

RECEIVED

2023 FEB 14 AM 9: 41

CITY SECRETARY
DALLAS, TEXAS



City of Dallas

Public Notice

2 3 0 1 60

POSTED CITY SECRETARY
DALLAS, TX

BOARD OF ADJUSTMENT (PANEL C)

**February 23, 2023, Briefing at 11:00 A.M. and the Public Hearing at 1:00 P.M.
Dallas City Hall, 6ES Council Briefing Room and Videoconference**

* The Board of Adjustment hearing will be held by videoconference and in 6ES at City Hall. Individuals who wish to speak in accordance with the Board of Adjustment Rules of Procedure **by joining the meeting virtually**, must register online at <https://form.jotform.com/210907944450153> or contact the Development Services Department at 214-670-4545 **by the close of business Wednesday, February 22, 2023. All virtual speakers will be required to show their video in order to address the board.** Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 96 or 99; and bit.ly/cityofdallastv or YouTube.com/CityofDallasCityHall, and the WebEx link: <https://bit.ly/022323C>

AGENDA

- I. **Call to Order** Robert Agnich, Vice-Chair
- II. **Staff Presentation/Briefing**
- III. **Public Hearing** Board of Adjustment
- IV. **Public Testimony**
- V. **Miscellaneous Items -**
 - o Approval of Panel C Minutes – December 12, 2022
- VI. **Case Docket** Board of Adjustment
 - Uncontested Items
 - Holdover Items
 - Individual Items
- VII. **Adjournment**

Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

"Pursuant to Section 46.03, Penal Code (places weapons prohibited), a person may not carry a firearm or other weapon into any open meeting on this property."

"De conformidad con la Sección 46.03, Código Penal (coloca armas prohibidas), una persona no puede llevar un arma de fuego u otra arma a ninguna reunión abierta en esta propiedad."

EXECUTIVE SESSION NOTICE

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt . Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex Govt. Code §551.089]

UNCONTESTED CASE(S)

BDA223-021(ND) 4803 Victor Street 1
REQUEST: Application of Felicia Edoghotu for a variance to the front yard setbacks regulations.

HOLDOVER

BDA212-105(OA) 3923 Frontier Lane 2
REQUEST: Application of Baldwin Associates for a variance to the front yard setback regulations, and for special exceptions to the fence standards and visual obstruction regulations.

INDIVIDUAL CASES

BDA223-017(OA) 4327 Cabell Drive 3
REQUEST: Application of Julia White for special exceptions to the fence standards and visual obstruction regulations.

BDA223-020(ND) 4502 Leland Avenue 4
REQUEST: Application of Bangaly Kaba, represented by Andrew Thorpe, for a variance to the front yard setback regulations.

FILE NUMBER: BDA223-021(ND)

BUILDING OFFICIAL'S REPORT: Application of Felicia Edoghotu for a variance to the front yard setback regulations at 4803 Victor Street. This property is more fully described as Block A/0795, ½ part of lot 7, and is zoned PD-98/Chapter 51, which requires a front yard setback of 25 feet. The applicant proposes to construct a single-family residential structure and provide a 10-foot front yard setback, which will require a 15-foot variance to the front yard setback regulations.

LOCATION: 4803 Victor Street

APPLICANT: Felicia Edoghotu

REQUEST:

A request for a variance to the front yard setback regulations of 15 feet is made to construct and/or maintain a two-story single family home structure with an approximately 2,700 square foot building footprint, part of which is to be located 10 feet from one of the site's two front property lines (N. Prairie Avenue) or 15 feet into this 25-foot front yard setback on a site that is undeveloped.

STANDARD FOR A FRONT YARD VARIANCE FOR PD 98:

PD 98 Section 51P-98.107(b)(3) states that the board of adjustment shall have the authority to grant variances from the terms of this article, in accordance with regulations and procedures specified in Article XXIX of Chapter 51 in the following matters:

- Permit such variances of the front yard, side yard, rear yard, lot width, lot depth, coverage, minimum sidewalk or setback standards, off-street parking or off-street loading, or visibility obstruction regulations where the literal enforcement of the provision of this article would result in an unnecessary hardship and where such variance is necessary to permit a specific parcel of land which differs from other parcels of land in the same district by being of such restricted area, shape, or slopes that it cannot be developed in a manner commensurate with the development permitted upon other parcels of land in the same district. A modification of standards established by this article may not be granted to relieve a self-created or personal hardship, not for financial reason only, nor may such modification be granted to permit any person a privilege in developing a parcel of land not permitted by this article to other parcels of land in this district.

State Law/HB 1475 effective 9-1-21

- the board may consider the following as grounds to determine whether compliance with the ordinance as applied to a structure that is the subject of the appeal would result in unnecessary hardship:
 - (a) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.
 - (b) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development is authorized to physically occur.
 - (c) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
 - (d) compliance would result in the unreasonable encroachment on an adjacent property or easement; or the municipality considers the structure to be a nonconforming structure.

STAFF RECOMMENDATION:

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded that the subject site is unique and different from most residential lots in the PD-98 zoning district in that it is restrictive in area due to having two, 25' front yard setbacks when most lots in this zoning district have one 25' front yard setback. The 5,300 square foot site has 20' of developable width available once a 25' front yard setback is accounted for on N. Prairie Avenue and a 5' side yard setback is accounted for on the parallel. If the lot were more typical to others in the zoning district with only one front yard setback, the 50' wide site would have 40' of developable width.
- Staff concluded that the applicant has shown by submitting a document indicating among other things that that the square footage of the proposed home on the subject site at approximately 2,660 square feet is commensurate to nine other homes in the same PD-98 zoning district that have average home size of approximately 4,835 square feet and three even more specific size comparable homes averaging 2,606 square feet.

- Staff concluded that granting the variance in this application would not be contrary to public interest in that the variance would allow a structure in one of the site's two front yard setbacks where the location of this structure would comply with the required 5' side yard setback if the N. Prairie Avenue (longer street frontage) on this corner lot were able to be recognized as it is proposed to function as a side yard.

BACKGROUND INFORMATION:

Zoning:

Site: PD 98 (Planned Development)
North: PD 98 (Planned Development)
South: PD 98 (Planned Development)
East: PD 98 (Planned Development)
West: PD 98 (Planned Development)

Land Use:

The subject site is undeveloped with the intent of being developed with a single family home. The areas to the north, south, east, and west are developed with single-family uses.

Zoning/BDA History:

- | | |
|--|---|
| <p>1. BDA145-040, Property at 4803 Victor Street (the subject site)</p> | <p>On November 12, 2018, the Board of Adjustment Panel C denied variance requests to the front yard setback and to the fence height regulations without prejudice. The case report stated that the requests were made to construct/maintain a two-story single family home structure with a total “slab area” of approximately 1,800 square feet or with a total “home size” of approximately 3,100 square feet to be located 13’ 10” from one of the site’s two front property lines (N. Prairie Avenue) or 11’ 2” into this 25’ front yard setback and to construct/maintain a fence (an 8’ high solid board-on-board wood fence) higher than 4’ in height in one of the site’s two required front yards (N. Prairie Avenue) on the subject site.</p> |
| <p>2. BDA145-040, Property at 4734 Tremont Street (two lots northwest of the subject site)</p> | <p>On April 22, 2015, the Board of Adjustment Panel B granted a variance to the front yard setback regulations. The case report stated that the requests were made to replace an existing one-story</p> |

nonconforming single-family home structure on the subject site with a two-story single family home with (according to the submitted revised site plan) a building footprint of about 2,000 square feet and a total living area of about 2,600 square feet, part of which would be located 5' from one of the site's two front property lines (N. Prairie Avenue) or 20' into this 25' front yard setback.

GENERAL FACTS/STAFF ANALYSIS:

- This request for variance to the front yard setback regulations of 15 feet focuses on constructing and maintaining a two-story single family home structure with a total "slab area" of approximately 1,800 square feet or with a total "home size" of approximately 3,200 square feet to be located 10 feet from one of site's two required front yards (N. Prairie Avenue) or 10 feet into this 25' front yard setback.
- PD 98 states that general standards for development of single-family uses with regard to setbacks must be in accordance with the provisions of the Residential - 7,500 Square Feet District of Chapter 51. Structures on lots zoned R-7.5 are required to provide a minimum front yard setback of 25.
- The subject site is located at the northwest corner of Victor Street and N. Prairie Avenue. Regardless of how the structure is proposed to be oriented to front Victor Street, the subject site has 25' front yard setbacks along both street frontages. The site has a 25' front yard setback along Victor Street, the shorter of the two frontages, which is always deemed the front yard setback on a corner lot in this zoning district. The site also has a 25' front yard setback along N. Prairie Avenue, the longer of the two frontages of this corner lot, which is typically regarded as a side yard where a 5' side yard setback is required. However, the site's N. Prairie Avenue frontage that would function as a side yard on the property is treated as a front yard setback nonetheless, to maintain the continuity of the established front yard setback established by the lots to the northwest that front/are oriented southwest towards N. Prairie Avenue.
- The submitted site plan indicates that the proposed home structure is located as close as 15' from the N. Prairie Avenue front property line or 10 feet into this 25' front yard setback.
- According to DCAD records, there are no "main improvement" or "no additional improvements" for property addressed at 4803 Victor Street.
- The subject site is flat, regular in shape and according to the submitted application is 0.121 acres (or approximately 5,300 square feet) in area. The site is zoned PD 98 where lots are typically 7,500 square feet in area.
- Most lots in the PD 98 zoning district have one 25' front yard setback, two 5' side yard setbacks, and one 5' rear yard setback; this site has two 25' front yard setbacks and one 5' side yard setback.

- The site plan represents that approximately 1/4 of the home structure is located in the 25' N. Prairie Avenue front yard setback.
- The 50' wide subject site has 20' of developable width available once a 25' front yard setback is accounted for on the southwest and a 5' side yard setback is accounted for on the northeast. If the lot were more typical to others in the zoning district with only one front yard setback, the 50' wide site would have 40' of developable width.
- The applicant submitted a document with this application, indicating among other things that the total living area of the proposed home on the subject site is approximately 2,660 square feet, and the average total living area of 9 other properties in the same zoning is approximately 4,835 square feet and three even more specific size comparable homes averaging 2,606 square feet.
- The applicant has the burden of proof in establishing the following:
 - That permitting such a variance of the front yard where the literal enforcement of the provision of this article would result in an unnecessary hardship and where such variance is necessary to permit a specific parcel of land which differs from other parcels of land in the same PD 98 district by being of such restricted area, shape, or slopes that it cannot be developed in a manner commensurate with the development permitted upon other parcels of land in the same PD 98 district.
 - A modification of standards established by this article may not be granted to relieve a self-created or personal hardship, not for financial reason only, nor may such modification be granted to permit any person a privilege in developing a parcel of land not permitted by this article to other parcels of land in this district.
- If the Board were to grant the variance request, and impose the submitted site plan as a condition, the structure in the front yard setback would be limited to what is shown on this document— which in this case is a home structure that would be located 15 feet from one of the site's two front property lines (N. Prairie Avenue) or 10 feet into this 25' front yard setback.\

Timeline:

December 16, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

January 5, 2023: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel C. This assignment was made in order to comply with Section 9 (k) of the Board of Adjustment Working Rule of Procedure that states, “If a subsequent case is filed concerning the same request, that case must be returned to the panel hearing the previously filed case”.

January 20, 2023: The Board of Adjustment Senior Planner emailed the applicant the following information:

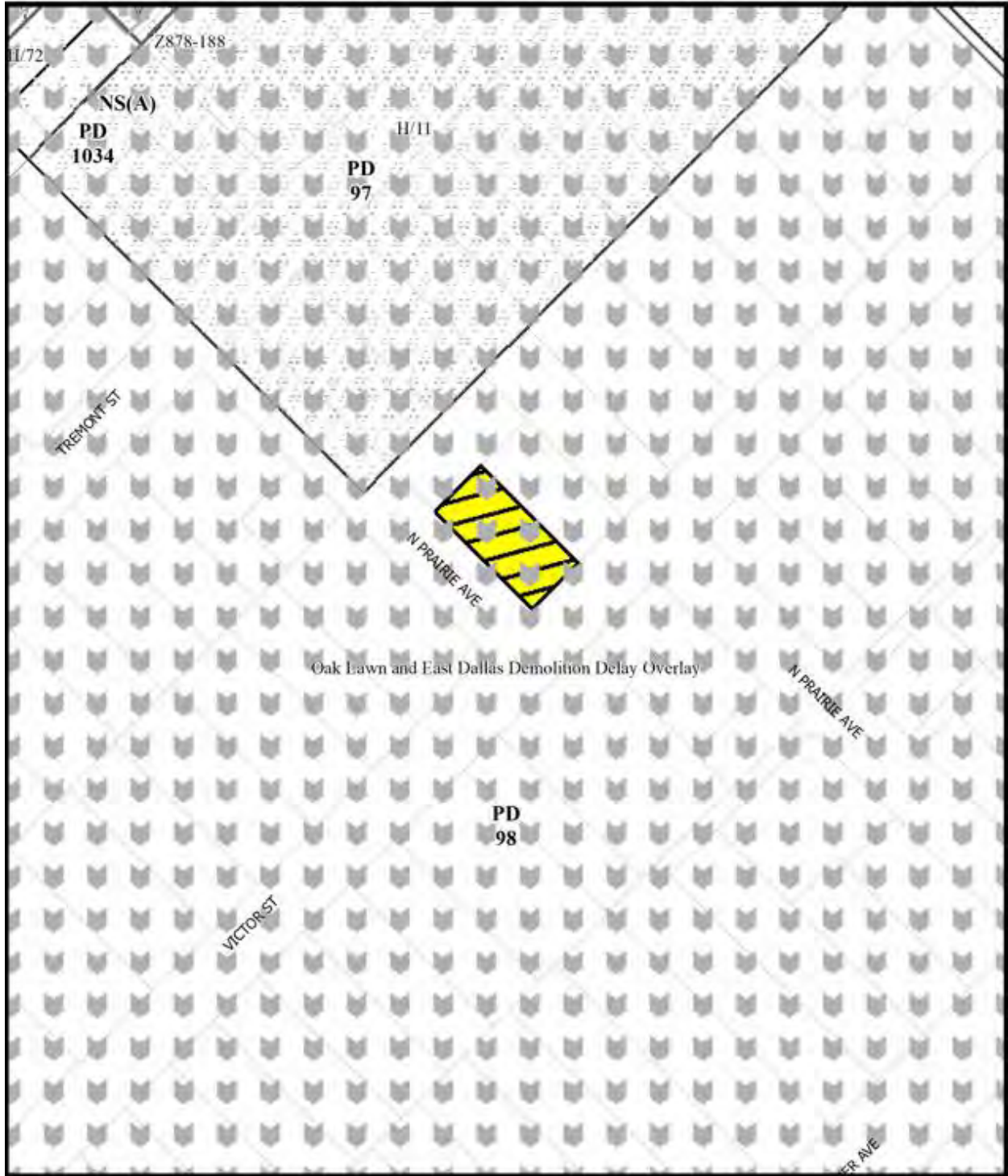
- a copy of the application materials including the Building Official's report on the application
- an attachment that provided the public hearing date and panel that will consider the application; the January 23rd deadline to submit additional evidence for staff to factor into their analysis;

and the February 10th deadline to submit additional evidence to be incorporated into the Board's docket materials

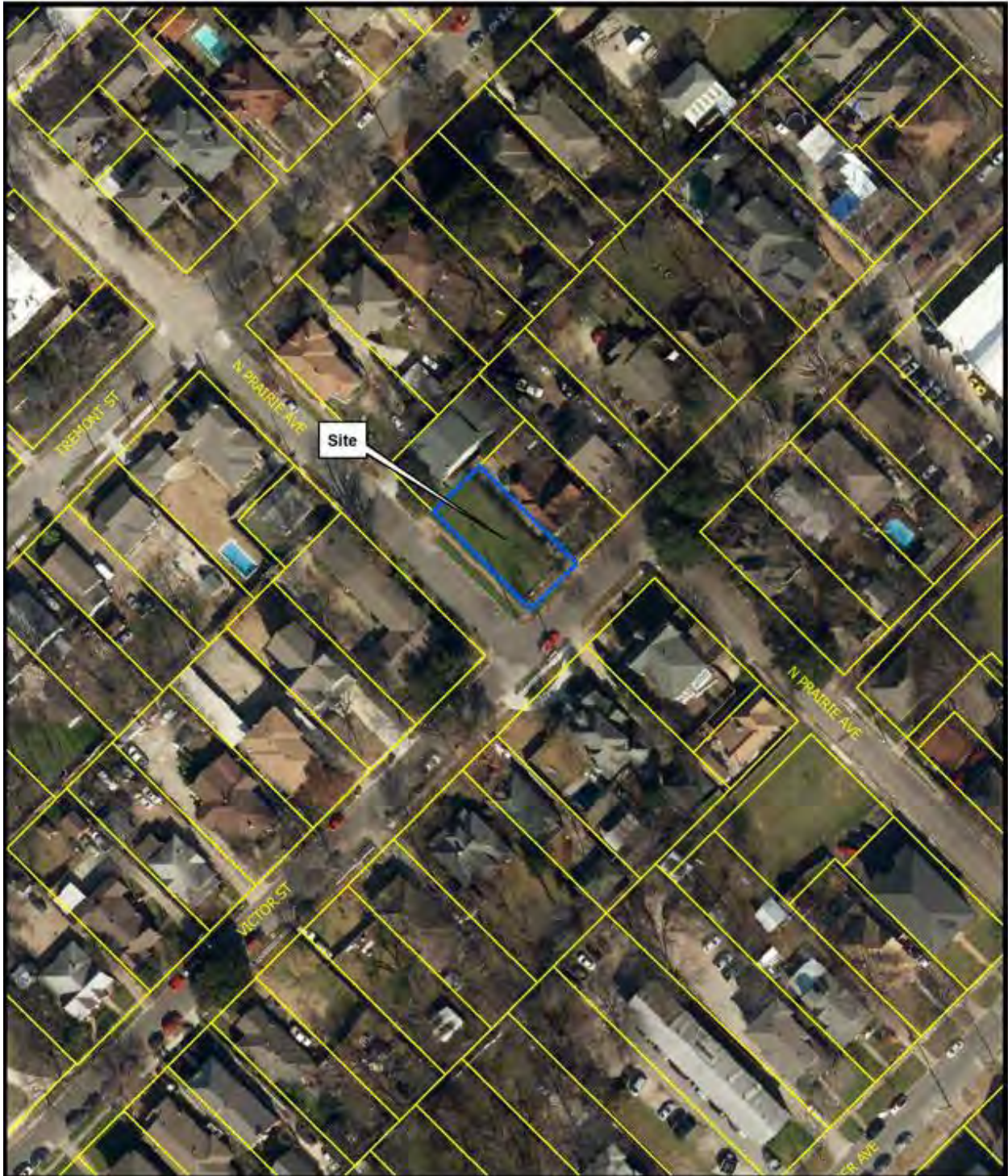
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to "documentary evidence."

January 24,2023: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the February public hearings. Review team members in attendance included the following: the Board of Adjustment Chief Planner/Board Administrator, the Board of Adjustment Senior Planner, the Board of Adjustment Development Code Specialist, the Board of Adjustment Consultant, the Chief Arborist, Development Services Senior Engineers, and the Board Attorney.

No review comment sheets were submitted in conjunction with this application.



| | | |
|--|---------------------|--|
|  1:1,200 | <h1>ZONING MAP</h1> | Case no: <u>BDA223-021</u> Date: <u>1/23/2023</u> |
|--|---------------------|--|



1:1,200

AERIAL MAP

Case no: BDA223-021

Date: 1/23/2023



1:1,200

NOTIFICATION

200'

AREA OF NOTIFICATION

25

NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: **BDA223-021**

Date: **1/23/2023**

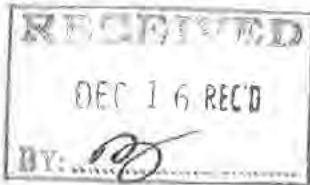
01/23/2023

Notification List of Property Owners

BDA223-021

25 Property Owners Notified

| <i>Label #</i> | <i>Address</i> | <i>Owner</i> |
|-----------------------|-----------------------|---------------------------------|
| 1 | 4803 VICTOR ST | P31 DESIGN BUILD LLC |
| 2 | 4734 TREMONT ST | HEWLETT ELAINE & |
| 3 | 413 N PRAIRIE AVE | GULLEY REI LLC |
| 4 | 4726 TREMONT ST | ORTEGA MARIA CLEOFAS |
| 5 | 4804 TREMONT ST | BUSKIRK SHARON MARIE V |
| 6 | 4800 TREMONT ST | BUDHABHATTI BIMAL & NEETA SAVLA |
| 7 | 4810 TREMONT ST | ORDAZ ANGELINA |
| 8 | 4814 TREMONT ST | SPITZER DEBORAH ANN |
| 9 | 4818 TREMONT ST | HUBBARD BRADLEY G |
| 10 | 4821 VICTOR ST | BERLIN SCOTT ALAN |
| 11 | 4817 VICTOR ST | KRISHKAV INVESTMENTS LLC |
| 12 | 4811 VICTOR ST | SCHEXNAYDER SHAWN |
| 13 | 408 N PRAIRIE AVE | LICHLITER KELLEEN M & |
| 14 | 4809 VICTOR ST | Taxpayer at |
| 15 | 4731 VICTOR ST | ELOREM INVESTMENT LLC |
| 16 | 4727 VICTOR ST | KEIDEL DANIEL J & |
| 17 | 4723 VICTOR ST | LATIMER SCOTTY MANSFIELD |
| 18 | 4726 VICTOR ST | ANDERSON EDWARD M JR |
| 19 | 4728 VICTOR ST | KAGAN LEAH C |
| 20 | 321 N PRAIRIE AVE | HEEREN MEAGAN |
| 21 | 4742 VICTOR ST | HALFORD RANDAL A & |
| 22 | 4806 VICTOR ST | CARUNCHIA MARY ELIZABETH |
| 23 | 4800 VICTOR ST | Taxpayer at |
| 24 | 4810 VICTOR ST | SUAREZ JUAN A |
| 25 | 4738 VICTOR ST | BARNES ROBIN L |



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 203-021

Date: 12/16/22

Data Relative to Subject Property:

Location address: 4803 Victor St

Zoning District: PD98

Lot No.: 7 Block No.: A/195-1/2 Acreage: .182 Census Tract: _____

Street Frontage (in Feet): 1) 100 2) 50 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): P31 Design and Build, LLC (owner Felicia Edoghotu)

Applicant: Felicia Edoghotu Telephone: 469-744-6246

Mailing Address: 7841 Sunset Blvd Rowlett, TX Zip Code: 75088

E-mail Address: Angcares@yahoo.com

Represented by: _____ Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception _____ of 17 foot variance to the required 25 foot Setback.
proposing 8ft setback.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
personal hardship to include medical family reasons
See attached report for summary of events

Additionally the variance is needed due to the restrictive area.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Felicia Edoghotu
(Affiant/Applicant's name printed)

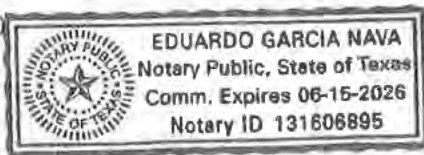
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Felicia Edoghotu
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 7th day of December, 2022

Eduardo Garcia Nava
Notary Public in and for Dallas County, Texas

(Rev. 08-01-11)



MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

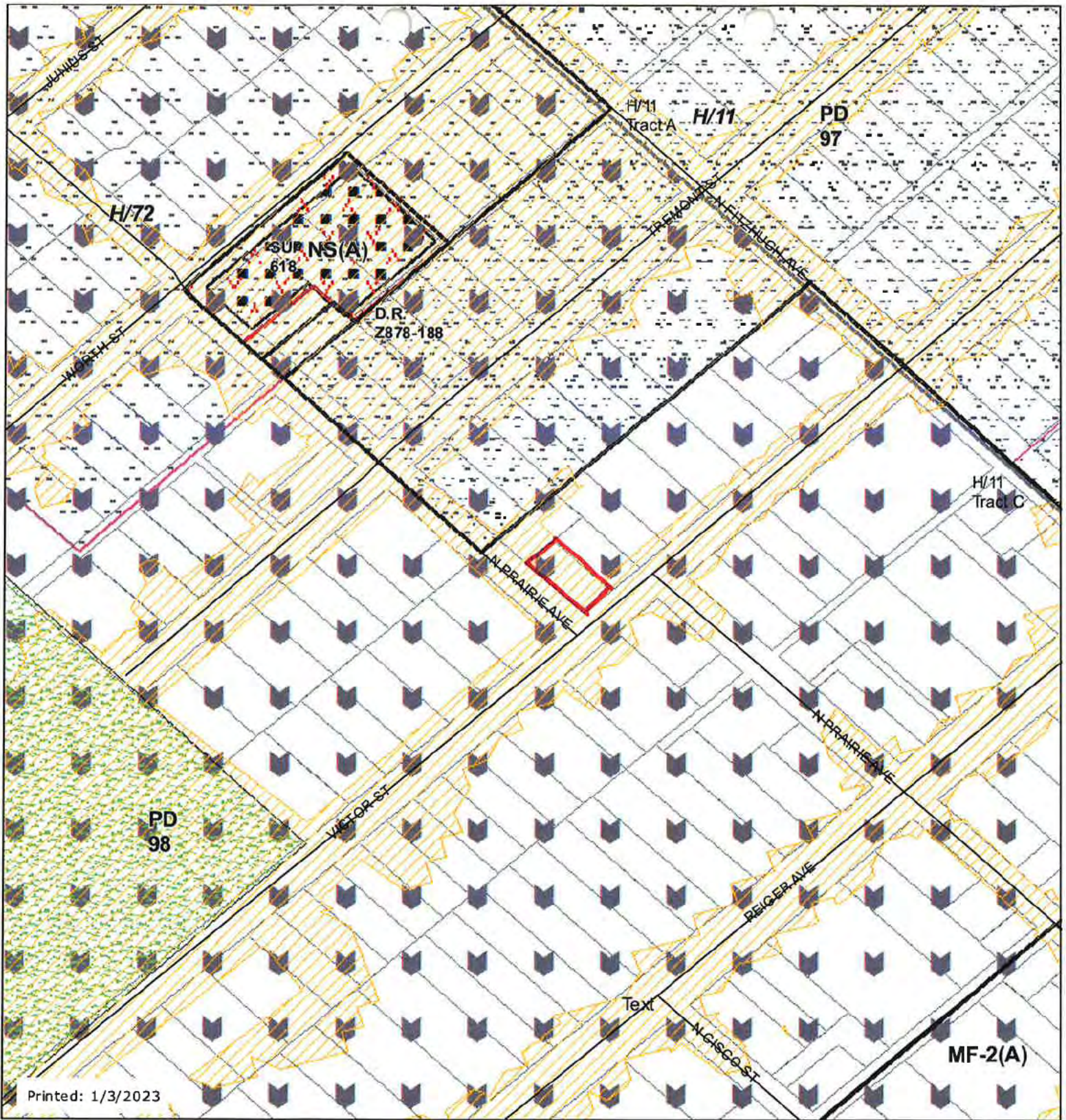
I hereby certify that FELICIA EDOGHOTU

did submit a request for a variance to the front yard setback regulations
at 4803 VICTOR ST












BDA223-021. Application of FELICIA EDOGHOTU for a variance to the front yard setback regulations at 4803 VICTOR ST. This property is more fully described as Block A/0795, 1/2 part of lot 7, and is zoned PD-98, which requires a front yard setback of 25 feet. The applicant proposes to construct a single-family residential structure and provide an 8 foot front yard setback, which will require a 17 foot variance to the front yard setback regulations.

