/3591 and is zoned R-5(A), Single Family District which limits the number of dwelling units to one. The applicant proposes to construct an additional dwelling unit (not for rent), which will require a special exception to the single-family zoning use regulations.

LOCATION: 1325 Grant Street

APPLICANT: Julio Roman

REQUEST:

A request for a special exception to the single family use regulations is made to construct and maintain a two-story additional home/dwelling unit structure on a site with a proposed development of a three-story main single-family home/dwelling unit structure.

STANDARD FOR A SPECIAL EXCEPTION TO THE SINGLE-FAMILY USE REGULATIONS TO AUTHORIZE AN ADDITIONAL DWELLING UNIT:

The board may grant a special exception to the single-family use regulations of the Dallas Development Code to authorize an additional dwelling unit on a lot when, in the opinion of the board, the additional dwelling unit will not: 1) be used as rental accommodations; or 2) adversely affect neighboring properties.

In granting this type of special exception, the board shall require the applicant to deed restrict the subject property to prevent the use of the additional dwelling unit as rental accommodations.

STAFF RECOMMENDATION:

No staff recommendation is made on this or any request for a special exception to authorize an additional dwelling unit since the basis for this type of appeal is when, in the opinion of the board, the additional dwelling unit will not: 1) be used as rental accommodations; or 2) adversely affect neighboring properties.

BACKGROUND INFORMATION:

Zoning:

Site: R-5(A) (Single Family District)
East: R-5(A) (Single Family District)
North: R-5(A) (Single Family District)
South: R-5(A) (Single Family District)
West: R-5(A) (Single Family District)

Land Use:

The subject site is vacant. The areas to the north, west, south, and east are developed with single family uses and vacant lots.

Zoning/BDA History:

There have not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

GENERAL FACTS/STAFF ANALYSIS:

This request for a special exception to the single family use regulations focus on constructing and maintaining a two-story additional home/dwelling unit structure on a site with a proposed development of a three-story main single-family home/dwelling unit structure.

The site is zoned an R-5(A) Single Family District where the Dallas Development Code permits one dwelling unit per lot.

The single-family use regulations of the Dallas Development Code states that only one dwelling unit may be located on a lot and that the board of adjustment may grant a special exception to this provision and authorize an additional dwelling unit on a lot when, in the opinion of the board, the special exception will not: 1) be use as a rental accommodation; or 2) adversely affect neighboring properties.

The Dallas Development Code defines:

- a “single family” use as “one dwelling unit located on a lot;” and a “dwelling unit” as “one or more rooms to be a single housekeeping unit to accommodate one family and containing one or more kitchens, one or more bathrooms, and one or more bedrooms.”
- a “kitchen” as “any room or area used for cooking or preparing food and containing one or more ovens, stoves, hot plates, or microwave ovens; one or more refrigerators; and one or more sinks. This definition does not include outdoor cooking facilities.”

- a “bathroom” as “any room used for personal hygiene and containing a shower or bathtub or containing a toilet and sink.”
- a “bedroom” as “any room in a dwelling unit other than a kitchen, dining room, living room, bathroom, or closet. Additional dining rooms and living rooms, and all dens, game rooms, sunrooms, and other similar rooms are considered bedrooms.”

The submitted site plan denotes the locations of two building footprints, the larger of the two to be the proposed three-story single family main structure and the smaller of the two denoted as “additional dwelling unit”.

This request centers on the function of what is proposed to be inside the smaller structure on the site – the “additional dwelling unit” structure, specifically its collection of rooms/features shown on the floor plan.

According to DCAD records, there are no “main improvement” for the property addressed at 1325 Grant Street.

According to the submitted site plan the main structure contains 3,005 square feet of total floor area and the proposed additional dwelling unit contains 720 square feet of total floor area.

The applicant has the burden of proof in establishing that the additional dwelling unit will not be used as rental accommodations (by providing deed restrictions, if approved) and will not adversely affect neighboring properties.

If the board were to approve this request, the Board may choose to impose a condition that the applicant complies with the site plan if they feel it is necessary to ensure that the special exception will not adversely affect neighboring properties. But granting this special exception request will not provide any relief to the Dallas Development Code regulations other than allowing an additional dwelling unit on the site (i.e., development on the site must meet all required code requirements).

The Dallas Development Code states that in granting this type of special exception, the board shall require the applicant to deed restrict the subject property to prevent the use of the additional dwelling unit as rental accommodations.

If the board were to grant this request, Building Inspection would view the structure denoted on the submitted site plan as “additional dwelling unit” as an additional “dwelling unit”.

Timeline:

July 29, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents that have been included as part of this case report.

September 1, 2022: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel C.

September 9, 2022: The Board Administrator emailed the applicant the following information:

- a copy of the application materials including the Building Official's report on the application.
- an attachment that provided the public hearing date and panel that will consider the application; the September 28th deadline to submit additional evidence for staff to factor into their analysis; and the October 7th deadline to submit additional evidence to be incorporated into the Board's docket materials.
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

September 29: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the October public hearing. Review team members in attendance included: the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, the Assistant City Attorney to the Board, and Jason Pool Senior Planner.

No review comment sheets were submitted in conjunction with this application.





1:1,200

AERIAL MAP

Case no: BDA212-100

Date: 9/8/2022

09/07/2022

Notification List of Property Owners

BDA212-100

37 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	1325 GRANT ST	GP ACQUISTIONS
2	1305 GLIDDEN ST	GROUND UP DFW LLC
3	1309 GLIDDEN ST	ARMSTRONG CECIL E
4	19 GLIDDEN ST	SMITH RUTH
5	20 GLIDDEN ST	GROUP UP DFW LLC
6	1331 GLIDDEN ST	WHITE LIGE EST
7	1338 GLIDDEN ST	N THE GREEK LIGHT LLC
8	9 GLIDDEN ST	FINLEY C A EST OF
9	1334 GLIDDEN ST	TEXAS STATE OF
10	10 GLIDDEN ST	TEXAS STATE OF
11	1310 GLIDDEN ST	DEFUENTES MARIA NELLY SANCHEZ
12	1306 GLIDDEN ST	BARNES LONNIE
13	1302 GLIDDEN ST	COSMANN CLIVE
14	632 S DENLEY DR	JONES OCIE
15	1306 GRANT ST	ROSENBOROUGH LARRY L
16	1310 GRANT ST	PHILLIPS RICKY RAY
17	1314 GRANT ST	TORRES MANUEL JR
18	1318 GRANT ST	ORTIZ ENRIQUE &
19	1322 GRANT ST	ORTIZ ENRIQUE
20	1326 GRANT ST	MARTINEZ JUAN M
21	1330 GRANT ST	LOCKHART HAZEL
22	1334 GRANT ST	SHANNON KATHERINE EST OF
23	1338 GRANT ST	ANDRADE RAMON & MARTINA
24	1342 GRANT ST	LAGOW DEV PROJECT LLC
25	640 S DENLEY DR	NEW LANDMARK BAPTIST
26	1307 GRANT ST	LAGOW DEV PROJECT LLC

09/07/2022

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	1309 GRANT ST	JOHNSON VERNON D
28	1313 GRANT ST	LAGOW DEV PROJECT LLC
29	1317 GRANT ST	SHANNON LINDA SHARON
30	1321 GRANT ST	MORALES YCELA MORALES
31	1329 GRANT ST	LOPEZ ALEXANDER
32	1333 GRANT ST	MARTINEZ ANGELINA
33	1337 GRANT ST	RESENDES FORTUNATO &
34	1343 GRANT ST	CERDA EDGAR
35	1345 GRANT ST	LAGOW DEV PROJECT LLC
36	615 S MOORE ST	LAVINE DAYMOND E &
37	617 S MOORE ST	LAVINE DAYMOND E &



APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 212-100

Data Relative to Subject Property:

Date: 7/29/2022

Location address: 1325 GRANT ST DALLAS, TX 75203 Zoning District: R-5(A)

Lot No.: 9 Block No.: 30/3591 Acreage: 0.31 Census Tract: 48

Street Frontage (in Feet): 1) 50 2) 3) 4) 5)

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Adaptable Developments, LLC

Applicant: JULIO ROMAN Telephone: 972-904-0279

Mailing Address: 3015 Millmar Dr Dallas, TX 75228 Zip Code:

E-mail Address: JULIO@ADAPTABLE-LIVING.NET

Represented by: JULIO ROMAN Telephone: 972-904-0279

Mailing Address: 3015 Millmar Dr Dallas, TX 75228 Zip Code:

E-mail Address: JULIO@ADAPTABLE-LIVING.NET

Affirm that an appeal has been made for a Variance ☒ , or Special Exception ☐ , of THE CONSTRUCTION
OF A 2 STORY ACCESSORY DWELLING UNIT

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
I WILL BE BUILDING A MAIN HOUSE AND AN ACCESSORY DWELLING UNIT. THE PURPOSE FOR THE ACCESSORY DWELLING UNIT IS FOR MY PARENTS TO LIVE IN.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared JULIO ROMAN
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: 
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 29TH day of JULY 2022

(Rev. 08-01-11)




Notary Public in and for Dallas County, Texas

Date of Hearing

Appeal was--Granted OR Denied

Remarks

Chairman

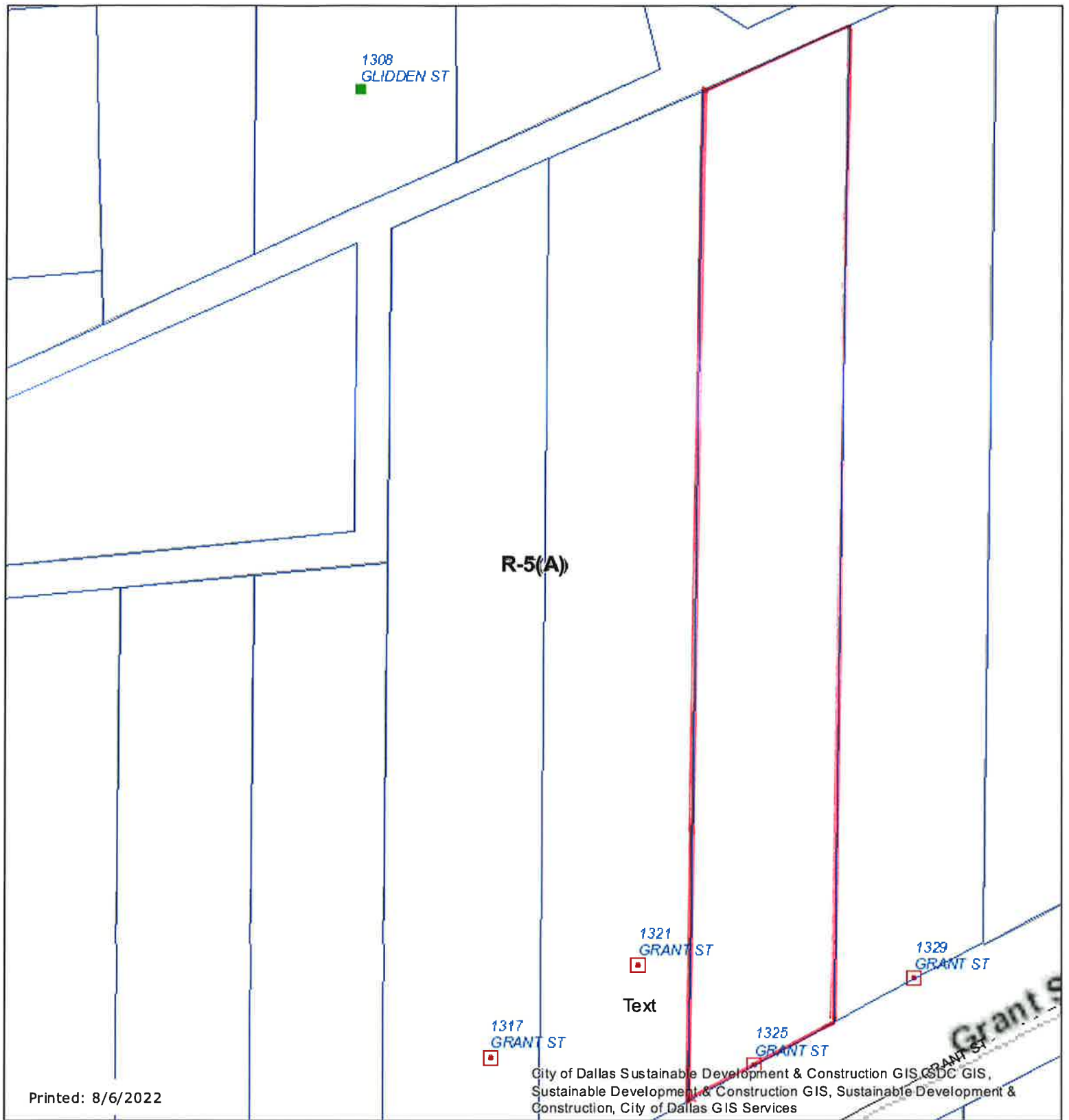
I hereby certify that JULIO ROMAN

did submit a request for a special exception to the single family regulations
at 1325 GRANT STREET

BDA212-100. Application of JULIO ROMAN for a special exception to the single family regulations at 1325 GRANT ST. This property is more fully described as block 30/3591, lot 8 and is zoned R-5(A), which limits the number of dwelling units to one. The applicant proposes to construct an additional dwelling unit (not for rent), which will require a special exception to the single family zoning use regulations.

Sincerely,

David Session
David Session, Building Official



Dallas Tax Parcels	NSO Overlay	Height Map Overlay	SP
Deed Restrictions	NSO Subdistricts	Shop Front Overlay	Turtle Creek Setback Corridor
Dry Overlay	MD Overlay	Parking Management Overlay	Demolition Delay Overlay
D	CD Subdistricts	Base Zoning	
D-1	PD Subdistricts	SPSD Overlay	
Historic Overlay	PD193 Oak Lawn	Pedestrian Overlay	
Historic Subdistricts	PDS Subdistricts	CP	
SUP			

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



3391 1/2

FRONT

F
3366

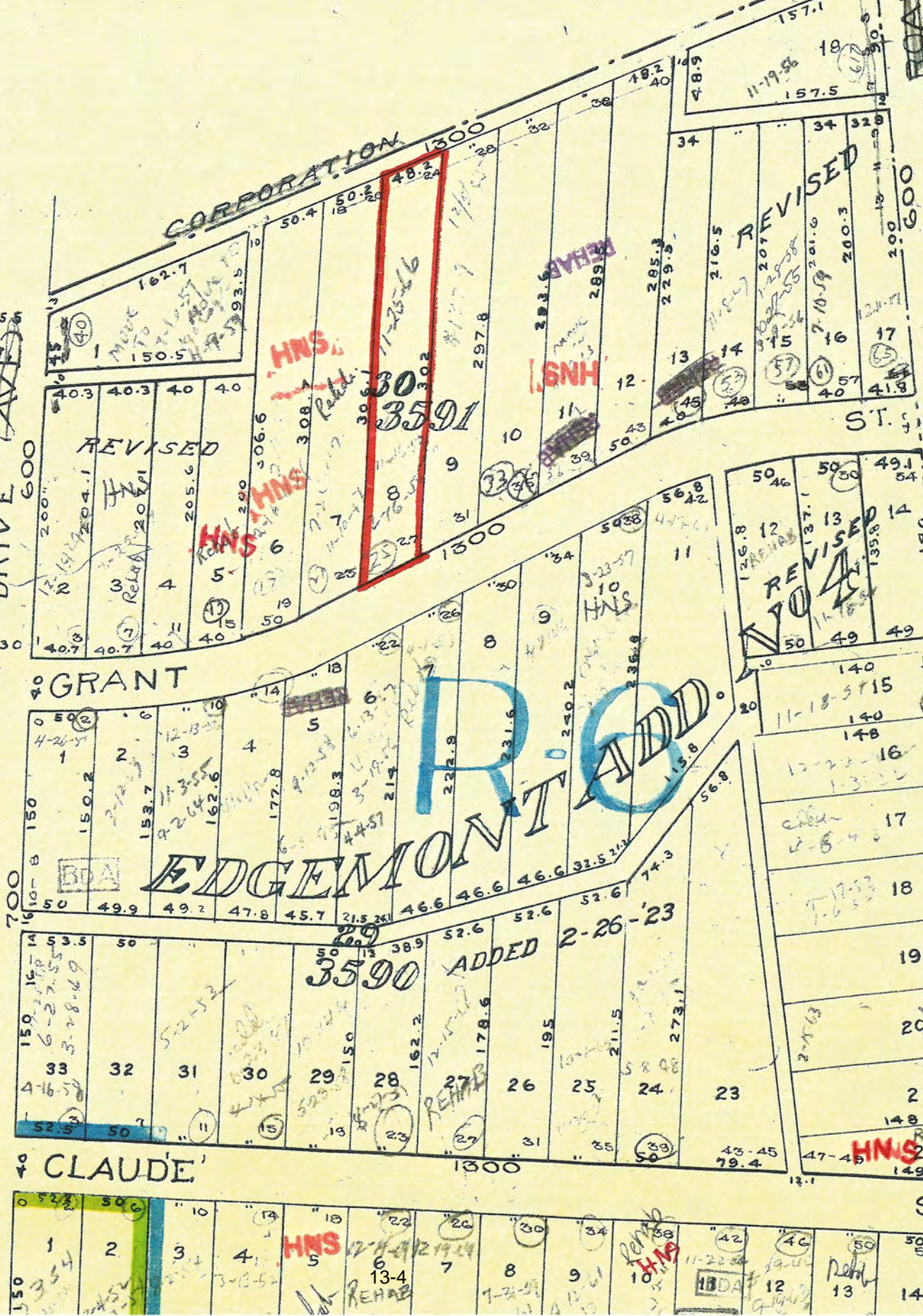
E
3365

(COLLON)

CLAUDE

GRANT

CORPORATION



C/3391

A
4709

3865

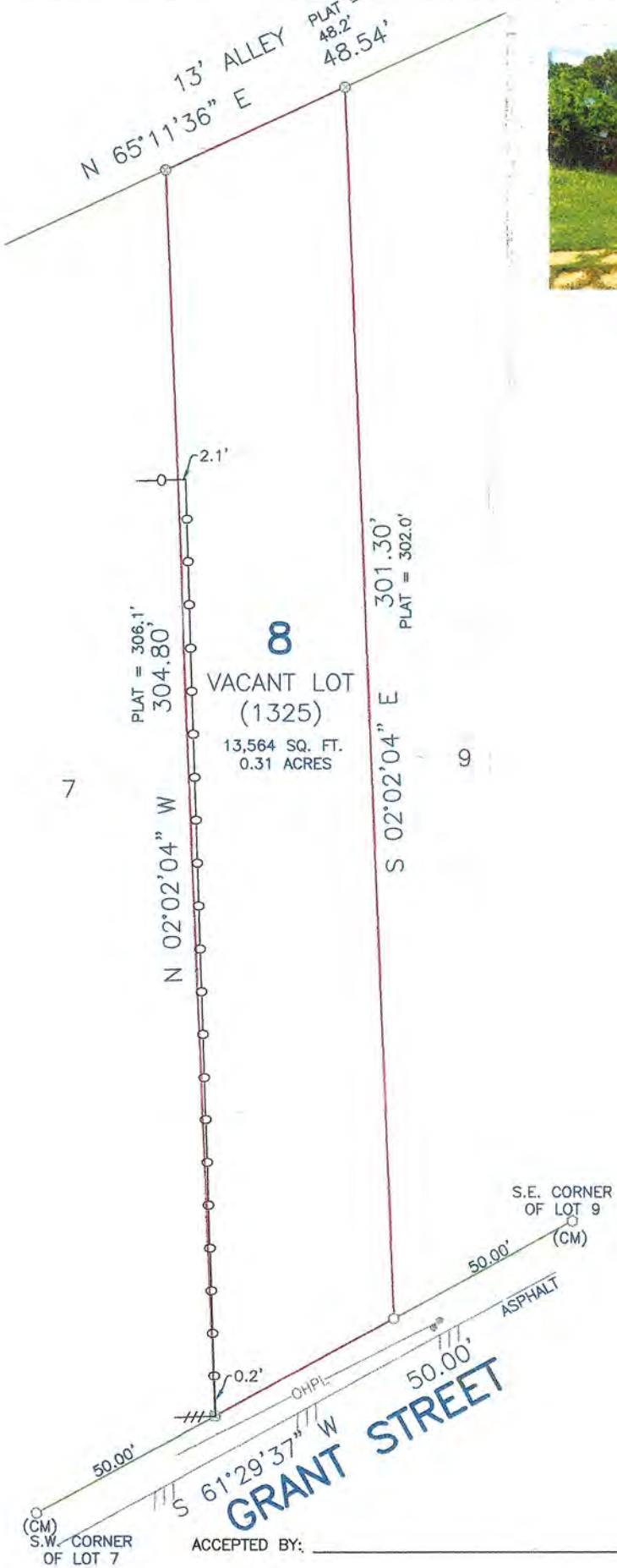
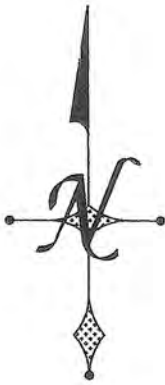
ST.

TEMP. R
OF C
SEE AT
FOR
PER
TSU

SURVEY PLAT



BARRY S. RHODES Registered Professional Land Surveyor (214) 326-1090
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 1325 GRANT STREET, in the City of DALLAS Texas.
Being Lot 8 in Block 30/3591 of the 4th Edgemont Addition to the City of Dallas, Texas, according to the Map thereof recorded in Volume 2, Page 286-7, Map Records, of Dallas County, Texas.



BEARINGS ARE BASED ON NAD 83 DATUM, TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE

THIS LOT PER PLAT DOES NOT MATHEMATICALLY CLOSE, BOUNDARY IS PER EVIDENCE FOUND ON SITE

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.

TITLE AND ABSTRACTING WORK FURNISHED BY LAWYERS TITLE

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'

Date: 05/26/2021

G. F. No.: 1900182101453

Job no.: 202104923

Drawn by: CS

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR LAWYERS TITLE

ACCEPTED BY: _____

Lawyers Title

LEGEND	
WOOD FENCE	TEXT
CHAIN LINK	IMPROVEMENTS
IRON FENCE	BOUNDARY LINE
WIRE FENCE	5' SETBACK
CM	CONTROLLING MONUMENT
MRD	MONUMENTS OF RECORD DIGNITY
1/2" IRON ROD FOUND	
1/2" YELLOW-CAPPED IRON ROD SET	
FENCE POST	
FOUND 'X'	
1/2" PIPE FOUND	
PK NAIL FOUND	
CABLE	ELECTRIC
CLEAN OUT	PE - POOL EQUIP
GAS METER	POWER POLE
FIRE HYDRANT	TELEPHONE
LIGHT POLE	WATER METER
MANHOLE	WATER VALVE
(UNLESS OTHERWISE NOTED)	



ZONING INFORMATION

ZONING TYPE: R-5(A)

SITE RESTRICTIONS

FRONT SETBACK: 25 FT (R-5(A))

AVERAGE OF BLOCK (CD013)

SIDE/REAR SETBACKS: 5 FT

HEIGHT: 30 FT

LOT COVERAGE: 45%

LOT COVERAGE:

LOT SIZE: 13,407 SQ FT

ALLOWED SITE COVERAGE: 6,033.15 SQ FT

CURRENT COVERAGE: 1,067 SQ FT - RESIDENCE
465 SQ FT - ACCESSORY STRUCT.