Sincerely,


David Session, Building Official



Printed: 1/3/2023

-  City Limits
-  Roodplain
-  Peak's Branch
-  Parks
-  Certified Parcels
-  Base Zoning
-  Demolition Delay Overlay
-  Deed Restrictions
-  SUP
-  Historic Subdistricts
-  Historic Overlay

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



683

685

687

689

BLOCKS 794 to 795 1/2

Prepared by Survey 1888

GASTON AVE.

JUNIUS ST.

ST. 1

ST.

ST.

REIGER

AVE.

PRAIRIE AVE.

FITZHUGH

AVE.

GASTON

68

80

70

771

771

80

11.54° E

PRAIRIE

793

WORTH

AVE.

TREMONT (CRUTCHER)

VICTOR

BUCKNER PARK

796

BLOCKS 794 to 795 1/2

3-12-12

Scale

797 1/2

798 1/2

799 1/2



EDOGHOTU
RESIDENCE



4803 VICTOR STREET DALLAS, TX 75246

Green Building Program Notes - New Construction

All new construction to comply with the City of Dallas Prescriptive Checklist (rev. 09/01/2015).

- 1 Storm Water:**
 - 1.1 70% of the non-roof area to have vegetative landscaping, permeable paving, or sloped for water runoff to a permanent filtration feature.
- 2 Water Usage:**
 - 2.1 Utilize drip irrigation in all planting beds.
 - 2.2 Comply with three of the following five categories:
 - 2.2.1 Lavatory faucets to have a flow rate of 2.0 GPM maximum
 - 2.2.2 Shower heads to have a flow rate of 2.0 GPM maximum
 - 2.2.3 Toilets to have an average flush rate of 1.3 GPF maximum, or be dual flush complying with ASME 112.19.14, or be certified and labeled as complying with US EPA Water Sense.
 - 2.2.4 Dishwasher to be Energy Star labeled and use 6 gal. per cycle maximum.
 - 2.2.5 Closets washers to be Energy Star labeled and have a modified energy factor of 2.0 minimum and water factor of 5 maximum.
- 3 Energy Efficiency:**
 - 3.1 Complies with the minimum provisions of the 2015 IECC.
- 4 Heat Island Mitigation:**
 - 4.1 Install one of the following four options:
 - 4.2.1 Roofing materials shall be Energy Star qualified on slope greater than 2:12
 - 4.2.2 A vegetative roof subject to approval by the Building Official
 - 4.2.3 A radiant barrier installed according to the manufacturer's instructions
 - 4.2.4 A foam encapsulated attic of minimum R-22 installed according to the manufacturer's instructions.
- 5 Indoor Air Quality:**
 - 5.1 HVAC and duct work to be located outside of the fire rated garage envelope
 - 5.2 Minimize pollutants in conditioned space above garage.
 - 5.2.1 Penetrations sealed.
 - 5.2.2 Floor and ceiling joist bays sealed.
 - 5.2.3 Painted walls and ceiling of conditioned space.
 - 5.3 Minimize pollutants in conditioned space adjacent to garage.
 - 5.3.1 Penetrations sealed.
 - 5.3.2 Doors weatherstripped.
 - 5.3.3 Cracks at wall base sealed.
 - 5.4 Air filters to be MERV 8 minimum.
 - 5.5 Air handler(s) to be sized to maintain pressure and airflow.
 - 5.6 Air filter housing to be airtight.

GENERAL NOTES:

ALL DIMENSIONS UNLESS NOTED OTHERWISE SHALL BE IN ACCORDANCE WITH THE CITY OF DALLAS PRESCRIPTIVE CHECKLIST (REV. 09/01/2015).

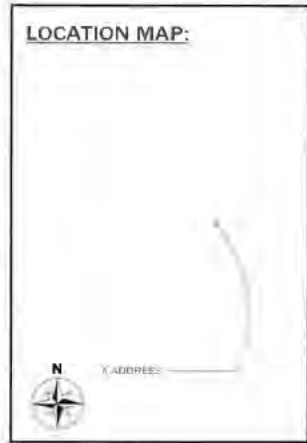
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS AND LATEST (ASO) INTERNATIONAL BUILDING CODE WITH CURRENT ADDENDUM.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO M. PARKER DESIGN FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
3. ALL PORTIONS OF FOOTING ARE TO BE BELOW LOCAL FROST LINES AND MUST REST ON UNDISTURBED SOIL WITH ADEQUATE BEARING CAPACITY TO SUPPORT THE STRUCTURE. A LOCAL ENGINEER MUST BE CONSULTED FOR PROPER FOOTING AND REINFORCEMENT SIZES.
4. CONTRACTOR TO ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS
5. REINFORCE FOUNDATION WALLS PER LOCAL CODES.
6. ALL FOUNDATION AND STRUCTURAL MEMBERS SHALL BE DESIGNED BY AN ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT AND VERIFICATION OF ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A WELL CONSTRUCTED AND SAFE STRUCTURE.
7. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS ARE TO MEET NATIONAL STATE AND LOCAL BUILDING CODES.
8. ALL COLUMNS OR SOLID FRAMING SHALL BE DESIGNED TO CARRY AND TERMINATE LOADS THROUGH THE STRUCTURE TO FOUNDATION ELEMENTS THAT DISTRIBUTE THE LOADS TO FULL CAPACITY SOILS.
9. M. PARKER DESIGN ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
10. THIS DESIGN LICENSE IS RELEASED FOR ONE (1) BUILT STRUCTURE ONLY AND IS NOT TRANSFERABLE TO ANOTHER INDIVIDUAL OR COMPANY.
11. THE DRAWINGS PREPARED BY M. PARKER DESIGN ARE ARCHITECTURAL IN NATURE. STRUCTURAL DRAWINGS SHALL BE PREPARED BY A LICENSED ENGINEER PER LOCAL CODES.

| LEGAL DESCRIPTION | |
|---|--|
| Property located at No. 4803 VICTOR STREET in the Dallas, Texas jurisdiction within Block 4 L1 L14 of WATERBOND PARK 3, according to the plat recorded by the Dallas Central Appraisal District. Survey and Legal Description of other Maps 14-6. | |

| SITE AREA | |
|-----------------------------------|----------|
| LOT SQUARE FOOTAGE: | 5,300 SF |
| TOTAL SQUARE FOOTAGE OF COVERAGE: | 2,547 SF |
| % MAXIMUM LOT COVERAGE: | 48% |
| % OF LOT COVERAGE: | 40% |

| BUILDING AREA | |
|-------------------------------|----------|
| FIRST FLOOR: | |
| AIR CONDITIONED | 1,654 SF |
| FRONT PORCH OVERHANG | 90 SF |
| PORCH | 520 SF |
| SECOND FLOOR: | |
| AIR CONDITIONED - MAIN | 1,381 SF |
| AIR CONDITIONED - ADJ. GARAGE | 434 SF |
| COVERED PORCH | 87 SF |
| ATTIC: | |
| AIR CONDITIONED | 428 SF |
| TOTAL AIR CONDITIONED | 3,877 SF |
| TOTAL COVERED | 4,544 SF |

| CODE VERIFICATION | |
|-----------------------|------------------------|
| ZONING: | PD 68 |
| OCCUPANCY: | SMALL FAMILY RESIDENCE |
| FRONT SETBACK: | 25'0" |
| REAR SETBACK: | 5'0" |
| SIDE SETBACK: | 0'0" |
| MAXIMUM HEIGHT: | 30'0" |
| MAXIMUM LOT COVERAGE: | 48% |



| SHEET LIST | |
|------------|-------------------------|
| A0.1 | COVER SHEET |
| A0.1.1 | SITE PLAN |
| A0.1.2 | FIRST FLOOR & ROOF PLAN |
| A0.1.3 | SECOND FLOOR PLAN |
| A0.1.4 | ATTIC FLOOR PLAN |
| A0.1.5 | ELEVATIONS |
| A0.1.6 | ELEVATIONS |
| A0.1.7 | SECTIONS |
| A0.1.8 | DETAILS |

4803 VICTOR STREET
DALLAS, TX 75246

COVER SHEET

A0.1



EDOGHOTU
RESIDENCE

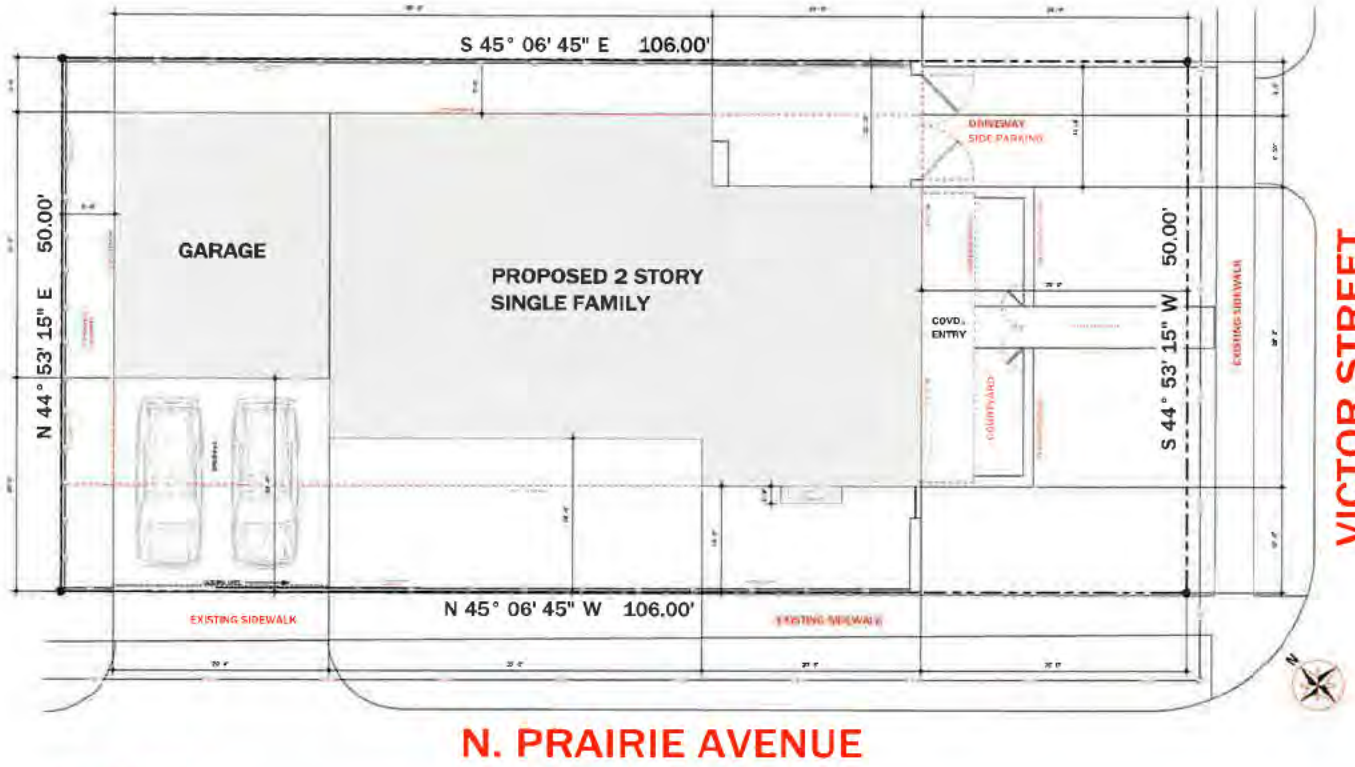
DATE: 11/28/2024
SCALE: 1/8" = 1'-0"



4803 VICTOR STREET
DALLAS, TX 75246

SITE PLAN

A1.1



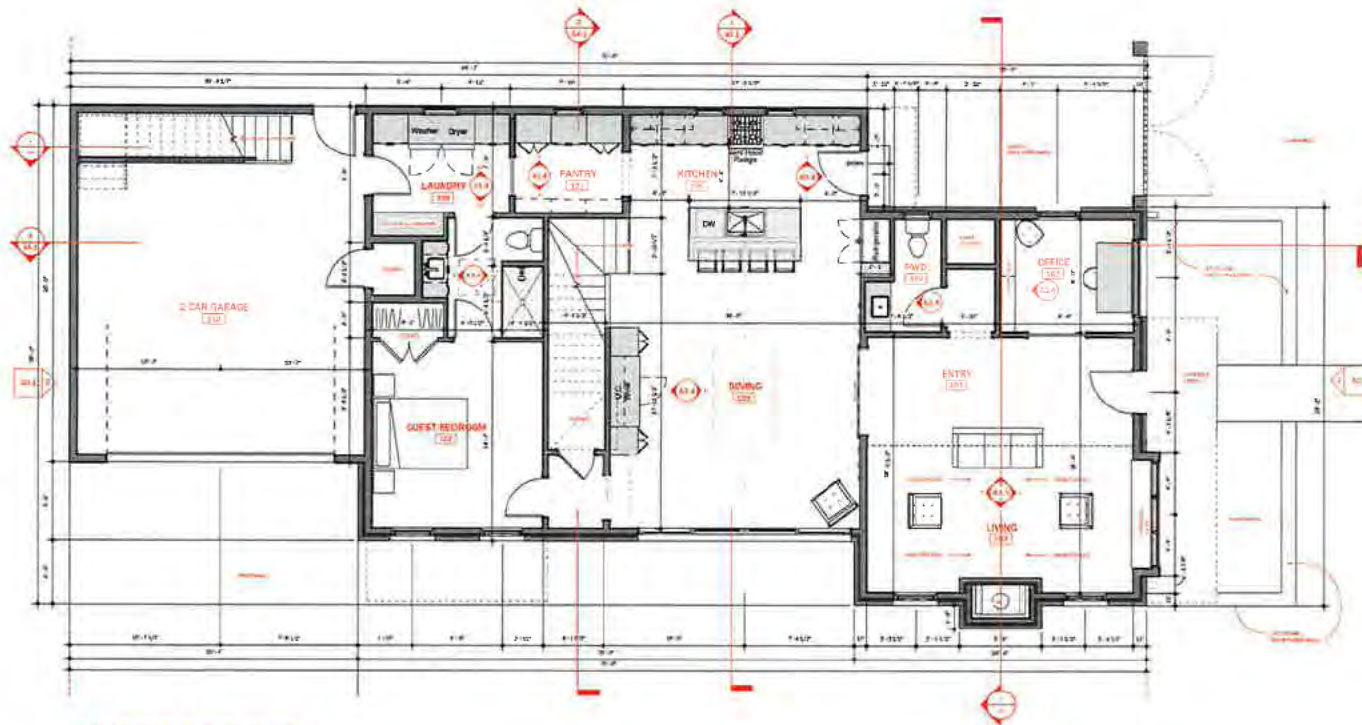
1 SITE PLAN
SCALE: 3/16" = 1'-0"

| LEGEND | |
|----------|------------|
| [Symbol] | FOUNDATION |
| [Symbol] | CONCRETE |
| [Symbol] | STEEL |
| [Symbol] | WOOD |
| [Symbol] | GLASS |
| [Symbol] | DOOR |
| [Symbol] | WINDOW |
| [Symbol] | ROOF |
| [Symbol] | LANDSCAPE |
| [Symbol] | UTILITY |
| [Symbol] | EXISTING |
| [Symbol] | PROPOSED |

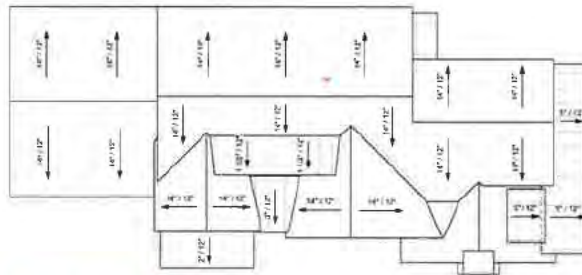
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

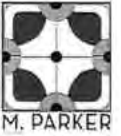
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES, REGULATIONS AND LATEST CABO INTERNATIONAL BUILDING CODE WITH CURRENT ADDENDUM.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO M. PARKER DESIGN FOR JUSTIFICATION OR CORRECTION BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- ALL PORTIONS OF FOOTING ARE TO BE BELOW LOCAL FROST LINES AND MUST REST ON UNDISTURBED SOIL WITH ADEQUATE BEARING CAPACITY TO SUPPORT THE STRUCTURE. A LOCAL ENGINEER MUST BE CONSULTED FOR PROPER FOOTING AND REINFORCEMENT SIZES.
- CONTRACTOR TO ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- REINFORCE FOUNDATION WALLS PER LOCAL CODES.
- ALL FOUNDATION AND STRUCTURAL MEMBERS SHALL BE DESIGNED BY AN ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE ADJUSTMENT AND VERIFICATION OF ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A WELL CONSTRUCTED AND SAFE STRUCTURE.
- ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS ARE TO MEET NATIONAL, STATE AND LOCAL BUILDING CODES.
- ALL COLUMNS OR SOLID FRAMING SHALL BE DESIGNED TO CARRY AND TERMINATE LOADS THROUGH THE STRUCTURE TO FOUNDATION ELEMENTS THAT DISTRIBUTE THE LOADS TO FULL CAPACITY SOILS.
- M. PARKER DESIGN ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THIS PLAN.
- THIS DESIGN LICENSE IS RELEASED FOR ONE (1) BUILT STRUCTURE ONLY AND IS NOT TRANSFERABLE TO ANOTHER INDIVIDUAL OR COMPANY.
- THE DRAWINGS PREPARED BY M. PARKER DESIGN ARE ARCHITECTURAL IN NATURE. STRUCTURAL DRAWINGS SHALL BE PREPARED BY A LOCAL ENGINEER PER LOCAL CODES.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 DRAWING TITLE
SCALE: 1/8" = 1'-0"



PROJECT
**EDOGHOTU
RESIDENCE**

DATE: 12/15/2014
DRAWN BY: J. W. WALKER
CHECKED BY: J. W. WALKER

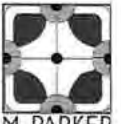
NO. 1 (1/16/2014)
NO. 2 (1/16/2014)
NO. 3 (1/16/2014)
NO. 4 (1/16/2014)
NO. 5 (1/16/2014)
NO. 6 (1/16/2014)
NO. 7 (1/16/2014)
NO. 8 (1/16/2014)
NO. 9 (1/16/2014)
NO. 10 (1/16/2014)
NO. 11 (1/16/2014)
NO. 12 (1/16/2014)

**4803 VICTOR STREET
DALLAS, TX 75246**

**FIRST FLOOR
& ROOF PLAN**

NO. 1 (1/16/2014)

A2.1



M. PARKER

EDOGHOTU
RESIDENCE

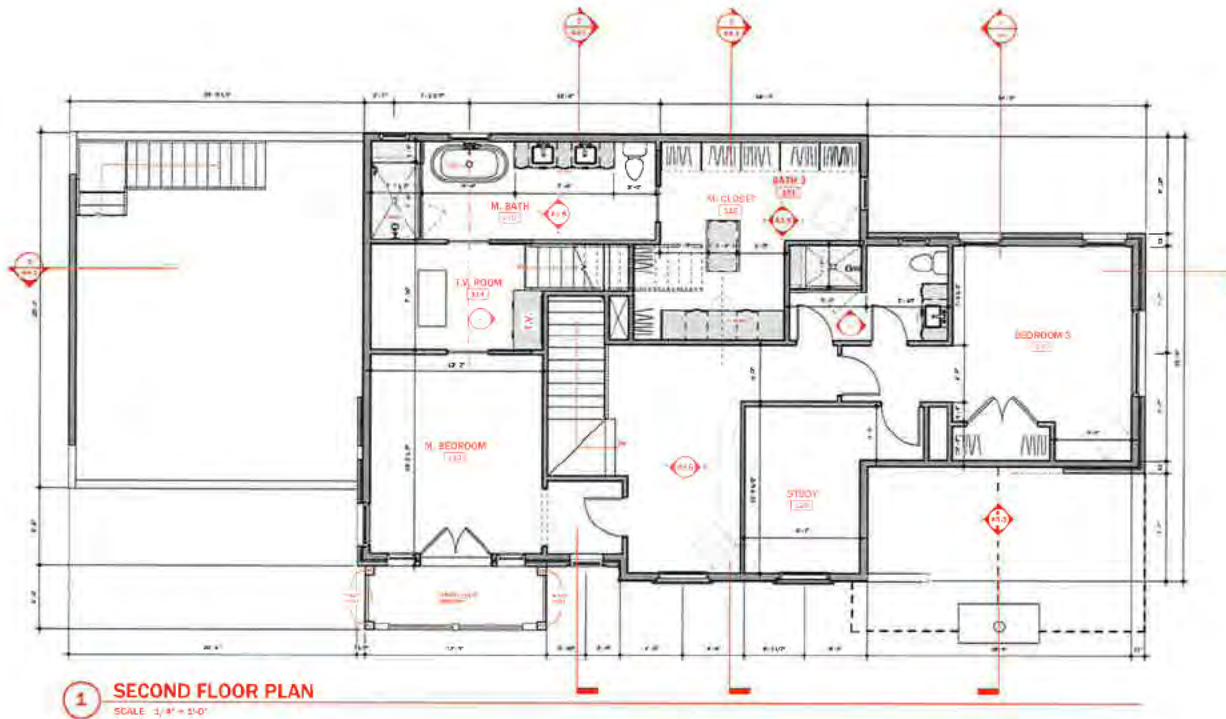
DATE: 11/11/2014
PROJECT NO: 2482
DRAWING NO: 102