CURRENT PERCENTAGE: 8.75%

ACCESSORY STRUCTURE:

R-5(A) ALLOWS ACCESSORY DWELLING UNITS

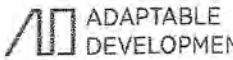
SIZE LIMIT: 25% OF MAIN STRUCTURE

MAIN STRUCTURE S.F.: 3,005 SQ FT (INCLUDING COVERED PORCHES)
FIRST FLOOR S.F.: 483 SF
SECOND FLOOR SF: 867 SF
THIRD FLOOR SF: 867 SF
COVERED PORCH 1ST: 394 SF
COVERED PORCH 2ND: 394 SF

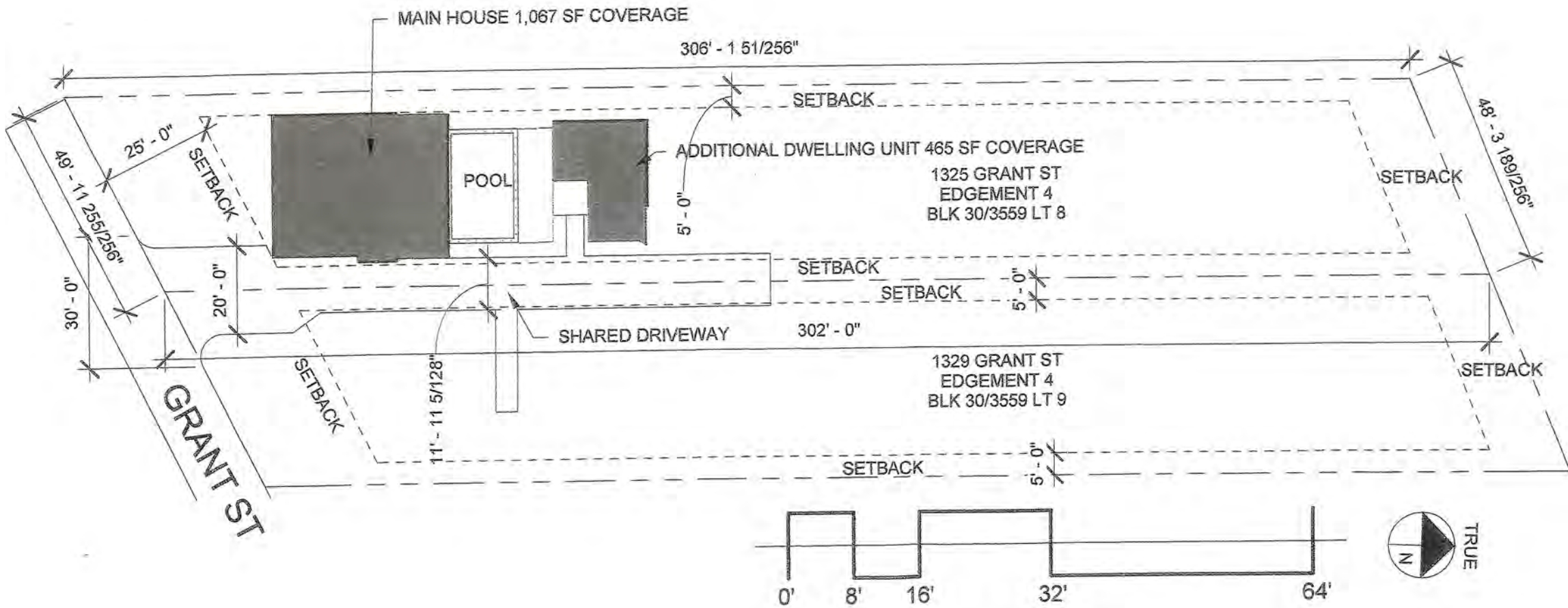
ALLOWABLE PER 25%: 750.75 SQ FT

ACCESSORY STRUCTURE: 720 SQ FT

PROPOSED ACCESSORY STRUCTURE:
1ST FLR FLOOR AREA: 408 SQ FT
2ND FLR FLOOR AREA: 312 SQ FT
TOTAL: 720 SQ FT



972.904.0279
Julio@adaptable-living.i



1325 GRANT ST

SITE PLAN

Project number 202204

Date

8/4/2022 11:13:11 PM

1

MAIN HOUSE RIGHT ELEVATION - ADU

SCALE: 3/16" = 1'-0"



ADAPTABLE
DEVELOPMENTS

972.904.0279
Julio@adaptable-living.net

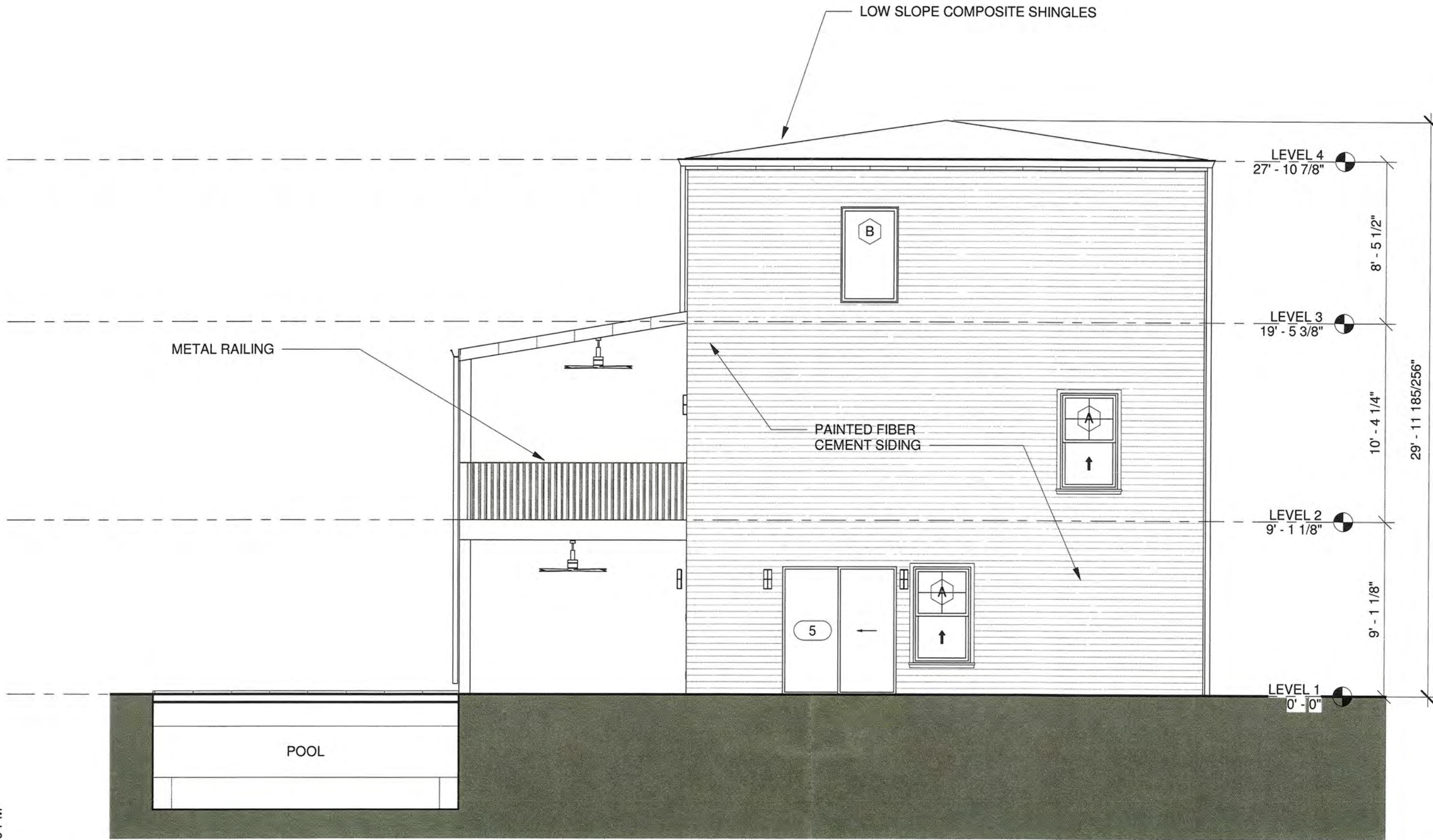
1325 GRANT ST

MAIN HOUSE
ELEVATIONS

Project number
202204

Date
Issue Date

8/4/2022 11:13:10 PM



ADAPTABLE
DEVELOPMENTS

972.904.0279
Julio@adaptable-living.net

1325 GRANT ST

MAIN HOUSE
ELEVATIONS

Project number
202204

Date
Issue Date

1

MAIN HOUSE FRONT ELEVATION - ADU

SCALE: 3/16" = 1'-0"

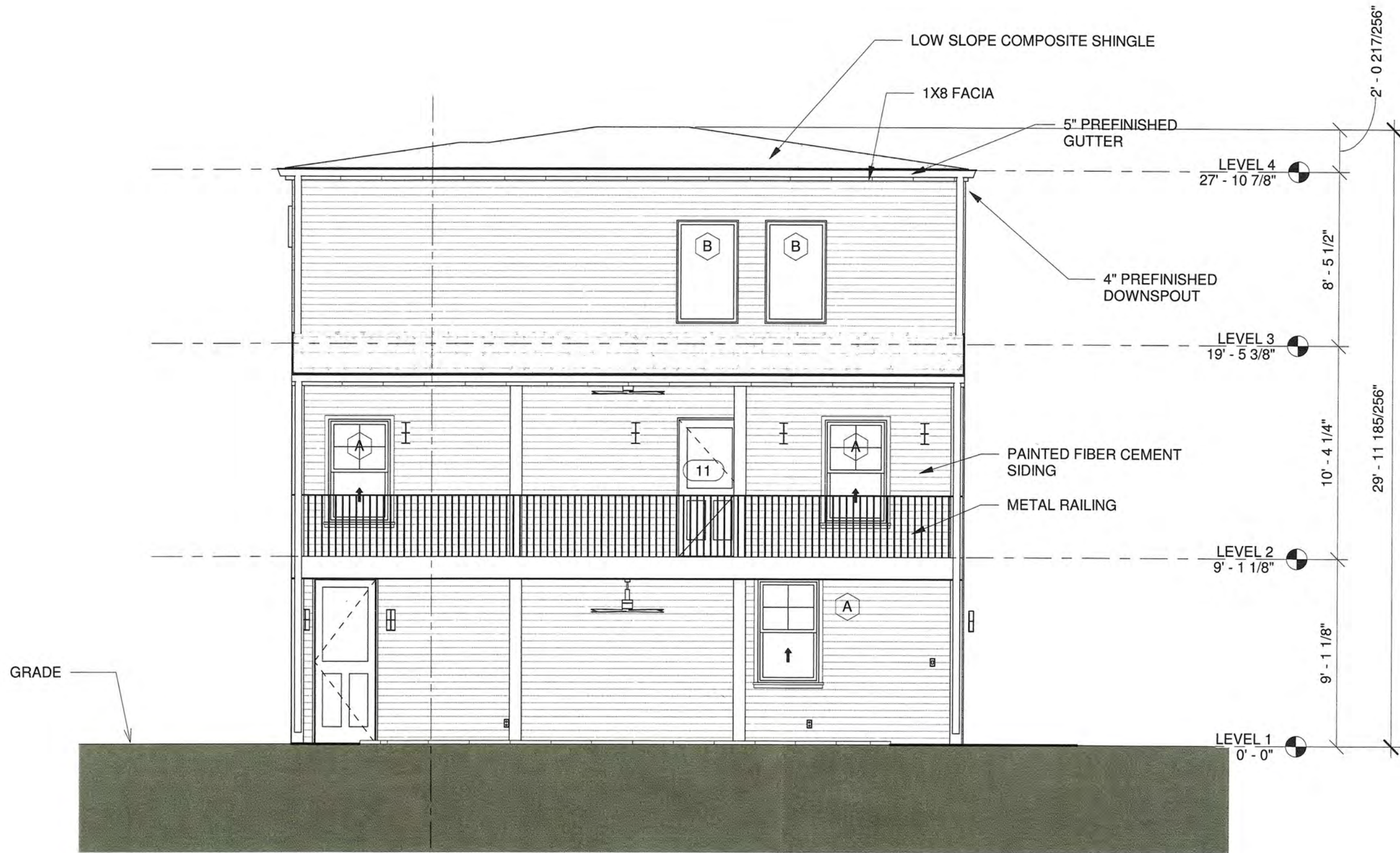


1325 GRANT ST

MAIN HOUSE ELEVATIONS

Project number	202204	Issue Date
Date		

8/4/2022 11:13:09 PM



1

MAIN HOUSE BACK ELEVATION - ADU

SCALE: 3/16" = 1'-0"

13-10

ADAPTABLE DEVELOPMENTS

972.904.0279
Julio@adaptable-living.net

1325 GRANT ST

MAIN HOUSE ELEVATIONS

Project number
202204

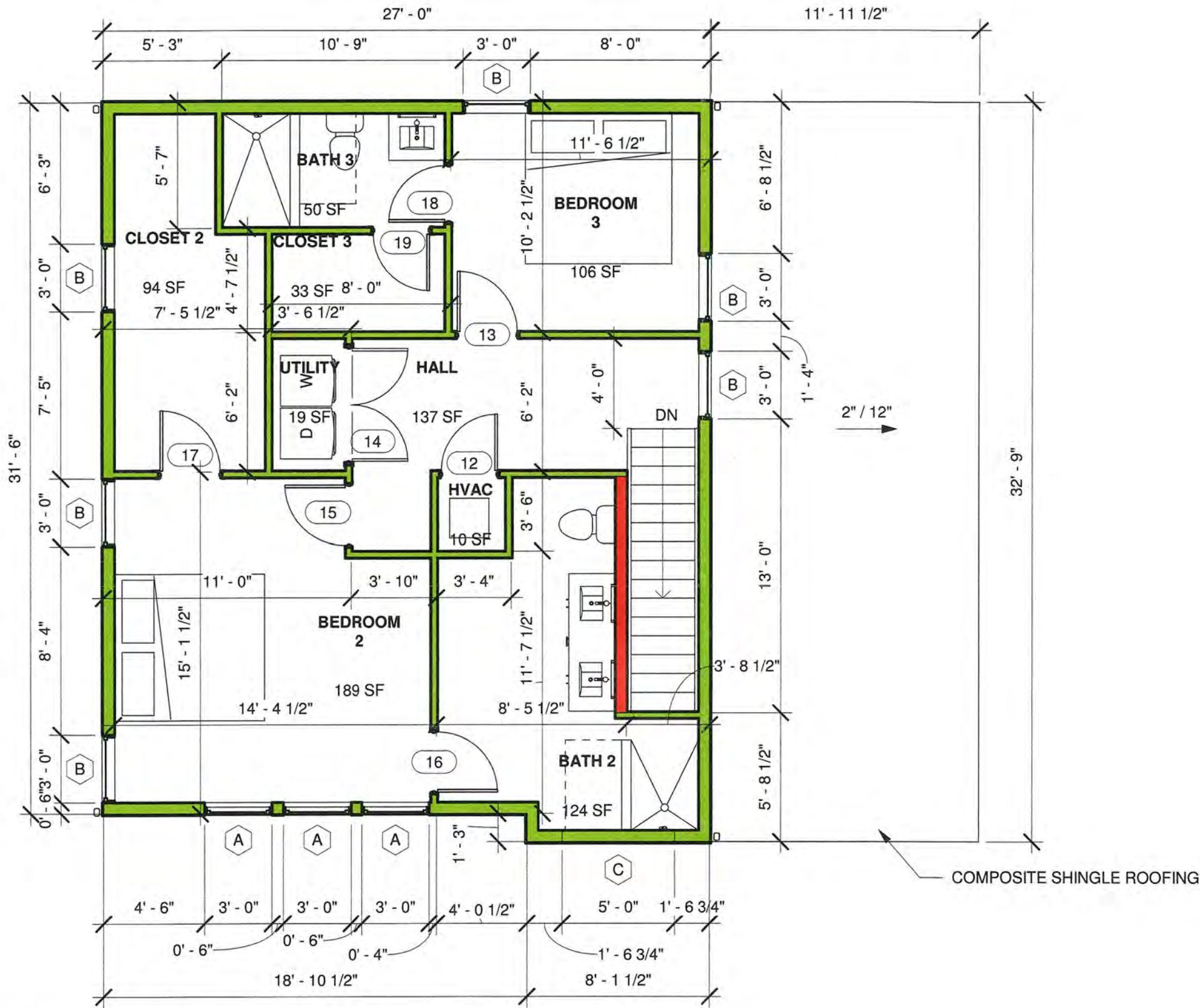
Date
Issue Date

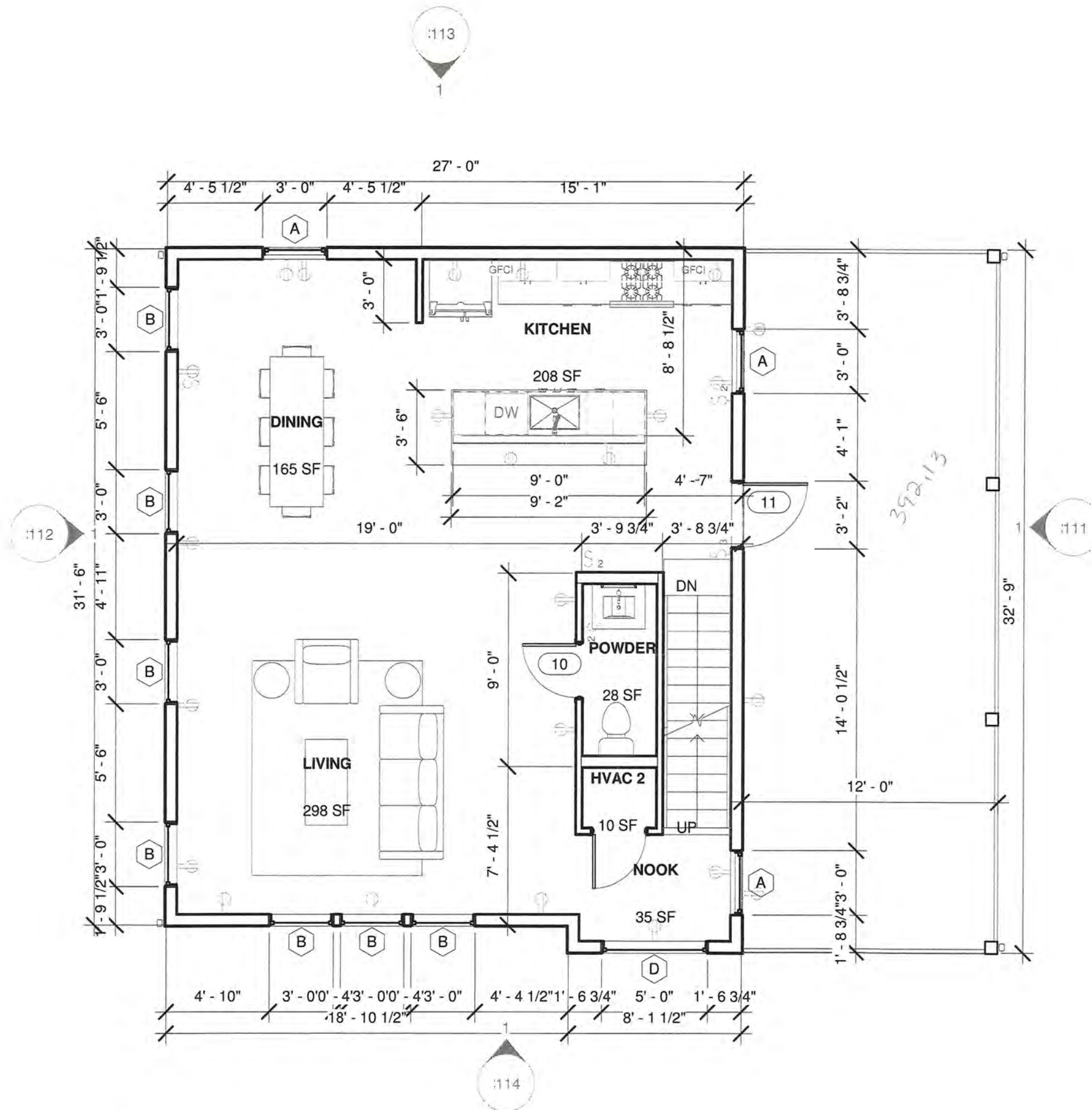
111

1

OVERALL - LEVEL 3 - ADU SUBMISSION

SCALE: 3/16" = 1'-0"





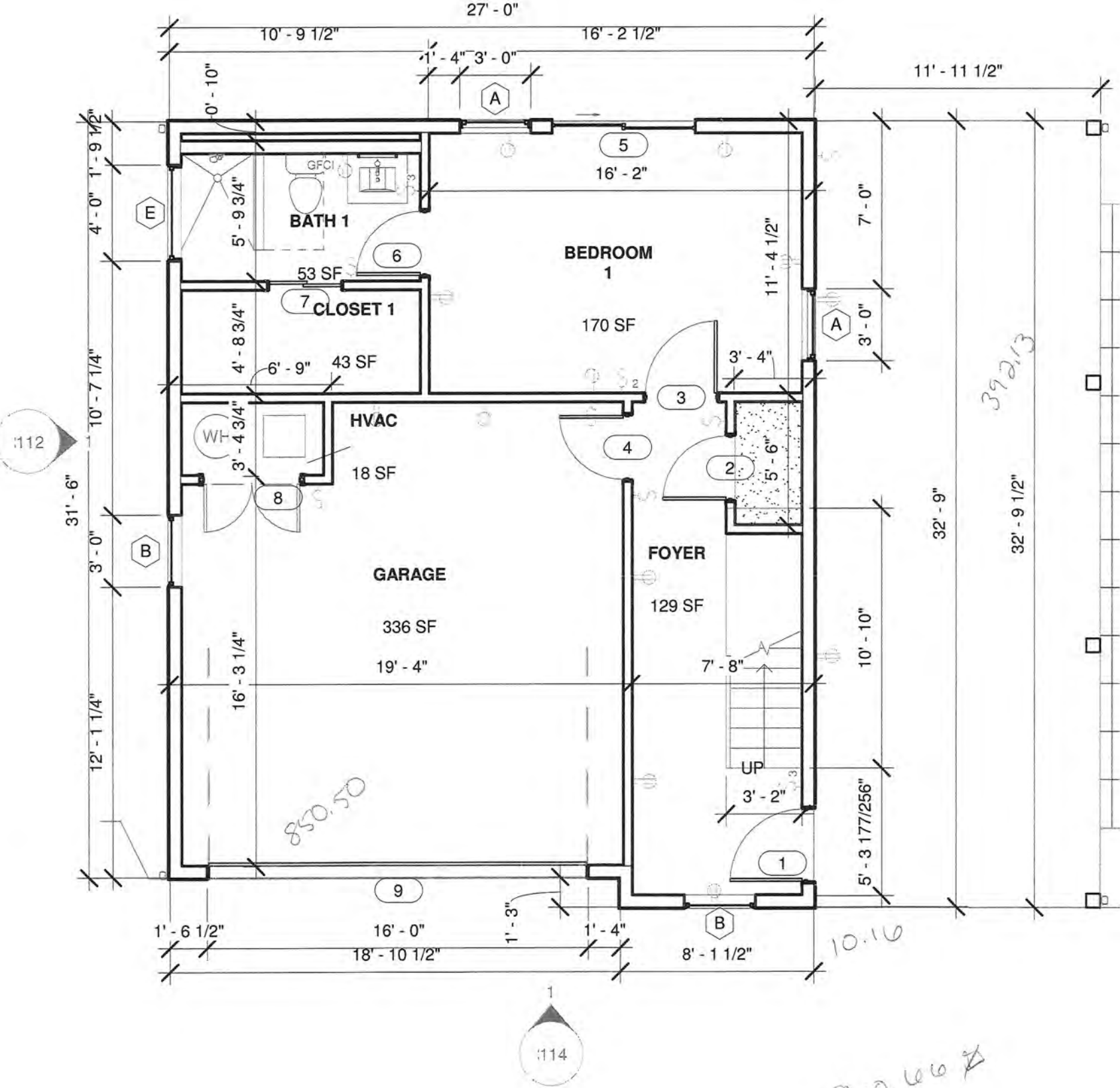
1 OVERALL - LEVEL 2 ADU SUBMISSION
SCALE: 3/16" = 1'-0"

1

OVERALL - LEVEL 1 ADU SUBMISSION

SCALE: 3/16" = 1'-0"

13-13



972.904.0279
Julio@adaptable-living.net

1325 GRANT ST

MAIN HOUSE
PLANS

Project number
202204

Date
Issue Date

ADU WINDOW SCHEDULE				
Type Mark	Family	Width	Height	Comments
F	Fixed	6' - 0"	6' - 0"	STUDY
H	Fixed	3' - 0"	2' - 0"	KITCHENETTE
H	Fixed	3' - 0"	2' - 0"	BATH
E	Fixed	4' - 0"	2' - 0"	STUDY

ADU DOOR SCHEDULE			
Mark	Door Type	Width	Height
1	SLIDING DOOR	10' - 0"	8' - 0"
2	SINGLE WOOD	2' - 6"	6' - 8"
4		6' - 0"	6' - 8"
3	SINGLE WOOD	3' - 0"	6' - 8"

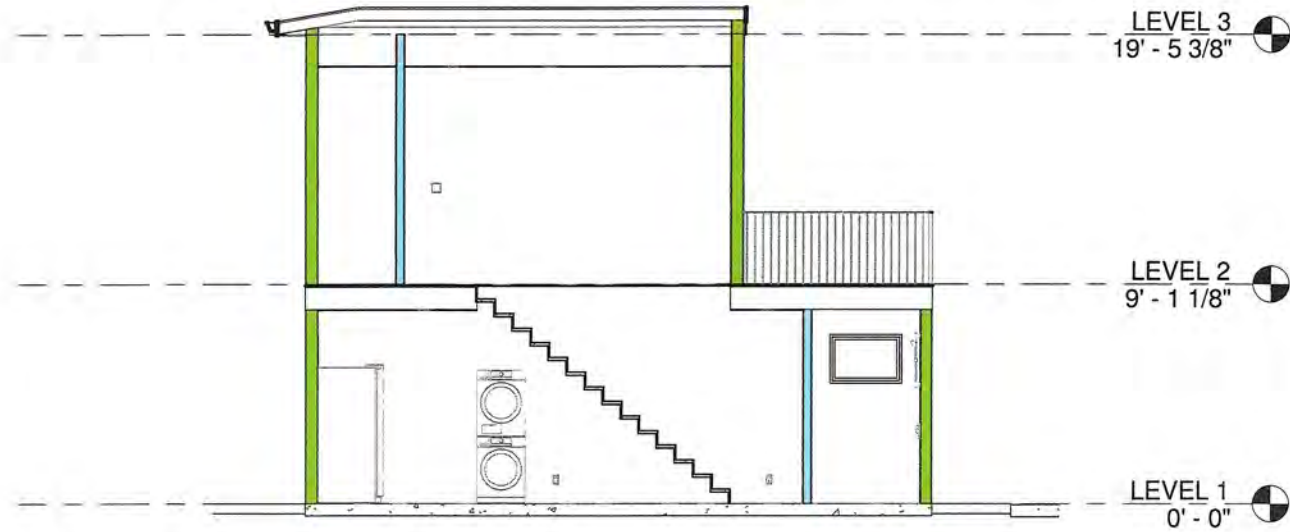


972.904.0279
Julio@adaptable-living.net

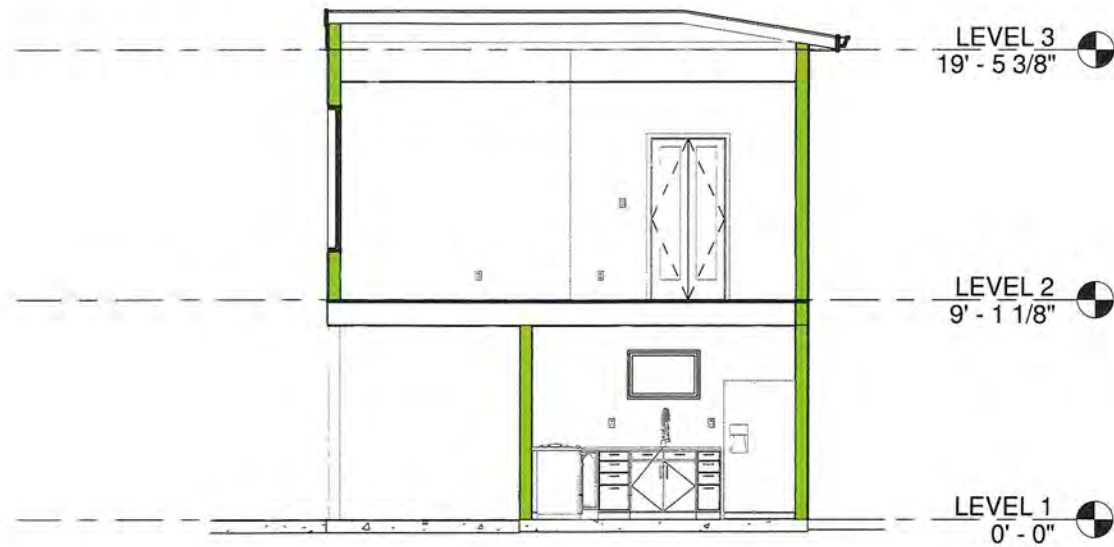
1325 GRANT ST

SCHEDULES

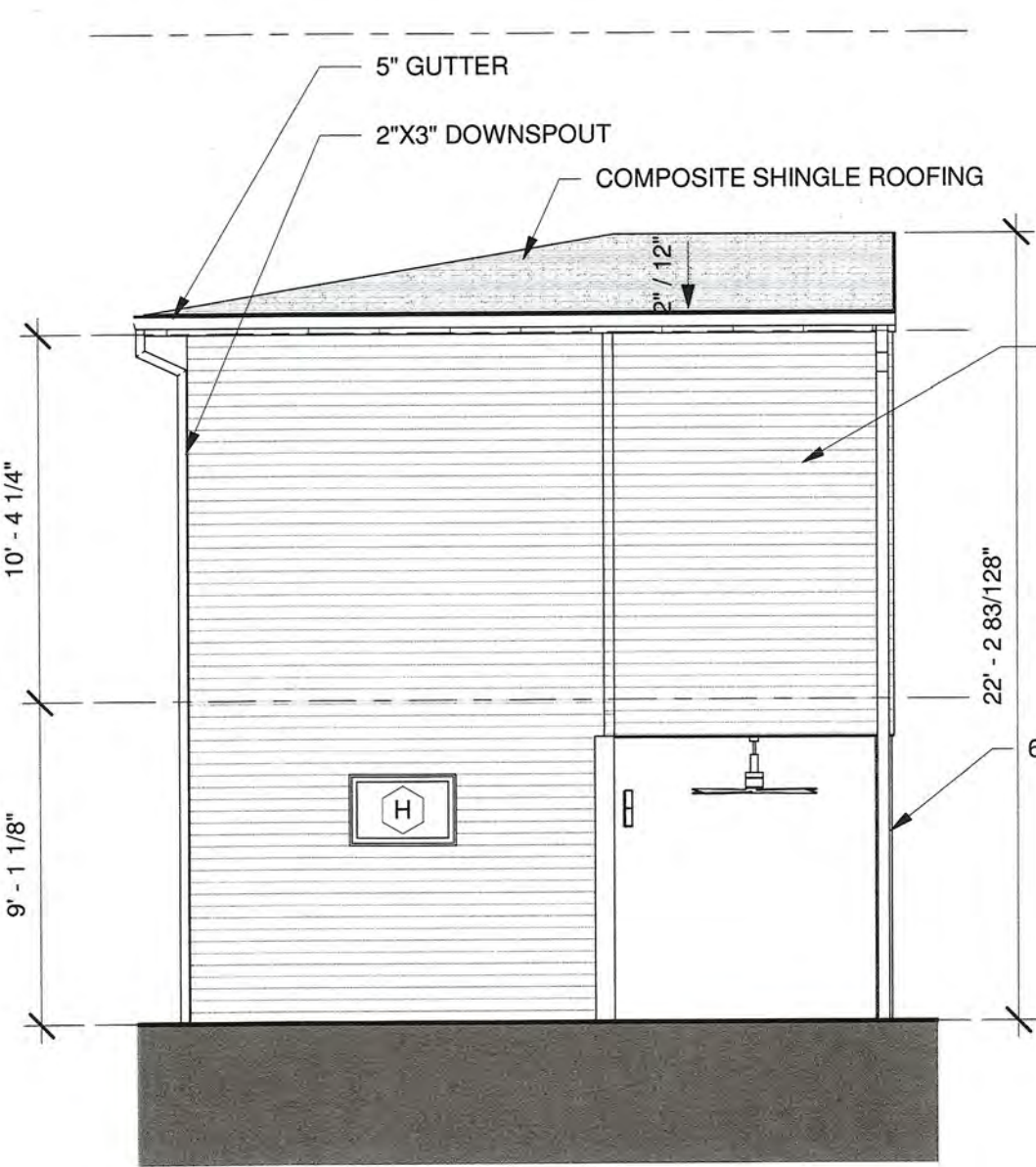
Project number
Date
202204
Issue Date



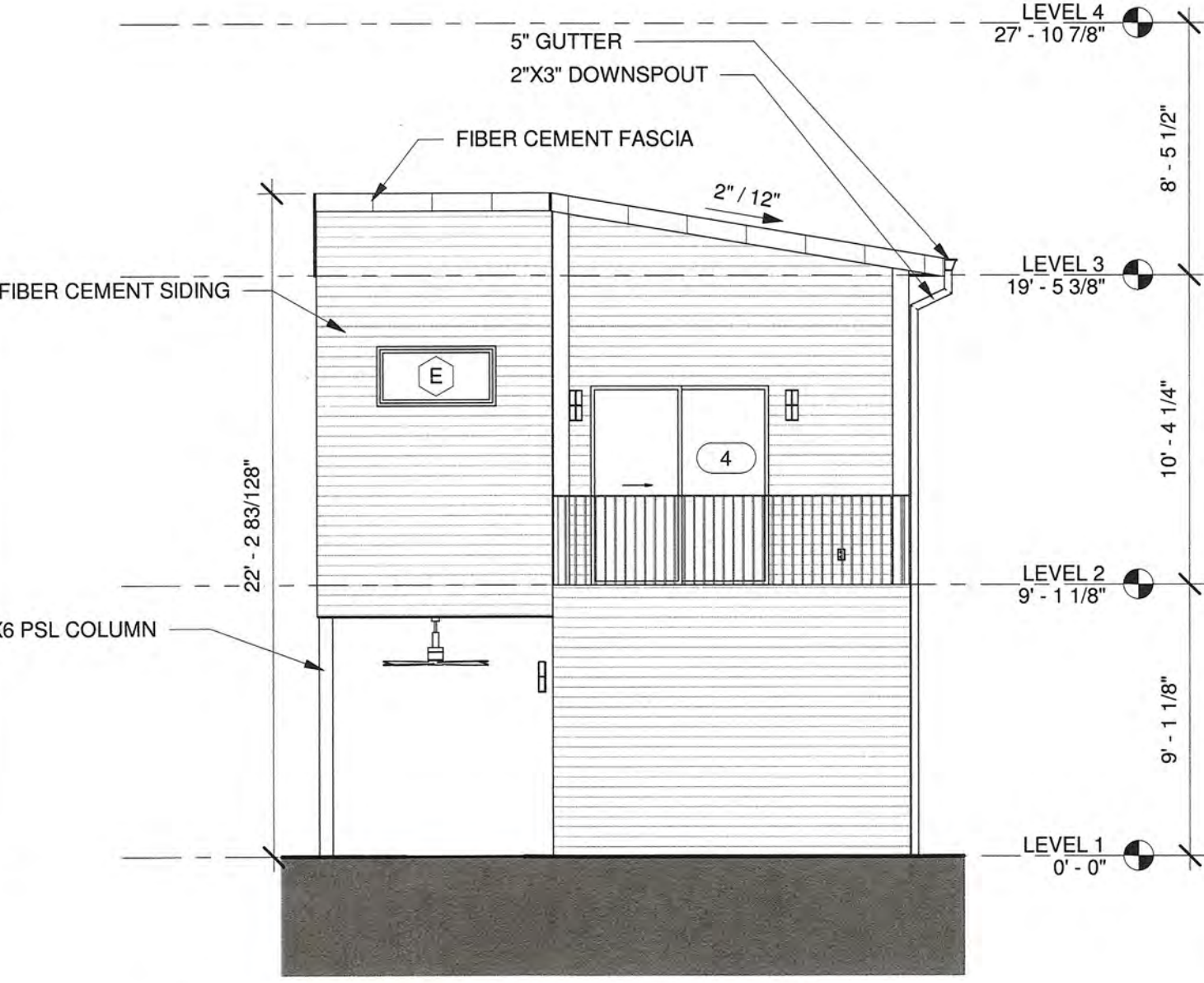
1 ADU SECTION A - BOA
SCALE: 1/8" = 1'-0"



2 ADU SECTION B - BOA
SCALE: 1/8" = 1'-0"



ADU LEFT ELEVATION



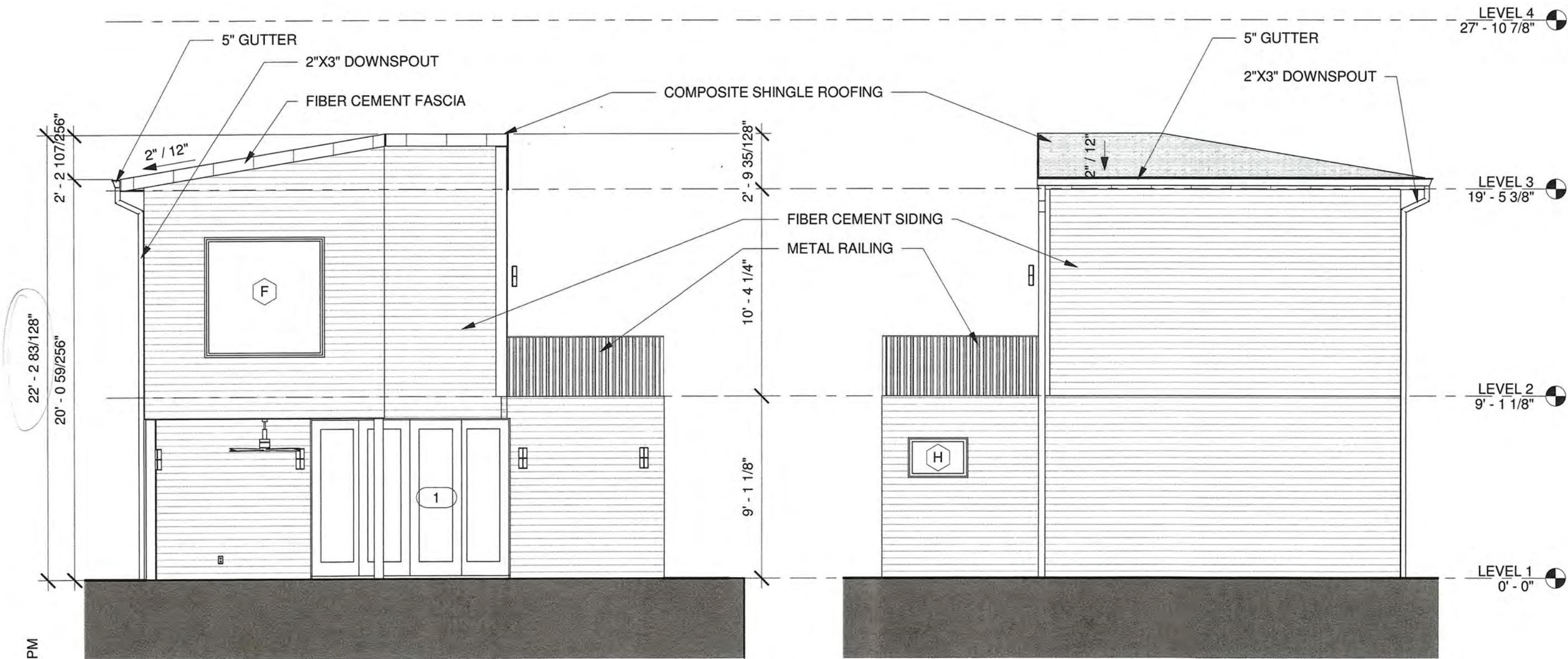
ADU RIGHT ELEVATION

1325 GRANT ST

ELEVATIONS

Project number	202204	Issue Date
Date		

8/4/2022 11:13:04 PM



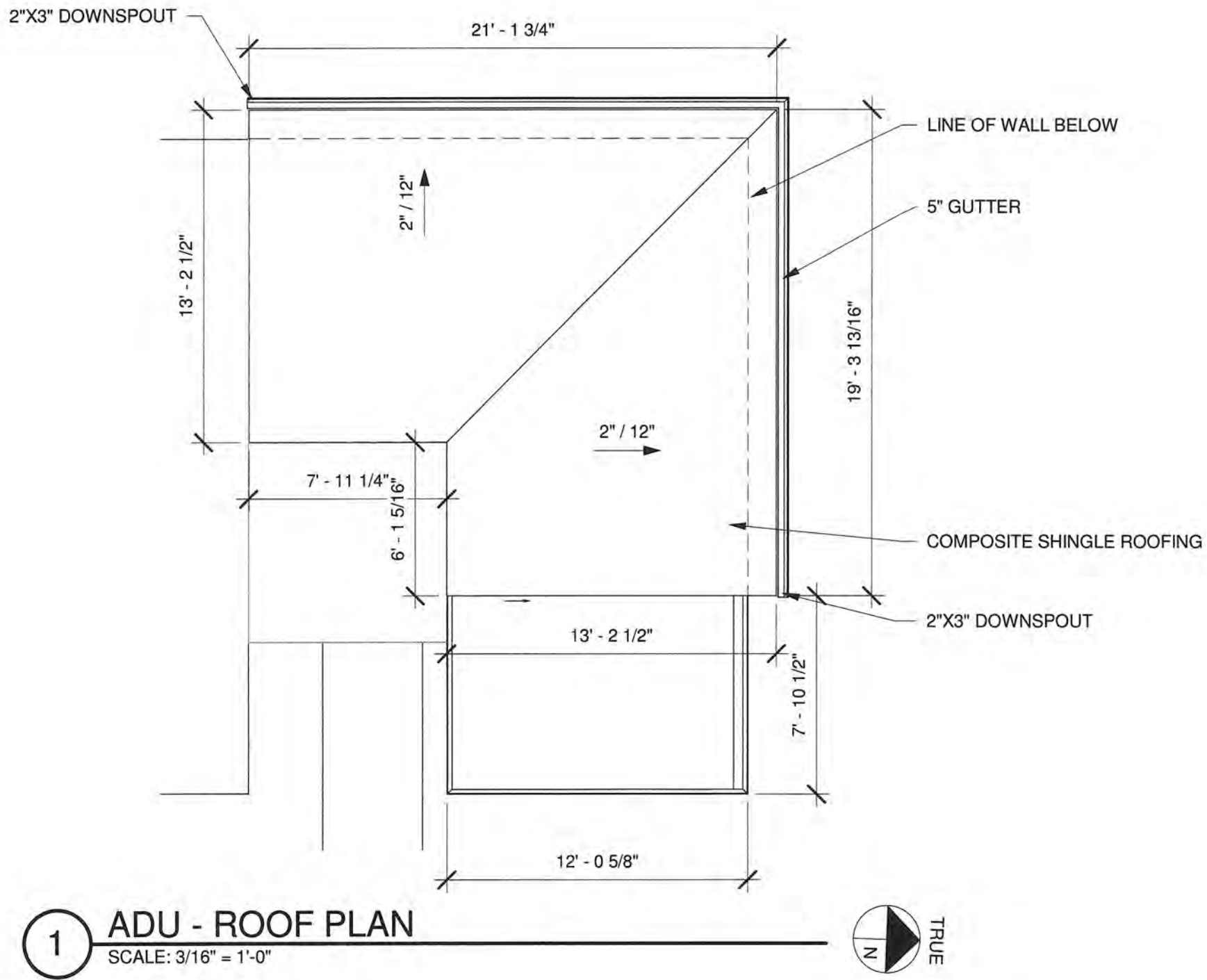
2 ADU FRONT ELEVATION
SCALE: 3/16" = 1'-0"

1 ADU BACK ELEVATION
SCALE: 3/16" = 1'-0"

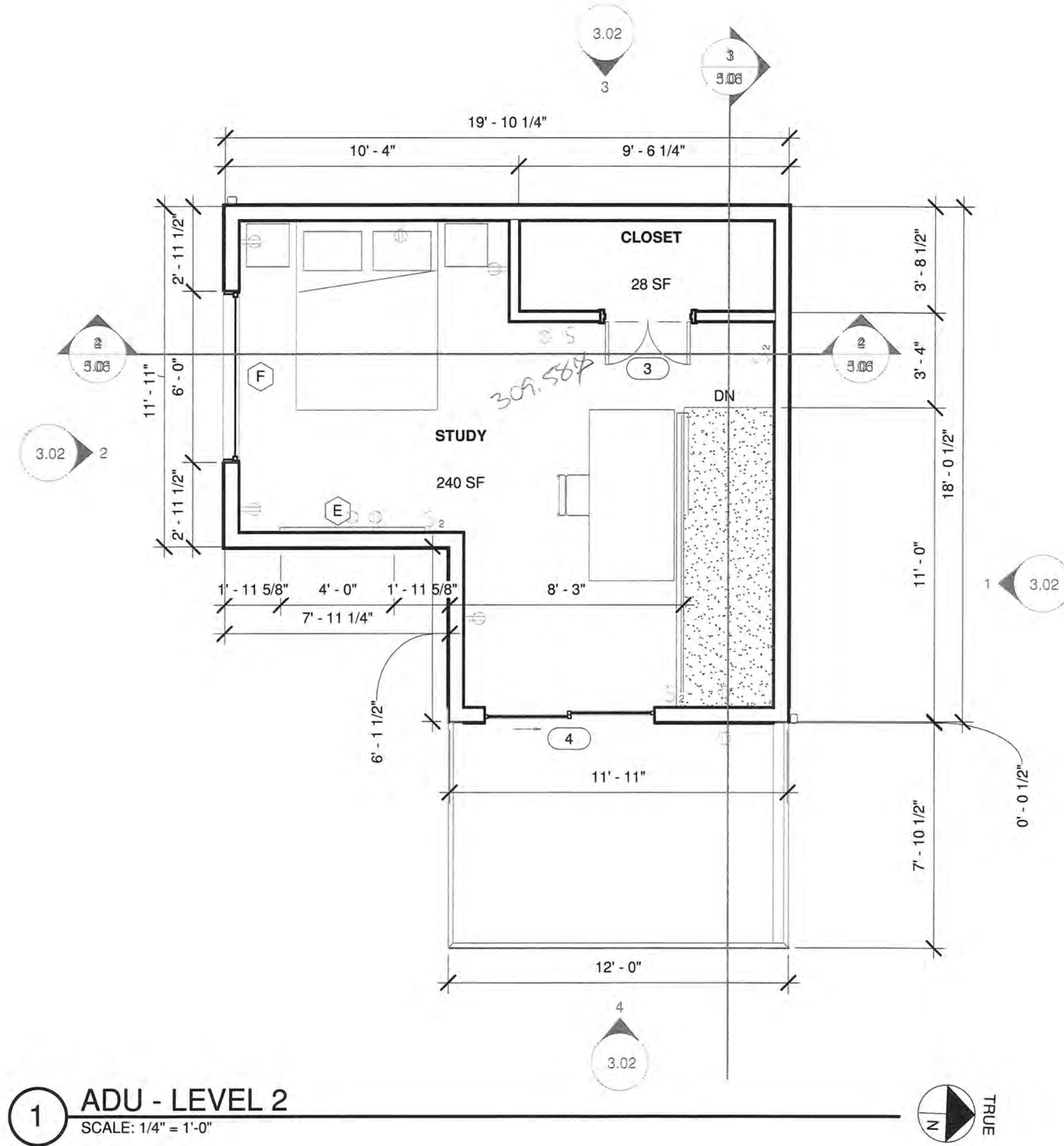
1325 GRANT ST

ELEVATIONS

Project number
202204
Date
Issue Date



650.19

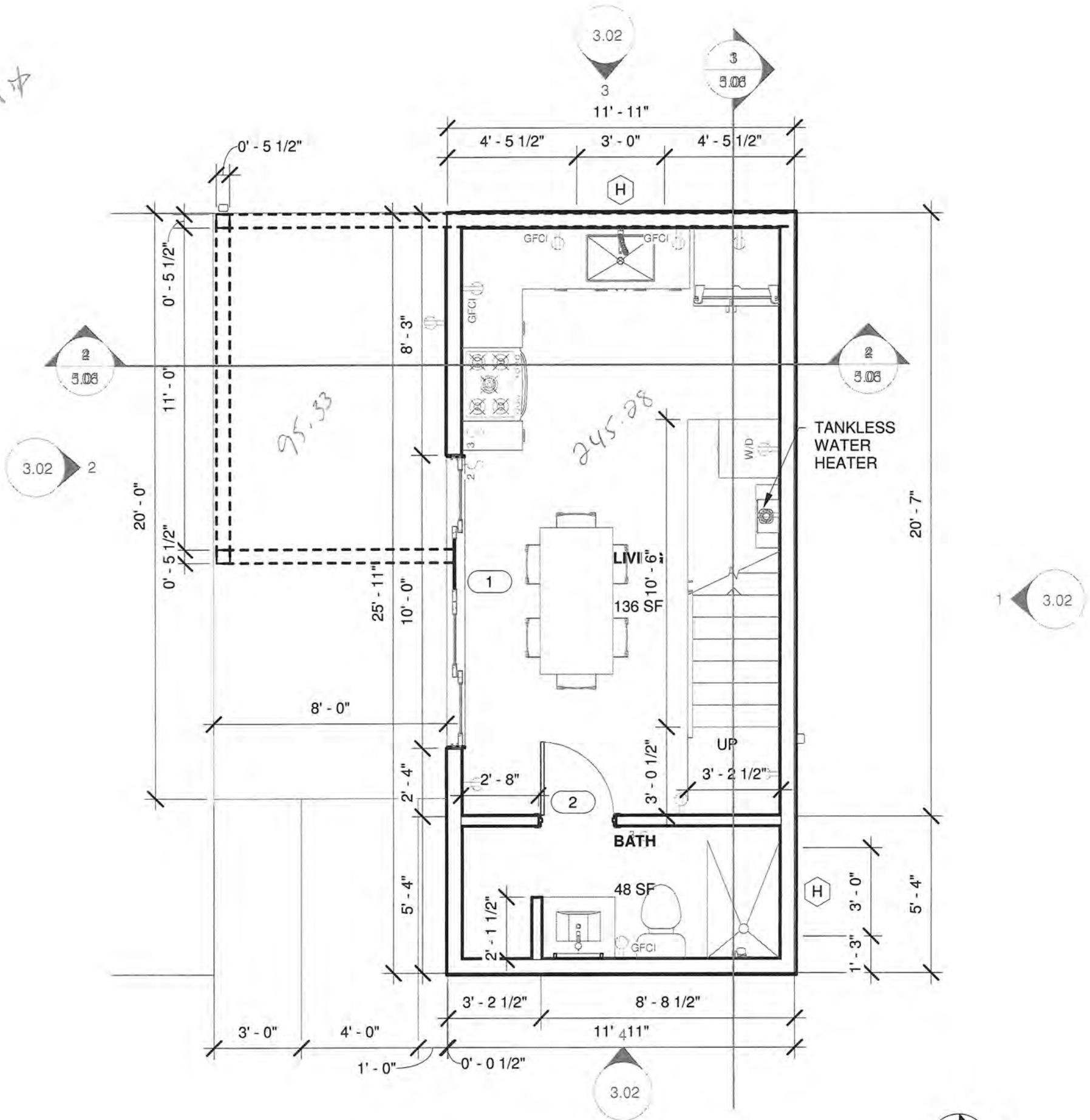


972.904.0279
Julio@adaptable-living.net

1325 GRANT ST

FLOOR PLANS	Project number	Date	Issue Date
	202204		

340.617



1 ADU - LEVEL 1
SCALE: 1/4" = 1'-0"



To whom it may concern,

I am a neighbor of Julio Roman, who is applying for an accessory dwelling unit at 1325 Grant St. Dallas, TX 75203. I have spoken with Julio Roman and he has showed me the details of the ADU. My signature on this letter serves as my support for this project.