OWNER: M. PARKER
ARCHITECT: M. PARKER
DATE: 11/11/2014
PROJECT NO: 2482
DRAWING NO: 102

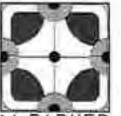
4803 VICTOR STREET
DALLAS, TX 75246

SECOND
FLOOR PLAN

A2.2



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

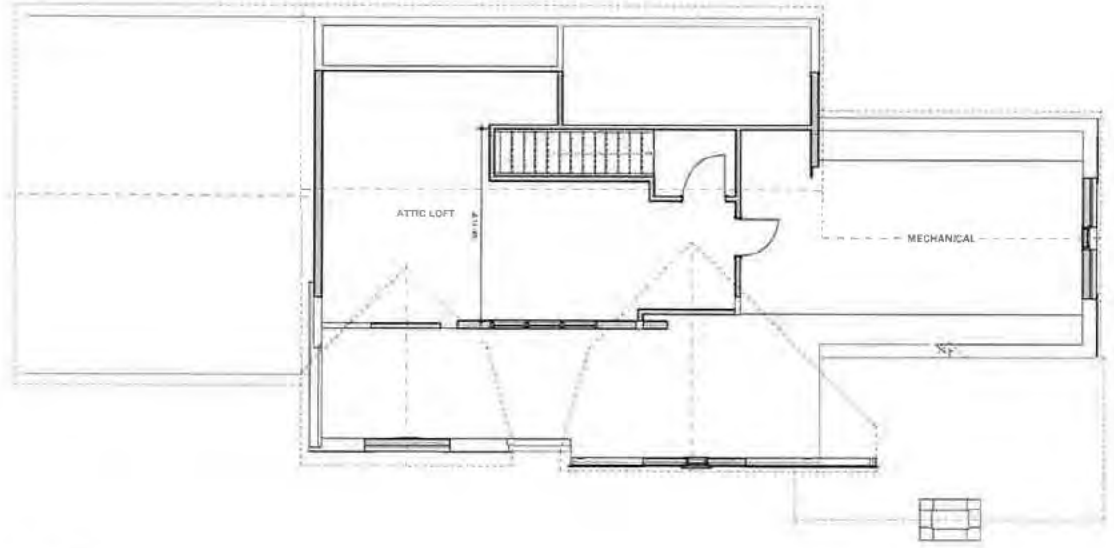


M. PARKER

PROJECT
EDOGHOTU
RESIDENCE

Sheet No. 20447
Date 08/20/2011

DATE: 08/20/2011
BY: M. PARKER
CHECKED BY: M. PARKER
PROJECT: EDOGHOTU RESIDENCE
SHEET: 20447



1 ATTIC
SCALE: 1/4" = 1'-0"

4803 VICTOR STREET
DALLAS, TX 75246

ATTIC FLOOR
PLAN

A2.3



1 SOUTH - ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH - ELEVATION
SCALE: 1/4" = 1'-0"



EDOGHOTU
RESIDENCE

NO. 17 Texas State
ARCHITECTURE BOARD 8504

1. ALL
2. ALL
3. ALL
4. ALL
5. ALL
6. ALL
7. ALL
8. ALL
9. ALL
10. ALL

4803 VICTOR STREET
DALLAS, TX 75246

ELEVATIONS

Sheet No. 1 of 1

A3.1



M. PARKER

EDOGHOTU
RESIDENCE

DATE: 05/15/18
PROJECT NO.: 18002
REVISION: 0001

1. 01: CONSTRUCTION
2. 02: EXTERIOR FINISHES
3. 03: INTERIOR FINISHES
4. 04: MECHANICAL, ELECTRICAL, & PLUMBING
5. 05: LANDSCAPE ARCHITECTURE
6. 06: SPECIALTIES

4803 VICTOR STREET
DALLAS, TX 75246

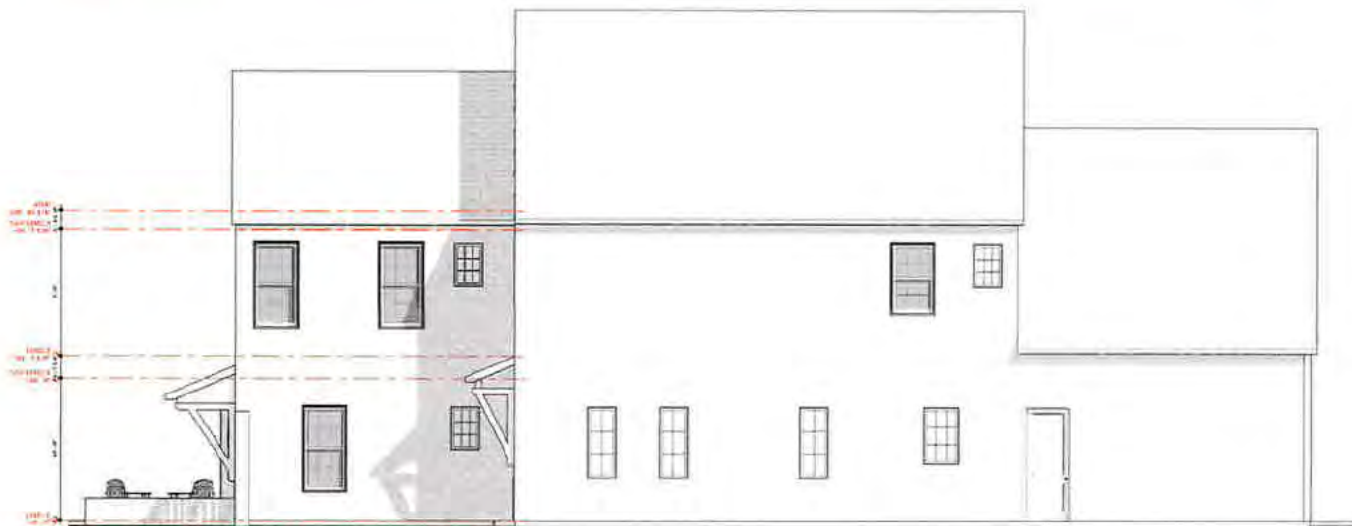
ELEVATIONS

SCALE: 1/8" = 1'-0"

A3.2



1 WEST - ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST - ELEVATION
SCALE: 1/8" = 1'-0"



EDOGHOTU
RESIDENCE

Architect: M. PARKER
Client: EDOGHOTU
Date: 2018

1/2" = 1'-0"
1/4" = 1'-0"
1/8" = 1'-0"

4803 VICTOR STREET
DALLAS, TX 75246

SECTIONS

A4.1



1 Section 1
SCALE: 1/4" = 1'-0"



2 Section 7
SCALE: 1/4" = 1'-0"



3 Section 4
SCALE: 1/4" = 1'-0"



M. PARKER

EDOGHOTU
RESIDENCE

Project Name: EDOGHOTU RESIDENCE
Date: 1/2014
Location: DALLAS, TX

EDOGHOTU RESIDENCE
3D VIEWS
1/2014
M. PARKER ARCHITECTS

4803 VICTOR STREET
DALLAS, TX 75246

3D-VIEWS

A5.1



1 3D View 1
SCALE



2 3D View 2
SCALE



3 3D View 3
SCALE



4 3D View 4
SCALE



5 3D View 5
SCALE



6 3D View 6
SCALE



7 3D View 8
SCALE



8 3D View 9
SCALE



9 3D View 10
SCALE



10 3D View 11
SCALE



11 3D View 12
SCALE



12 3D View 13
SCALE



EDOGHOTU
RESIDENCE

DATE: 10/14/14

PROJECT: 14-000000-0000

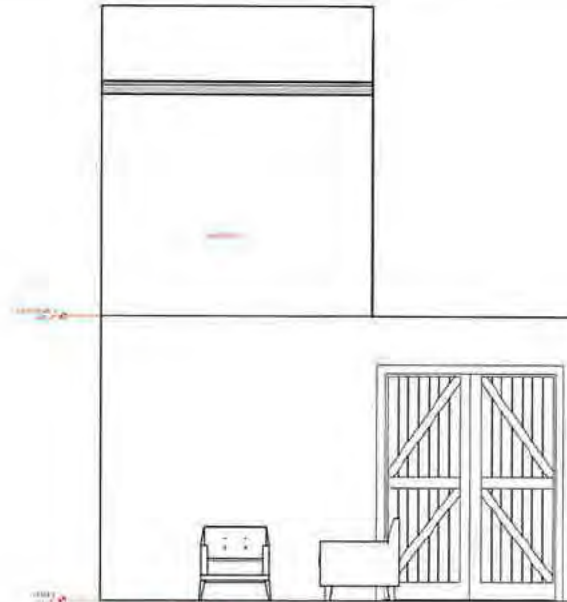
4803 VICTOR STREET
DALLAS, TX 75246

INT.
ELEVATIONS

A3.3



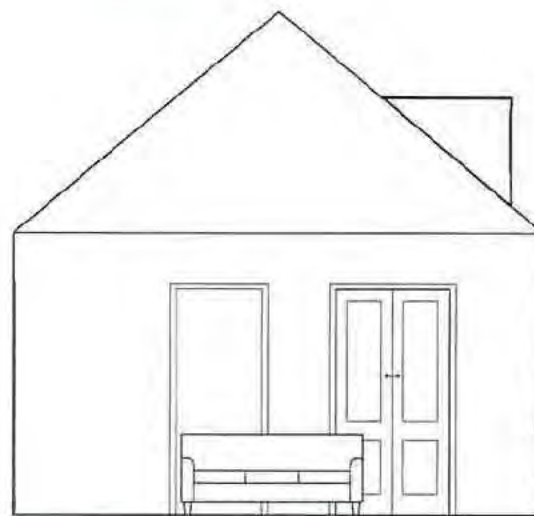
1 LIVING - 1
SCALE: 1/2" = 1'-0"



3 LIVING - 3
SCALE: 1/2" = 1'-0"



2 LIVING - 2
SCALE: 1/2" = 1'-0"



4 LIVING - 4
SCALE: 1/2" = 1'-0"



PROJECT:
EDOGHOTU
RESIDENCE

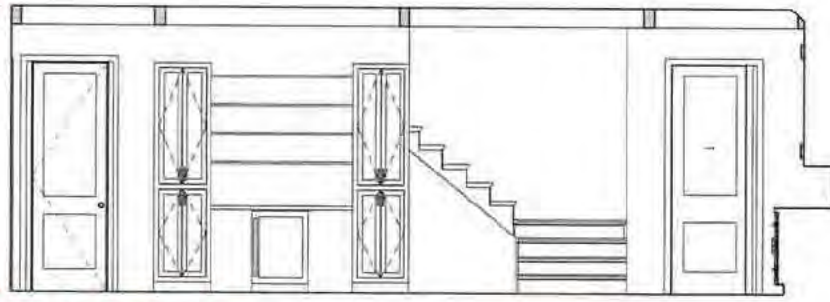
DATE: 01/20/2020
DRAWN BY: [Signature]

NO. 1000
DATE: 01/20/2020
DRAWN BY: [Signature]

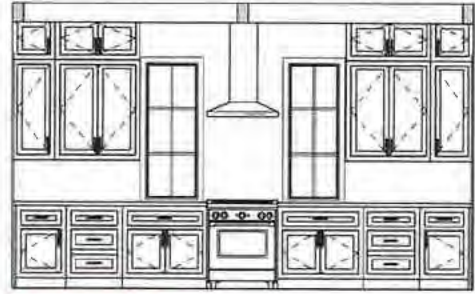
4803 VICTOR STREET
DALLAS, TX 75246

INT.
ELEVATIONS

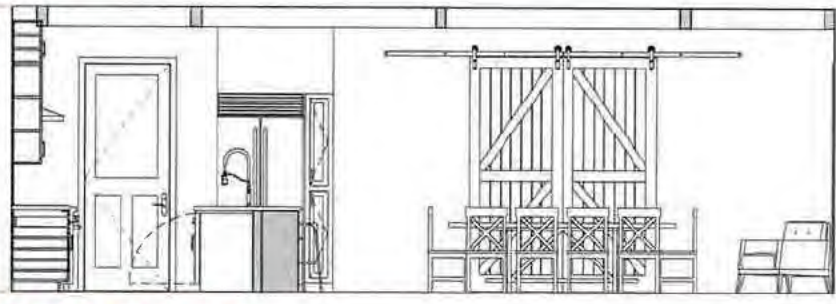
A3.4



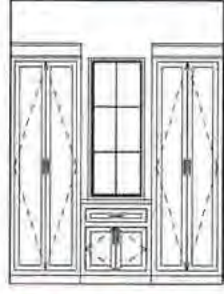
3 DINING / KITCHEN - 1
SCALE: 1/2" = 1'-0"



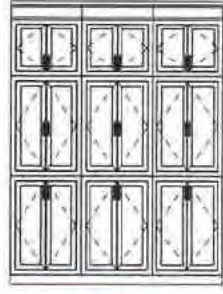
2 KITCHEN - 1
SCALE: 1/2" = 1'-0"



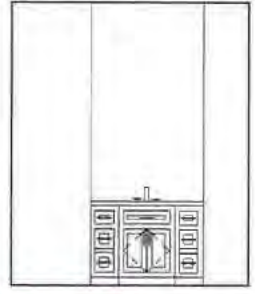
4 DINING / KITCHEN - 2
SCALE: 1/2" = 1'-0"



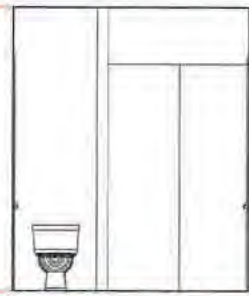
5 PANTRY - 1
SCALE: 1/2" = 1'-0"



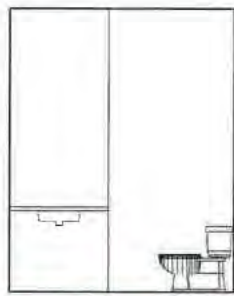
6 PANTRY - 2
SCALE: 1/2" = 1'-0"



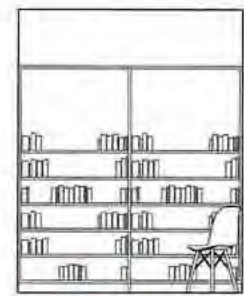
8 BATH 1 - 1
SCALE: 1/2" = 1'-0"



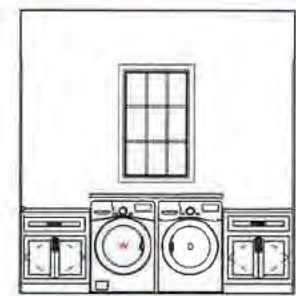
9 BATH 1 - 2
SCALE: 1/2" = 1'-0"



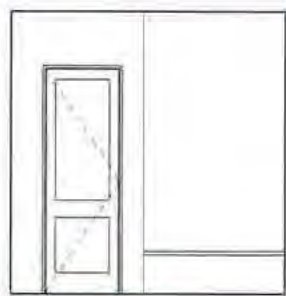
7 PWD. BATH
SCALE: 1/2" = 1'-0"



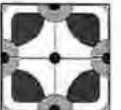
1 OFFICE - 1
SCALE: 1/2" = 1'-0"



10 LAUNDRY - 1
SCALE: 1/2" = 1'-0"



11 LAUNDRY - 2
SCALE: 1/2" = 1'-0"



M. PARKER

PROJECT:
EDOGHOTU
RESIDENCE

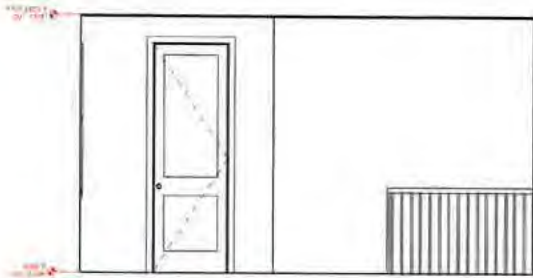
DATE: 11/11/2019
DRAWN BY: [signature]

NO. 1
NO. 2
NO. 3
NO. 4
NO. 5
NO. 6
NO. 7
NO. 8
NO. 9

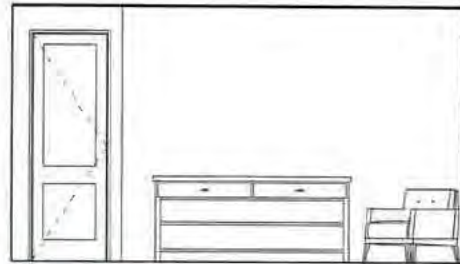
4803 VICTOR STREET
DALLAS, TX 75246

INT.
ELEVATIONS

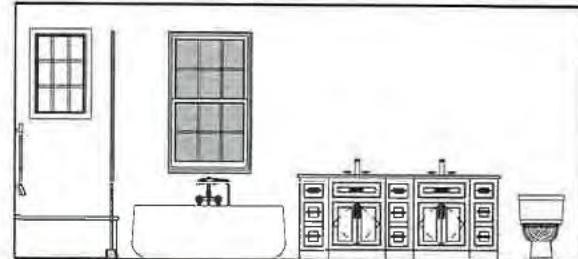
A3.5



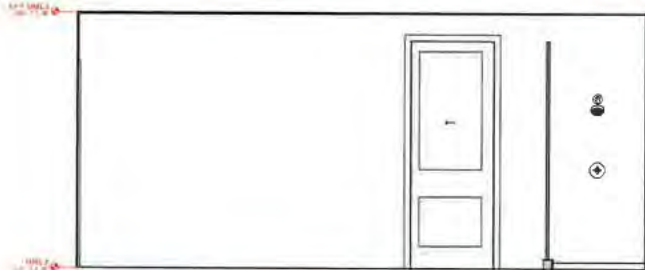
1 HALL - 1
SCALE: 1/2" = 1'-0"



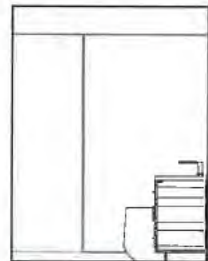
2 HALL - 2
SCALE: 1/2" = 1'-0"



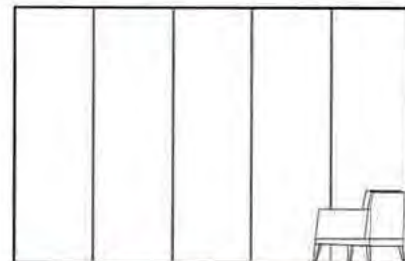
3 M. BATH - 1
SCALE: 1/2" = 1'-0"



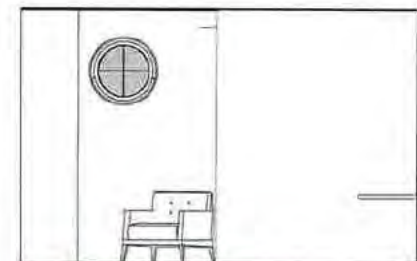
4 M. BATH - 2
SCALE: 1/2" = 1'-0"



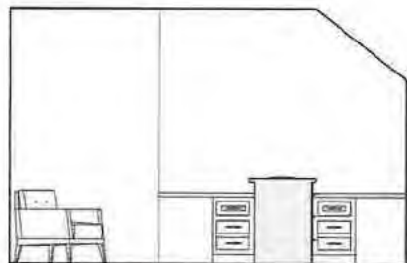
5 M. BATH - 3
SCALE: 1/2" = 1'-0"



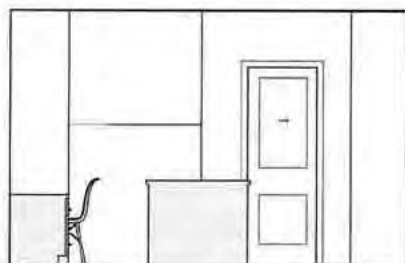
6 M. CLOSET - 1
SCALE: 1/2" = 1'-0"



7 M. CLOSET - 2
SCALE: 1/2" = 1'-0"



8 M. CLOSET - 3
SCALE: 1/2" = 1'-0"



9 M. CLOSET - 4
SCALE: 1/2" = 1'-0"

FILE NUMBER: BDA212-105(OA)

BUILDING OFFICIAL'S REPORT: Application of **Baldwin Associates** for a variance to the front yard setback regulations, for a special exception to the fence height regulations, for a fence standards regulation, for a special exception to the visibility visual obstruction regulation (20' by 20' visibility triangle) and for a at 3923 Frontier Lane. This property is more fully described as Lot 18, Block 3/2972, and is zoned R-7.5(A), Single Family District which limits the height of a fence in the front yard to four feet, requires a 20' visibility triangle at driveway approaches, a fence panel with a surface area that is less than 50 percent open and may not be located less than 5' from the front lot line, and requires a front yard setback of 30'. The applicant proposes to construct a single family residential structure and provide a 5' front yard setback, which will require a 25' variance to the front yard setback regulations and to construct an 8' 9" high fence in the required front yard which will require a 4' 9" special exception to the fence regulations and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area and located less than 5' from the front lot line which will require a special exception to the fence regulation, and to construct a single family residential fence structure in a required visibility obstruction at the driveway approaches.

LOCATION: 3923 Frontier Lane

APPLICANT: Baldwin Associates

REQUESTS:

The following requests have been made on a site that is developed with a single family home:

1. A request for a variance to the front yard setback regulations of 25' is made to maintain an approximately 768 square-foot pool located 5' from one of the site's two recorded front property lines (Ellsworth Street) or 25' into this 30' recorded front yard setback on a site that is developed with a single-family structure.
2. A request for a special exception to the fence standards regulations related to the maximum fence height of 4' is made to construct and maintain an 8' 9" high solid wood fence and a 6' high solid wood gate in one of the site's two front property lines (Ellsworth Street).
3. A request for a special exception to the fence standards regulations related to fence panels with a surface area that is less than 50 percent open and less than 5' from the front lot line is made to construct and maintain the 8' 9" high solid wood fence

and a 6' high solid wood gate located in one of the site's two front property lines (Ellsworth Street)

4. A request for a special exception to the visual obstruction regulations is made to locate and maintain an 8' 9" high wood fence and a 6' high solid wood gate located within both 20' visibility triangles at the driveway approaches into the site from Ellsworth Street.

UPDATE (2-23-23):

On December 12, 2022, the Board of Adjustment Panel C held this case to the February 23, 2023, public hearing date. On February 9, 2023, the applicant submitted a revised site plan and elevations. The applicant modified the fence location by the driveway approach and made some modifications to the fence elevations and materials at the driveway location. Note that these modifications were not included in the staff analysis since the revisions were provided after the deadline for staff review meeting.

STANDARD FOR A VARIANCE:

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

State Law/HB 1475 effective 9-1-21

- the board may consider the following as grounds to determine whether compliance with the ordinance as applied to a structure that is the subject of the appeal would result in unnecessary hardship:
 - (a) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.

- (b) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development is authorized to physically occur.
- (c) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
- (d) compliance would result in the unreasonable encroachment on an adjacent property or easement; or
- (e) the municipality consider the structure to be a nonconforming structure.

STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS:

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards when in the opinion of the board, the special exception will not adversely affect neighboring property.

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

Section 51A-4.602(d) (3) of the Dallas Development Code states that the board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the board, the item will not constitute a traffic hazard.

STAFF RECOMMENDATION (front yard variance):

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded that the subject site is unique and different from most lots in the R-7.5(A) single family zoning district due to its restrictive area, slightly irregular shape and slightly sloped with two front setbacks causing less area to be built compared to 20 other lots in the same R-7.5(A) single family zoning district. Ultimately, the property cannot be developed in a manner commensurate with the development upon five other parcels of land with the same the same R-7.5(A) single family zoning district.
- The applicant submitted a document (Attachment A) indicating, among other things, that the proposed pool addition on the subject site is commensurate to 20 other lots in the same R-7.5(A) single family zoning district.

STAFF RECOMMENDATION (fence standards regulations):

No staff recommendation is made on this or any request for a special exception to the fence standards regulations since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

STAFF RECOMMENDATION (visual obstruction special exceptions 20-foot visibility triangles):

No staff recommendation is made on this or any request for a special exception to the visual obstruction regulations since the basis for this type of appeal is when in the opinion of the board, the special exception will not constitute a traffic hazard. However, staff does provide a technical opinion to assist in the board's decision-making.

The Sustainable Development and Construction Department Senior Engineer has no objections to the proposed requests to encroach into the required visual obstruction special exceptions to both 20-foot visibility triangles at the driveway approaches. (Attachment B).

BACKGROUND INFORMATION:

Zoning:

Site: R-7.5(A) Single Family District
North: R-7.5(A) Single Family District
South: R-7.5(A) Single Family District
East: R-7.5(A) Single Family District
West: R-7.5(A) Single Family District

Land Use:

The subject site and surrounding properties are developed with single family uses.

Zoning/BDA History:

There has been one related board or zoning cases in the immediate vicinity within the last five years.

- BDA189-022: On February 19, 2019, Panel C denied a variance to the front yard setback regulations without prejudice and granted a special exception to the height requirements to maintain an eight-foot-high fence in one of the site's two required front yards (Williamson) at 3956 Frontier Lane.

GENERAL FACTS/STAFF ANALYSIS (front yard variance):

This request focuses on maintaining an approximately 768 square-foot pool located 5' from one of the site's two front property lines (Ellsworth Street) or 25' into this 30-foot recorded front yard setback on a site that is developed with a single-family structure.