Thank you.

A quien le interese,

Soy vecino de Julio Román, quien está solicitando una unidad de vivienda accesoria en 1325 Grant St. Dallas, TX 75203. He hablado con Julio Román y me ha mostrado los detalles de la ADU. Mi firma en esta carta sirve como apoyo para este proyecto.

Gracias.



SIGNATURE

09/27/2022

DATE

Alexander Lopez

PRINTED NAME

9911 Marlin Dr, Dallas TX, 75228

ADDRESS

To whom it may concern,

I am a neighbor of Julio Roman, who is applying for an accessory dwelling unit at 1325 Grant St. Dallas, TX 75203. I have spoken with Julio Roman and he has showed me the details of the ADU. My signature on this letter serves as my support for this project.

Thank you.

A quien le interese,

Soy vecino de Julio Román, quien está solicitando una unidad de vivienda accesoria en 1325 Grant St. Dallas, TX 75203. He hablado con Julio Román y me ha mostrado los detalles de la ADU. Mi firma en esta carta sirve como apoyo para este proyecto.

Gracias.

Gary A. Walker

SIGNATURE

9-24-2022

DATE

GARY J. WALKER

PRINTED NAME

1319 Claude St.

ADDRESS

To whom it may concern,

I am a neighbor of Julio Roman, who is applying for an accessory dwelling unit at 1325 Grant St. Dallas, TX 75203. I have spoken with Julio Roman and he has showed me the details of the ADU. My signature on this letter serves as my support for this project.

Thank you.

A quien le interese,

Soy vecino de Julio Román, quien está solicitando una unidad de vivienda accesoría en 1325 Grant St. Dallas, TX 75203. He hablado con Julio Román y me ha mostrado los detalles de la ADU. Mi firma en esta carta sirve como apoyo para este proyecto.

Gracias.

Precious Taylor

SIGNATURE

9-26-22

DATE

Precious Taylor

PRINTED NAME

1330. Grant St Dallas TX

ADDRESS

To whom it may concern,

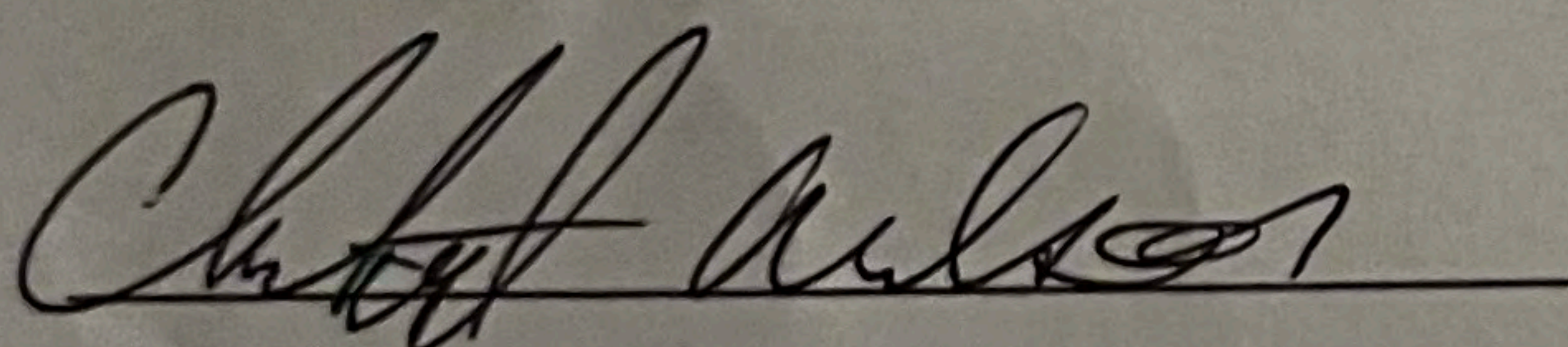
I am a neighbor of Julio Roman, who is applying for an accessory dwelling unit at 1325 Grant St. Dallas, TX 75203. I have spoken with Julio Roman and he has showed me the details of the ADU. My signature on this letter serves as my support for this project.

Thank you.

A quien le interese,

Soy vecino de Julio Román, quien está solicitando una unidad de vivienda accesoría en 1325 Grant St. Dallas, TX 75203. He hablado con Julio Román y me ha mostrado los detalles de la ADU. Mi firma en esta carta sirve como apoyo para este proyecto.

Gracias.



SIGNATURE

9-26-22

DATE

CHRISTOPHER WILSON

PRINTED NAME

1330 GRANT ST

ADDRESS

To whom it may concern,

I am a neighbor of Julio Roman, who is applying for an accessory dwelling unit at 1325 Grant St. Dallas, TX 75203. I have spoken with Julio Roman and he has showed me the details of the ADU. My signature on this letter serves as my support for this project.

Thank you.

A quien le interese,

Soy vecino de Julio Román, quien está solicitando una unidad de vivienda accesoria en 1325 Grant St. Dallas, TX 75203. He hablado con Julio Román y me ha mostrado los detalles de la ADU. Mi firma en esta carta sirve como apoyo para este proyecto.

Gracias.

Fortunato Susito

SIGNATURE

9-26-22

DATE

1337 Grant St
Dallas TX 75203

Fortunato Susito Jr

PRINTED NAME

ADDRESS

FILE NUMBER: BDA212-104(OA)

BUILDING OFFICIAL'S REPORT: Application of Krystine Paige for a special exception to the visibility obstruction regulations, and for a special exception to the visibility obstruction regulations, and for variance to the front yard setback regulations, and for a variance to the maximum allowed lot coverage at 521 Faulk Street. This property is more fully described as Lot 2, Block C/5905, and is zoned an R-5(A) Single Family District, which requires a 20-foot visibility triangle at the driveway approaches and requires a 45-foot visibility triangle at the street intersections and requires a front yard setback of 20 feet which requires 45 percent maximum lot coverage. The applicant proposes to construct and maintain a single family residential structure and a fence in a required 20 foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation, and to construct a single family residential structure and a fence in a required 45 foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation, and to construct and maintain a single family residential structure and provide a two-foot front yard setback measured at the floor above at both Faulk and Hart Street which will require a 18-foot variance to the front yard setback regulations and to construct and maintain a single family residential structure with 1962-square foot of floor area, which will require a 27 square foot variance to the maximum allowed lot coverage of 45 percent.

LOCATION: 521 Faulk Street

APPLICANT: Krystine Paige

REQUESTS:

The following requests have been made on a site that is being developed with a single-family home:

1. A variance to the front yard setback regulations of 18 feet is made to construct/maintain a three-story single-family residential structure with 1962 square-foot, total "home size", part of which is to be located two feet from the site's two front property lines (Faulk and Hart Street) or 18 feet into these two 20-foot front yard setbacks.
2. A variance to the maximum allowed lot coverage of 45 percent is made to construct and maintain the 1962 square-foot, three-story, single-family structure which will require a 1.38 percent (27 square feet) variance to the lot coverage regulations.

3. A special exception to the visual obstruction regulations is made to construct and maintain portions of the 1962-square-foot three-story, single-family structure and a retaining wall/fence within the 20' visibility triangle located on the east sides of the driveway and a retaining wall/fence located within the 20' visibility triangle located on the west side of the driveway of the driveway into the site on Hart Street, and.
4. A special exception to the visual obstruction regulations is made to construct and maintain portions of the aforementioned 1962-square-foot, three-story single-family structure and retaining wall/fence within the 45' visibility triangle at the intersection of Faulk Street and Hart Street.

STANDARD FOR A VARIANCE:

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

State Law/HB 1475 effective 9-1-21

- the board may consider the following as grounds to determine whether compliance with the ordinance as applied to a structure that is the subject of the appeal would result in unnecessary hardship:
 - (a) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.
 - (b) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development is authorized to physically occur.

- (c) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
- (d) compliance would result in the unreasonable encroachment on an adjacent property or easement; or

the municipality consider the structure to be a nonconforming structure

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

Section 51A-4.602(d) (3) of the Dallas Development Code states that the board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the board, the item will not constitute a traffic hazard

STAFF RECOMMENDATION (front yard & lot coverage variance):

Approval, subject to the following condition:

Compliance with the submitted site plan is required.

Rationale:

Staff concluded that the subject site is unique and different from most lots in R-5(A) Single Family District considering its restrictive lot area of 1,650--square-foot so that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same R-5(A) Single family District zoning classification.

The applicant submitted a document (**Attachment A**) indicating that the proposed structure on the site is commensurate to five other lots located in the same zoning district.

STAFF RECOMMENDATION (visual obstruction special exceptions 20' visibility triangles & 45-foot visibility triangle):

No staff recommendation is made on this or any request for a special exception to the visual obstruction regulations since the basis for this type of appeal is when in the opinion of the board, the special exception will not constitute a traffic hazard. However, staff does provide a technical opinion to assist in the board's decision-making.

The Sustainable Development and Construction Department Senior Engineer has no objections to the proposed requests to encroach into the required visual obstruction special exceptions 20' visibility triangles & 45-foot visibility triangle. (Attachment B).

Zoning:

Site: R-5(A) Single Family District

North: R-5(A) Single Family District

East: R-5(A) Single Family District
South: R-5(A) Single Family District
West: R-5(A) Single Family District

Land Use:

The subject site is undeveloped. The areas to the north, east, west, and south are developed with single-family uses and vacant lots.

Zoning/BDA History:

There have been no related board or zoning cases near the subject site within the last five years.

GENERAL FACTS/STAFF ANALYSIS (front yard & lot coverage variance):

The requests for variances to the front yard setback requirements and maximum lot coverage regulations focus on constructing and maintaining a 1962 square-foot-square-foot, three-story, single-family structure on an undeveloped lot zoned an R-5(A) Single Family District. In this district, a minimum front yard setback of 20 feet is required. Additionally, the maximum lot coverage is 45 percent.

The submitted site plan indicates that the proposed single-family structure will be located two-feet from the from the site's two front property lines (Faulk and Hart Street) or 18 feet into these two 20-foot front yard setbacks. The subject site is sloped, virtually rectangular (approximately 50 feet by 33 feet), and according to the submitted site plan 1,650--square-foot feet in area. The site is zoned an R-5(A) District where lots are typically a minimum of 5,000 square feet in area. The subject site is 3,350 square feet smaller than the minimum size requirement.

The submitted site plan also indicates that the proposed 1962-square-foot, three-story, single-family structure will exceed the allowed floor area by 1.38 percent (27-square feet) of the allowed lot coverage of 45 percent.

According to DCAD records, there are "no main improvements" or "no additional improvements" for property addressed at 521 Faulk Street.

The applicant submitted a document (**Attachment A**) indicating, among other things, that the proposed additions on the subject site are commensurate to 22 other lots located in the same R-5(A) District.

The applicant has the burden of proof in establishing the following:

- That granting the variance to the side yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.

- The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same R-5(A) zoning classification.
- The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same R-5(A) zoning classification.

If the board were to grant the variance requests and impose the submitted site plan as a condition, the structure would be limited to what is shown on this document and impose the submitted site plan as a condition, the building footprints of the structures on the site would be limited to what is shown on this document.

GENERAL FACTS/STAFF ANALYSIS (visual obstruction special exceptions 20' visibility triangles & 45-foot visibility triangle):

These requests for special exceptions to the visual obstruction regulations focus on constructing and maintaining portions of the 1962-square-foot single-family structure and a retaining wall/fence within the required 20-foot visibility triangle at the driveway approaches and requires a 45-foot visibility triangle at the street intersections.

The Dallas Development Code states the following: a person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:

- in a visibility triangle as defined in the Code (45-foot visibility triangles at street intersections and 20-foot visibility triangles at drive approaches and at alleys on properties zoned single family); and
- between two and a half and eight feet in height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).

The applicant is requesting special exceptions to the visual obstruction regulations for the two required 20-foot visibility triangles on each side of the driveway into the site on Hart Street and the applicant is requesting special exceptions to the visual obstructions' regulations for the required 45-foot visibility triangles at the intersection of Faulk Street and Hart Street.

The applicant submitted a site plan and elevation indicating portions of 1962-square-foot three-story, single-family structure and a retaining wall/fence within the 20' visibility triangle located on the east sides of the driveway and a retaining wall/fence located within the 20' visibility triangle located on the west site of the driveway of the driveway into the site on Hart Street. Furthermore, the submitted site plan and elevation indicate

indicating portions of 1962-square-foot three-story, single-family structure and a retaining wall/fence within the 45' visibility triangle at the intersection of Faulk Street and Hart Street.

The Sustainable Development Department Senior Engineer has submitted a review comment sheet marked "Has no objections".

As of October 5, 2022, no letters have been received in opposition or support of this request.

The applicant has the burden of proof in establishing how granting the requests for special exceptions to the visual obstruction regulations, to locate and maintain portions of the 1962-square-foot single-family structure and a retaining wall/fence within the required 20-foot visibility triangle at the driveway approaches and requires a 45-foot visibility triangle at the street intersections, do not constitute a traffic hazard.

Granting these special exceptions with a condition imposed that the applicant complies with the submitted site plan and elevation would require the fence exceeding four-feet-in-height in the front yard setback and all visual obstructions to be constructed in the locations and heights as shown on these documents.

TIMELINE:

- | | |
|--------------------|--|
| July 28, 2022: | The applicant submitted an "Application/Appeal to the Board of Adjustment" and related documents that have been included as part of this case report. |
| September 1, 2022: | The Board of Adjustment Secretary randomly assigned this case to the Board of Adjustment Panel B. |
| September 9, 2022: | The Board Senior Planner emailed the applicant the following information: <ul style="list-style-type: none">• a copy of the application materials including the Building Official's report on the application.• an attachment that provided the public hearing date and panel that will consider the application; the September 28th deadline to submit additional evidence for staff to factor into their analysis; and the October 7th deadline to submit additional evidence to be incorporated into the Board's docket materials.• the criteria/standard that the board will use in their decision to approve or deny the request; and |

- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

September 29: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the October public hearing. Review team members in attendance included: the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, the Assistant City Attorney to the Board, and Jason Pool Senior Planner.

October 3, 2022: The applicant submitted additional information to staff beyond what was submitted with the original application (Attachment A).

October 3, 2022: The Sustainable Development and Construction Senior Engineer submitted a review comment sheet (**Attachment B**).



1:1,200

ZONING MAP

Case no: **BDA212-104**
Date: **9/8/2022**

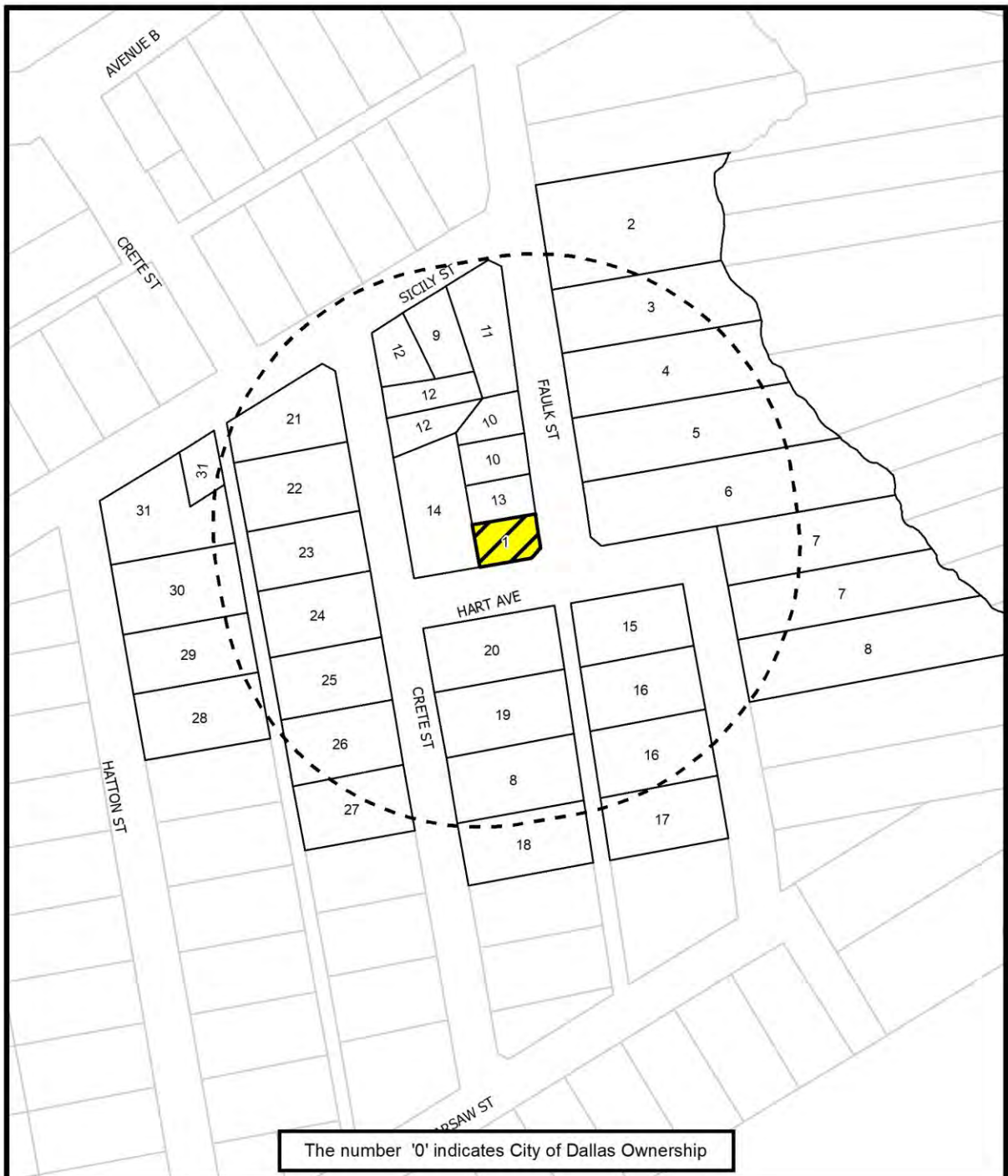


1:1,200

AERIAL MAP

Case no: BDA212-104

Date: 9/8/2022



1:1,200

NOTIFICATION

200'

AREA OF NOTIFICATION

31

NUMBER OF PROPERTY
OWNERS NOTIFIED

Case no: **BDA212-104**

Date: **9/8/2022**

09/08/2022

Notification List of Property Owners

BDA212-104

31 Property Owners Notified

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
1	521 FAULK ST	BURELL LOUISE
2	504 FAULK ST	BLACKNOLD HAROLD JR
3	508 FAULK ST	COVENANT HOMES CONSTRUCTION &
4	512 FAULK ST	WASHINGTON WILLIE
5	516 FAULK ST	THOMAS JOE
6	520 FAULK ST	HAWKINS FREDDIE HENDERSON
7	524 FAULK ST	HOOD GEORGE
8	532 FAULK ST	BUSTAMANTE OSWALDO
9	1702 SICILY ST	BAGSBY MAGGIE
10	515 FAULK ST	MASTERS RODNEY &
11	1706 SICILY ST	MARTINEZ MARIA E
12	506 CRETE ST	RUIZ DANIELA LOPEZ
13	519 FAULK ST	DYSON PAULA ET AL &
14	510 CRETE ST	VILLARREAL JUAN G &
15	531 FAULK ST	DUNNAHUE T I
16	533 FAULK ST	HAPPY FAMILY RENTALS LLC
17	541 FAULK ST	GERARDO LORENZO &
18	530 CRETE ST	JOHNSON DOROTHY
19	522 CRETE ST	BENTON HERBERT JR & ERMA
20	518 CRETE ST	KELLEY MANDELL
21	1632 SICILY ST	MIXON DOLORES &
22	507 CRETE ST	VILLARREAL JUAN &
23	511 CRETE ST	GARCIA RODOLFO
24	515 CRETE ST	JACKSON WILLIAM
25	519 CRETE ST	TINOCO ESTHER
26	523 CRETE ST	HOWARD KATIE MARIE

09/08/2022

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	527 CRETE ST	MACIAS IRMALINDA & ROSENDO
28	514 HATTON ST	WEST RHONDA
29	510 HATTON ST	MORENO AGUSTINA &
30	506 HATTON ST	MARTINEZ ANGELICA M &
31	502 HATTON ST	MARTINEZ ANGELICA



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 212104

Data Relative to Subject Property:

Date: July 28 2022

Location address: 521 Faulk St Dallas ⁷⁵²⁰³ Zoning District: RS(A)

Lot No.: 2 Block No.: C/S905 Acreage: .036 Census Tract: _____

Street Frontage (in Feet): 1) 34x80 2) 50 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): PTC Geruices INC.

Applicant: Krystine Paige Telephone: 214-232-4704

Mailing Address: 833 N Beckley Ave #2101 Zip Code: 75203

E-mail Address: paigekrystine@att.net

Represented by: Krystine Paige Telephone: _____

Mailing Address: 833 N Beckley Ave #2101 Zip Code: 75203

E-mail Address: paigekrystine@att.net

Affirm that an appeal has been made for a Variance __, or Special Exception __, of See attached

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

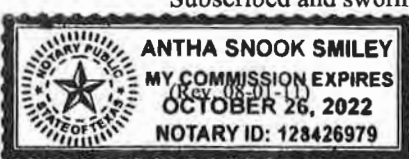
Affidavit

Before me the undersigned on this day personally appeared KRISTINA PAIGE
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Krystine Paige
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 28 day of July, 2022



Antha Snook Smiley
Notary Public in and for Dallas County, Texas

**MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT**

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that KRYSTINE PAIGE

did submit a request for a special exception to the visibility obstruction regulations, and for a special exception to the visibility obstruction regulations, and for a variance to the front yard setback regulations

at 521 Faulk Street

BDA212-104. Application of KRYSTINE PAIGE for a special exception to the visibility obstruction regulations, and for a special exception to the visibility obstruction regulations, and for a variance to the front yard setback regulations at 521 FAULK ST. This property is more fully described as block C/5905, part of lot 2 and is zoned R-5(A), which requires a 20 foot visibility triangle at driveway approaches and requires a 45 foot visibility triangle at street intersections and requires a front yard setback of 20 feet. The applicant proposes to construct a single family residential fence structure in a required 20 foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation, and to construct a single family residential structure in a required 45 foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation, and to construct a single family residential structure and provide a 14 foot 6 inch front yard setback at Hart street and provide a 10 foot front yard setback at Faulk street, which will require a 14 foot 6 inch variance to the front yard setback regulations at Hart street and a 10 foot variance to the front yard setback regulations at Faulk street..

Sincerely,


David Session, Building Official

SITE PLAN

LOCATION: 521 Faulk St, Dallas, TX 75203, USA

LEGAL DESCR: PLEASANT VIEW PT LOT 2 - 34X50 FAULK ST & HART

5905C000 002 2005905C000

PARCEL ID: 00000457912000000



VICINITY MAP



SCOPE OF WORK

-SITE PLAN OF THE PROPERTY
UNDER REVIEW SHOWING THE
PROPOSED SITE DEVELOPMENT.

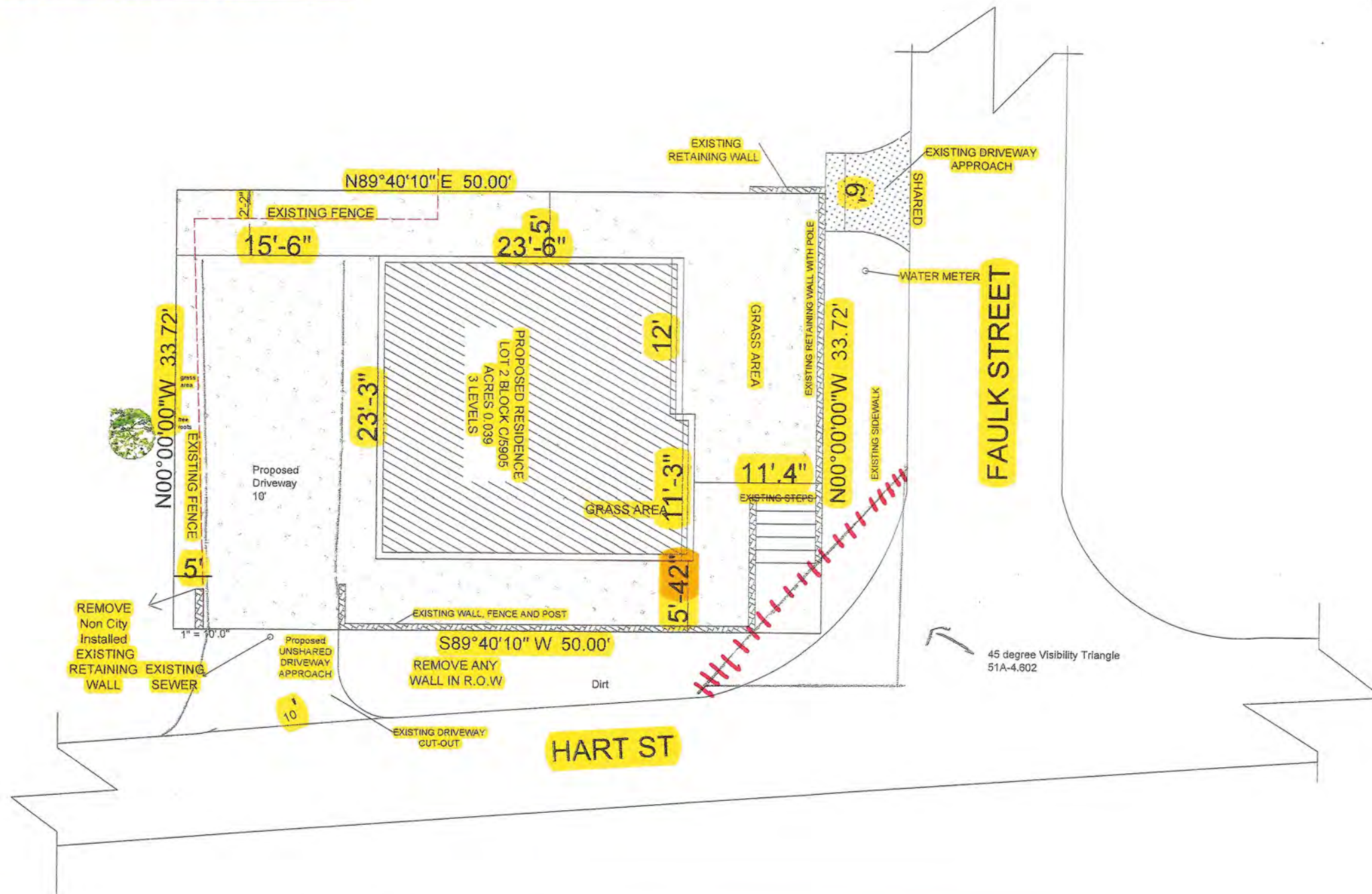
Drawing Scale 1" = 10'

Plot Size 11"X 17"

* Note: For the scale to be correct must print in 11"X 17"

LOT SIZE

0.039 Acres



SHEET TITLE

SITE PLAN

LOT OWNER:

DEEN'S CONSULTS

Architects, Planners & Project Managers

ISMAILAOTU@GMAIL.COM

ARCHITECT

Deen's consult

DRAWN

Deen's consult

CHECKED BY

Deen's consult

SCALE: 1"=10'

DATE

07-25-2022

SHEET NO.

01

CITY OF DALLAS PLAT BOOKS

ANNEXED MAY 23, 1945 ORD. NO. 3629
SURVEY W. J. ELLIOTT ABST. 448

ADDITION PLEASANTVIEW

SCALE 100 FT. EQUALS 1 INCH

BLOC
SCH

FILED 6-6-1919



212-104

SITE PLAN

LOCATION: 521 Faulk St, Dallas, TX 75203, USA

LEGAL DESCR: PLEASANT VIEW PT LOT 2 - 34X50 FAULK ST & HART

5905C000 002 2005905C000

PARCEL ID: 00000457912000000



VICINITY MAP



SCOPE OF WORK

-SITE PLAN OF THE PROPERTY
UNDER REVIEW SHOWING THE
PROPOSED SITE DEVELOPMENT.

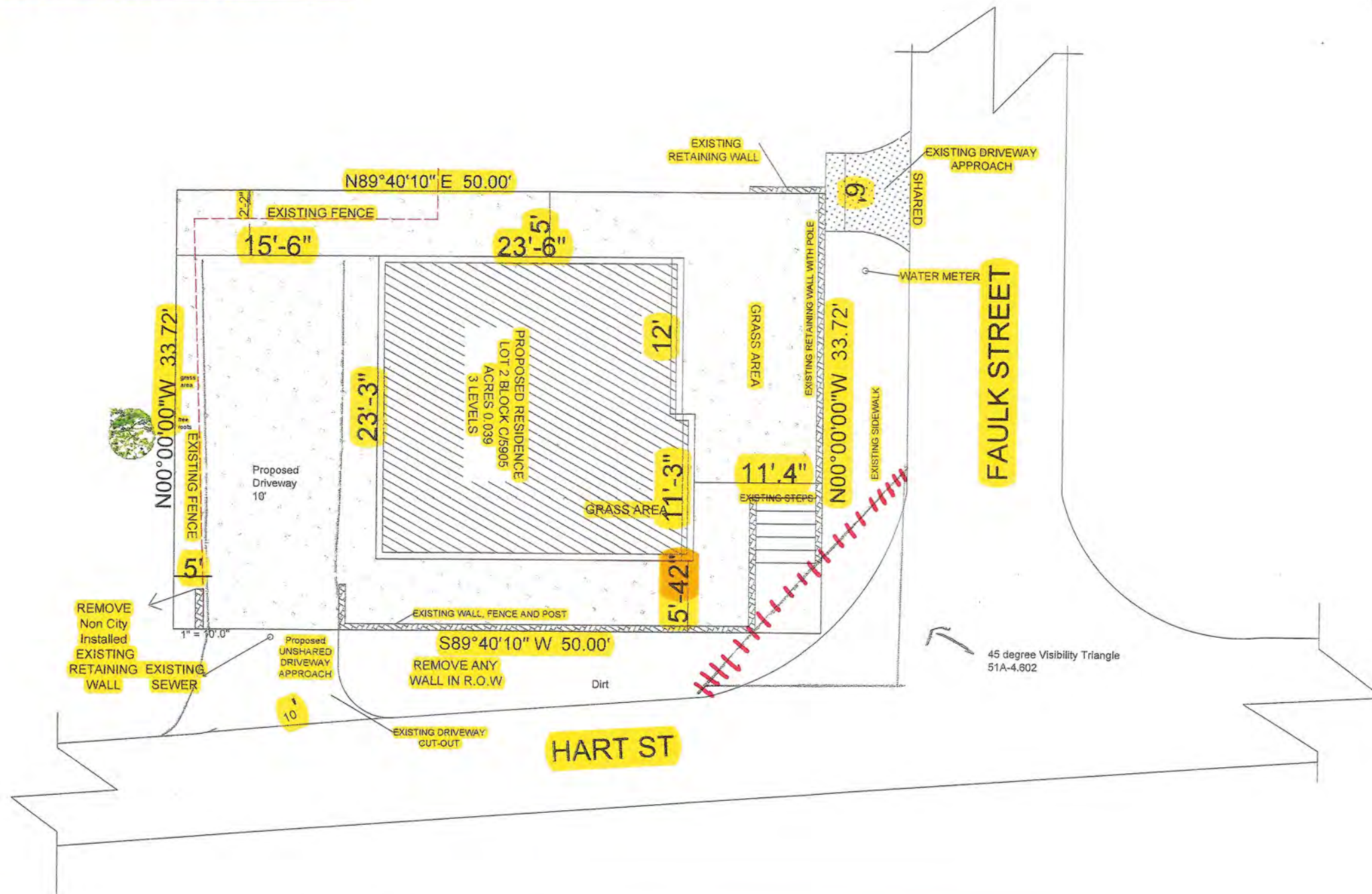
Drawing Scale 1" = 10'

Plot Size 11"X 17"

* Note: For the scale to be correct must print in 11"X 17"

LOT SIZE

0.039 Acres



SHEET TITLE

SITE PLAN

LOT OWNER:



DEEN'S CONSULTS

Architects, Planners & Project Managers

ISMAILAOTU@GMAIL.COM

ARCHITECT

Deen's consult

DRAWN

Deen's consult

CHECKED BY

Deen's consult

SCALE 1"=10'

DATE

07-25-2022

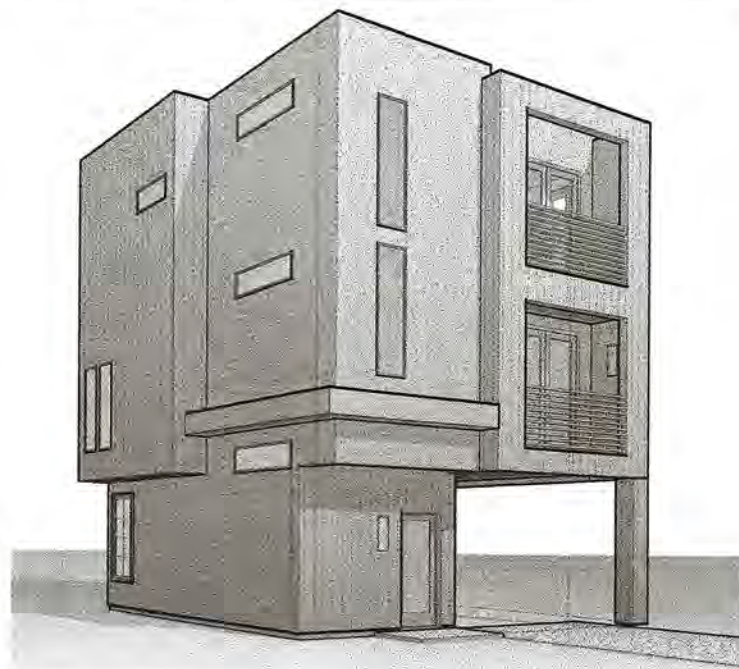
SHEET NO.

01

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Cover Image



3018 Rambling Dr.
Dallas Tx 75228 (214) 683-4327
www.momentousdus.com

Krystina Paige

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Construction Set

Notes - General Project

- Codes:**
 - This Project is Governed By The Applicable Building Code As Adopted By The Jurisdiction Of Record In Dallas. Code Compliance Is Mandatory. The Drawings And Specifications Shall Not Permit Work That Does Not Conform To These Codes.
 - The General Contractor And Subcontractors Shall Be Responsible For Satisfying All Applicable Codes And Obtaining All Permits And Required Approvals. Building Areas Are Shown For Code Purposes Only And Shall Be Recalculated For Any Other Purposes.
- Field Verification:**
 - A. Verify All Dimensions, Conditions, And Utility Locations On The Job Prior To Beginning Any Work Or Ordering Any Materials. Notify Owner / Designer Of Any Conflicts Or Discrepancies In The Drawings Immediately.
- Dimensions:**
 - A. Written Dimensions Always Take Precedence Over Scaled Dimensions. Do Not Scale Drawings.
 - Verify All Dimensions Shown Prior To Beginning Any Work And Notify Owner / Designer Of Any Conflicts Or Discrepancies For Interpretation Or Clarification.
 - Plan Dimensions Are To The Face Of Framing Members, Face Of Wood Furring Or Face Of Concrete Walls Unless Otherwise Noted.
 - Section Or Elevation Dimensions Are To Top Of Concrete, Top Of Plywood, Or Top Of Wall Plates Or Beams Unless Otherwise Noted.
- Discrepancies:**
 - The Owner Has Requested The Designer To Provide Limited Services. In The Event That Additional Details Or Guidance Is Needed By The Contractor For Construction Of Any Aspect Of This Project, He Shall Immediately Notify The Designer. Failure To Give Simple Notice Shall Relieve The Designer Of Responsibility. Do Not Proceed In Areas Of Discrepancy Until All Such Discrepancies Have Been Fully Resolved With Written Direction From Designer.
- Duty Of Cooperation:**
 - Release Of These Plans Contemplates Further Cooperation Among The Owner, His Contractor, And The Designer. Design And Construction Are Complex. Although The Designer And His Consultants Have Performed Their Services With Due Care And Diligence, They Can Not Guarantee Perfection. Communication Is Imperfect And Every Contingency Can Not Be Anticipated. Any Ambiguity Or Discrepancy Discovered By The Use Of These Plans Shall Be Reported Immediately To The Designer. Failure To Notify The Designer Compounds Misunderstanding And Increases Construction Cost. A Failure To Cooperate By A Simple Notice To The Designer Shall Relieve The Designer From Responsibility For All Consequences.
- Changes To The Work:**
 - Any Items Described Herein That Impact Project Budget Or Time Shall Be Requested From The Contractor Via A Written Change Order Request Prior To Such Work. Performance Of Such Work Without Approval By Change Order Indicates General Contractor's Acknowledgment Of No Increase In Contract Sum Or Time.
 - Changes From The Plans Or Specifications Made Without Consent Of The Designer Are Unauthorized And Shall Relieve The Designer Of Responsibility For Any And All Consequences Resulting From Such Changes.
- Workmanship:**
 - It Is The Intent And Meaning Of These Drawings That The Contractor And Each Subcontractor Provide All Labor, Materials, Transportation, Supplies, Equipment, Etc., To Obtain A Complete Job Within The Recognized Standards Of Industry.
- Substitutions:**
 - Substitution Of "Equal" Products Will Be Acceptable With Designer's Written Approval. See Specifications.
- Construction Safety:**
 - These Drawings Do Not Include The Necessary Components For Construction Safety. The General Contractor Shall Provide For The Safety, Care Of Utilities And Adjacent Properties During Construction, And Shall Comply With State And Federal Safety Regulations.
- Excavation Procedure:**
 - Upon Completion Of Any Excavation, The Owner Shall Retain A Soils Engineer To Inspect The Subsurface Conditions In Order To Determine The Adequacy Of Foundation Design. See Specifications.
 - Contractor Shall Not Pour Any Concrete Until Approval Is Obtained From Soils Engineer.
- Field Cutting Of Structural Members:**
 - The General Contractor And Subcontractors Shall Field Coordinate And Obtain Approval From Engineer Before Cutting, Notching Or Drilling Of Any Cast-In-Place Concrete, Steel Framing, Or Any Other Structural Elements Which May Affect The Structural Integrity Of The Manufacturer's Or Supplier's Instructions, And Structural Drawings For Additional Requirements.
- Building Area:**
 - Building Areas Are Shown For Code Purposes Only And Shall Be Recalculated For Any Other Use.
- Project Staking:**
 - The General Contractor Shall Verify All Existing Grades And Stake All Building Corners And The Driveway Location For Owner/Designer And Jurisdiction Approval Prior To Beginning Any Site Clearing.
- Site Disturbance:**
 - It Is The Responsibility Of The Contractor To Protect The Existing Trees To Remain And Adjacent Properties From Damage During Construction. Provide Protective Fencing Throughout Construction.
- Project Grades:**
 - The General Contractor Shall Check And Verify All Grades Including Paved Area Slopes Prior To Pouring Any Foundations. Survey Work Should Be Verified In Detail. See General Notes 4 & 5.
- Development Permit:**
 - The City Of Dallas Has Issued A Development Permit (Enter Permit Number) For This Residence. The Contractor Shall Meet All The Conditions Outlined In The Permit. A Copy Of The Permit May Be Obtained From The Contractor/Owner.
- Exterior Material Mock Up:**
 - The General Contractor Shall Provide A Mock Up Of All Exterior Materials For Review By The Owner, Designer, And City Of Dallas Architectural Review Committee If Necessary. This Mock Up Shall Be Provided And Signed Off In Writing Prior To Any Exterior Stain Or Exterior Finish Work. The Sample Shall Include Fascia, Trim, Window Cladding And All Other Exterior Finishes Including A 3"X3'-0" (Min) Sample Of Exterior Stonework If Applicable. This Mock Up Shall Be Retained On Site Until Final Punch.

Notes - General Building Code

Refer to Builder for All Construction Notes, Permits and Specific Build Documentation

- All construction shall comply with the Zoning Ordinance of the City of Dallas, Texas and all applicable building codes including:
 - 2018 International Residential Code*
 - 2015 International Mechanical Code*
 - 2015 International Plumbing Code*
 - 2015 International Fuel & Gas Code*
 - 2015 International Fire Code*
 - 2015 International Energy Conservation Code*
 - 2017 National Electric Code**with Dallas Amendments
- The contractor shall examine and become familiar with these drawings and all existing structures and site conditions. All construction shall be based on a thorough knowledge of the zoning ordinance, building codes, materials, and labor required.
- The contractor shall be solely responsible for construction means, methods, techniques, sequences, and procedures required for the safe execution and completion of work including installing, maintaining, and supervising all safety precautions and programs in conjunction with the work.
- The contractor shall verify all site dimensions, building setbacks, height restrictions, and all utility locations and easements prior to construction.
- Any errors, omissions, or inconsistencies on these drawings, and any variations or ambiguities between these drawings and existing conditions shall be brought to the attention of the architect immediately.
- The contractor shall verify all dimensions in the field and be responsible for the accuracy and correctness of the same.
- Any discrepancy as to what material/product to be used shall be verified with the architect and/or owner.
- All costs submitted to owner shall represent a thorough understanding of all construction necessary to complete the project to the owner's satisfaction as represented by these plans.

Notes - 2018 IRC Window & Door

- Emergency Escape & Rescue Openings:**
 - Provide Emergency Escape and Rescue Openings in All Sleeping Rooms and in All Basements Except Those That Are Less Than 200 Square Feet in Area and Used Only To House Mechanical Equipment.
 - Required Opening Size of 24 Inches High, 20 Inches Wide And 5.0 Or 5.7 Square Feet Is Area Must Be Met By "Normal" Operation Of The Window, Door or Skylight Without The Use Of Keys, Tools Or Special Knowledge, And Without The Removal Of A Second Sash From The Opening.
- Minimum Window Sill Heights:**
 - Bottom Of Openings Created By Openable Windows To Be A Minimum Height of 24 Inches Above The Adjacent Interior Floor When They Are More Than 6 Feet Above The Grade Outside The Window.
 - An Exception Is Given, However, For Windows That Do Not Open More Than 4 Inches Or That Are Equipped With Window Guards Or Window Opening Control Devices That Comply With ASTM F2000-10.
- Means Of Egress Doors:**
 - The Threshold Height Of The Required Exit Door In Residences To Be 1 1/2 Inches Max From The Top Of The Threshold To The Floor Or Landing On Each Side Of The Door.
 - The Rise From The Floor Or Landing To The Top Of The Threshold At Other Exterior Doors Within The IRC Is Limited To 7 3/4 Inches (Which Is The Riser Height Permitted For Stairs).
 - Section R311.2 Of The 2015 IRC Also Specifies That:
 - The Width Of The Clear Opening Provided By The Required Egress Door Is To Be At Least 32 Inches When Measured From The Face Of The Door To The Door Stop At The Jamb Of The Opening, And
 - The Height Of The Clear Opening Provided Is To Be A Minimum Of 78 Inches When Measured From The Door Stop At The Head Of The Opening To The Top Of The Threshold.
- Window Installation:**
 - Section R609.1 of the 2015 IRC Requires That Windows and Doors Be Installed In Accordance With The Fenestration Manufacturers' Installation Instructions and Flashing In Accordance with Section R703.4.
- Safety Glazing:**
 - Section R308.4 of the 2015 IRC Establishes the Locations Where Safety Glazing Is Required. They Include The Following:
 - Glazing In And Near Swinging and Sliding Doors;
 - Large Lites Of Glass Near Walkways;
 - Glazing Around Tubs, Showers, Pools And Similar Fixtures; And
 - Glazing Near Stairways, Ramps And The Landings For Both.
- Mullions:**
 - If Structural Calculations Are Used To Determine Adequacy, The Mullion Deflection Is Limited To L/175 Of The Length Of The Long Edge Of The Glass Being Supported.
 - When The Mullion Is Tested In Accordance With AAMA 450-10, The Deflection Limit Of L/175 Does Not Need To Be Met. It Should Be Noted That This Provision Is Only Contained In The RC.
- Replacement Windows:**
 - Both the 2015 IECC and IRC Require Replacement Windows To Comply With The Energy Conservation Requirements for Fenestration in New Construction.
 - WCCDS (Window Opening Control Devices) On Replacement Windows Are Required In Locations Where They Would Be Required In New Construction (Windows That Open More Than 4 Inches, Which Are More Than 6 Feet Above The Exterior Grade And Within 24 Inches Of The Interior Floor).
- Sunroom Additions:**
 - Thermally Isolated Sunrooms Must Be Separated From The Remainder Of The Building Either by Existing Exterior Wall Construction Or Construction That Meets The Energy Efficiency Requirements Of The 2015 IECC for Exterior Walls.
 - The Sunroom Must Also Be Equipped With A Separate Heating Or Cooling System or Thermally Controlled As A Separate Zone, If Conditioned.
- Site-Built Windows:**
 - Site-Built Windows Must Be Tested For Design Pressure In Accordance With ASTM E330.
 - Glass Is To Be Designed By A Registered Design Professional If The Glass Framing Deflects More Than L/175 or 3/4 Of An Inch.
- Skylights and Sloped Glazing:**
 - Factory-Built Unit Skylights Intended To Be Installed In A Single Roof Opening Without Intermediate Framing Members Are Required To Be Tested and Labeled For Performance Grade In Accordance With NAFS-11.
 - NAFS Permits Unit Skylights to Be Evaluated For Different Positive And Negative Design Pressures. This Is Unique To Unit Skylights, Which Are Subject To Snow Load As Well As Wind and Dead Load. The Combination Of These Loads Will Often Result In Varying Required Ratings for Positive and Negative Pressures On Unit Skylights.
 - The Criteria for Factory-Built Unit Skylights Also Applies To Tubular Daylighting Devices.

Notes - Abbreviations Short

#	NUMBER, POUND	CONST.	CONSTRUCTION
@	AT	CONT.	CONTINUOUS
±	PLUS OR MINUS	COORD.	COORDINATE
A	AMPERES	CORR.	CORRIDOR
A/C	AIR CONDITIONED(ING)	CT.	COURT
AC	ACRES	DBA	DECIBELS (A-WEIGHTED SCALE)
ACQUST.	ACQUICAL	DED.	DEDICATED
ADA	AMERICANS WITH DISABILITIES ACT	DIA.	DIAMETER
AFF	ABOVE FINISH FLOOR	DIR.	DIRECTION
AJ.06	ABOVE FINISH GRADE	DR.	DRIVE
ALUM.	ALUMINUM	DTL	DETACH.
APPROX.	APPROXIMATE	DWG.	DRAWING
B.O.	BOTTOM OF	E	EAST
B.D.	BOARD	E.G.	SUCH AS
BLDG.	BUILDING	E.I.F.S.	EXTERIOR INSULATED FINISH SYSTEM
BLVD.	BOULEVARD	EA.	EACH
C.S.	CENTURINE	EJ.	EXPANSION JOINT
CCT.	CAST STONE	EL.	ELEVATION
CFM	CUBIC FEET PER MINUTE	ELC.	ELECTRICAL
CIR.	CIRCLE	ELECT.	ELECTRICAL
C.J.	CONTROL JOINT	ELEV(S).	ELEVATION(S), ELEVATOR
CLG.	CEILING	EQ.	EQUAL
CLO.	CLOSET	EQUIP.	EQUIPMENT
CMU	CONCRETE MASONRY UNIT	ETC.	ETCETERA
COL.	COLUMN	EW	ELECTRIC WATER COOLER
CONC.	CONCRETE	EXP	EXPANSION
		EXPWY.	EXPRESSWAY

F.E.	FIRE EXTINGUISHER	LT.	LIGHT
F.E.C.	FIRE EXTINGUISHER CABINET	MAT'L	MATERIAL
F.D.	FLOOR DRAIN	MAX	MAXIMUM
F.F.	FINISH FLOOR	MECH.	MECHANICAL
FIN.	FINISH	MEP, MEP	MECHANICAL, ELECT. RICAL AND PLUMBING
FLR.	FLOOR	MFGR.	MANUFACTURER(S)
FM	FARM-TO-MARKET		
FT.	FOOT(FEET)	MIN.	MINIMUM
GA. G.A.	GAUGE	MISC.	MISCELLANEOUS
G.F.C.I.	GROUND FAULT CIRCUIT INTERRUPT	MTL.	METAL
G.F.I.	GROUND FAULT INTERRUPT	N	NORTH
GALV.	GALVANIZED	N.T.S.	NOT TO SCALE
GYP. BD.	GYPSON BOARD	NO.	NUMBER
H.I.D.	HIGH INTENSITY DISCHARGE	O.C.	ON CENTER
HDCP, HC	HANDICAP	O.D.	OVERFLOW DRAIN
HDWG	HARDWOOD	O.H.	OVERHEAD
HT.	HEIGHT	OPENG.	OPENING
HVAC	HEATING, VENTILATION & AIR CONDITIONING	OPP.	OPPOSITE HAND
HWY.	HIGHWAY	PKWY.	PARKWAY
HZ	HERTZ	PLYWD.	PLYWOOD
I.E.	FOR EXAMPLE	PREP.	PREPARE
I.O.	ISOLATED GROUND	PTD.	PAINTED
INSUL.	INSULATION	R	RISER, RADIUS
JAN.	JANITOR	R.D.	ROOF DRAIN
JT.	JOINT	R.O.W.	RIGHT-OF-WAY
LBF	POUNDS PER FOOT	R.T.U.	ROOF-TOP UNIT
LN	LANE	RD.	ROAD
		RCP	REFLECTED CEILING PLAN

Notes - Architectural Symbols

	Window Tag Reference		Interior Elevation Reference		Detail Section Reference
	Wall Tag Reference		Exterior Elevation Reference		Wall Section Reference
	Grid Bubble Reference		Room Tag Reference		Building Section Reference
	Door Symbol and Number		Level Height Reference		Callout Reference

Index Architectural				
Sheet	Sheet Name	Issue Date	Rev.#	Rev Date
A0.0	Cover Sheet	22-01-07		
A1.02	Area, Foundation and Roof Plans	22-01-07		
A2.01	Floor Plans Level 1-2	22-01-07		
A2.02	Floor Plan Level 3	22-01-07		
A2.06	Floor Finish Plans	22-01-07		
A3.01	Electrical Plans	22-01-07		
A4.00	Exterior Elevations	22-01-07		
A5.00	Interior Elevations and Sections	22-01-07		
A6.00	Marketing Plans	22-01-07		

No. Date Description

Project number 521
Date 01-07-22
Drawn by KAD
Checked by KAD

Cover Sheet

A0.0

212-104



3018 Rambling Dr.
Dallas, TX 75228 (214) 683-4327
www.momentousds.com

Krystina Paige

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Construction Set

No. Date Description

These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modification or changes due to field verifications, existing or other conditions and building code requirements. The developer/owner shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be sealed by a licensed professional, it is the responsibility of the developer/owner to retain a licensed professional to sign and seal the plans.