Structures on lots zoned R-7.5(A) single family district must have a minimum front yard setback of 25'. However, the subdivision plat was recorded with a 30' front yard setback for Jerome Way, now Frontier Lane and Ellsworth Street. A site plan has been submitted denoting the existing pool structure located 5' from one of the two front property lines (Ellsworth Street). The site plan shows that approximately 75 percent of the pool structure will be in the site's 30' front yard setback. Note that the city of Dallas issued a permit for the pool. The permit was issued in error.

The subject site is slightly irregular in shape, slightly sloped and the lot is approximately 11,154 square feet in area. R-7.5(A) single family zoning district requires lots within this area to have a minimum lot size of 7,500 square feet.

The applicant submitted a document (Attachment A) indicating, among other things, that the proposed pool structure on the subject site is commensurate to five other lots in the same R-7.5(A) single family zoning district. Attachment A also notes the lot area to home size is 50 percent while 19 other lots have less than 50 percent to the lot area to home size. This may be adjudicated to the lot having two front yards.

The applicant has the burden of proof in establishing the following:

- That granting the variance to the front yard setback regulations will not be contrary to the public interest when owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.
- The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same R-7.5(A) single family zoning classification.
- The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same R-7.5(A) single family zoning classification.

If the board were to grant this front yard setback variance request and impose the submitted site plan as a condition, the pool structure in the front yard setback would be limited to what is shown on this document. Granting this special exception request will not provide any relief to the Dallas Development Code regulations other than for an approximately 768 square-foot located 5' from the site's front property line or 25 feet into the 30-foot recorded front yard setback on a site that is developed with a 5, 551 square foot two-story residential structure.

GENERAL FACTS/STAFF ANALYSIS (fence standards special exceptions):

These requests focus on constructing and maintaining an 8' 9" high solid wood fence and a 6' high solid wood gate in one of the site's two front property lines (Ellsworth Street) and maintaining this fence and gate with fence panels with a surface area that is less than 50 percent open and less than 5' from the front lot line in one of the site's two front property lines (Ellsworth Street).

The requests for special exceptions to the fence standards regulations related to height and fence panel materials/location from one of the site's two recorded front property lines (Ellsworth Street):

- constructing and maintaining an 8' 9" high solid wood fence and a 6' tall solid wood gate in one of the site's two front property lines (Ellsworth Street) and maintaining this fence and gate with fence panels with a surface area that is less than 50 percent open and less than 5' from the front lot line in one of the site's two front property lines (Ellsworth Street).

Section 51A-4.602(a)(2) of the Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed 4' above grade when located in the required front yard. As noted, the proposed fence would be within the required 30' platted front yard setback.

Additionally, the Dallas Development Code states that in single family districts, a fence panel with a surface area that is less than 50 percent open may not be located less than five from the front lot line.

The submitted site plan and revised elevation denotes the proposed 8' 9" high solid wood panel fence with a 6' tall wood panel gates located within the required front yard and along the property line.

The following additional information was gleaned from the submitted site plan:

- The proposed/existing fence consists of a 6' tall cedar fence set on top of a 2'9" tall retaining wall with a 6' gate and it is approximately 45 feet in length parallel to Ellsworth Street to the front property line of this street.
- The distance between the proposed fence and the pavement line is 11'. The fence is located at the property line.

Staff conducted a field visit of the site and surrounding area and noted several fences that appeared to be above 4' in-height in the required front yard on Williamson Road and at Chantilly Lane and Frontier Lane.

As of December 2, 2022, 1 letter have been received in opposition and no letters in support of this request.

The applicant has the burden of proof in establishing that the special exceptions to the fence standards related to the height of 4' and to location and materials located on Ellsworth Street will not adversely affect neighboring property.

Granting these special exceptions to the fence standards related to the height and opacity would require the proposal exceeding 4' in-height in the front yard setbacks located in one of the site's two front property lines (Ellsworth Street) and exceeding 50 percent opacity to be maintained in the locations and of the heights and materials as shown on site plan and revised elevation.

GENERAL FACTS/STAFF ANALYSIS (visual obstruction special exceptions 20' visibility triangles):

These requests for special exceptions to the visual obstruction regulations focus on constructing and maintaining portions of the 8' 9" solid wood fence and a 6' tall solid wood gate within the required 20-foot visibility triangle at the driveway approaches into the site on Ellsworth Street.

The Dallas Development Code states the following: a person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:

- in a visibility triangle as defined in the Code (45' visibility triangles at street intersections and 20' visibility triangles at drive approaches and at alleys on properties zoned single family); and
- between two and a half and eight feet in height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).

The applicant is requesting special exceptions to the visual obstruction regulations for the two required 20' visibility triangles on each side of the driveway into the site on Ellsworth Street.

The applicant submitted a site plan and revised elevation indicating portions of the 8' 9" high solid wood fence and a 6' tall solid wood gate within the 20' visibility triangle located on the north and south sides of the driveway into the site on Ellsworth Street.

The Sustainable Development Department Senior Engineer has submitted a review comment sheet marked "Has no objections".

As of December 2, 2022, one letter has been received in opposition and no letters support have been received of this request.

The applicant has the burden of proof in establishing how granting the requests for special exceptions to the visual obstruction regulations, to locate and maintain portions of the of the 8' 9" high solid wood fence and a 6' tall solid wood gate within the required 20' visibility triangle at the driveway approaches, do not constitute a traffic hazard.

Granting these special exceptions with a condition imposed that the applicant complies with the submitted site plan and revised elevation would require the fence exceeding 4' in-height in the front yard setback and all visual obstructions to be constructed in the locations and heights as shown on these documents.

Timeline:

- August 26, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents that have been included as part of this case report.
- October 13, 2022: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel C.
- October 14, 2022: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:
- an attachment that provided the public hearing date and panel that will consider the application; the October 24th deadline to submit additional evidence for staff to factor into their analysis; and the November 4th deadline to submit additional evidence to be incorporated into the board’s docket materials.
 - the criteria/standard that the board will use in their decision to approve or deny the request; and
 - the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.
- October 24, 2022: The applicant submitted additional information to staff beyond what was submitted with the original application (**Attachment A**)
- October 27, 2022: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the November public hearings. Review team members in attendance included the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, The Development Services Chief Planner, Development Service Chief Planner, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer,

Development Services Board of Adjustment Senior Planner, and the Assistant City Attorney to the Board.

- October 31, 2022: The Sustainable Development Department Senior Engineer submitted a review comment sheet marked “no objection to existing encroachment to visibility triangle at private residential driveway on Ellsworth Street” (**Attachment B**).
- November 1, 2022: The applicant submitted a revised fence elevation drawing to staff with new materials for the fence (**Attachment C**)
- November 14, 2022: The Board of Adjustment Panel C conducted a public hearing on this application, and delayed action on this application until their next public hearing to be held on December 12, 2022.
- November 16, 2022: The Senior Planner wrote the applicant a letter of the board’s action to hold this hearing to the December 12, 2022, public hearing; the November 22nd deadline to submit additional evidence for staff to factor into their analysis; and the December 2nd deadline to submit additional evidence to be incorporated into the Board’s docket materials.
- November 29, 2022: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the September public hearings. Review team members in attendance included: the Board of Adjustment Chief Planner/Board Administrator, the Development Services Chief Arborist, the Development Services Senior Plans Examiner, the Development Services Chief Planner, the Assistant City Attorney to the Board, and the Senior Planner.
- December 13, 2022: The Senior Planner wrote the applicant a letter of the board’s action to hold this meeting to the February 23, 2023, public hearing; the January 23, 2023’s deadline to submit additional evidence for staff to factor into their analysis; and the February 10th deadline to submit additional evidence to be incorporated into the Board’s docket materials.
- January 24, 2023: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the February public hearings. Review team members in attendance included the Board of Adjustment Chief Planner/Board Administrator, The Development Services Chief Planner, Development Service Chief Planner, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation

Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, and the Assistant City Attorney to the Board.

February 9, 2023: The applicant submitted a revised fence elevation drawing to staff with new materials for the fence (**Attachment D**)

BOARD OF ADJUSTMENT ACTION NOVEMBER 14, 2022

APPEARING IN FAVOR: Rob Baldwin 3904 Elm St. Ste. B Dallas, TX

APPEARING IN OPPOSITION: Pam Wilson 3933 Frontier Ln. Dallas, TX
Susan Wasilewski 6946 Ellsworth Ave. Dallas, TX
Valerie Hendrickse 3945 Frontier Ln. Dallas, TX
William Hendrickse 3945 Frontier Ln. Dallas, TX

MOTION: Sashington

I move that the Board of Adjustment, in Appeal No. BDA 212-105, **hold** this matter under advisement until **December 12, 2022**.

SECONDED: Fleming

AYES: 4 – Pollock, Sashington, Fleming, and Slade

NAYS: 1 – Robert Agnich

MOTION PASSED 4 – 1

BOARD OF ADJUSTMENT ACTION DECEMBER 12, 2022

APPEARING IN FAVOR: Rob Baldwin 3904 Elm St. Ste. B Dallas, TX

APPEARING IN OPPOSITION: None

MOTION: Slade

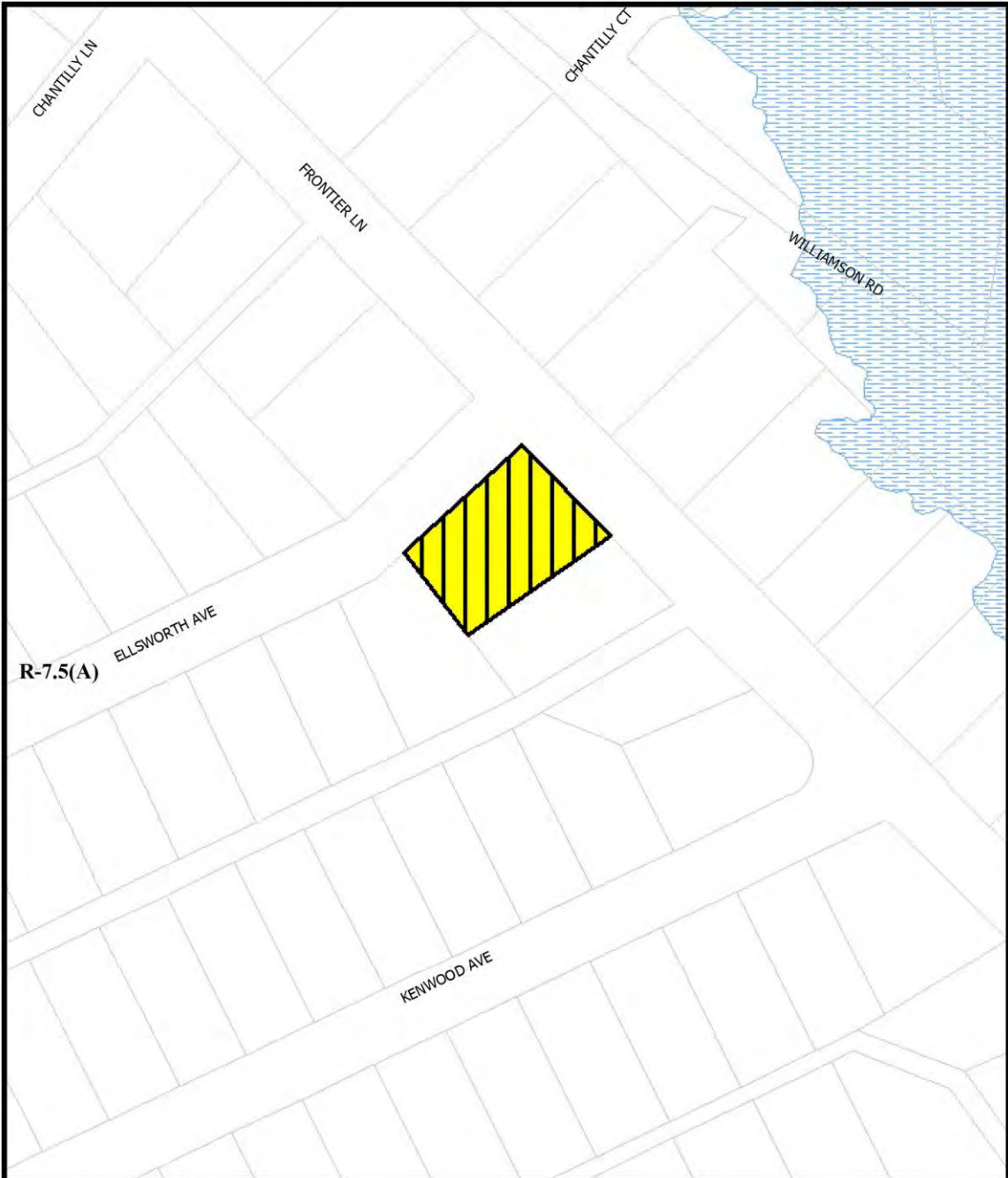
I move that the Board of Adjustment, in Appeal No. BDA 212-105, **hold** this matter under advisement until **February 23, 2023**.

SECONDED: Pollock

AYES: 5 – Pollock, Sashington, Fleming, and Slade, and Agnich

NAYS: 0

MOTION PASSED 5

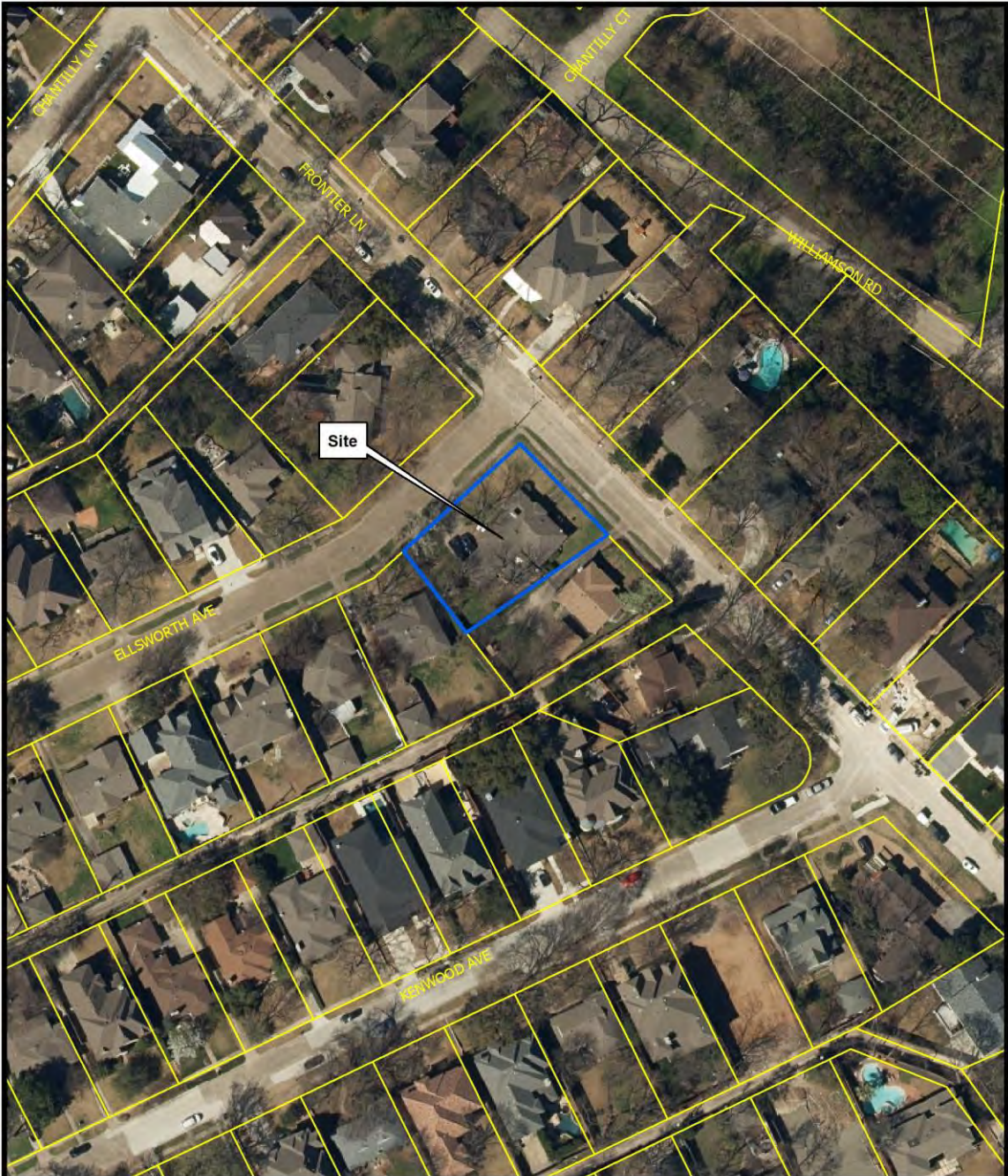


1:1,200

ZONING MAP

Case no: BDA212-105

Date: 10/21/2022



1:1,200

AERIAL MAP

Case no: BDA212-105

Date: 10/21/2022



1:1,200

NOTIFICATION

200' AREA OF NOTIFICATION
25 NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: **BDA212-105**

Date: **10/21/2022**

10/20/2022

Notification List of Property Owners

BDA212-105

25 Property Owners Notified

| <i>Label #</i> | <i>Address</i> | <i>Owner</i> |
|-----------------------|-----------------------|--|
| 1 | 3923 FRONTIER LN | GOMAS TIFFANY |
| 2 | 3908 FRONTIER LN | HOCKADAY BRENT |
| 3 | 3902 FRONTIER LN | HANSON PERRY L |
| 4 | 3914 FRONTIER LN | MABEL MATTHEW D |
| 5 | 3920 FRONTIER LN | NEILSON MICHAEL A & |
| 6 | 3926 FRONTIER LN | STAINBACK JESSICA & |
| 7 | 3932 FRONTIER LN | SRIVASTAVA UMA & NEER |
| 8 | 3938 FRONTIER LN | STOREY SHANNON J & |
| 9 | 3944 FRONTIER LN | MICKEY STEVEN ANDREW & |
| 10 | 6961 KENWOOD ST | SMITH SUE JEAN |
| 11 | 6967 KENWOOD ST | GALLIVAN CHRISTOPHER J & |
| 12 | 6971 KENWOOD ST | HULSEY KERI |
| 13 | 6975 KENWOOD ST | PANNECK MICHELLE NICOLE & |
| 14 | 6981 KENWOOD ST | ELKMAN PROPERTIES LLC |
| 15 | 3903 FRONTIER LN | ALLGEIER STURGEON DANIEL & THERESE IRENE |
| 16 | 3909 FRONTIER LN | Taxpayer at |
| 17 | 3915 FRONTIER LN | MADDOX MICHAEL D & CAITLIN C |
| 18 | 6946 ELLSWORTH AVE | WASILEWSKI SUSAN E |
| 19 | 6942 ELLSWORTH AVE | HECK ELIZABETH MARY |
| 20 | 6932 ELLSWORTH AVE | BORRAS BLANCA IRIS |
| 21 | 6935 ELLSWORTH AVE | Taxpayer at |
| 22 | 6941 ELLSWORTH AVE | ULRICH BENJAMIN J & ANGELA P |
| 23 | 6947 ELLSWORTH AVE | LEWIS SARAH T LIFE ESTATE |
| 24 | 3933 FRONTIER LN | WILSON JAMES F & |
| 25 | 3939 FRONTIER LN | LEACH DAVID & |



APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 212-105

Date: 9/2/22

Data Relative to Subject Property:

Location address: 3923 Frontier Lane Zoning District: R-7.5(A)

Lot No.: 18 Block No.: 3/2972 Acreage: 11,154 sq ft ^{.252} Census Tract: 0080.00

Street Frontage (in Feet): 1) 97.18ft ¹⁰⁶ 2) 121.56 ¹¹⁵ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Tiffany Gomas

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street Suite B Dallas TX Zip Code: 75226

E-mail Address: rob@baldwinplanning.com

Affirm that an appeal has been made for a Variance X, or Special Exception , of 20 feet into the required 25-foot projected front yard. Special exception to fence height regulation, Special exception to fence regulation for fence panel having less than 50% open surface, special exception to visibility triangle (45)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
The property in encumbered with two front yards and the city issued and approved a permit to construct a swimming pool in the projected front yard along Ellsworth. The pool has been constructed as permitted, but is located in one of the front yards.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

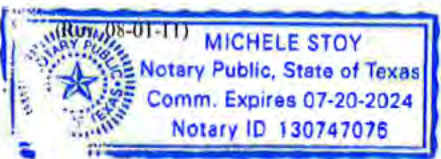
Before me the undersigned on this day personally appeared Robert Baldwin
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 1 day of June, 2022

[Signature]
Notary Public in and for Dallas County, Texas



MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that BALDWIN ASSOCIATES

did submit a request for a variance to the front yard setback regulations, and for a special exception to the fence height regulations, and for a special exception to the fence standards regulations, and for a special exception to the visibility obstruction regulations

at 3923 Frontier Lane

BDA212-105. Application of BALDWIN ASSOCIATES for a variance to the front yard setback regulations, for a special exception to the fence height regulations, for a special exception to the fence standards regulations, and for a special exception to the visibility obstruction regulations at 3923 FRONTIER LN. This property is more fully described as Block 3/2972 , Lot 18 and is zoned R-7.5(A), which limits the height of a fence in the front yard to four feet, and requires a twenty foot visibility triangle at driveway approaches, and requires a fence panel with a surface area that is less than 50 percent open may not be located less than five feet from the front lot line, and requires a front yard setback of thirty feet. The applicant proposes to construct and maintain a single family residential structure and provide a five foot front yard setback, which will require a twenty-five foot variance to the front yard setback regulations, and to construct an eight foot nine inch high fence in a required front yard, which will require a four foot nine inch special exception to the fence regulations, and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than five-feet from the front lot line, which will require a special exception to the fence regulations, and to construct a single family residential fence structure in a required 20-foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation.

Sincerely,


David Session, Building Official



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 212-105

I, Tiffany Gomas, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 3923 Frontier Lane
(Address of property as stated on application)

Authorize: Rob Baldwin / Baldwin Associates
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below) to fence height and panel regulation
to visibility triangle
- Other Appeal (specify below)

Specify: The property is encumbered with 2 front yards; the city issued a pool permit to construct a swimming pool in the projected front yard along Ellsworth. The pool has been constructed as permitted, but is located in one of the front yards.