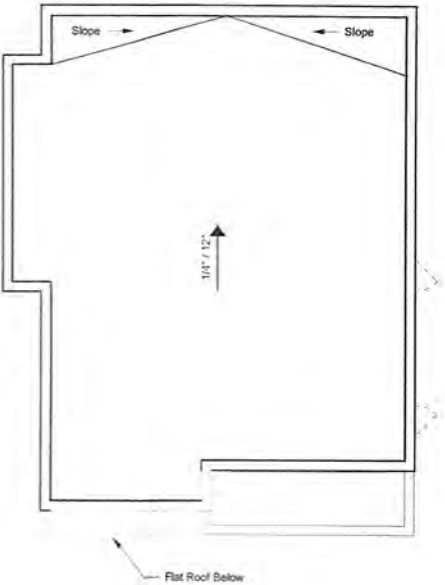
Project number 521
Date 01-07-22
Drawn by KAD
Checked by KAD

Area, Foundation and Roof Plans

A1.02

212-104

Roof Material Takeoff		
Mark	Name	Area
RF-03	(RF-03) - Roofing - Membrane - TPO System	664 SF



5 L4 - Roof Plan
3/16" = 1'-0"

Floor Slab Edge Schedule			
Type	Length	Volume	Comments
Footing Rectangle 24" x 10"	83' - 6"	133.61 CF	
	83' - 6"	133.61 CF	

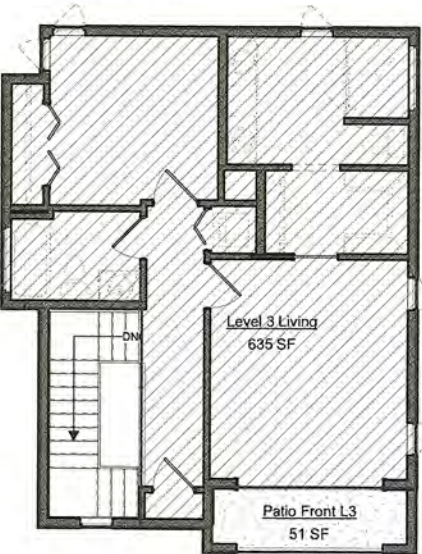
Floor Wall Footing Schedule			
Type	Length	Volume	Comments

Floor Slab Schedule			
Type	Area	Volume	Comments
Structural Concrete			
5" Structural Concrete	409 SF	170.47 CF	Structural
	409 SF	170.47 CF	
	409 SF	170.47 CF	

Area Schedule (Gross Building)			
Name	Perimeter	Area	Comments
Exterior Area			
Car Port	60' - 4"	218 SF	
Patio Front L2	33' - 3"	51 SF	
Patio Front L3	33' - 4"	51 SF	
Storage	38' - 2"	89 SF	
	165' - 1"	408 SF	
Gross Building Area			
Level 1 Living	79' - 7"	321 SF	
Level 3 Living	112' - 11"	635 SF	
Level 2 Living	119' - 2 1/2"	600 SF	
	311' - 8 1/2"	1,555 SF	
	476' - 9 1/2"	1,962 SF	

Building Area Legend

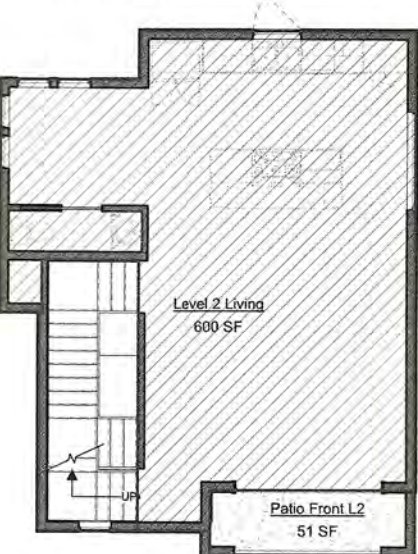
- Level 3 Living
- Patio Front L3



4 L3 - Gross Area Plan
3/16" = 1'-0"

Building Area Legend

- Level 2 Living
- Patio Front L2



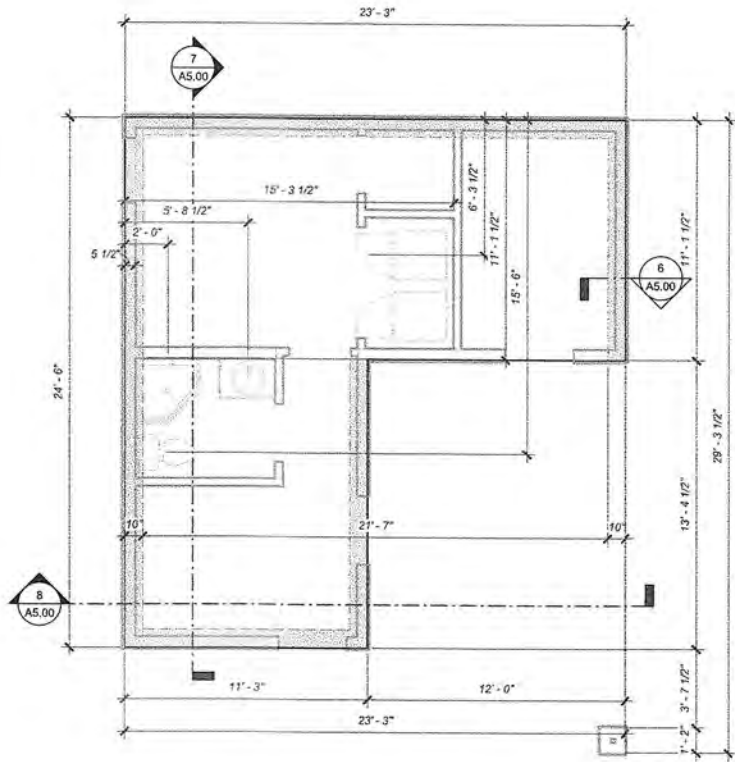
3 L2 - Gross Area Plan
3/16" = 1'-0"

Building Area Legend

- Car Port
- Level 1 Living
- Storage



2 L1 - Gross Area Plan
3/16" = 1'-0"



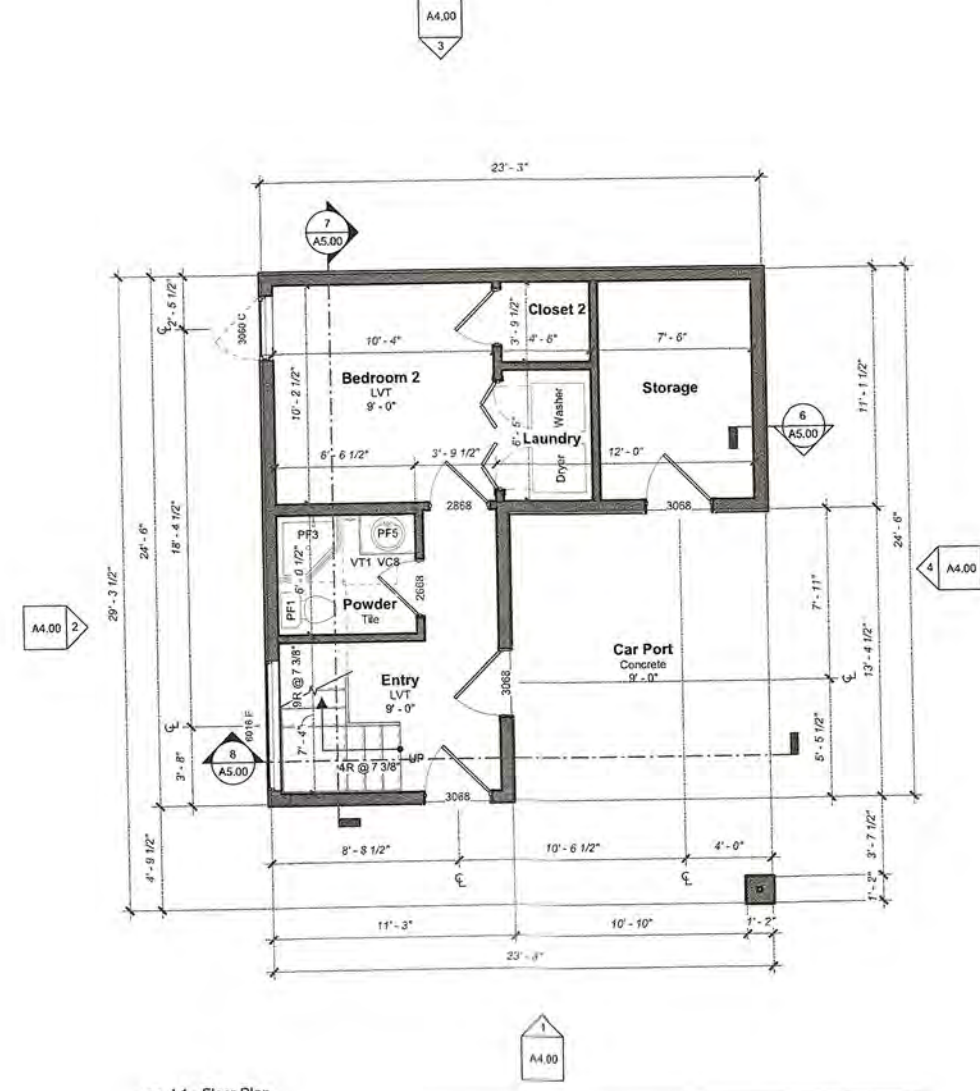
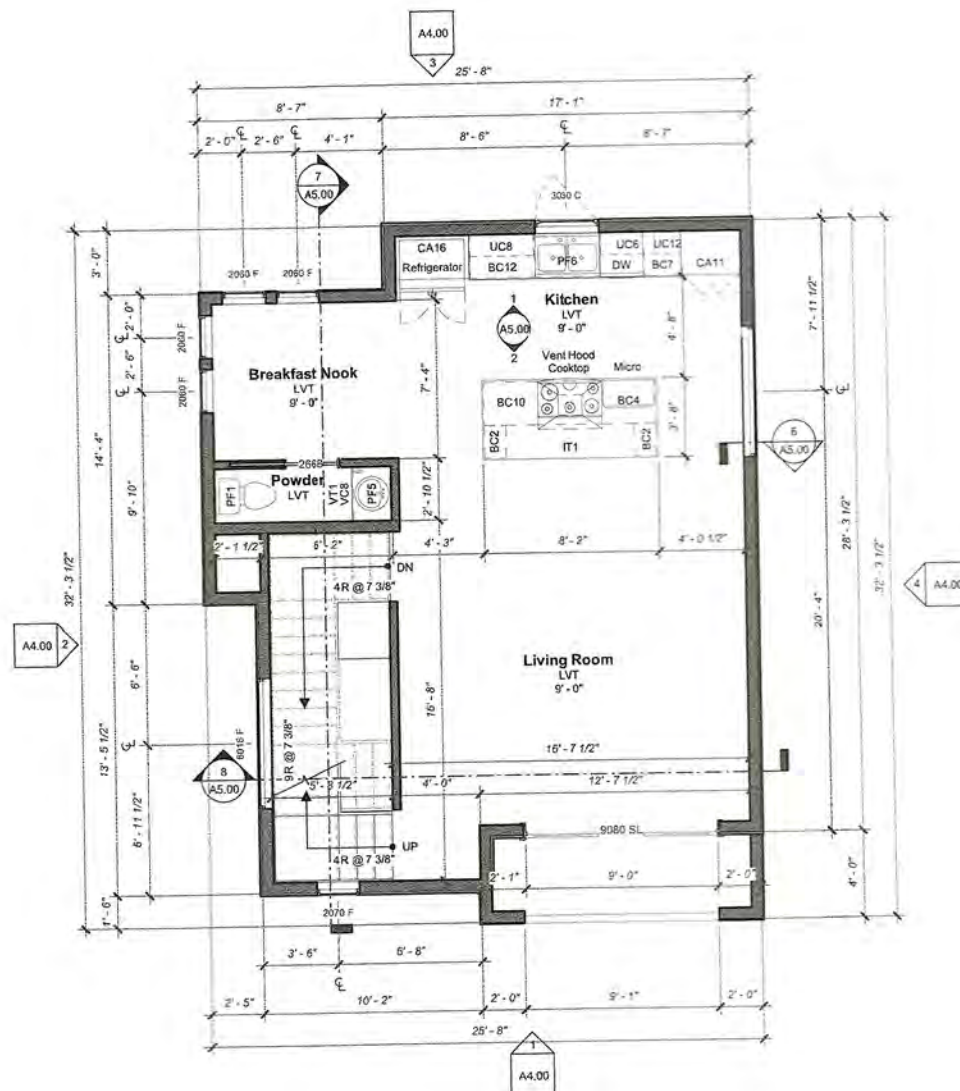
1 L1 - Foundation Plan
1/4" = 1'-0"

Fixture Schedule - Plumbing				
Type Mark	Family	Type	Count	Comments
L1 - Floor Plan				
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	1	
PF3	Shower Enclosure-Corner	36" x 36"	1	
PF5	Sink Vanity-Round	19" x 19"	1	
L2 - Floor Plan				
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	1	
PF5	Sink Vanity-Round	19" x 19"	1	
Kitchen				
PF6	Sink Kitchen-Double	38" x 21"	1	
L3 - Floor Plan				
Stacked Washer and Dryer				
		28"x25" - Private	1	
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	2	
PF2	Tub-Rectangular-3D	30" x 60"	1	
PF4	Shower-Walk-in	Shower 3'-6" x 5'-0"	1	
PF5	Sink Vanity-Round	19" x 19"	3	

Casework Schedule						
Type Mark	Family	Type	Count	Depth	Height	Linear Length
Base Cabinet						
BC2	Base Cabinet-3 Drawers	18" x 12"	2	1'-0"	2'-10 1/2"	0'
BC7	Base Cabinet-3 Drawers	21"	1	2'-0"	2'-10 1/2"	0'
BC10	Base Cabinet-3 Drawers	30"	1	2'-0"	2'-10 1/2"	0'
BC12	Base Cabinet-3 Drawers	36"	3	2'-0"	2'-10 1/2"	0'
BC4	Microwave Base Cabinet	30"	1	2'-0"	2'-10 1/2"	0'
Casework						
CA11	Tall Cabinet-Double Door(4)	33"	1	2'-0"	8'-0"	0'
CA16	Tall Refrigerator Cabinet	36"	1	2'-0"	8'-0"	0'
Counter						
CT1	Counter Top	Kitchen 25"	1	2'-1"	3'-0"	9'-11"
VT1	Counter Top	Vanity 22"	4	1'-10"	2'-8"	15'-7 1/2"
IT1	Counter Top-Island	Custom	1	3'-8"	3'-0"	8'-2"
Shelving						
CS1	Obset Shelf and Pole	15" Deep	5	1'-3"	7'-0"	25'-7 1/2"
Upper Cabinet						
UC6	Upper Cabinet-Double Door-Wall	30"	1	1'-0"	3'-0"	0'
UC8	Upper Cabinet-Double Door-Wall	36"	1	1'-0"	3'-0"	0'
UC12	Upper Cabinet-Single Door-Wall	15"	1	1'-0"	3'-0"	0'
Vanity Cabinet						
VC8	Vanity Cabinet-Double Door Sink Unit	30"	3	1'-8"	2'-6 1/2"	0'
VC10	Vanity Cabinet-Double Door Sink Unit	36"	2	1'-8"	2'-6 1/2"	0'

Door Schedule Floor Plan L1						
Family	Description	Count	Width	Height	Handle Type	Comments
Exterior						
Door-Exterior-Single-Entry-Full Glass	3068	3	3'-0"	6'-8"	(none)	
Interior						
Bifold-4 Panel	5068	1	5'-0"	6'-8"	(none)	
Door-Interior-Single-Flush, Panel-Wood	2868	2	2'-6"	6'-8"	(none)	
Door-Interior-Single-Flush, Panel-Wood	2868	1	2'-6"	6'-8"	(none)	

Window Schedule							
Family	Type	Count	Description	Width	Height	Head Height	Comments
L1 - Floor Plan							
Window-Casement-Single	3'-0" x 6'-0"	1	3060 C	3'-0"	6'-0"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	10'-6"	
L2 - Floor Plan							
Window-Casement-Single	3'-0" x 3'-0"	1	3030 C	3'-0"	3'-0"	6'-10"	
Window-Fixed	2'-0" x 6'-0"	4	2060 F	2'-0"	6'-0"	6'-8"	
Window-Fixed	2'-0" x 7'-0"	1	2070 F	2'-0"	7'-0"	10'-8"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	10'-6"	
L3 - Floor Plan							
Window-Casement-Single	2'-0" x 6'-0"	5	2060 C	2'-0"	6'-0"	8'-0"	
Window-Fixed	2'-0" x 7'-0"	1	2070 F	2'-0"	7'-0"	8'-0"	
Window-Fixed	4'-0" x 1'-6"	1	4016 F	4'-0"	1'-6"	6'-10"	
Window-Fixed	4'-0" x 1'-6"	1	4016 F	4'-0"	1'-6"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	9'-6"	





3018 Rambling Dr.
Dallas, TX 75228 (214) 883-4327
www.momentousds.com

Krystina Paige

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C15905

Construction Set

No. Date Description

These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modifications or changes due to field verifications, existing or other conditions and building code requirements. The developer/owner shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be sealed by a licensed professional, it is the responsibility of the developer/owner to retain a licensed professional to sign and seal the plans.

Project number 521
Date 01-07-22
Drawn by KAD
Checked by KAD

Floor Plan Level 3

A2.02

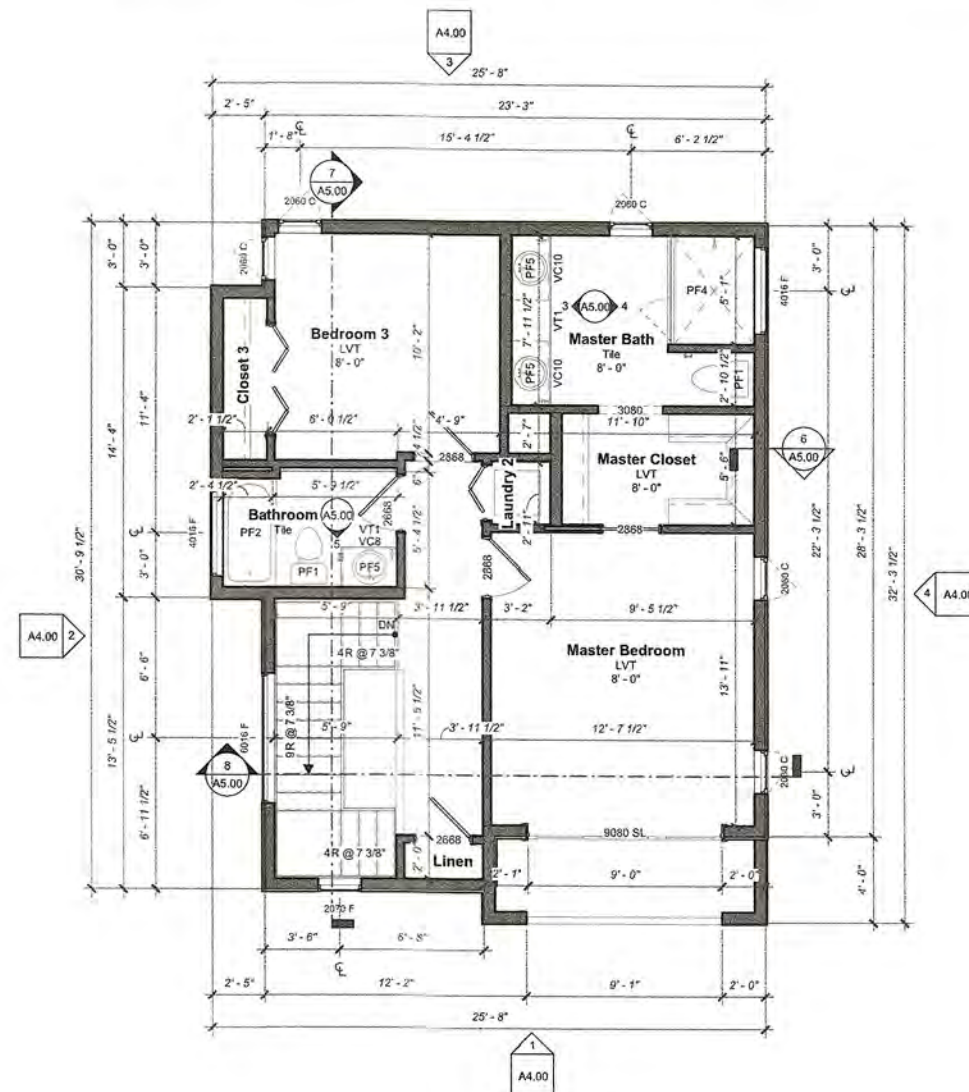
212-104

Fixture Schedule - Plumbing				
Type Mark	Family	Type	Count	Comments
L1 - Floor Plan				
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	1	
PF3	Shower Enclosure-Corner	36" x 36"	1	
PF5	Sink Vanity-Round	19" x 19"	1	
L2 - Floor Plan				
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	1	
PF5	Sink Vanity-Round	19" x 19"	1	
Kitchen				
PF6	Sink Kitchen-Double	36" x 21"	1	
L3 - Floor Plan				
Stacked Washer and Dryer				
		26"x25" - Private	1	
Bathrooms				
PF1	Toilet-Domestic-3D	Toilet-Domestic-3D	2	
PF2	Tub-Rectangular-3D	30" x 60"	1	
PF4	Shower-Walk-in	Shower 3'-6" x 5'-0"	1	
PF5	Sink Vanity-Round	19" x 19"	3	
				14

Casework Schedule							
Type Mark	Family	Type	Count	Depth	Height	Linear Length	Comments
Base Cabinet							
BC2	Base Cabinet-3 Drawers	18" x 12"	2	1'-0"	2'-10 1/2"	0"	
BC7	Base Cabinet-3 Drawers	21"	1	2'-0"	2'-10 1/2"	0"	
BC10	Base Cabinet-3 Drawers	30"	1	2'-0"	2'-10 1/2"	0"	
BC12	Base Cabinet-3 Drawers	36"	3	2'-0"	2'-10 1/2"	0"	
BC4	Microwaves Base Cabinet	30"	1	2'-0"	2'-10 1/2"	0"	
Casework							
CA11	Tall Cabinet-Double Door(4)	33"	1	2'-0"	8'-0"	0"	
CA16	Tall Refrigerator Cabinet	36"	1	2'-0"	8'-0"	0"	
Counter							
CT1	Counter Top	Kitchen 25"	1	2'-1"	3'-0"	9'-11"	
VT1	Counter Top	Vanity 22"	4	1'-10"	2'-8"	15'-7 1/2"	
IT1	Counter Top-Island	Custom	1	3'-8"	3'-0"	8'-2"	
Shelving							
CS1	Closet Shelf and Pole	15" Deep	5	1'-3"	7'-0"	25'-7 1/2"	
Upper Cabinet							
UC6	Upper Cabinet-Double Door-Wall	30"	1	1'-0"	3'-0"	0"	
UC8	Upper Cabinet-Double Door-Wall	36"	1	1'-0"	3'-0"	0"	
UC12	Upper Cabinet-Single Door-Wall	15"	1	1'-0"	2'-0"	0"	
Vanity Cabinet							
VC8	Vanity Cabinet-Double Door Sink Unit	30"	3	1'-9"	2'-5 1/2"	0"	
VC10	Vanity Cabinet-Double Door Sink Unit	36"	2	1'-9"	2'-5 1/2"	0"	

Door Schedule Floor Plan L1						
Family	Description	Count	Width	Height	Handle Type	Comments
Exterior						
Door-Exterior-Single-Entry-Full Glass	3068	3	3'-0"	6'-8"	(none)	
Interior						
Slip-4 Panel	5068	1	5'-0"	6'-8"	(none)	
Door-Interior-Single-Flush Panel-Wood	2668	2	2'-6"	6'-8"	(none)	
Door-Interior-Single-Flush Panel-Wood	2868	1	2'-8"	6'-8"	(none)	
		7				