TIFFANY GOMAS
Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

Date 05/24/2022

Before me, the undersigned, on this day personally appeared TIFFANY GOMAS

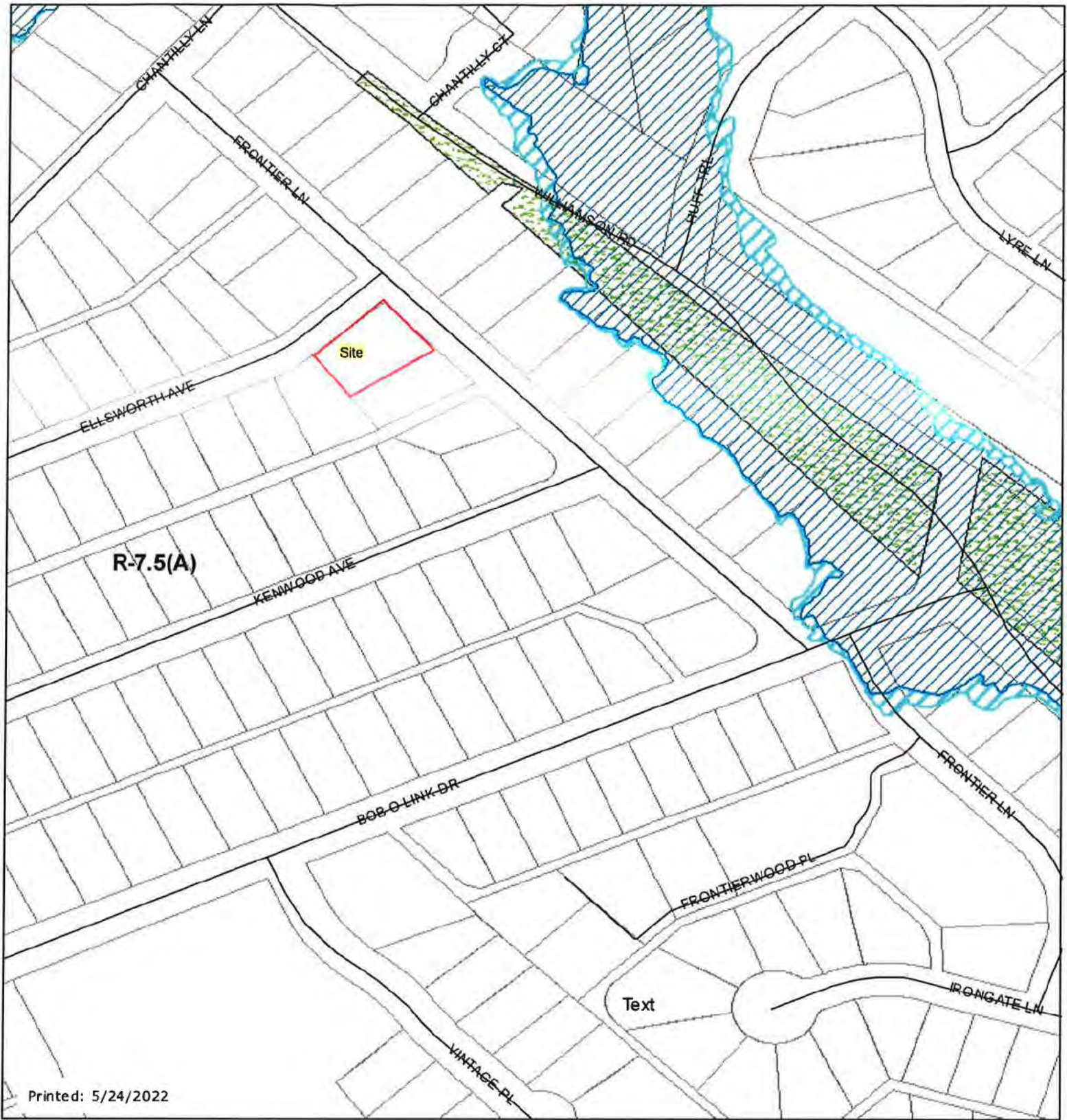
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 24th day of May, 2022

[Signature]
Notary Public for Dallas County, Texas

Commission expires on 09-17-2024



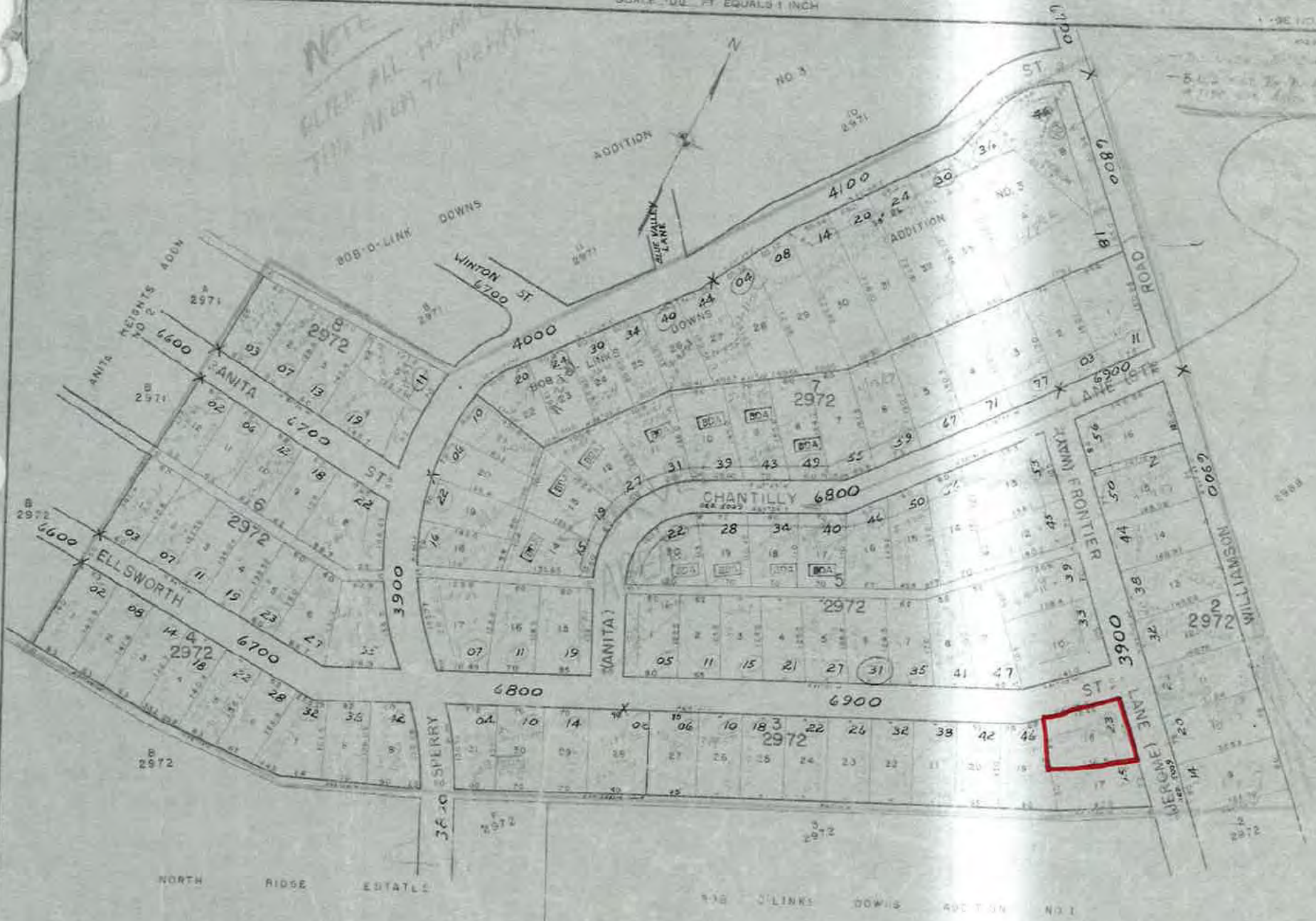


-  City Limits
-  Floodplain
-  0.2 Pct Annual Flood Hazard
-  1 Pct Annual Chance Flood Hazard
-  Parks
-  Certified Parcels
-  Base Zoning

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



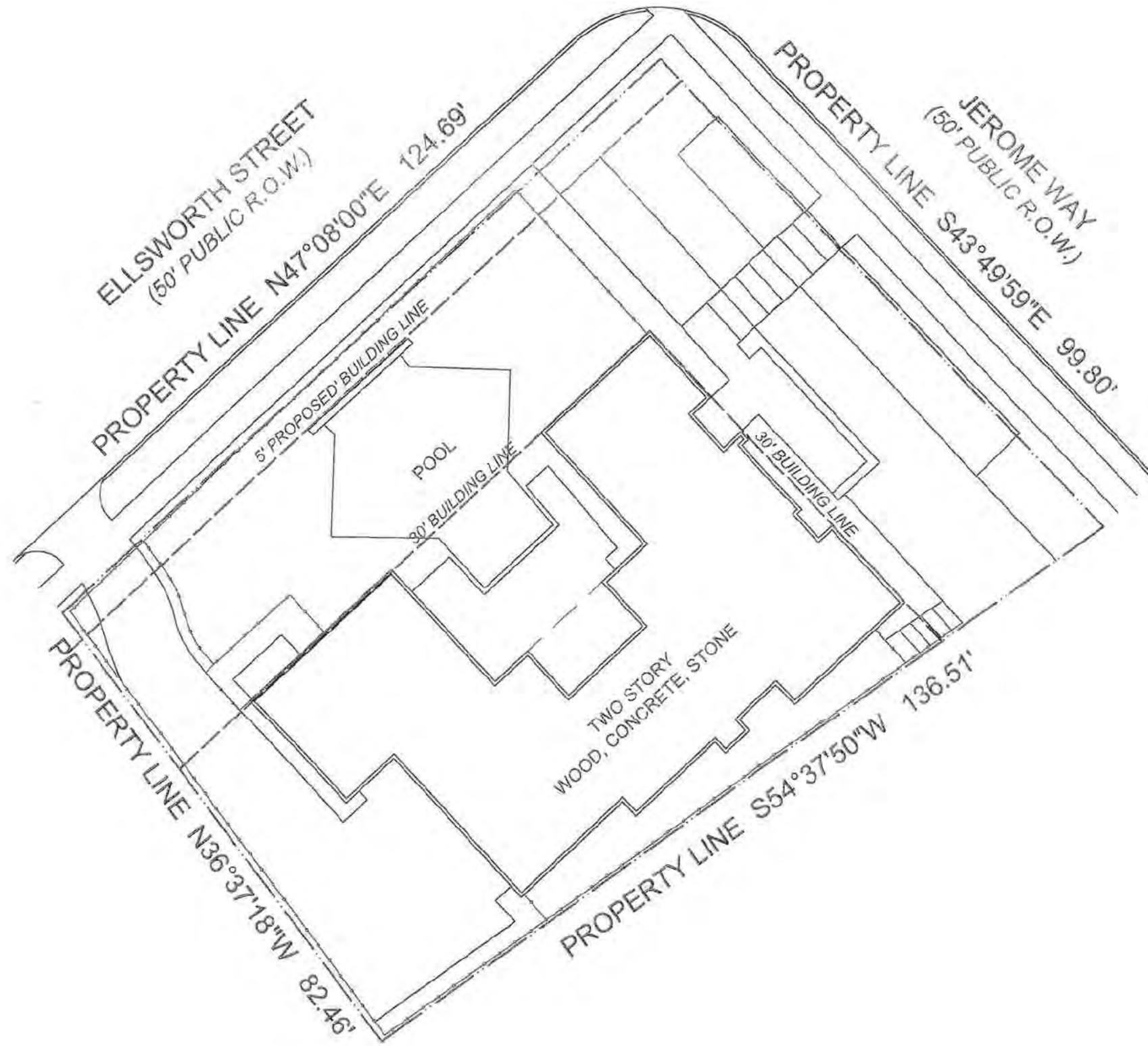
NOTE
CLEAR ALL TREES
FROM AREA TO BE BUILT





1

SITE PLAN
SCALE: 1" = 20'-0"



VICINITY MAP
NTS

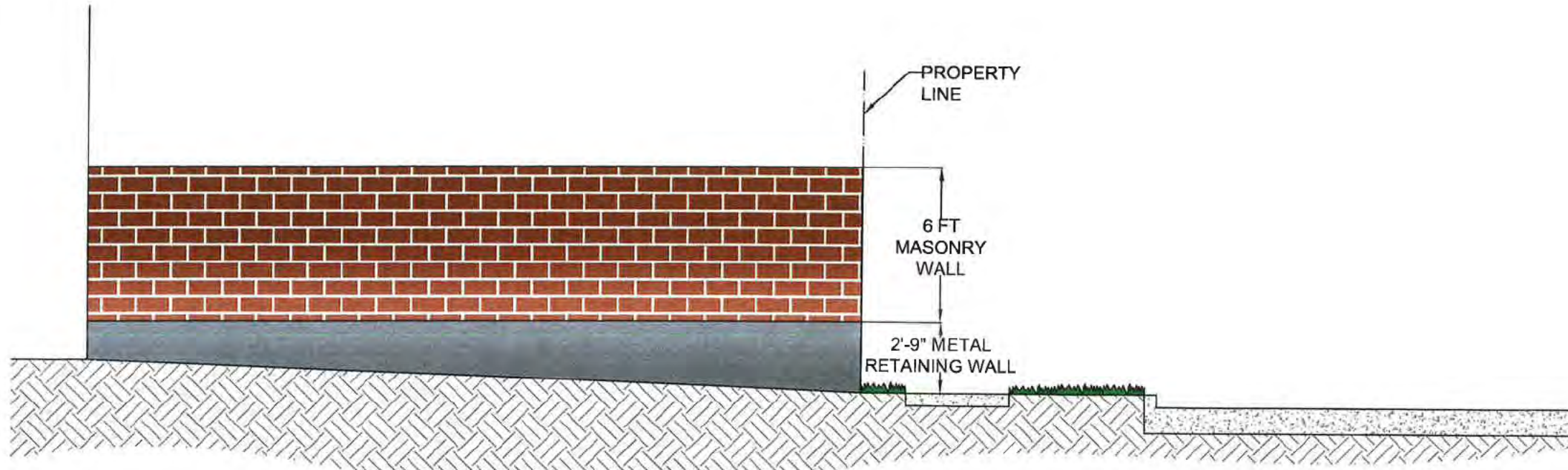


06/01/2022
PROJECT NUMBER
CASE NUMBER

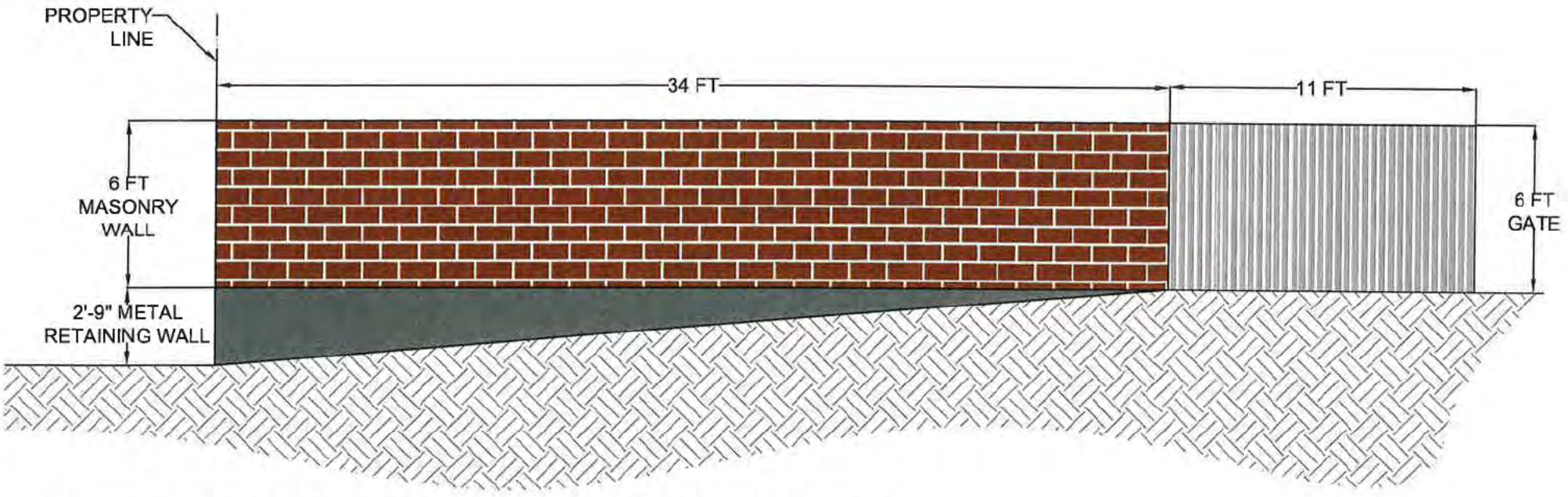
BALDWIN
ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949

Baldwin
Associates

3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



1A FENCE ELEVATION; FRONTIER
SCALE: 3/16" = 1'-0"



1B FENCE ELEVATION; ELLSWORTH STREET
SCALE: 3/16" = 1'-0"



VICINITY MAP
NTS



08/31/2022

PROJECT NUMBER

CASE NUMBER

BALDWIN ASSOCIATES

3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com

Baldwin
Associates

3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



October 24, 2022

Oscar Aguilera
Senior Planner
City of Dallas
Development Services
320 E. Jefferson Blvd., Room 210
Dallas, Texas 75201

Re: BDA212-105 – 3923 Frontier Lane

Dear Mr. Aguilera,

This firm represents the owner of the property known as 3923 Frontier Lane in their request for a variance to the front yard setback regulations of 20-feet into the required 25-foot projected front yard along Ellsworth Street. We are also requesting special exceptions to the following regulations:

- Fence height regulations where a front yard fence is limited to 4-feet in height.
- Fence standard regulations where a fence panel with a surface panel that is less than 50 percent open may not be located less than five feet from the front lot line.
- To the visibility obstruction regulations:
 - At a driveway approach are required to have a visibility obstruction triangle of 20-feet.
 - At street intersections are required to have a visibility obstruction triangle of 45-feet.

The property fronts on Frontier Lane and Ellsworth Street and has an existing fence structure along Ellsworth Street. The property is in Block 3/2972 and is zoned R-7.5(A), which limits the height of a fence to the front yard to four feet. Because the property is a corner lot and the neighboring lot faces Ellsworth St., both Frontier Lane and Ellsworth Street are considered front yards.

VARIANCE

The property at 3923 Frontier is encumbered with two front yards, along Ellsworth and Frontier. The subdivision plat shows a 30-foot build line along both Frontier and Ellsworth which makes the setback at both streets, 30-feet, instead of the R-7.5(A) zoning

requirement of 25-feet. The side and rear setbacks are both 5-feet. In addition, the currently constructed fence has a fence panel with surface panel that is less than 50%, adding another 5-feet to the 30-foot setback/build line, a total of a 35-foot front yard setback along Ellsworth. So, only a portion of the 11,154 square foot lot is buildable. In fact, both front yard setbacks equal 6,308 square feet, leaving only 4,846 square feet for the building footprint. (The lot is 11,154 square feet less front yard setback square footage of 6,6308 square feet = 4,846 square feet), (*see below for calculations).

The pool constructed along Ellsworth Street was legally permitted and constructed, however the City neglected to show the pool along the legal front yard at Ellsworth. The owner has already acknowledged that the lot will need to be replatted to remove the 30' build line.

Based on the above hardships and special conditions a literal enforcement of the zoning ordinance would result in unnecessary hardship. In this instance, we believe that the spirit of the ordinance will be observed, and substantial justice will be done in granting this variance.

SPECIAL EXCEPTIONS

Upon investigating the other single-family homes in the Bob O'Link Subdivision, we found that many of the corner lots also had fences over 4 ft in the front yards, they are:

- 6742 Ellsworth @ Sperry – 7'-6" front yard fence @ Sperry
- 6819 Ellsworth @ Chantilly – 6'-1" front yard fence @ Chantilly
- 3953 Frontier @ Chantilly – 8'-2" front yard fence @ Chantilly
- 6902 Kenwood @ Sperry – 7'-9" front yard fence @ Sperry

Again, in the Bob O'Link Subdivision, we found several properties which were in violation of the visibility obstruction regulations at a driveway approach, they are:

- 6904 Bob O Link @ Sperry – 4'5" at Sperry
- 6819 Ellsworth @ Chantilly – 6'5" at Chantilly
- 3953 Frontier @ Chantilly – 10'6" at Chantilly
- 6815 Kenwood @ Sperry – 10'-10" at Sperry

As to the 45-foot visibility obstruction triangle, the property is within 10-feet of the requirement. Since the slope of the front yard required retaining walls, the owner felt that the visibility at the corner of Frontier and Ellsworth was sufficient. In addition, the fence panel exception of less than 50% open surface panel should also be granted as it does not adversely impact the surrounding properties.

Given the set of facts outlined in this request, we believe these special exceptions do not adversely impact the surrounding properties, in fact we believe that this request is consistent with the characteristics of the neighboring properties.

Thank you for your assistance with this matter. Please let me know if you have any questions or comments or if I can be of any assistance.

With kind regards,



Robert Baldwin

***Calculations:**

Front Yard – Frontier Lane

Length 99.80' – Width 35' at Ellsworth & Frontier = 64.8' X 30' setback (build line) = 1,944 square feet.

Front Yard – Ellsworth Street

Length 124.69' X Width 35', (30' setback + 5' for fence panel), = 4,364 square feet

Total Front Yard setback square feet = 1,944 + 4,364 = 6,308 square feet

3953 Frontier @ Chantilly

8' 2"

3953 Frontier @ Chantilly

10' 6"

2"

BDA212-105 Attachment A

7' 4"

6742 Ellsworth



6815 Kenwood @ Sperry

10' 10"

6819 Ellsworth @ Chantilly





6819 Ellsworth @ Chatilly

6902 Kenwood @ Sperry



BDA212-105
Attachment A



6904 Bob O Link @ Sperry

BDA212-105**Comaprison of Lot Area and Building Coverage**

| Address | Lot Area | Building Area | Stories | Year Built | lot Area/Home Size | Pool? |
|----------------|-----------------|----------------------|----------------|-------------------|---------------------------|--------------|
| 3923 Frontier | 11,154 | 5,551 | 2 | 2022 | 50% | Yes |
| 3915 Fronter | 8,858 | 4,290 | 2 | 2020 | 48% | Yes |
| 3908 Frontier | 6,932 | 1,355 | 1 | 1951 | 20% | No |
| 3902 Frontier | 10,041 | 2,996 | 1 | 1950 | 30% | Yes |
| 6931 Kenwood | 8,429 | 4,057 | 2 | 2006 | 48% | No |
| 3932 Frontier | 11,432 | 4,019 | 2 | 2015 | 35% | No |
| 3926 Frontier | 12,314 | 2,123 | 1 | 1951 | 17% | No |
| 3920 Frontier | 11,955 | 3,045 | 1 | 1951 | 25% | Yes |
| 3914 Frontier | 12,830 | 2,908 | 1 | 1948 | 23% | No |
| 3908 Frontier | 9,965 | 2,794 | 1.5 | 1951 | 28% | No |
| 3933 Frontier | 14,311 | 1,433 | 1 | 1950 | 10% | No |
| 3939 Frontier | 8,714 | 3,110 | 2 | 2010 | 36% | No |
| 6947 Ellsworth | 9,262 | 1,264 | 1 | 1948 | 14% | No |
| 6941 Ellsworth | 8,000 | 4,043 | 2 | 2014 | 51% | No |
| 6935 Ellsworth | 8,037 | 1,220 | 1 | 1948 | 15% | No |
| 6931 Ellsworth | 7,962 | 3,934 | 2 | 2005 | 49% | No |
| 6927 Ellsworth | 8,027 | 1,482 | 1 | 1948 | 18% | No |
| 6946 Ellsworth | 9,990 | 1,453 | 1 | 1948 | 15% | No |
| 6942 Ellsworth | 8,377 | 1,902 | 1 | 1950 | 23% | No |
| 6938 Ellsworth | 8,201 | 3,734 | 1.5 | 2007 | 46% | No |
| 6932 Elsworth | 8,276 | 3,995 | 2 | 2009 | 48% | Yes |

Subject Property

3923 Frontier Lane



Buildable Area
In Normal R-7.5(A) = 60%
Buildable Area

In this Case = 41%
Buildable Area

REVIEW COMMENT SHEET
BOARD OF ADJUSTMENT
HEARING OF NOVEMBER 14, 2022 (C)

Has no objections

Has no objections if certain conditions
are met (see comments below or attached)

Recommends denial
(see comments below or attached)

No comments

BDA 212-105(OA)

BDA 212-106(OA)

BDA 212-108(OA)

BDA 212-110(OA)

COMMENTS:

No objection to existing
encroachment to visibility triangle
at private residential driveway on
Ellsworth Street.