Window Schedule							
Family	Type	Count	Description	Width	Height	Head Height	Comments
L1 - Floor Plan							
Window-Casement-Single	3'-0" x 6'-0"	1	3060 C	3'-0"	6'-0"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	10'-6"	
L2 - Floor Plan							
Window-Casement-Single	3'-0" x 3'-0"	1	3030 C	3'-0"	3'-0"	6'-10"	
Window-Fixed	2'-0" x 6'-0"	4	2080 F	2'-0"	6'-0"	8'-8"	
Window-Fixed	2'-0" x 7'-0"	1	2070 F	2'-0"	7'-0"	10'-6"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	10'-6"	
L3 - Floor Plan							
Window-Casement-Single	2'-0" x 6'-0"	5	2080 C	2'-0"	6'-0"	8'-0"	
Window-Fixed	2'-0" x 7'-0"	1	2070 F	2'-0"	7'-0"	8'-0"	
Window-Fixed	4'-0" x 1'-6"	1	4016 F	4'-0"	1'-6"	6'-10"	
Window-Fixed	4'-0" x 1'-6"	1	4016 F	4'-0"	1'-6"	8'-0"	
Window-Fixed	6'-0" x 1'-6"	1	6016 F	6'-0"	1'-6"	9'-6"	
		19					



1 L3 - Floor Plan
1/4" = 1'-0"

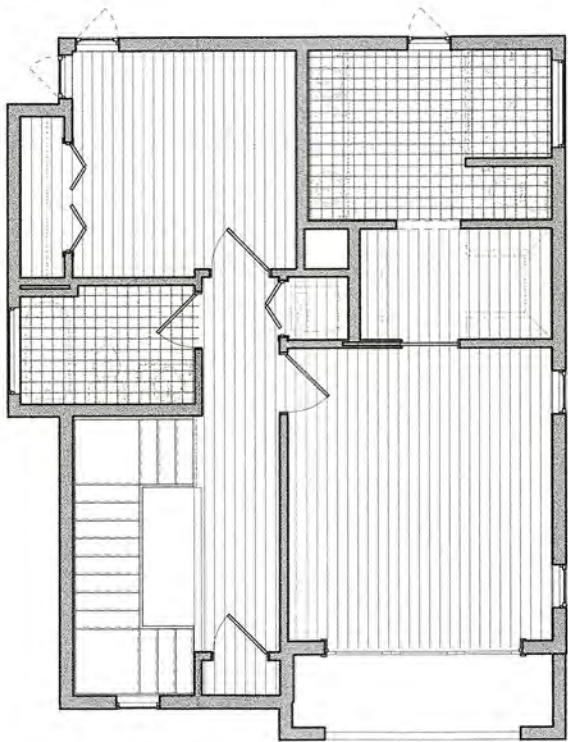
Krystina Paige

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Floor Finish Legend

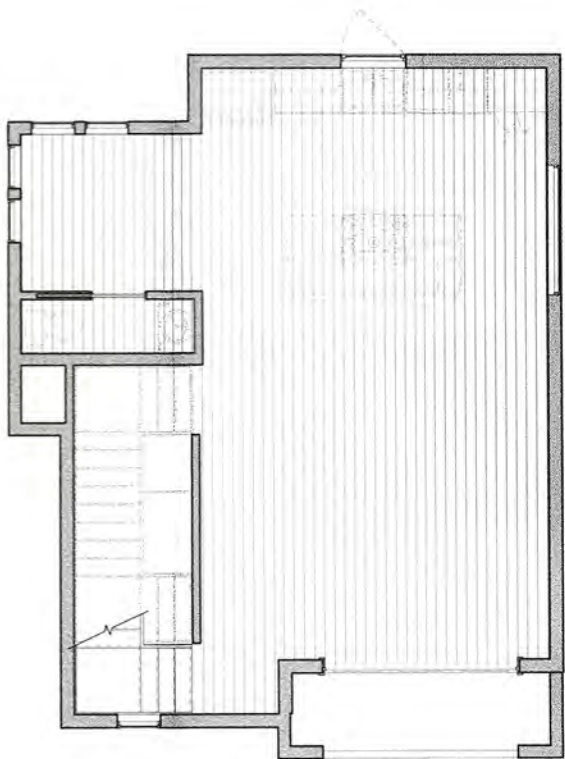
- Hardwood
- LVT
- Tile



③ L3 - Floor Finish Plan
1/4" = 1'-0"

Floor Finish Legend

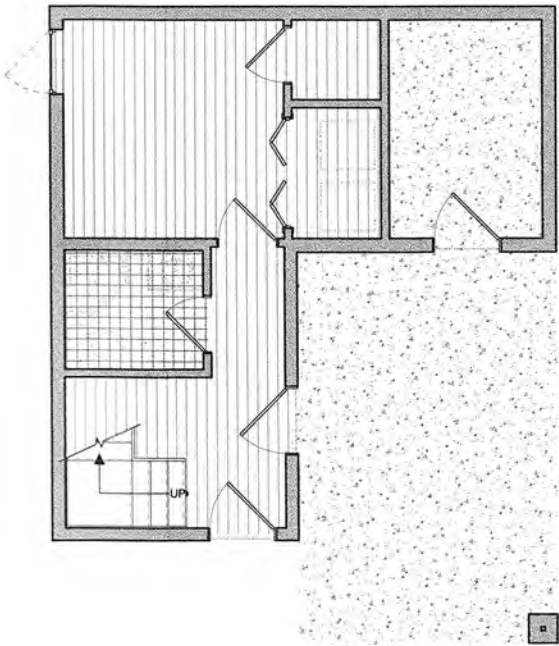
- LVT



② L2 - Floor Finish Plan
1/4" = 1'-0"

Floor Finish Legend

- Concrete
- LVT
- Tile



① L1 - Floor Finish Plan
1/4" = 1'-0"

Room - Floor Finish Schedule		
Name	Area	Comments
Concrete		
Car Port	216 SF	
Storage	72 SF	
	289 SF	
Hardwood		
Gallery	64 SF	
	64 SF	
LVT		
Bedroom 2	104 SF	
Bedroom 3	107 SF	
Breakfast Nook	62 SF	
Closet 2	15 SF	

Room - Floor Finish Schedule		
Name	Area	Comments
Closet 3	15 SF	
Entry	92 SF	
Kitchen	214 SF	
Laundry	25 SF	
Laundry 2	8 SF	
Linen	6 SF	
Living Room	239 SF	
Master Bedroom	166 SF	
Master Closet	46 SF	
Powder	21 SF	
	1,119 SF	
Tile		
Bathroom	43 SF	
Master Bath	87 SF	
Powder	36 SF	
	166 SF	
	1,638 SF	

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Construction Set

No. Date Description

These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modifications or changes due to field verifications, existing or other conditions and building code requirements. The developer/owner shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be sealed by a licensed professional, it is the responsibility of the developer/owner to retain a licensed professional to sign and seal the plans.

Project number 521
Date 01-07-22
Drawn by KAD
Checked by KAD

Floor Finish Plans

A2.06

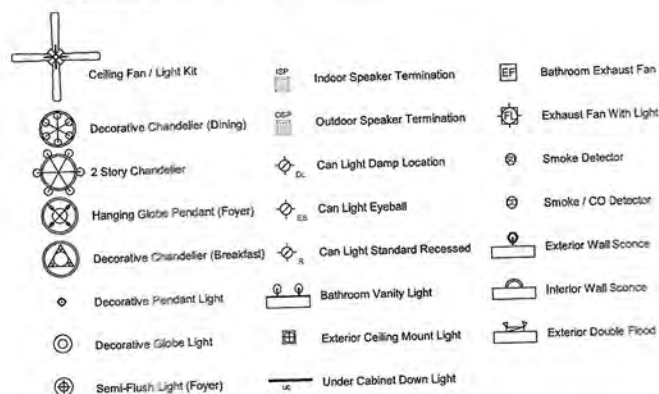
212-104

Notes - 2017 IECC Code

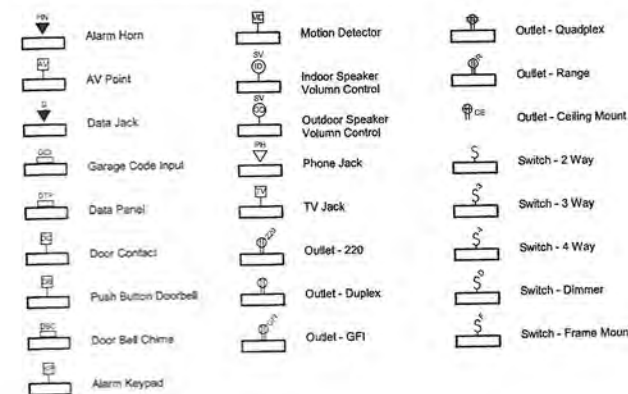
- Insulation**
- Walls
 - Installed Per Manufacturer Instructions: Grade 1 Install Quality: Fills Cavity, <2% Compressions, Gaps, Batts Cut For J-Boxes & Split Around Wiring)
 - Attic/Ceiling
 - Grade 1 Install Quality
- Air-Leakage**
- Completely Seal Rim/Band Joist
 - Seal All Penetrations, Joints With Caulk Or Foam
 - Wire And Plumbing Penetrations
 - Bottom Plate To Subfloor
 - Between Top Plate Members
 - Sheathing Penetrations
 - Between Window And Rough Frame Opening
 - Between Door Frame And Rough Opening
 - Major Framing Gaps Such As Exterior Corners
- Recessed Lights**
- Must Be Sealed Housings And Is-Rated For Insulation Contact
 - Sealed To Drywall
- Lighting**
- 75% of Permanent Lights/Fixtures Must Be "High-Efficacy" (Led or CFL) For All Areas In The Addition Or Alteration.
- Windows/Fenestration**
- Windows: U-Factor: 0.35 Or Lower
 - SHGC: 0.25 Or Lower
 - Skylights: U-Factor: 0.55 Or Lower
 - SHGC: 0.25 Or Lower
 - Attic Hatches/Doors: Weather-Stripped And Insulated
- Systems**
- HVAC**
- Must Have Dampened Mechanical Fresh Air Ventilation System Meeting IRC or IMC Requirements.
 - Must Be Sized According To ACCA Manual J And S Calculations
 - Programmable Thermostat For All Systems
 - Ducts In Unconditioned Spaces Insulated To R-8
 - Building Cavities May Not Be Used As Ducts Or Plenums. Up flow HVAC Plenums Blocked With Duct Board And Sealed.
 - HVAC / Plenum Seams Sealed With Aluminum Tape And Mastic Paste
 - Ducts Sealed To Start Collars With Mastic
 - Ducts Sealed To Terminals/Registers Boots With Mastic
 - Duct Terminals Sealed To Ceiling Drywall
 - New Ducts/Systems In Unconditioned Space Must Meet "Total Leakage" Standard Of No More Than 4 Cfm Per 100 Square Feet Of Conditioned Space When Tested At 25 Pascal Pressure.
- Water Heating**
- All Hot Water Lines Insulated To R-3 For New Systems, From Water Heater To Point-Of-Use.
 - Circulation Pumps Must Be "On-Demand" And Have Auto-Shut Off.

Type	Count
2-Way	30
3-Way	6
220	1
Doorbell Push Button	1
Duplex Outlet	5
Duplex Outlet AFI	14
GFI Outlet	3

Lighting Fixture - Legend

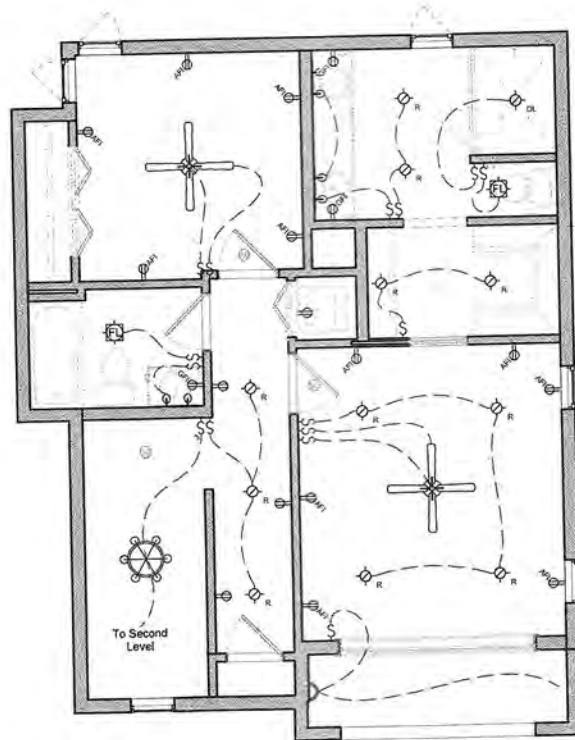


Electrical Fixture - Legend

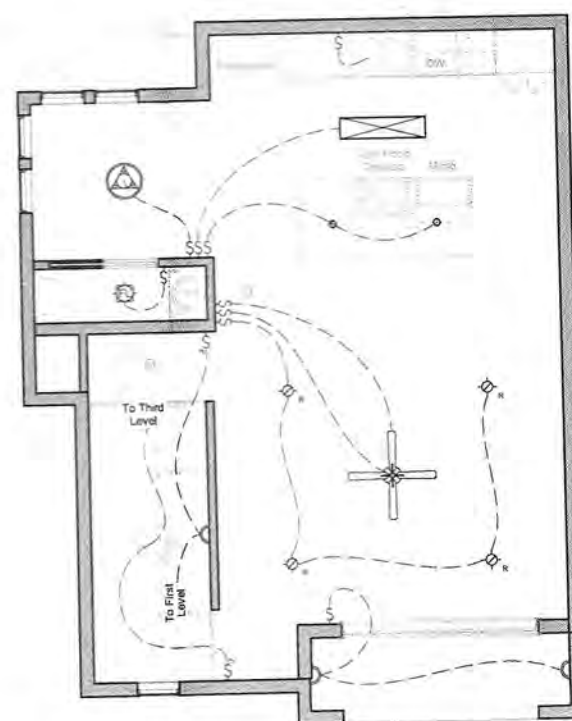


Fixture Schedule - Lighting

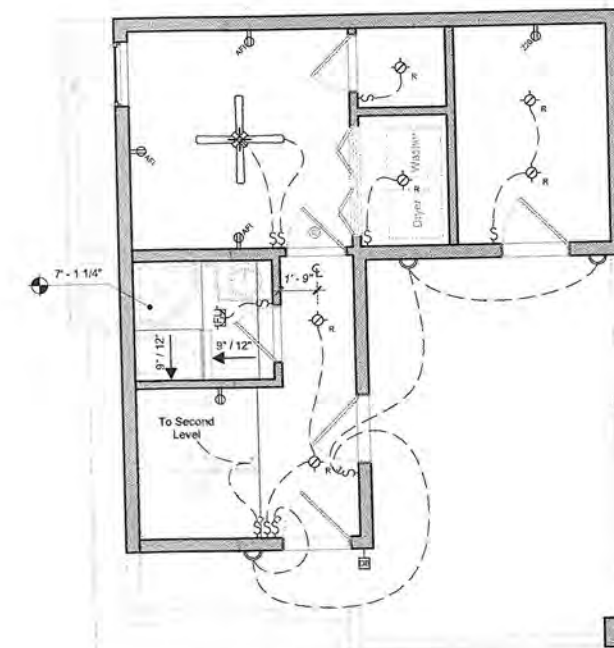
Type Mark	Type	Count	Ceiling Drop	Description	Comments
L1 - Floor Plan					
LF13	Can Light Recessed	6			
LF13	Ceiling Fan 48"	1	1'-0"		
LF06	Interior Wall Sconce	3			
L2 - Floor Plan					
	1x4(2 Lamp) - 120V	1			
	Can Light Recessed	4			
LF13	Ceiling Fan 48"	1	1'-0"		
	Decorative Chandelier (Breakfast)	1	1'-6"		
	Decorative Pendant Light	2	3'-6"		
LF06	Interior Wall Sconce	4			
L3 - Floor Plan					
	2 Light	3			
	2 Story Chandelier	1	3'-0"		
	Can Light Lamp Location	1			
	Can Light Recessed	11			
LF13	Ceiling Fan 48"	2	1'-0"		
LF06	Interior Wall Sconce	1			
		42			



③ L3 - Electrical Plan
1/4" = 1'-0"



② L2 - Electrical Plan
1/4" = 1'-0"



① L1 - Electrical Plan
1/4" = 1'-0"

No. Date Description

These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modifications or changes due to field verifications, existing or other conditions and building code requirements. The development shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be sealed by a licensed professional, it is the responsibility of the developer/client to retain a licensed professional to sign and seal the plans.

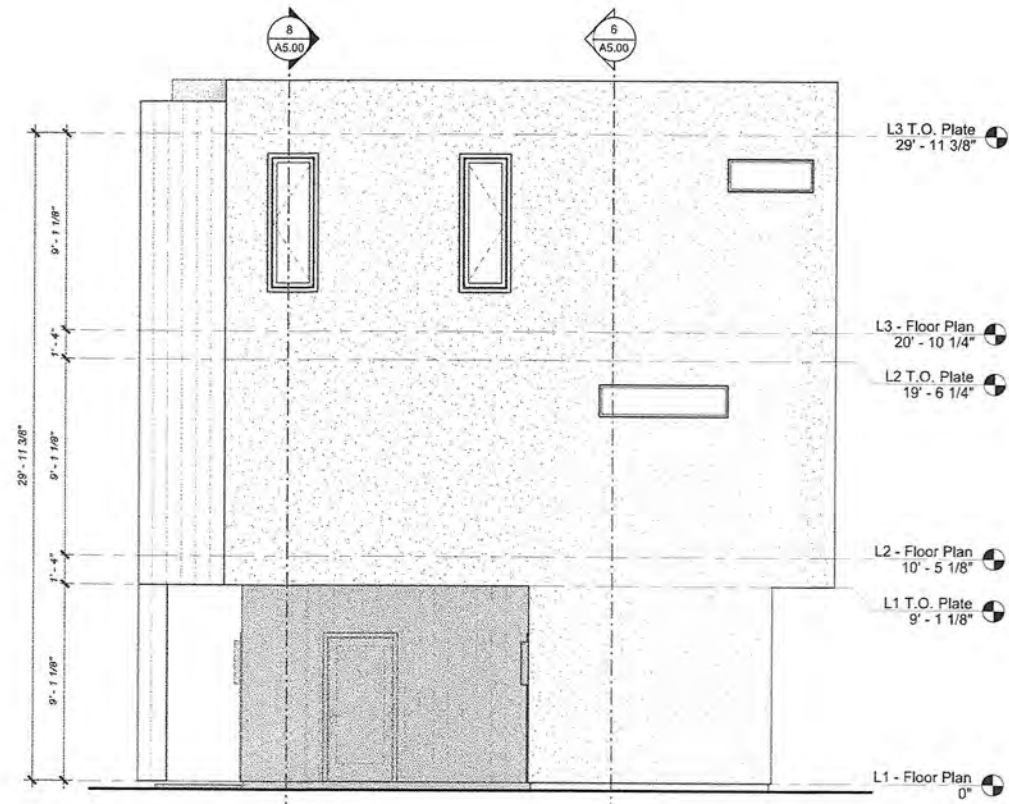
Project number 521
Date 01-07-22
Drawn by KAD
Checked by KAD

Electrical Plans

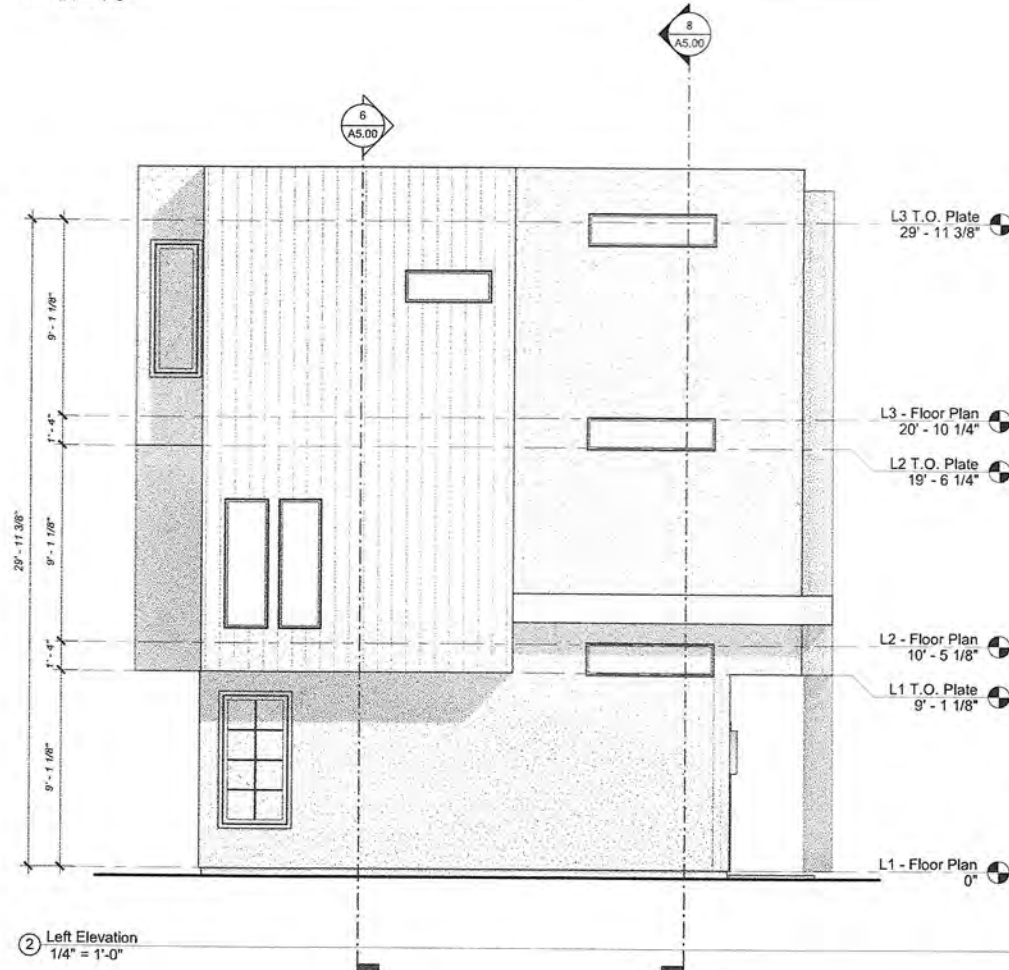
A3.01

212-104

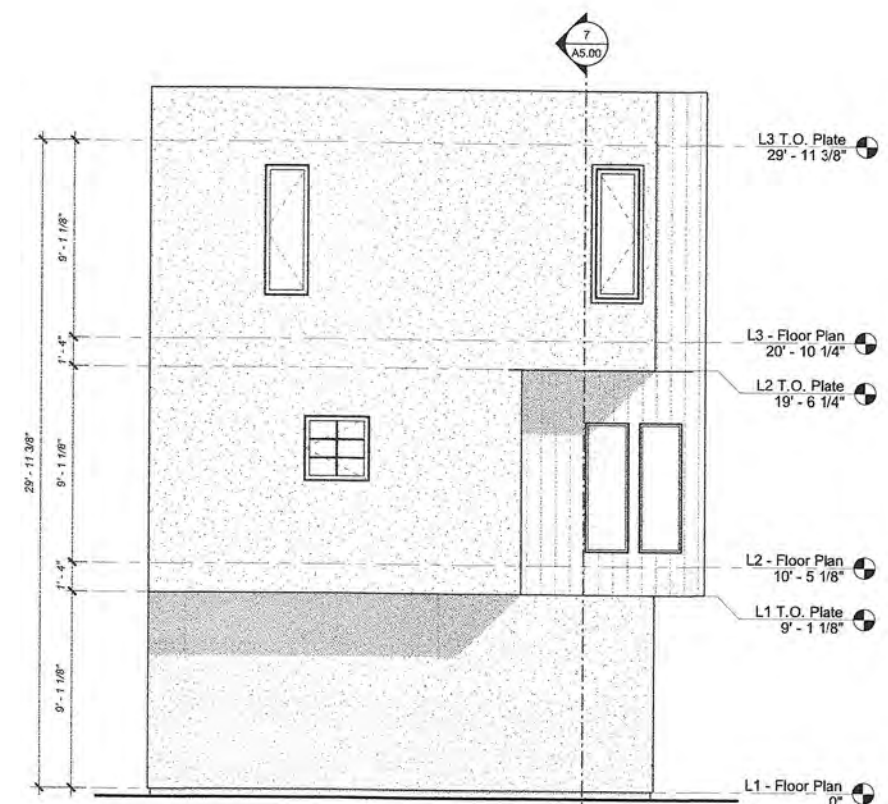
7/25/2022 10:40:55 AM



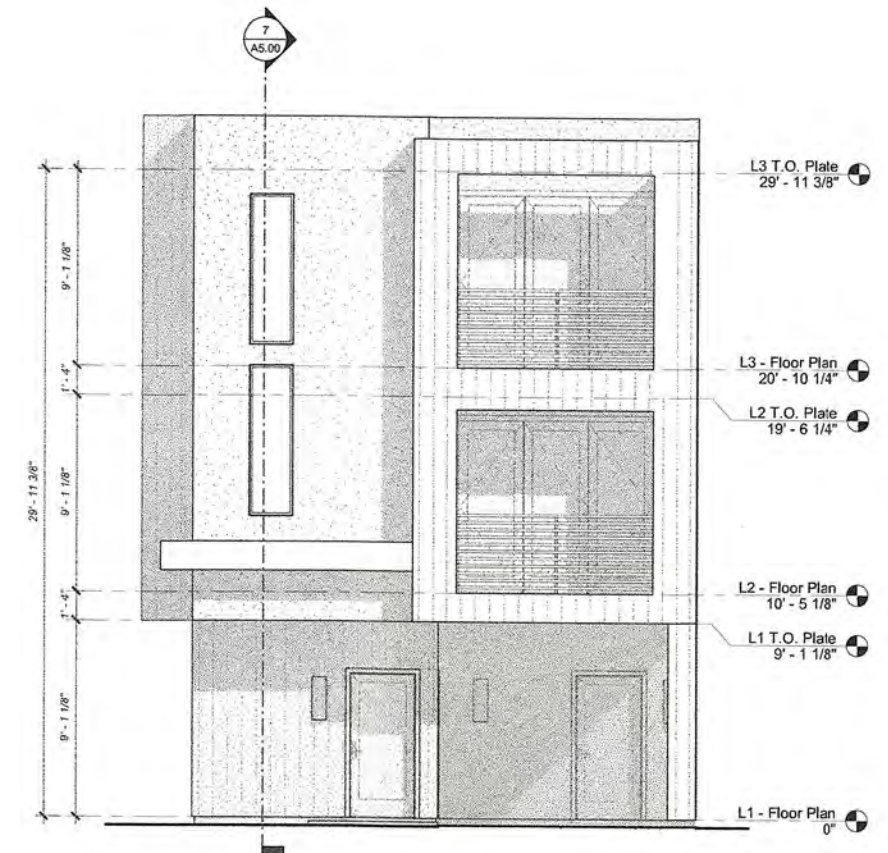
④ Right Elevation
1/4" = 1'-0"