-
-
-
-
-
-
-
-
-
-

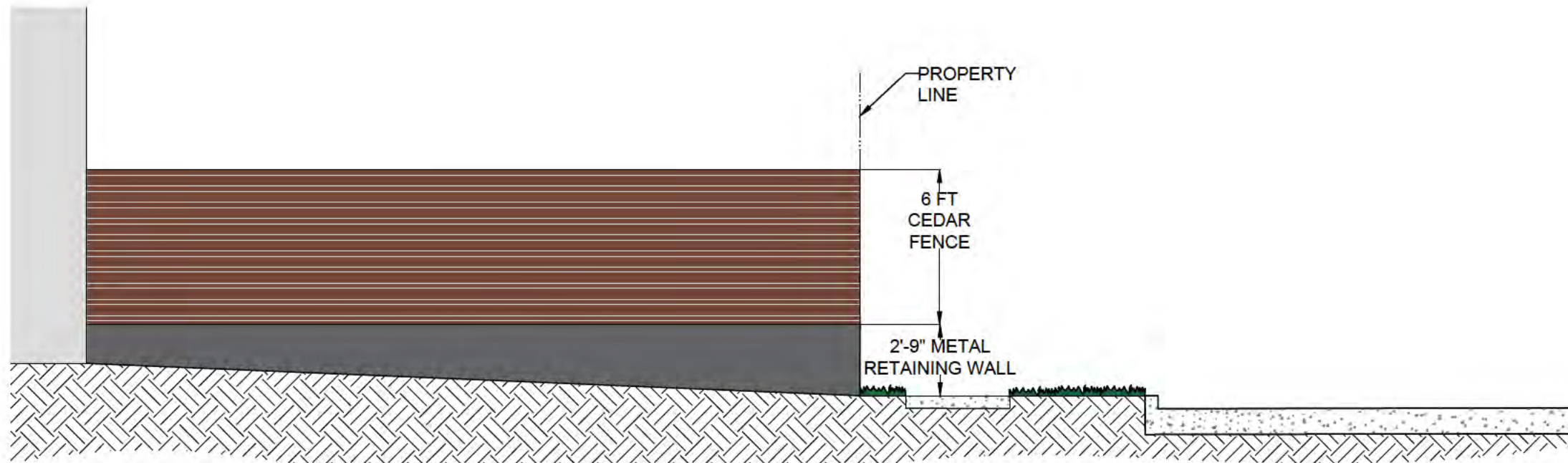
David Nevarez, PE, PTOE, DEV - Engineering

Name/Title/Department

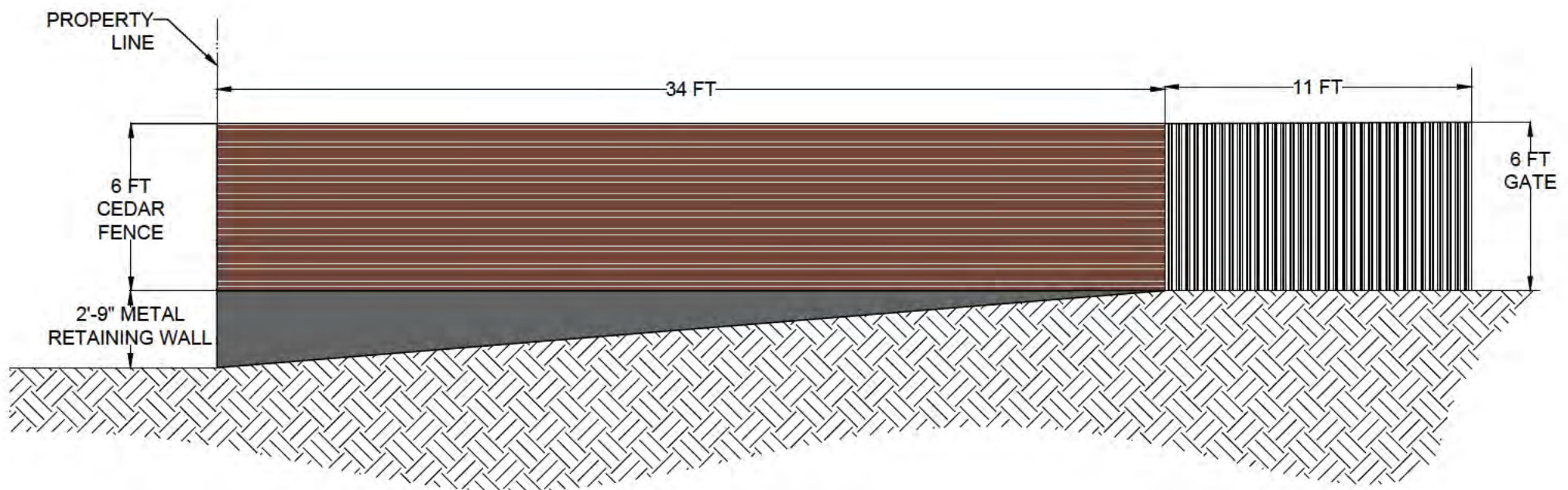
10/31/2022

Date

Please respond to each case and provide comments that justify or elaborate on your response. Dockets distributed to the Board will indicate those who have attended the review team meeting and who have responded in writing with comments.



1A FENCE ELEVATION; FRONTIER
SCALE: 3/16" = 1'-0"



1B FENCE ELEVATION; ELLSWORTH STREET
SCALE: 3/16" = 1'-0"



VICINITY MAP
NTS



11/01/2022
PROJECT NUMBER
CASE NUMBER

BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com

Baldwin
Associates

3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



VICINITY MAP
NTS

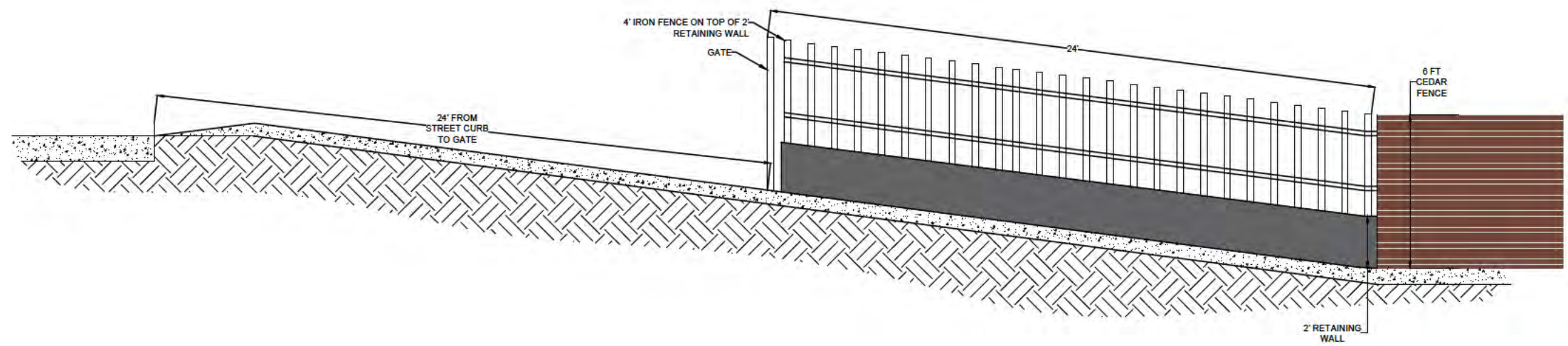


01/31/2023
PROJECT NUMBER
CASE NUMBER

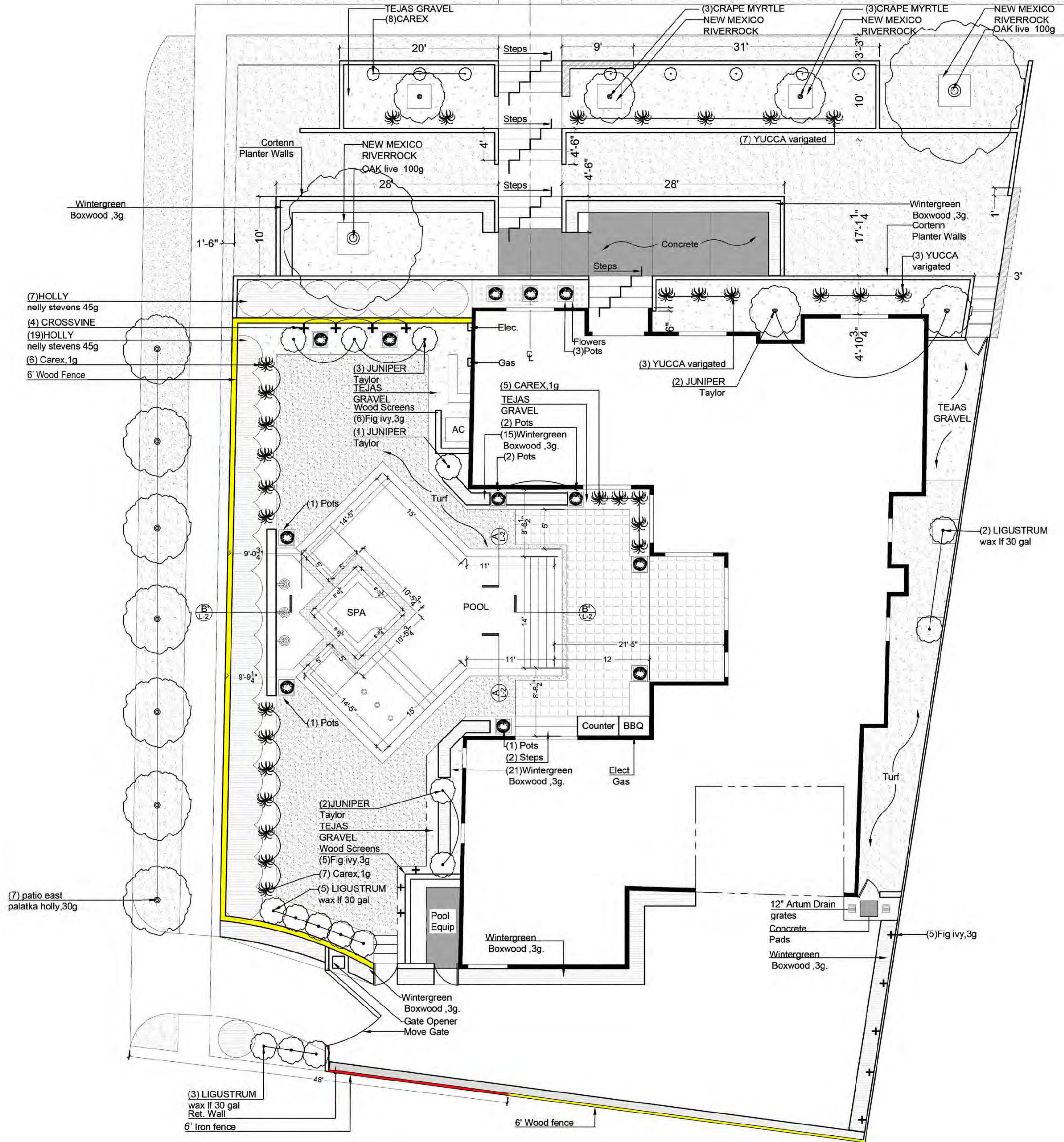
BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com



3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



1C FENCING WEST OF DRIVEWAY
SCALE: 1/2"=1'-0"



Drawn by: Jp
 Date: 6.21.2022
 Scale: 1/8": 1'-0"



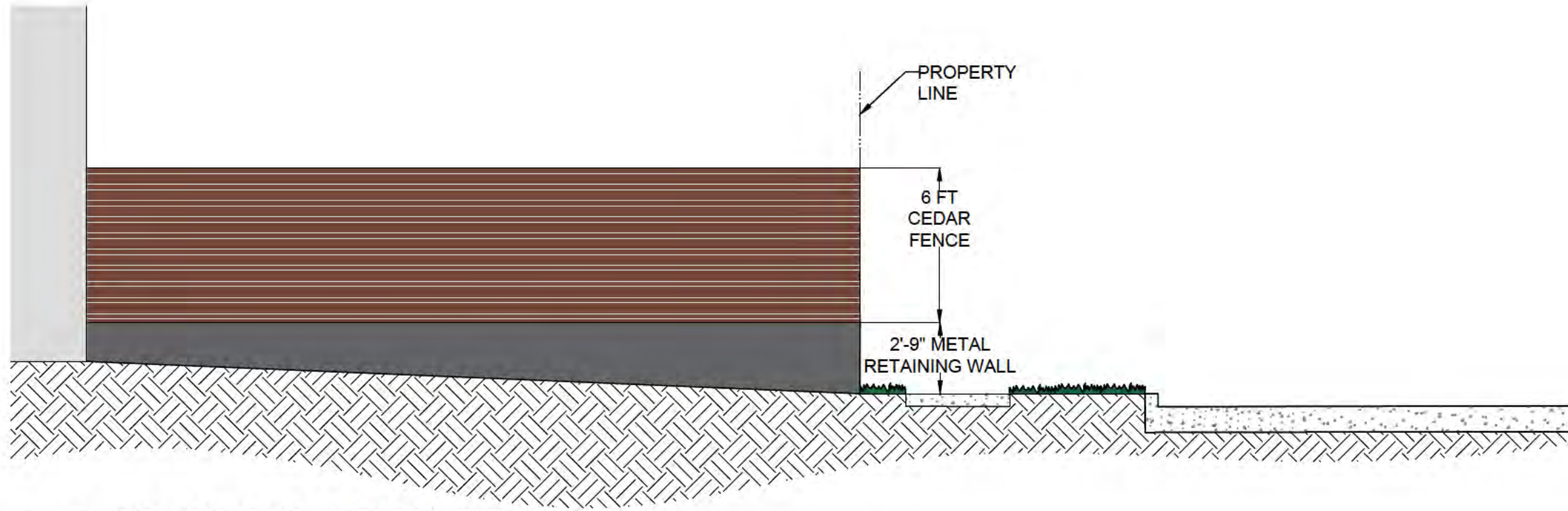
Project
Gomas Residence
 3923 Frontier Ln. Dallas
 TX

Sheet Description
Landscape

REYNOLDS
 Landscape & Pools

DESIGN · BUILD · MAINTENANCE

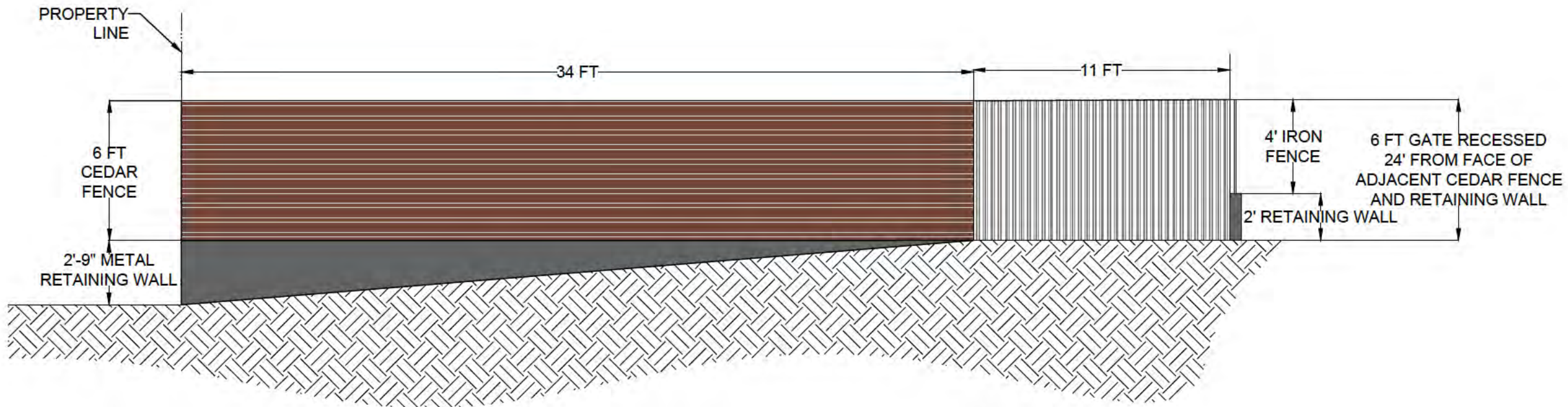
2435 Pecan Street, Carrollton, TX 75010
 Phone: (214) 233 3303 Fax: (214) 233 9421



VICINITY MAP
NTS



1A FENCE ELEVATION; FRONTIER
SCALE: 3/16" = 1'-0"



1B FENCE ELEVATION; ELLSWORTH STREET
SCALE: 3/16" = 1'-0"

01/31/2023
PROJECT NUMBER
CASE NUMBER

BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com



3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



VICINITY MAP
NTS

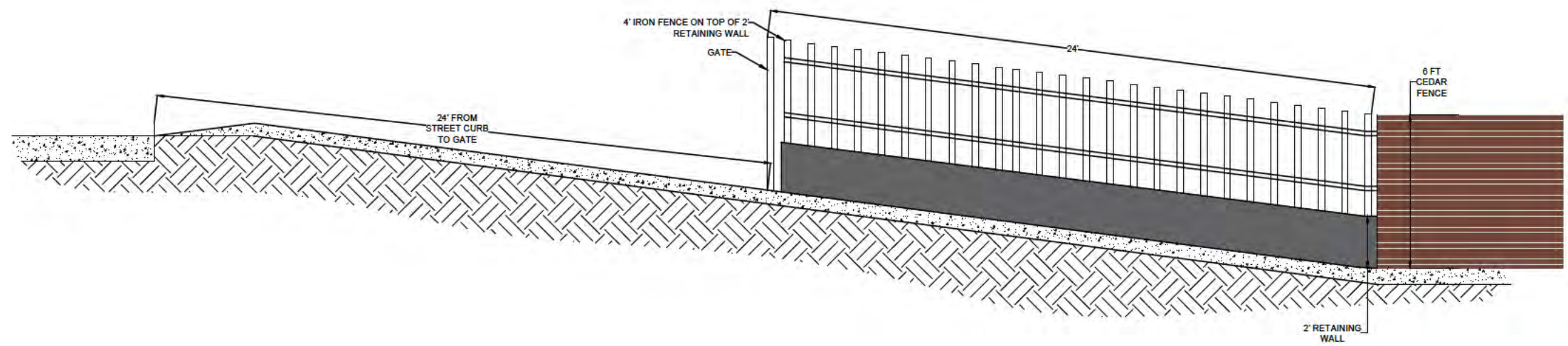


01/31/2023
PROJECT NUMBER
CASE NUMBER

BALDWIN ASSOCIATES
3904 Elm Street, Suite B
Dallas, Texas 75226
MOBILE: 214.729.7949
OFFICE: 214.824.7949
rob@baldwinplanning.com



3923 FRONTIER LANE
CITY OF DALLAS, TEXAS



1C FENCING WEST OF DRIVEWAY
SCALE: 1/2"=1'-0"

FILE NUMBER: BDA223-017(OA)

BUILDING OFFICIAL'S REPORT: Application of Julia White for special exceptions to the fence standards and visual obstruction regulations at 4327 Cabell Drive. This property is more fully described as Block F/0660, Lot 7 and is zoned MF-2(A), which limits the height of a fence in the front yard to 4 feet, requires a fence panel with a surface area that is less than 50 percent open to not be located less than 5 feet from the front lot line, requires a 20 foot visibility triangle at driveways, and requires a 45 foot visibility triangle at street intersections. The applicant proposes to construct and/or maintain an 8 foot high fence in a required front yard, which will require a 4 foot special exception to the fence standards regulations, and to construct and/or maintain a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than 5 feet from the front lot line, which will require a special exception to the fence standards regulations, and to locate and/or maintain items in required 20 foot visibility triangles at driveways and in a required 45 visibility triangle at a street intersection, which will require special exceptions to the visual obstruction regulations.

LOCATION: 4327 Cabell Drive

APPLICANT: Julia White

REQUESTS:

The following requests have been made on a site that is developed with townhouses:

1. Requests for special exceptions to the fence standards regulations related to fence height of 4' are made to maintain an 8' tall solid cedar fence with 8' tall steel posts and a pedestrian gate in the site's two front property lines (Cabell Drive & Ashby Street).
2. Requests for special exceptions to the fence standards regulations related to the fence panels with a surface area that is less than 50 percent open less than 5' from the front lot line are made to maintain an 8' high solid cedar fence with 8' tall steel posts along Cabell Drive and Ashby Street located less than 5' from these front lot lines.
3. Requests for special exceptions to the visual obstruction regulations is made to maintain the 8' tall solid cedar fence with 8' tall steel posts in the southeast 20' visibility triangle at a driveway into the site on Ashby Street.
4. A request for special exception to the visual obstruction regulations is made to maintain the 8' tall solid cedar fence with 8' tall steel posts 45-foot visibility triangle at the Cabell Drive and Ashby Steet intersection.

STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS REGULATIONS:

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards when, in the opinion of the board, the special exception will not adversely affect neighboring property.

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

Section 51A-4.602(d)(3) of the Dallas Development Code states that the board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the Board, the item will not constitute a traffic hazard.

STAFF RECOMMENDATION (fence standards):

No staff recommendation is made on this or any request for a special exception to the fence standards since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

STANDARD FOR A SPECIAL EXCEPTION TO THE VISUAL OBSTRUCTION REGULATIONS:

Section 51A-4.602(d)(3) of the Dallas Development Code states that the board shall grant a special exception to the requirements of the visual obstruction regulations when, in the opinion of the board, the item will not constitute a traffic hazard.

STAFF RECOMMENDATION (visual obstruction regulations):

No staff recommendation is made on this or any request for a special exception to the visual obstruction regulations since the basis for this type of appeal is when in the opinion of the board, the item will not constitute a traffic hazard. However, staff does provide a technical opinion to assist in the board's decision-making.

The Sustainable Development and Construction Senior Engineer reviewed the proposed obstructions for the fence and recommends denial of the requests stating that the fence obstructs visibility.

BACKGROUND INFORMATION:

Zoning:

Site: MF-2(A) Multifamily District
North: MF-2(A) Multifamily District

South: MF-2(A) Multifamily District

East: MF-2(A) Multifamily District

West: MF-2(A) Multifamily District

Land Use:

The subject site is developed with townhomes. The areas to the north, west, south, and is developed with multifamily use.

Zoning/BDA History:

There has not been any recent related board or zoning cases recorded either on or in the immediate vicinity of the subject site.

GENERAL FACTS/STAFF ANALYSIS (fence standards):

The requests for special exceptions to the fence standards regulations are twofold. Special exceptions to the fence standards regulations related to fence height of 4' are made to maintain an 8' tall solid cedar fence with 8' tall steel posts and a pedestrian gate in the site's two front property lines and a special exceptions to the fence standard regulations related to a fence with panels with surface areas less than 50 percent open are made to maintain the aforementioned high solid an 8' tall solid cedar fence with 8' tall steel posts and less than 5' from these front lot lines.

The subject site is zoned MF-2(A) Multifamily District which requires a 15' front yard setback.

Section 51A-4.602(a)(4) of the Dallas Development Code states that in multifamily districts, a fence located in the required front yard may be built to a maximum height of six feet above grade if all conditions in the following subparagraphs are met:

- No lot in the blockface may be zoned as a single family or duplex lot.
- No gates for vehicular traffic may be located less than 20 feet from the back of the street curb.
- No fence panel having less than 50 percent open surface area may be located less than five feet from the property line.

Section 51A-4.602(a)(6) of the Dallas Development Code states that unless all of the conditions in Paragraphs (4) and (5) are met, a fence in a multifamily district may not exceed four feet above grade when located in the required front yard, except when the required front yard is governed by the side or rear yard regulations pursuant to Section 51A-4.401.

Since the applicant's fence proposal is unable to meet all the conditions required by Section 51A-4.602(a)(4) of the Dallas Development Code, the proposed fence may not exceed four feet above grade when located in the required front yard. Therefore, for the

applicant to accomplish his proposal, the applicant requests the above special exceptions to the fence standards regulations.

The site is located at the southwest corner of Ashby Street and Cabell Drive. The site has two front yard setbacks given that it fronts two streets as any corner property would that is not zoned a single family, duplex, or agricultural district.

The applicant submitted site plan and a site plan/elevation representing the proposed fences in the front yard setbacks with notations indicating that the proposal reaches a maximum height of 8'. The submitted site plan and elevation indicating the proposed fence will be located along Cabell Drive and Ashby Street with fence panels having a surface area that is less than 50 percent open and located less than 5' from this front lot line – a 8' high solid wood fence approximately 30' in length parallel to Cabell Drive, and approximately 53' in length parallel to Ashby Street of the site in the front yard setbacks and located on these front lot lines.

The following additional information was gleaned from the submitted site plan:

- Cabell Drive: the proposal is represented as being approximately 30' in length parallel to the street and approximately 4' perpendicular to the street on the east side of the site in this required front yard; located approximately 12' from the pavement line.
- Along Ashby Street: the proposal is represented as being approximately 53' in length parallel to the street and at the property line perpendicular to the street on the southeast of the site in this required front yard; located approximately 15' from the pavement line.

The Development Service Department Senior Planner conducted a field visit of the site and surrounding area and noted several other fences that appeared to be above 4' in height along Cabell Drive and Ashby Street located in a front yard setback.

As of February 10, 2023, 31 letters had been submitted in support of the requests, and no letters had been submitted in opposition.

The applicant has the burden of proof in establishing that the special exceptions to the fence standards regulations related to height above 4' and to location and fence panels with surface areas that are less than 50 percent open will not adversely affect neighboring property. Granting these special exceptions to the fence standards related to height of up to 8' and to location fence panels with surface areas that are less than 50 percent open in certain areas on the site with a condition imposed that the applicant complies with the revised site plan and elevation documents, would require the proposals exceeding 4' in height 8' tall solid cedar fence with 8' tall steel posts and a pedestrian gate on the front lot lines of Cabell Drive and Ashby Street) to be maintained in the location as shown on these documents.

GENERAL FACTS/STAFF ANALYSIS (visual obstruction special exceptions 20' visibility triangles & 45-foot visibility triangle):

These requests for special exceptions to the visual obstruction regulations focus on maintaining portions of 8' tall solid cedar fence with 8' tall steel posts and a pedestrian gate within the southeast required 20-foot visibility triangle at the driveway approach from Ashby Street and within the required 45-foot visibility triangle at the street intersection (southwest corner of Ashby Street and Cabell Drive).

The Dallas Development Code states the following: a person shall not erect, place, or maintain a structure, berm, plant life or any other item on a lot if the item is:

- in a visibility triangle as defined in the Code (45-foot visibility triangles at street intersections and 20-foot visibility triangles at drive approaches and at alleys on properties zoned single family); and
- between two and a half and eight feet in height measured from the top of the adjacent street curb (or the grade of the portion on the street adjacent to the visibility triangle).

The applicant is requesting special exceptions to the visual obstruction regulations for the southeast required 20-foot visibility triangles on each side of the driveway into the site on Ashby Street as well as a special exception to the visual obstruction regulations for the required 45-foot visibility triangles at the intersection of Ashby Street and Cabell Drive.

The Sustainable Development Department Senior Engineer has submitted a review comment sheet marked "recommends that this be denied. Fence obstructs visibility".

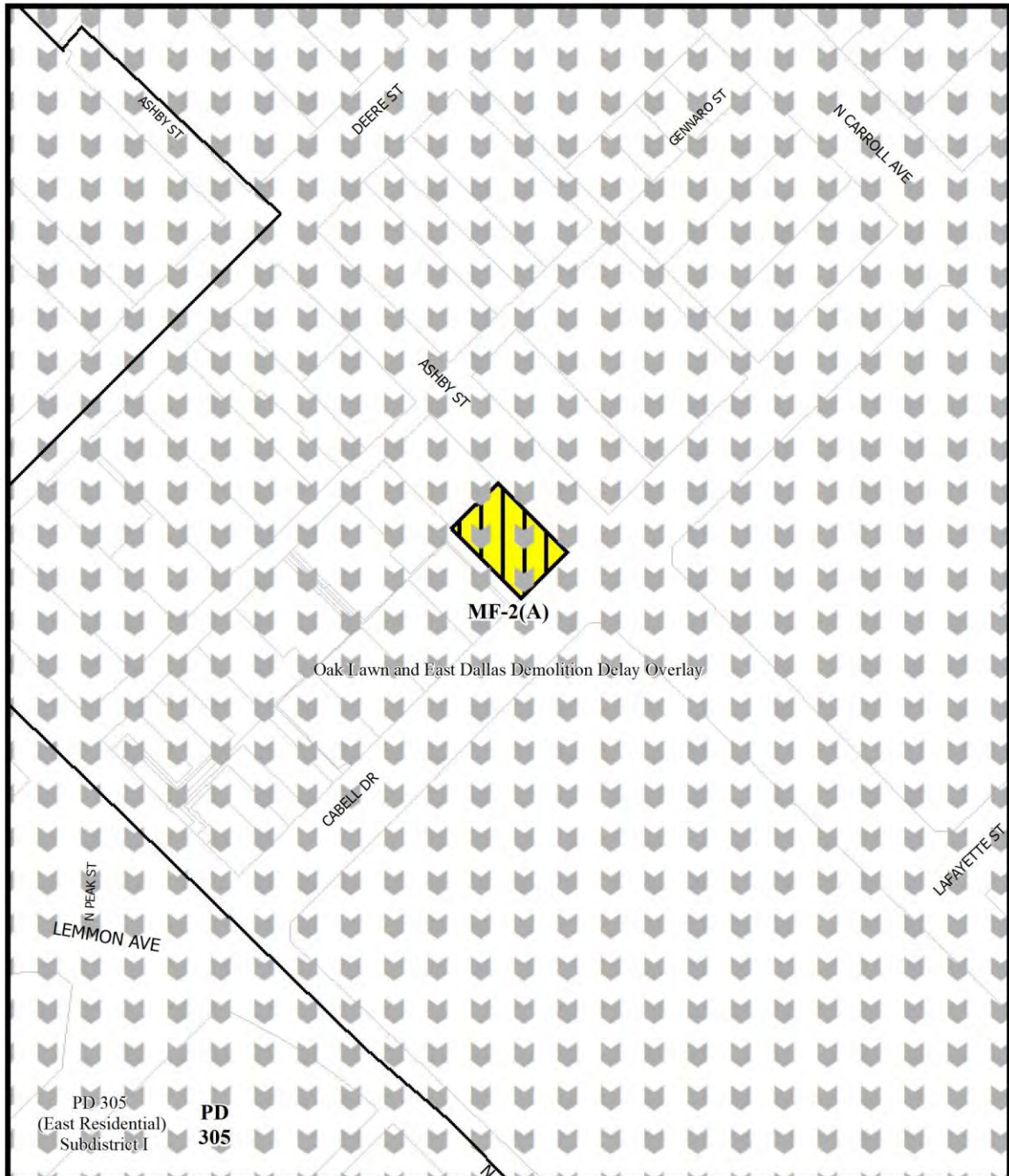
As of February 10, 2023, 31 letters had been submitted in support of the requests, and no letters had been submitted in opposition.

The applicant has the burden of proof in establishing how granting the requests for special exceptions to the visual obstruction regulations, to maintain portions of the 18' tall solid cedar fence with 8' tall steel posts and a pedestrian gate within the southeast required 20-foot visibility triangle at the driveway approach and within the required 45-foot visibility triangle at the street intersection (southwest corner of Ashby Street and Cabell Drive), do not constitute a traffic hazard.

Granting these special exceptions with a condition imposed that the applicant complies with the submitted site plan and elevation would require the fence exceeding four-feet-in-height in the front yard setback and all visual obstructions to be maintain in the locations and heights as shown on these documents.

TIMELINE:

- December 1, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents that have been included as part of this case report.
- January 16, 2023: The Board of Adjustment Secretary assigned this case to Board of Adjustment Panel A.
- January 18, 2023: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:
- an attachment that provided the public hearing date and panel that will consider the application; the January 23th deadline to submit additional evidence for staff to factor into their analysis; and the February 10th deadline to submit additional evidence to be incorporated into the board’s docket materials.
 - the criteria/standard that the board will use in their decision to approve or deny the request; and
 - the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.
- January 24, 2023: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the November public hearings. Review team members in attendance included the Development Services Assistant Director, the Board of Adjustment Chief Planner/Board Administrator, The Development Services Chief Planner, Development Service Chief Planner, the Building Inspection Senior Plans Examiner/Development Code Specialist, the Transportation Development Services Senior Engineer, Development Services Board of Adjustment Senior Planner, and the Assistant City Attorney to the Board).
- February 9, 2023: The applicant submitted additional information to staff beyond what was submitted with the original application (**Attachment A**).

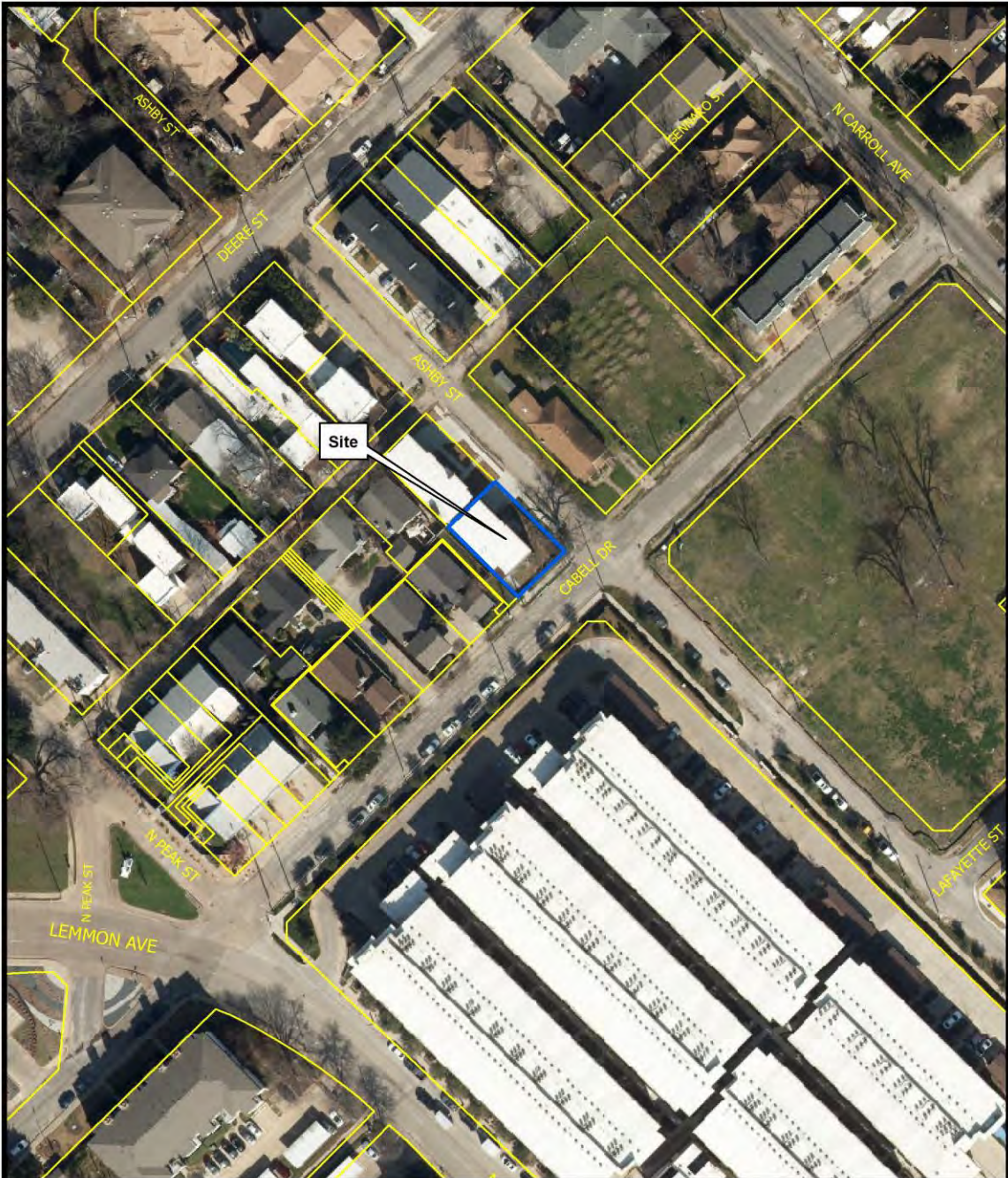


1:1,200

ZONING MAP

Case no: BDA223-017

Date: 1/23/2023

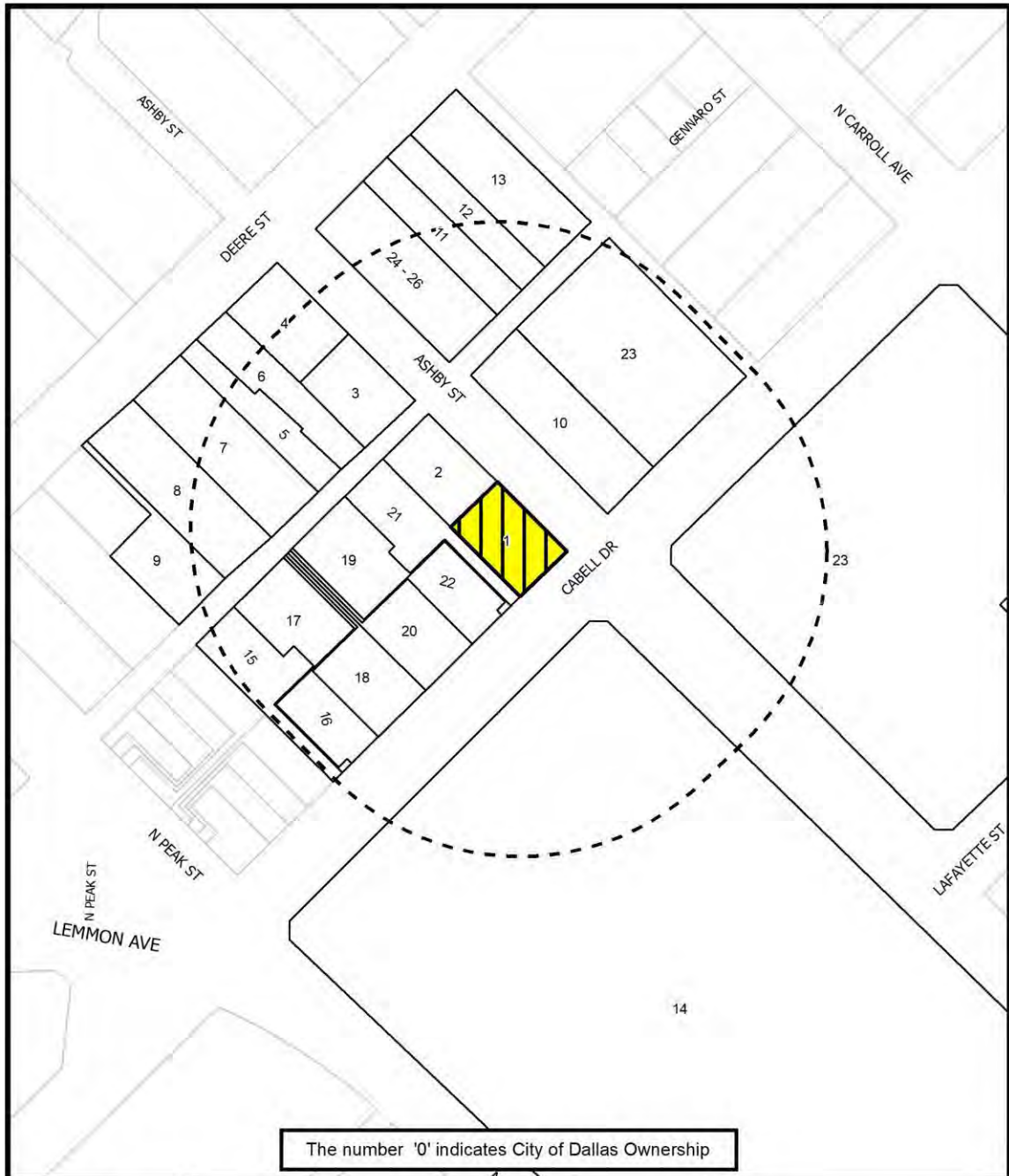


1:1,200

AERIAL MAP

Case no: BDA223-017

Date: 1/23/2023



| | | | | | | |
|--|--|-------------|----------------------|-----------|------------------------------------|--|
|  1:1,200 | <h2 style="text-align: center;">NOTIFICATION</h2> <table border="1" style="width: 100%;"> <tr> <td style="width: 50px; text-align: center;">200'</td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td style="width: 50px; text-align: center;">26</td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table> | 200' | AREA OF NOTIFICATION | 26 | NUMBER OF PROPERTY OWNERS NOTIFIED | Case no: BDA223-017 Date: 1/23/2023 |
| 200' | AREA OF NOTIFICATION | | | | | |
| 26 | NUMBER OF PROPERTY OWNERS NOTIFIED | | | | | |

01/23/2023

Notification List of Property Owners

BDA223-017

26 Property Owners Notified

| <i>Label #</i> | <i>Address</i> | <i>Owner</i> |
|-----------------------|-----------------------|--------------------------------|
| 1 | 4327 CABELL DR | BARNEY JOHN D |
| 2 | 2235 ASHBY ST | SANMIGUEL SERGIO GRANADOS & |
| 3 | 2207 ASHBY ST | KAMINSKY AARON & |
| 4 | 4326 DEERE ST | MARTIN MELISSA J & |
| 5 | 4322 DEERE ST | BREWSTER SAMUEL & |
| 6 | 4324 DEERE ST | ARMENTOR JAMES K |
| 7 | 4318 DEERE ST | BADILLO MARK EST OF |
| 8 | 4314 DEERE ST | TRAMPEL JOSEPH S |
| 9 | 4312 DEERE ST | NEWMAN JORDAN |
| 10 | 4401 CABELL DR | PEGASO CALIFORNIA CONSTRUCTION |
| 11 | 4404 DEERE ST | HOLT MARY VIRGINIA |
| 12 | 4406 DEERE ST | FOX WILLIAM GREG JR & SARAH |
| 13 | 4408 DEERE ST | HOUSING AUTHORITY OF THE |
| 14 | 2110 PEAK ST | BEL LOFT ROW LLC |
| 15 | 4309 CABELL DR | SESSER ROBERT |
| 16 | 4315 CABELL DR | BLAUGRUND EDITH G REVOCABLE |
| 17 | 4311 CABELL DR | Taxpayer at |
| 18 | 4317 CABELL DR | HARRIS CHRISTINA J TRUST |
| 19 | 4323 CABELL DR | VASQUEZ BETTY |
| 20 | 4319 CABELL DR | PILLAI ANJALI & CASEY A ROGERS |
| 21 | 4325 CABELL DR | MONTOYA ROBERTO JR |
| 22 | 4321 CABELL DR | PURSER REAGAN LEIGH |
| 23 | 4426 CABELL DR | AHC DEVELOPMENT |
| 24 | 4402 DEERE ST | CLEMMENSEN RYAN |
| 25 | 4402 DEERE ST | TAM WAI IAN & STEVEN DUONG |
| 26 | 4402 DEERE ST | PRICE CHARLES |



APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-017

Data Relative to Subject Property:

Date: 12/7/2022

Location address: 4327 Cabell Drive, Dallas, TX 75204 Zoning District: MF-2(A)

Lot No.: 7 Block No.: F1660 Acreage: .087 Census Tract: 8

Street Frontage (in Feet): 1) 75.7 2) 50.0 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Julia Elizabeth White

Applicant: Julia White Telephone: 870-904-7007

Mailing Address: 4327 Cabell Drive Zip Code: 75204

E-mail Address: juliawhite22@yahoo.com

Represented by: _____ Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance _____, or Special Exception X, of fence height; 4 foot special exception
visibility triangles, less than 50% opening.
20ft at driveway
45ft at intersection

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:
additional information to be provided

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

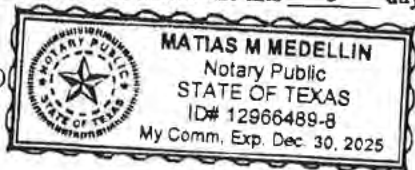
Affidavit

Before me the undersigned on this day personally appeared Julia White
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Julia White
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 5 day of January, 2023



[Signature]
Notary Public in and for Dallas County, Texas

(Rev. 08-01-11)

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that JULIA WHITE

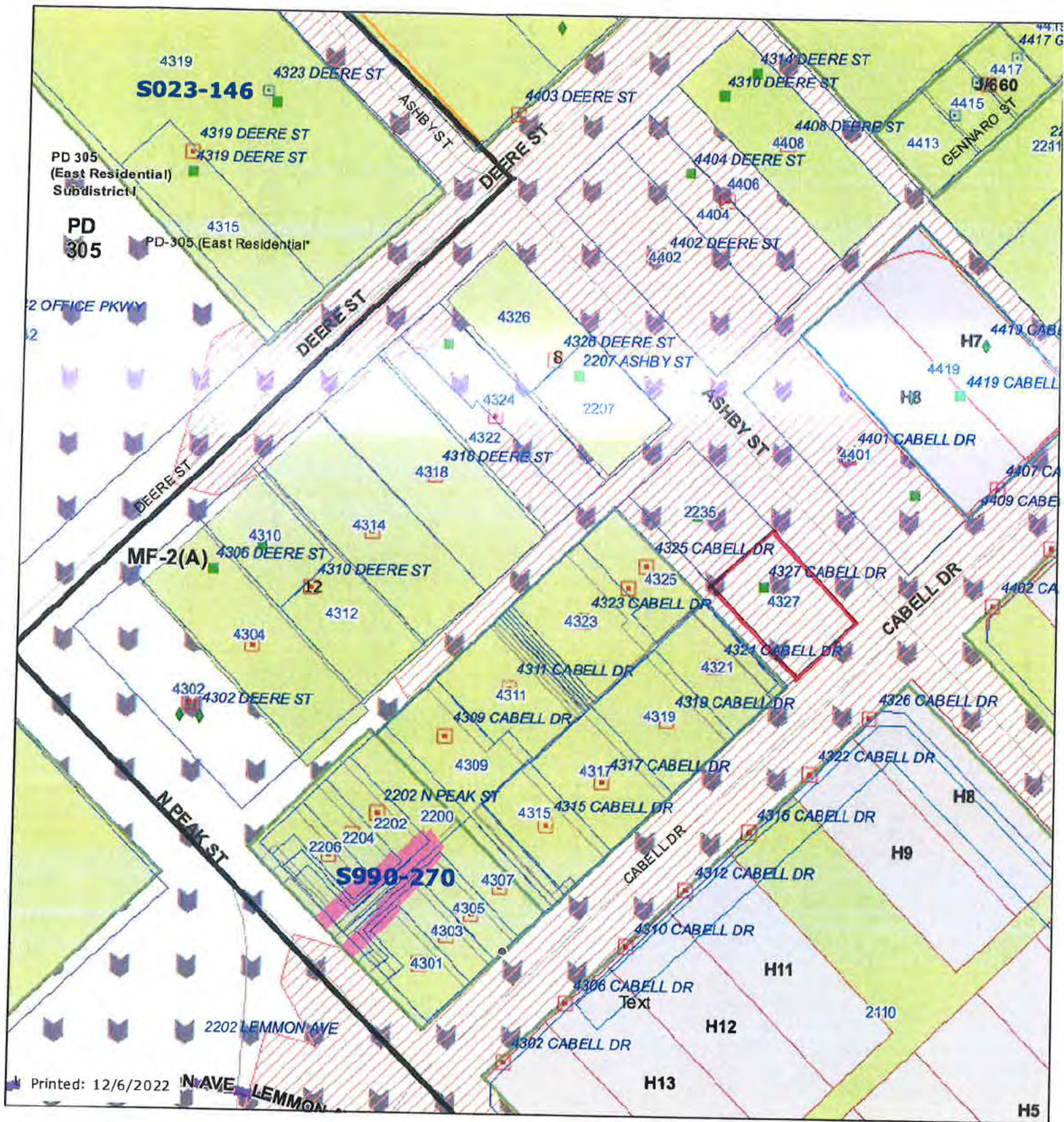
did submit a request for a special exception to the fence height regulations, and for a special exception to the fence standards regulations, and for a special exception to the visibility obstruction regulations, and for a special exception to the visibility obstruction regulations

at 4327 CABELL DRIVE

BDA223-017. Application of JULIA WHITE for a special exception to the fence height regulations, and for a special exception to the fence standards regulations, and for a special exception to the visibility obstruction regulations, and for a special exception to the visibility obstruction regulations at 4327 CABELL DR. This property is more fully described as Block F/0660, Lot 7 and is zoned MF-2(A), which limits the height of a fence in the front yard to 4 feet, and requires a 20 foot visibility triangle at driveway approaches and require: a 45 foot visibility triangle at street intersections and requires a fence panel with a surface area that is less than 50 percent open may not be located less than 5 feet from the front lot line. The applicant proposes to construct an 8 foot high fence in a required front yard, which will require a 4 foot special exception to the fence regulations, and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than 5 feet from the front lot line, which will require a special exception to the fence regulations, and to construct a single-family residential fence structure in a required 20 foot visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation, and to construct a single-family residential fence structure in a 45 foot required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation.