② Left Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



① Front Elevation
1/4" = 1'-0"



3018 Rambling Dr.
Dallas Tx 75228 (214) 683-4327
www.momentousds.com

Krystina Paige

Consultant
Address
Phone
Fax
e-mail

Consultant
Address
Phone
Fax
e-mail

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Construction Set

No.	Date	Description
-----	------	-------------

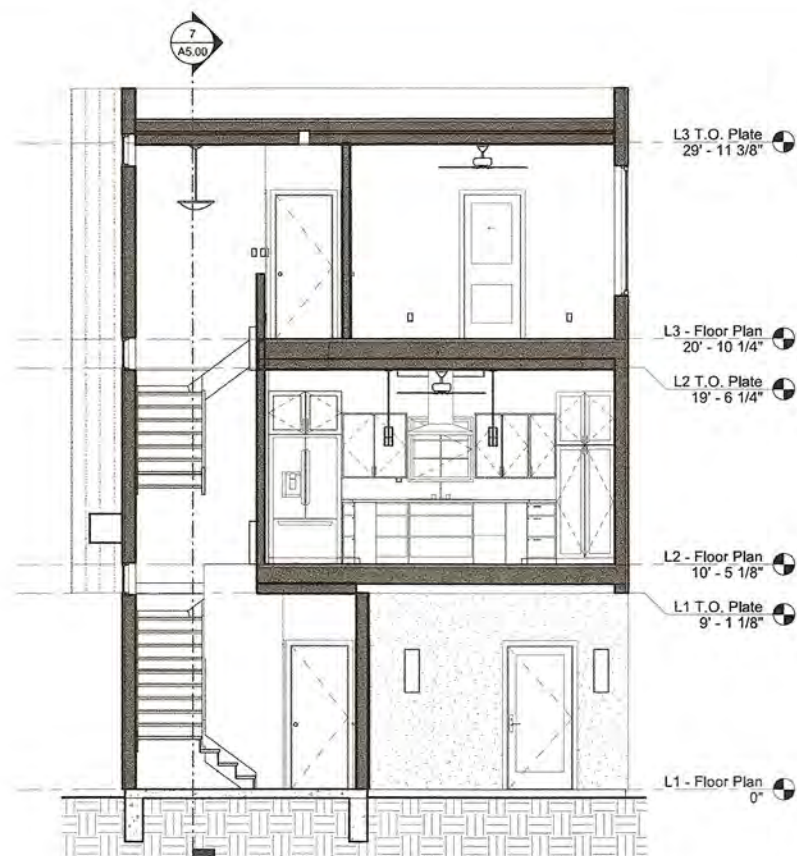
These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modifications or changes due to field verifications, existing or other conditions and building code requirements. The developer/client shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be sealed by a licensed professional, it is the responsibility of the developer/client to retain a licensed professional to sign and seal the plans.

Project number	521
Date	01-07-22
Drawn by	KAD
Checked by	KAD

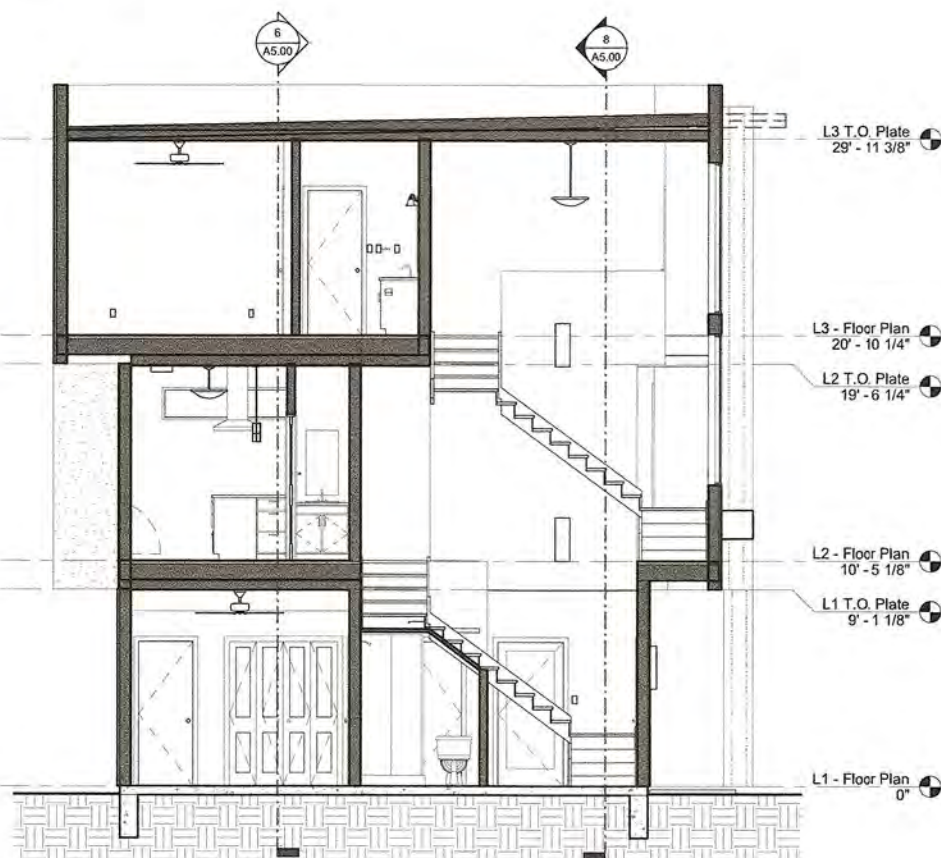
Exterior Elevations

A4.00

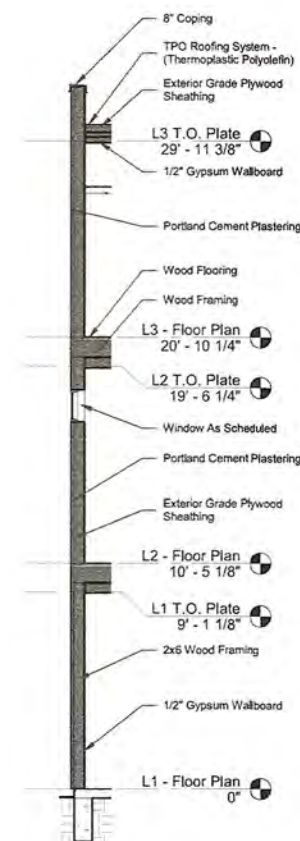
212-104



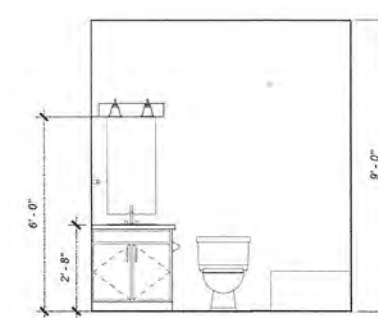
Building Section 2
1/4" = 1'-0"



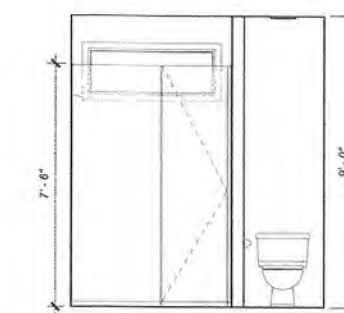
Building Section 1
1/4" = 1'-0"



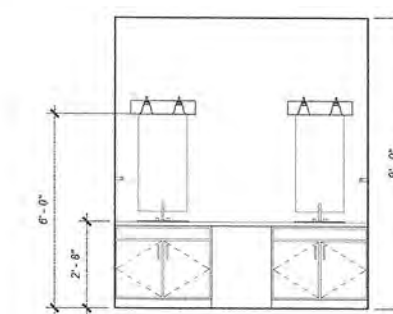
Typical Wall Section
1/4" = 1'-0"



Bathroom Vanity Elevation
3/8" = 1'-0"



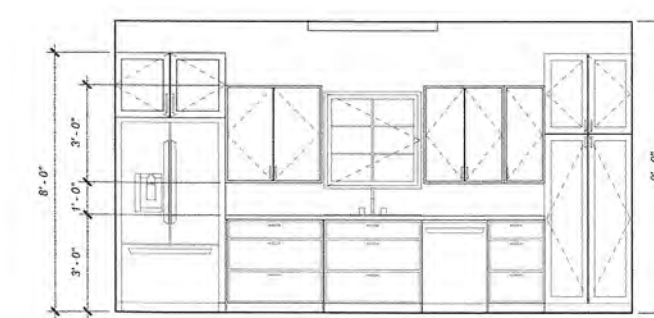
Master Bath Shower Elevation
3/8" = 1'-0"



Master Bath Vanity Elevation
3/8" = 1'-0"



Kitchen Island Range Elevation
3/8" = 1'-0"



Kitchen Sink Elevation
3/8" = 1'-0"

Faulk Residence

521 Faulk St
Dallas, Texas 75203
Lot 2 Block C/5905

Construction Set

No.	Date	Description

These drawings or parts thereof, may not be reproduced in any form, by any method for any purpose, without prior written consent from Momentous Design Studio. The design plans and specifications issued for this project have been prepared by Momentous Design Studio from data provided by the representative of the client. Drawings and product designs are subject to modifications or changes due to field verifications, existing or other conditions and building code requirements. The developer/client shall be responsible for obtaining all required permits for the project and for compliance with all local, state and federal codes. In the event the plans and/or specifications are required to be revised by a licensed professional, it is the responsibility of the developer/client to retain a licensed professional to sign and seal the plans.

Project number	521
Date	01-07-22
Drawn by	KAD
Checked by	KAD

Interior Elevations and Sections

A5.00

212-104

521 Faulk ST. Dallas,
Texas 75203

Krys. Services, L.L.C

PLEASANT VIEW ADDITION

- Contains an estimated 82 platted and un-platted lots
- These estimated 82 lots are located on 5 streets
- Warsaw, Hatton, Crete, Sicily, Faulk and Hart Street

The 11 Empty Lots and Address On Faulk ST Only

520 Faulk St (44 x 170)

521 Faulk St (33.72 x 50)

524 Faulk St (44 x 132)

531 Faulk St (50 x 68)

532 Faulk St (50 x 177)

533 Faulk St (50 x 75)

537 Faulk St (50 x 82)

540 Faulk St (50 x 137)

544 Faulk St (42 x 116)

545 Faulk St (54 X 102)

548 Faulk St (60 X 111)

Estimated Lost in Dallas Taxes Revenue

- Average sells price of \$ 376,667.00
- Revenue with a General Homestead Exemption: \$ 87,120.55 a year

Facts About 521 Faulk St Dallas, Texas 75203

- 33.72 ft X 50 ft sides (Lot Dimensions)
- 1686 sq ft
- Current setbacks leaves about 300 Sq ft buildable area



521 Faulk St Current (R) 5 Zoning Requirements

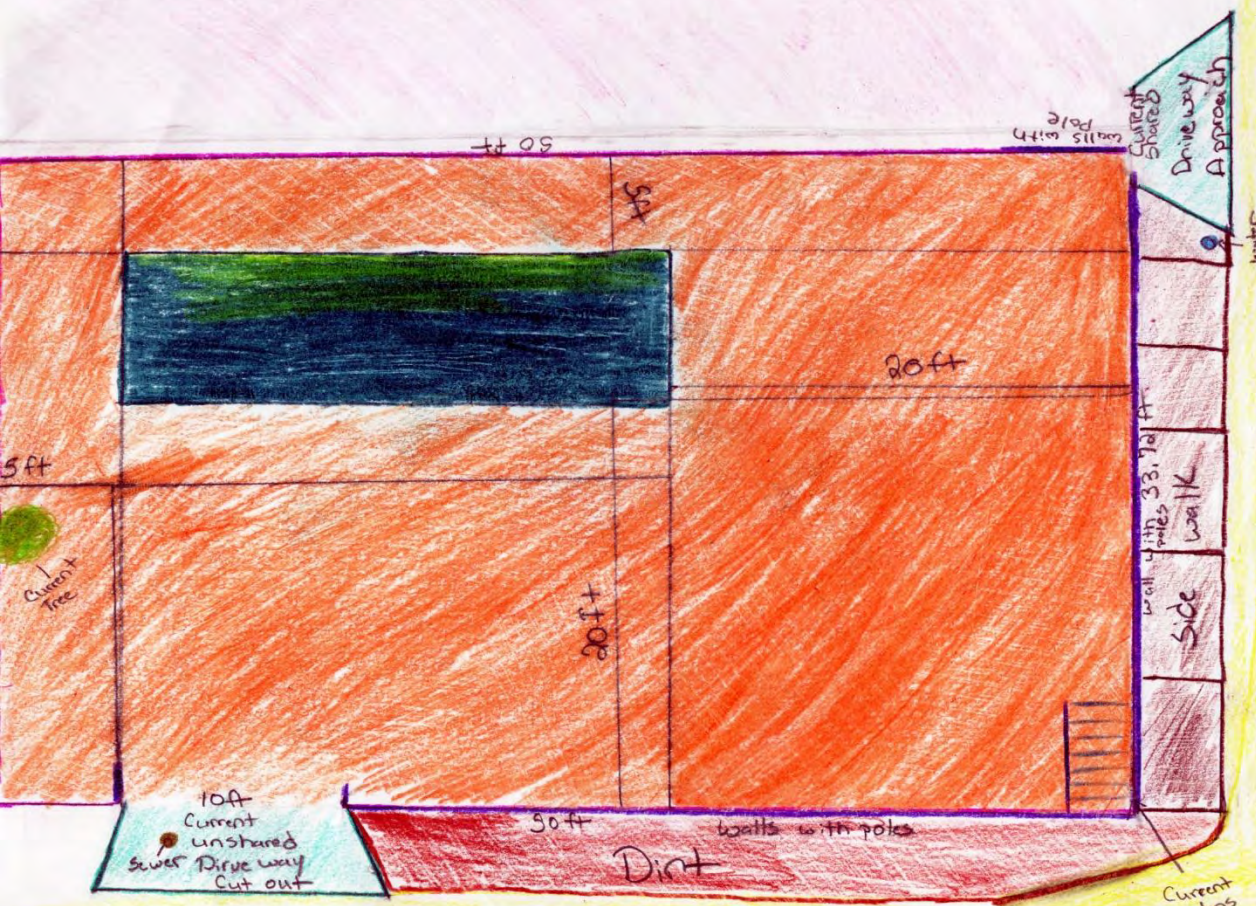
- 20 ft setback on Faulk St
- 20 ft setback on Hart St
- 5 ft setback in back
- 5 ft setback on neighbors side
- 1 car off street parking space
- 30 ft front corner driveway placement and/or 5 ft from back minimum 10ft wide
- 30 feet maximum height

Red No, Green Yes, Orange Depends on Variance Approval

- 20 ft setback on Faulk St
- 20 ft setback on Hart St
- ✓ 5 ft setback in back
- ✓ 5 ft setback on neighbors side
- 1 car off street parking space
- 30 ft from corner driveway placement and/or 5 ft from back driveway that's a minimum of 10ft wide
- ✓ 30 feet maximum height

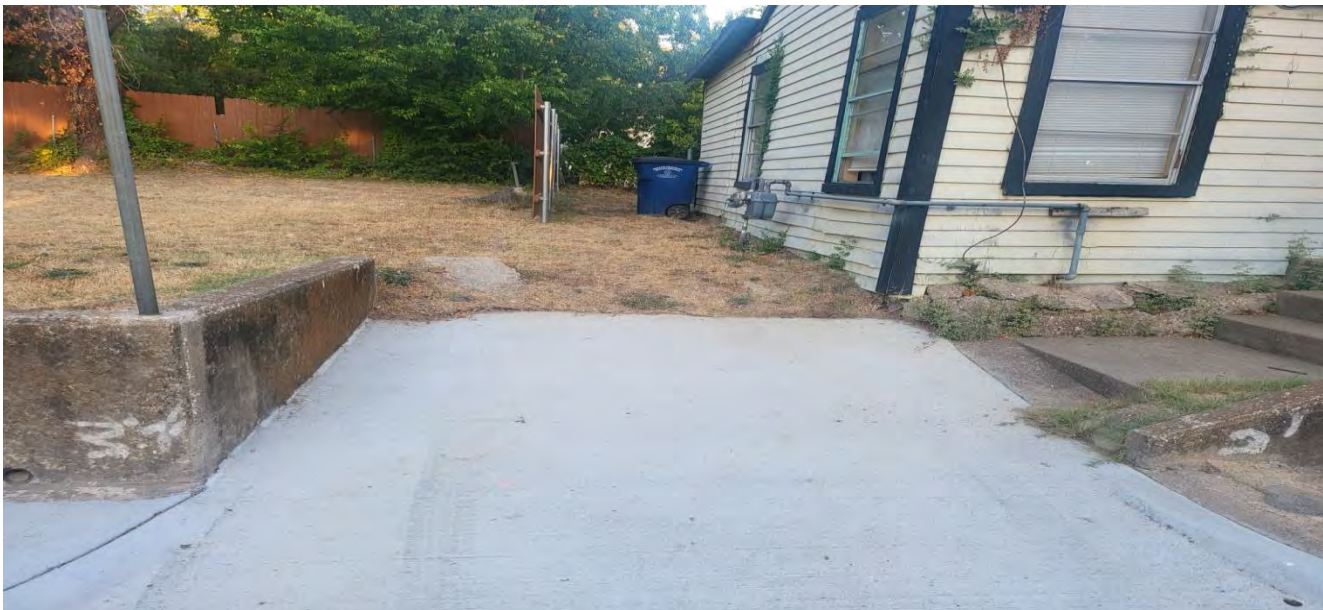
> 1350 sq ft

- Tree
- walls with pole
- Available Builds Space
- Current Zoning Setbacks Requirements
- Property line
- Drive way Approach Cutout
- Side walk
- Water
- Sewer
- Dirt
- steps
- Neighbor Property



Faulk Street

Hart Street



521 & 519 Faulk St Shared Driveway Approach

Using this current shared driveway would cause hardship on my neighbor, the gas meter would have to be relocated and their front steps to their home would need to be moved and rebuilt at another access point. Plus this neighbor would be forced to seek a legal representation to transfer the house out of the estate's name so a shared driveway agreement could be signed all costing them thousands of dollars.



- Shared Driveway on 517 & 515 Faulk St
- House without 20ft front setback

Shared Driveway 516 & 512 Faulk St

Not allowing me to develop this lot creates a personal hardship because now I have a un-buildable lot that is left in my inventory that I have to remember to maintain so it doesn't become one of the other forgotten lots in this subdivision .Plus ,the financial burden this would generate costing thousands over the years in taxes, liens, and sewer water bills. If all the variance are not granted I will be placed in a hardship and I then will have no choice but to require the neighbor to make the necessary costly adjustment to their property so that my lot becomes a more useable space ,under the City's current code.



4 bd | 3 ba | 2,557 sqft

531 Crete St, Dallas, TX 75203



4 bd | 2 ba | 1,850 sqft

519 High St, Dallas, TX 75203



1707 Sicily St

Dallas, TX 75203



Sold on April 11, 2022

What's your equity? (It's easy to find out)

Just Sold

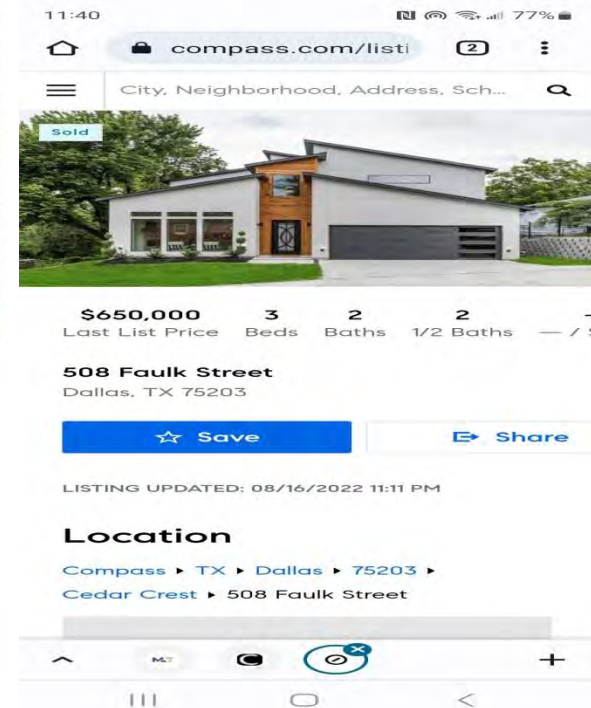
Last sold for

N/A

3 bed 3 bath 2,227 sqft
8,973 sqft lot

1727 Avenue B,
Dallas, TX 75203

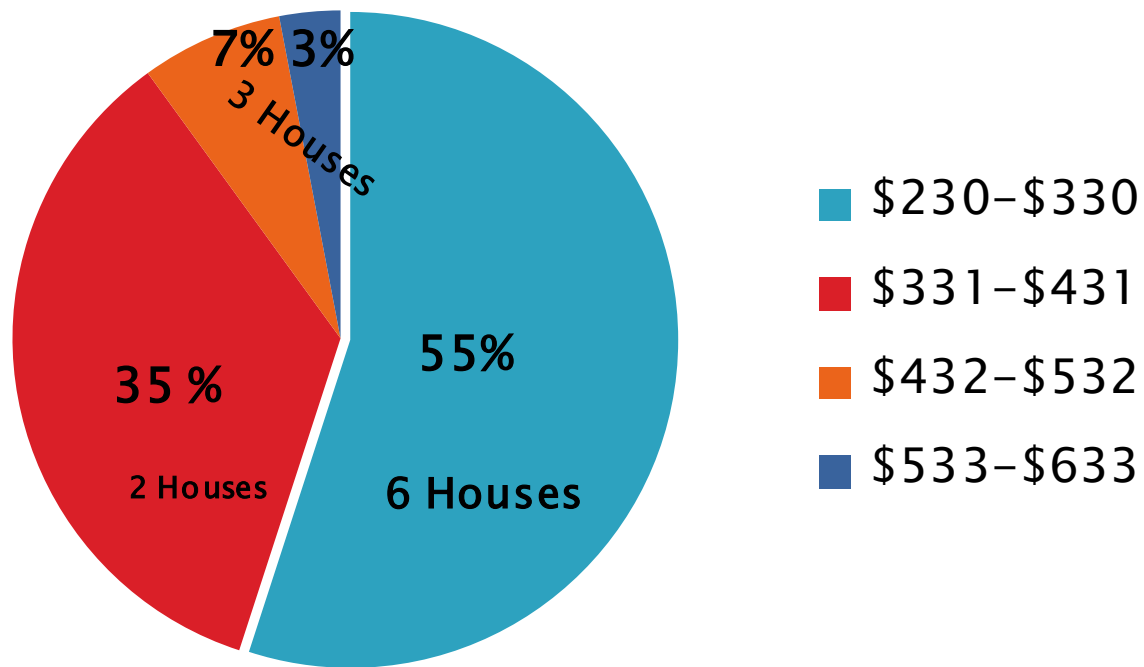
[View on Map](#)



17-11

Current New Built

**Dallas County Resident Affordability & Move In Ready
Houses Available Currently In 75203 Zip Code**



REVIEW COMMENT SHEET
BOARD OF ADJUSTMENT
HEARING OF OCTOBER 17, 2022 (C)

☒ Has no objections

☐ Has no objections if certain conditions
are met (see comments below or attached)

☐ Recommends denial
(see comments below or attached)

☐ No comments

☐ BDA 212-093(OA)

☐ BDA 212-094(OA)

☐ BDA 212-100(OA)

☒ BDA 212-104(OA)

COMMENTS:

☐☐☐☐☐☐☐☐☐☐

David Nevarez, PE, PTOE, DEV - Engineering

Name/Title/Department

10/3/2022

Date

Please respond to each case and provide comments that justify or elaborate on your response. Dockets distributed to the Board will indicate those who have attended the review team meeting and who have responded in writing with comments.