Sincerely,


David Session, Building Official



Printed: 12/6/2022

- | | | |
|--------------------|-----------------------|--------------------------|
| City Limits | Other | Thoroughfare Plan |
| Dallas Tax Parcels | Shared Access | PA - Principal Arterial |
| Base Zoning | Street | Major Streets |
| PD Subdistricts | Utility | Streets |
| Main Address | Addition Boundaries | Zoning Grid |
| Building | Final | City Limits |
| Plot Parcel | Historic Plat Parcels | Floodplain |
| Tax Parcel | Historic | Mill Creek |
| Sub-Address | Plat Parcels | Certified Parcels |
| Building | Final | Base Zoning |
| Suite | Platted Block | Demolition Delay Overlay |
| Easements | Public Right of Way | PD Subdistricts |
| Detention Area | | PDS Subdistricts |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)





CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 223-017

I, Jean White, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4327 Cabell Drive Dallas, TX 75204
(Address of property as stated on application)

Authorize: Julia Elizabeth White
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: _____

Jean White
Print name of property owner or registered agent

Jean White
Signature of property owner or registered agent

Date 12/6/22

Before me, the undersigned, on this day personally appeared Jean White

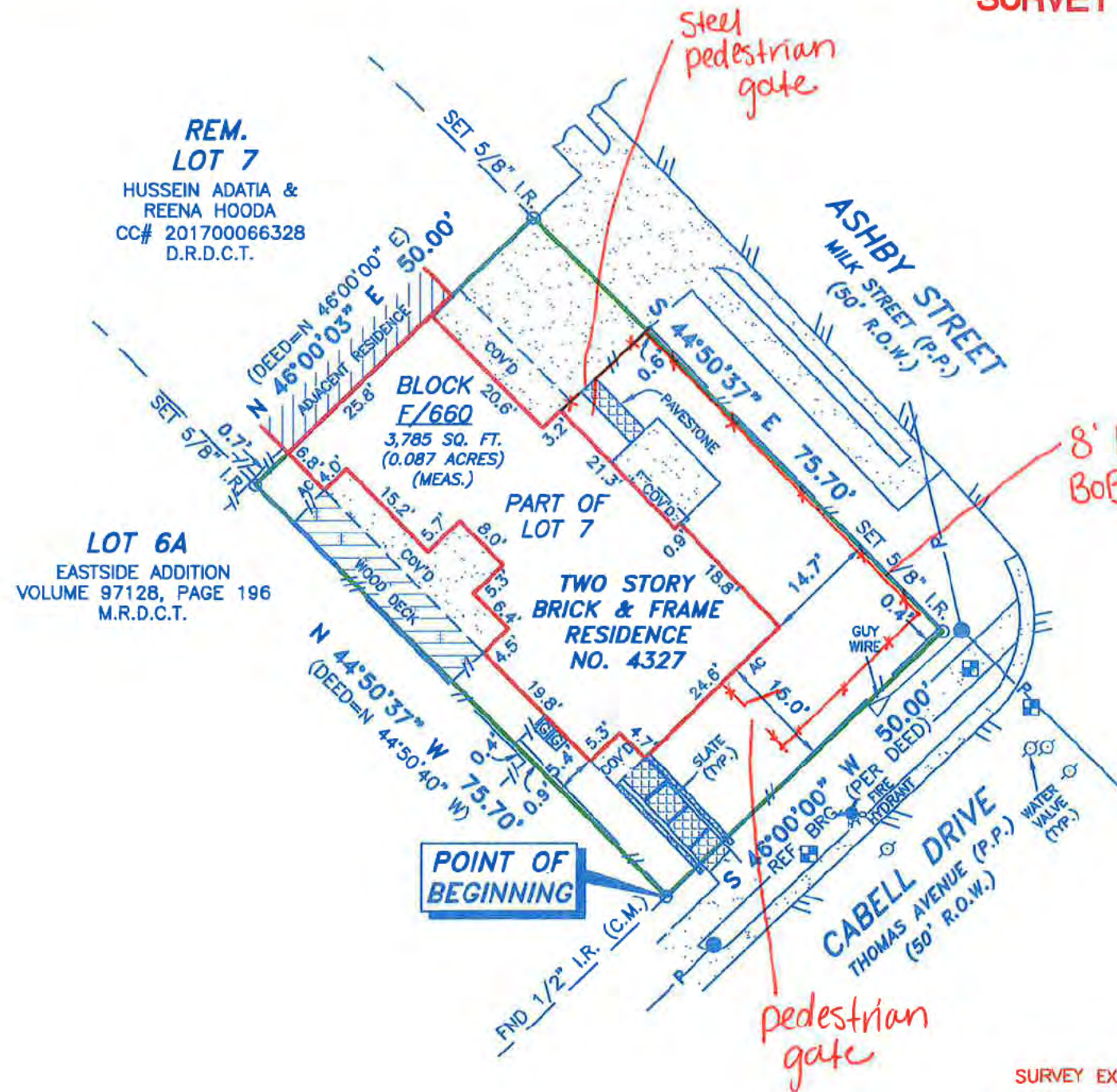
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 6th day of December, 2022



[Signature]
Notary Public for Dallas County, Texas
Conway Arkansas
Commission expires on May 9, 2028

'SURVEY PLAT'



REM. LOT 7
 HUSSEIN ADATIA &
 REENA HOODA
 CC# 201700066328
 D.R.D.C.T.

LOT 6A
 EASTSIDE ADDITION
 VOLUME 97128, PAGE 196
 M.R.D.C.T.

BLOCK F/660
 3,785 SQ. FT.
 (0.087 ACRES)
 (MEAS.)

TWO STORY BRICK & FRAME RESIDENCE NO. 4327

PROPERTY DESCRIPTION:

BEING A PART OF LOT 7, IN BLOCK F/660, OF DEERE PARK ADDITION, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 1, PAGE 55, OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS, AND BEING A RESURVEY OF A CALLED 0.09 ACRE TRACT OF LAND DESCRIBED IN A DEED TO ALISON PALUMBO, OF RECORD UNDER COUNTY CLERK'S FILE NUMBER 201600321184, DEED RECORDS, DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND FOR CORNER IN THE NORTHWEST RIGHT-OF-WAY LINE OF CABELL DRIVE (50' RIGHT-OF-WAY, AT THE MOST SOUTHERN CORNER OF SAID LOT 7, COMMON TO THE MOST EASTERN CORNER OF LOT 6A, BLOCK F/660, OF EASTSIDE ADDITION, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 97128, PAGE 196, OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS;

THENCE NORTH 44°50'37" WEST ALONG THE SOUTHWEST LINE OF SAID LOT 7 AND THE NORTHEAST LINE OF SAID LOT 6A, A DISTANCE OF 75.70 FEET TO A 5/8" IRON ROD SET FOR CORNER AT THE MOST WESTERN CORNER OF SAID 0.09 ACRE TRACT, COMMON TO THE MOST SOUTHERN CORNER OF A TRACT OF LAND DESCRIBED IN A DEED TO HUSSEIN ADATIA AND REENA HOODA, OF RECORD UNDER COUNTY CLERK'S FILE NUMBER 201700066328, DEED RECORDS, DALLAS COUNTY, TEXAS;

THENCE NORTH 46°00'03" EAST ALONG THE NORTHWEST LINE OF SAID 0.09 ACRE TRACT AND THE SOUTHEAST LINE OF SAID ADATIA AND HOODA TRACT, A DISTANCE OF 50.00 FEET TO A 5/8" IRON ROD SET FOR CORNER AT THE MOST NORTHERN CORNER OF SAID 0.09 ACRE TRACT, IN THE SOUTHWEST RIGHT-OF-WAY LINE OF ASHBY STREET (50' RIGHT-OF-WAY);

THENCE SOUTH 44°50'37" EAST ALONG THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID ASHBY STREET, A DISTANCE OF 75.70 FEET TO A 5/8" IRON ROD SET FOR CORNER AT THE MOST EASTERN CORNER OF SAID LOT 7, IN THE NORTHWEST RIGHT-OF-WAY LINE OF SAID CABELL DRIVE;

THENCE SOUTH 46°00'00" WEST ALONG THE NORTHWEST RIGHT-OF-WAY LINE OF SAID CABELL DRIVE, A DISTANCE OF 50.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 3,785 SQUARE FEET OR 0.087 ACRES OF LAND.

SURVEY EXAMINED AND ACCEPTED BY PURCHASERS: _____ DATE: _____

ADDRESS: 4327 CABELL DRIVE

NOTES:

- 1) ALL CORNERS LABELED HEREON AS "SET 5/8" I.R." HAVE A YELLOW CAP STAMPED "RPLS 5587".
- 2) (P.P.) INDICATES BUILDING LINES, EASEMENTS, R.O.W.S, DIMENSIONS, ETC. ARE PER PLAT REFERENCED IN LEGAL DESCRIPTION ABOVE.
- 3) THE PROPERTY SHOWN HEREON APPEARS TO BE SUBJECT TO THE COMMON WALL AGREEMENT RECORDED UNDER CC# 201600321186, REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS.

FLOOD STATEMENT:

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 480171 0345J, DATED 08/23/2001, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR DALLAS COUNTY, TEXAS, THE SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "X" AND IS NOT SHOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



CERTIFIED TO: REPUBLIC TITLE AND JOHN D. BARNEY GF#:1017-276204-RTT DATE: 05/10/2019 JOB NO.:19-05-016

| SYMBOL | LEGEND | FND= FOUND | I.R.= IRON ROD | I.P.= IRON PIPE | ESMT.= EASEMENT | B.L.= BUILDING LINE | (C.M.)= CONTROL MONUMENT |
|--------|-----------------------|------------|----------------|-----------------|-----------------|---------------------|--------------------------|
| --- | WOOD FENCE | | | | | | |
| -x- | CHAIN LINK FENCE | | | | | | |
| -x- | WIRE FENCE | | | | | | |
| o | WROUGHT IRON FENCE | | | | | | |
| □ | COLUMN | | | | | | |
| ⊙ | POWER POLE | | | | | | |
| ⊕ | WATER METER | | | | | | |
| — | POWERLINE | | | | | | |
| — | OVERHEAD SERVICE LINE | | | | | | |
| ⊕ | TRANSFORMER AND PAD | | | | | | |
| ⊕ | GAS METER | | | | | | |
| /// | ASPHALT SURFACE | | | | | | |
| □ | CONCRETE | | | | | | |

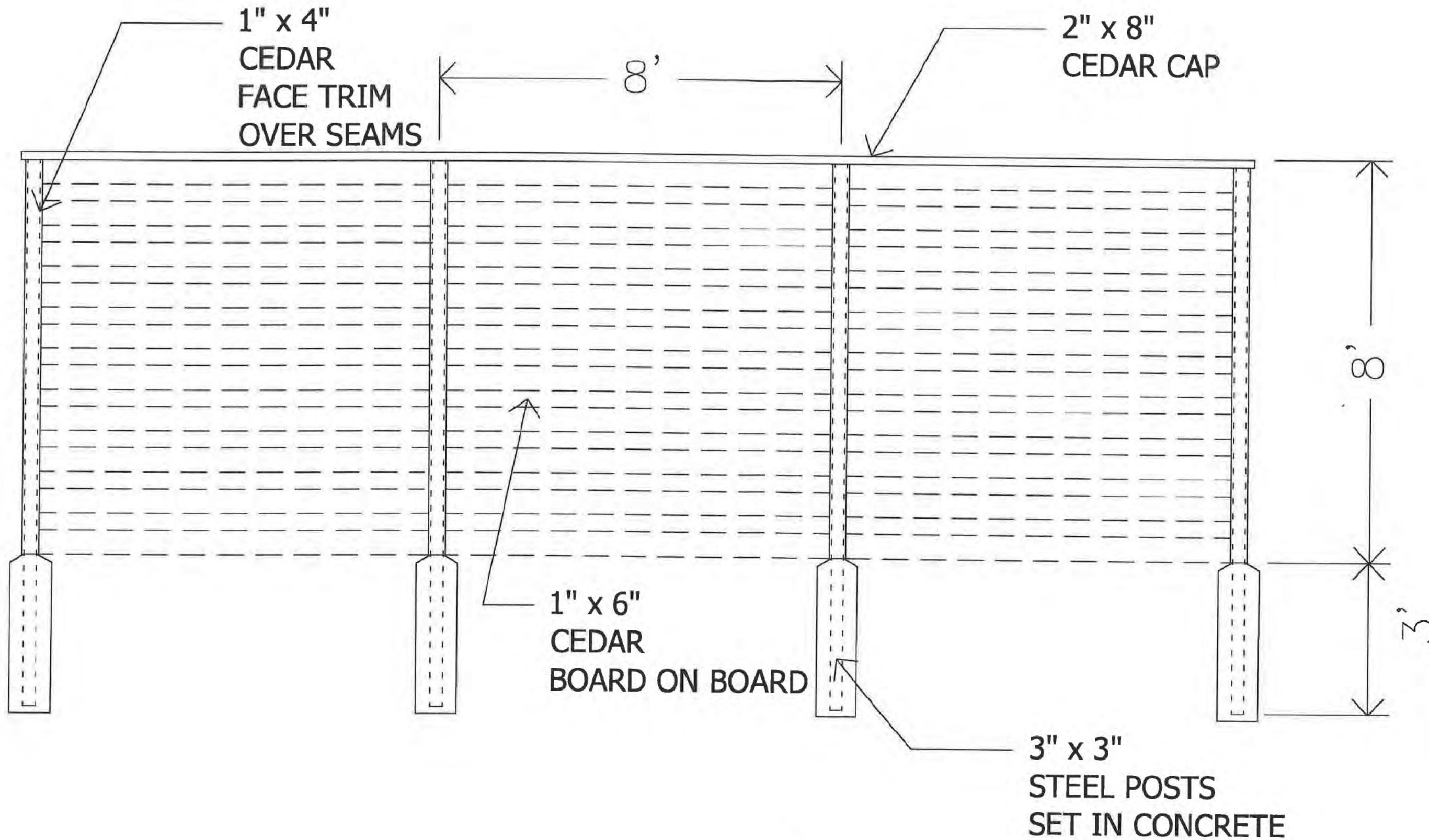
I, JASON L. MORGAN, REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT HEREON IS A TRUE, CORRECT AND ACCURATE REPRESENTATION OF THE SUBJECT PROPERTY AS DETERMINED BY AN ON THE GROUND SURVEY UNDER MY SUPERVISION. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM STANDARDS PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING AND WAS PERFORMED IN CONNECTION WITH TITLE COMMITMENT OF NO. 1017-276204-RTT PROVIDED BY REPUBLIC TITLE REFLECTING ONLY THE EASEMENT(S) LISTED IN SCHEDULE "B" OF SAID COMMITMENT. USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM. THIS SURVEY IS NOT VALID WITHOUT A RED SEAL AND SIGNATURE.

Jason L. Morgan
 JASON L. MORGAN TXRPLS 5587

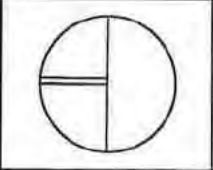


Global Land Surveying, Inc.
 SERVING THE GREATER DALLAS-FORT WORTH METROPLEX SINCE 2002

GLOBAL LAND SURVEYING, INC.
 1705 TAWAKONI LANE
 PLANO, TEXAS 75075
 PHONE (972) 881-1700
 JMORGAN@GLS-INC.COM
 FIRM NO. 10016300



David Rolston
 Registered Landscape Architects
 5607 Dyer St.
 Dallas, TX 75206
 phone: (214) 354-5383
 www.dallasgardens.com



Date: 06 Dec 22
 Revisions:
 Scale: 1/2" = 1'-0"

White Residence
 4327 Cabell Dr
 Dallas, TX





















Ashby

To whom it may concern,

My name is Heagan Purser

I live at [REDACTED], Dallas, TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Heagan Purser

Additional Comments:

I live next door to Julia and walk by several times a day and have never had or seen a safety issue with the fence placement at the corner of Ashby and Cabell or the driveway

To whom it may concern,

My name is Adrian Perez owner Regaso California Construction
I am the developer at [REDACTED]
I live at [REDACTED]

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Adrian Perez

Additional Comments:

We are about to start building at 2401 Cabell and I like the fence at 4327 Cabell. Looks really good and seems fit with the new construction in the area

AP

To whom it may concern,

My name is Monica Maez

I live at [REDACTED] Dallas, TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way.

Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

I live next door to Julia and walk my dog every day two or three times a day and see no safety issues walking by her house with the current fence.

I see no issues with the fence.

To whom it may concern,

My name is ANJALI PILLAI

I live at [REDACTED] DALLAS TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Anjali J. Pillai

Additional Comments:

We live next door & walk our dog & baby stroller by 4327 Cabell Dr and have never had any issues with the fence & its location.

To whom it may concern,

My name is Sergio Granados

I live at [REDACTED], Dallas, TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

To whom it may concern,

My name is LASEY ROGERS

I live at [REDACTED] DALLAS TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Lasey Rogers

Additional Comments:

To whom it may concern,

My name is Bradon Michelli

I live at [REDACTED] #105

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Bradon Michelli

Additional Comments:

To whom it may concern,

My name is Amy Neighbors

I live at  75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.


Thank you for your time,

Amy Neighbors

Additional Comments:

To whom it may concern,

My name is Betty Lasquez

I live at 

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Betty Lasquez

Additional Comments:

To whom it may concern,

My name is Barbara Blau

I live at  Dallas TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Barbara Blau

Additional Comments:

To whom it may concern,

My name is Rob Sesar

I live at [REDACTED] DALLAS TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

[Signature]

Additional Comments:

To whom it may concern,

My name is Jennifer Harris

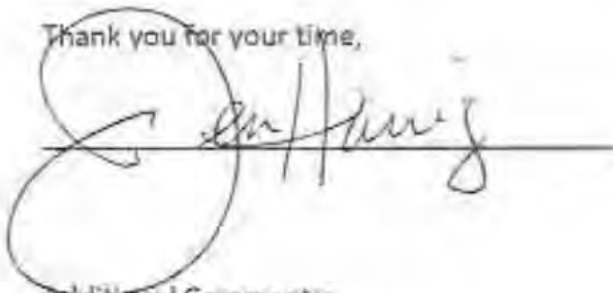
I live at [REDACTED] Dallas TX

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way.

Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

A handwritten signature in cursive script, appearing to read "Jennifer Harris", is written over a horizontal line. To the left of the signature is a large, stylized circular flourish or scribble.

Additional Comments:

To whom it may concern,

My name is Brad Sant

I live at [REDACTED] Cabell Dallas TX 75204

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Brad Sant

Additional Comments:

To whom it may concern,

My name is Janet Addison.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Janet Addison

Additional Comments:

A live in East Dallas and drive by Julia's house often. It is a lovely constructed fence which presents no visual obstruction issues to me from both Cabell Drive and Ashby Street.

To whom it may concern,

My name is Bentley Banister.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

W. Bentley Banister, D.O.S.

Additional Comments: I am looking to buy a house soon. I like the fence Julia has added. It increases the safety and privacy of the property. I know Julia has had a homeless person steal packages directly from her porch. Anything that reasonably increases safety and privacy shouldn't be hindered. This fence is more than reasonable.

To whom it may concern,

My name is Ashtley King.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Ashtley King

Additional Comments:

I drive in this neighborhood at least once a week. Specifically on Cabell Drive, and the fence does not create any hazards or problems for me.

To whom it may concern,

My name is Trevor Ferguson.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

I visit Julia's neighborhood multiple times per week. ~~During~~ During my visits, I have seen very little traffic, especially on the road adjacent to Julia's fence, ~~the~~ the segment of Ashby St. between Deere St. and Cabell Dr., as that road ends at the intersection of Deere St. In addition, I do not ~~believe~~ believe that the fence adversely affects the visibility for the people using the intersection. In fact, I believe that due to Julia setting back her fence a few feet farther from the street on the side facing Cabell Dr. (as compared to the original fence that was there prior to Julia's purchase of the property) visibility may have improved in some respects. Lastly, Julia's investment into a high quality fence ~~has~~ has improved the aesthetics of the area, as the prior fence was of lesser quality than the ~~new~~ one.

To whom it may concern,

My name is JAMES MCAVEY.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

J. McAvey

Additional Comments:

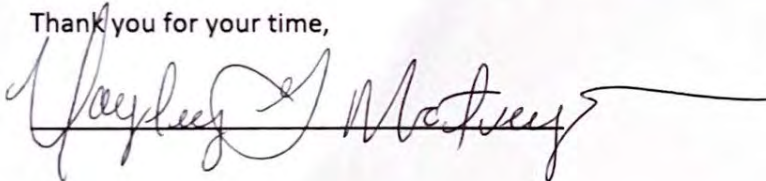
To whom it may concern,

My name is HAYLEY McAVEY.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

To whom it may concern,

My name is Shelley White.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

A handwritten signature in cursive script that reads "Shelley White". The signature is written over a horizontal line.

Additional Comments:

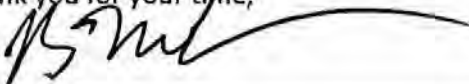
To whom it may concern,

My name is Brendan Gaff.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



A handwritten signature in black ink, appearing to read 'Brendan Gaff', written over a horizontal line.

Additional Comments:

To whom it may concern,

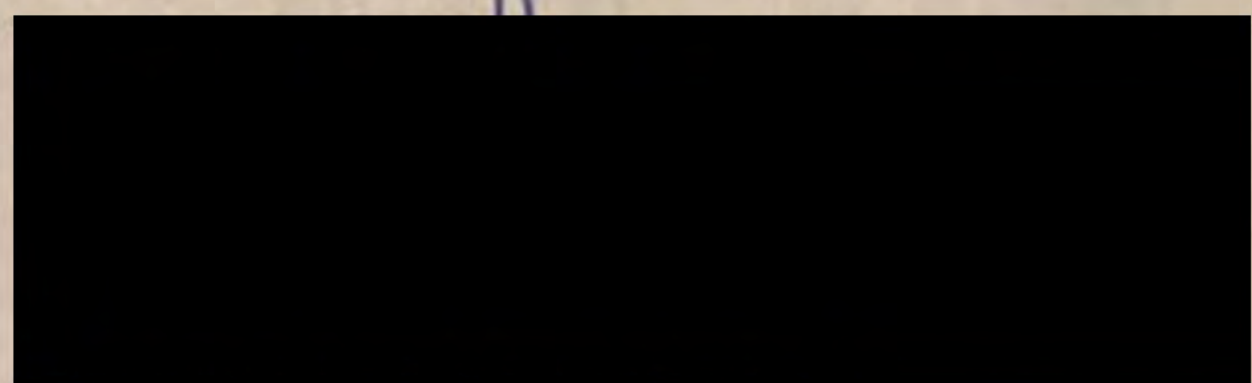
My name is Delaney Vedros.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Delaney Vedros



Additional Comments:

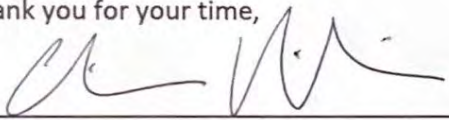
To whom it may concern,

My name is Christopher Reinlein.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

To whom it may concern,

My name is Madelyn Reinlein.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Madelyn Reinlein

Additional Comments:

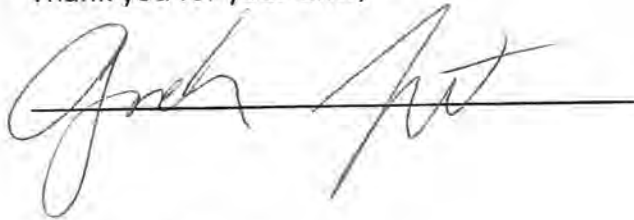
To whom it may concern,

My name is Jack Treat.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

A handwritten signature in cursive script, appearing to read "Jack Treat", is written over a horizontal line.

Additional Comments:

To whom it may concern,

My name is Amma Hallak.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Amma Hallak

Additional Comments:

To whom it may concern,

My name is Jarned King.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

Jarned King

Additional Comments:

To whom it may concern,

My name is DOUGLAS McMINNEN WHITE.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



Additional Comments:

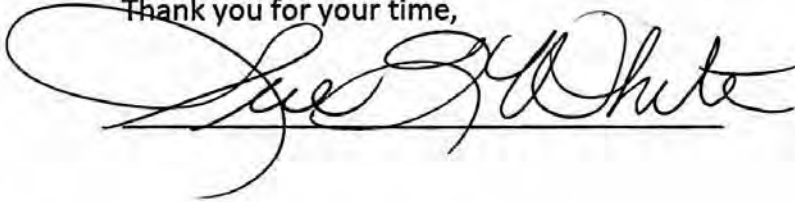
To whom it may concern,

My name is Sue Tatom White.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,

A handwritten signature in cursive script that reads "Sue Tatom White". The signature is written over a horizontal line.

Additional Comments:


To whom it may concern,

My name is Joel Harris.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,



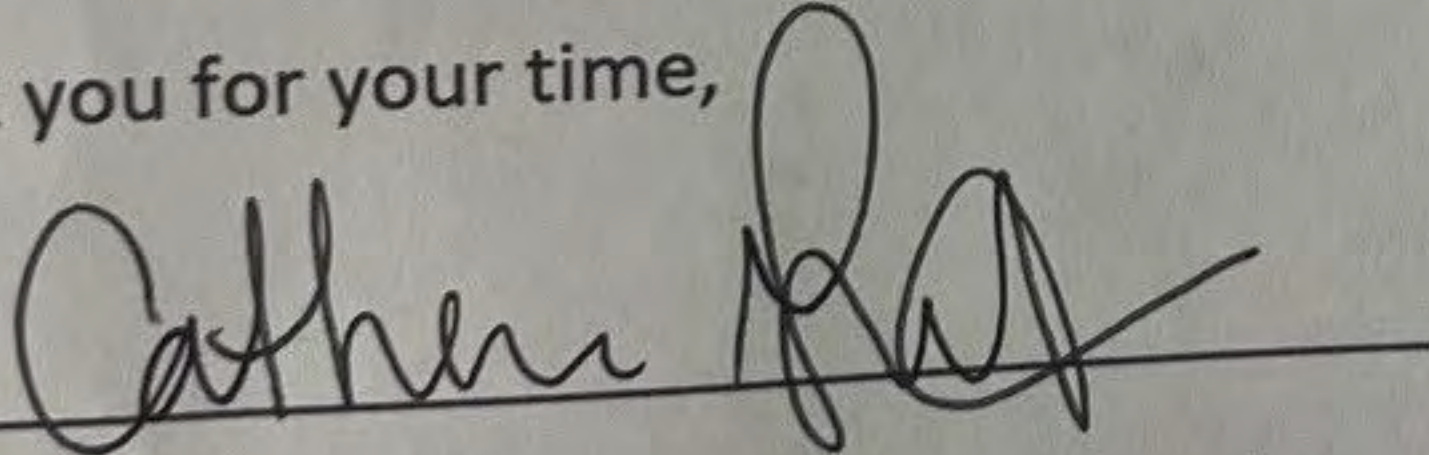
Additional Comments:

To whom it may concern,

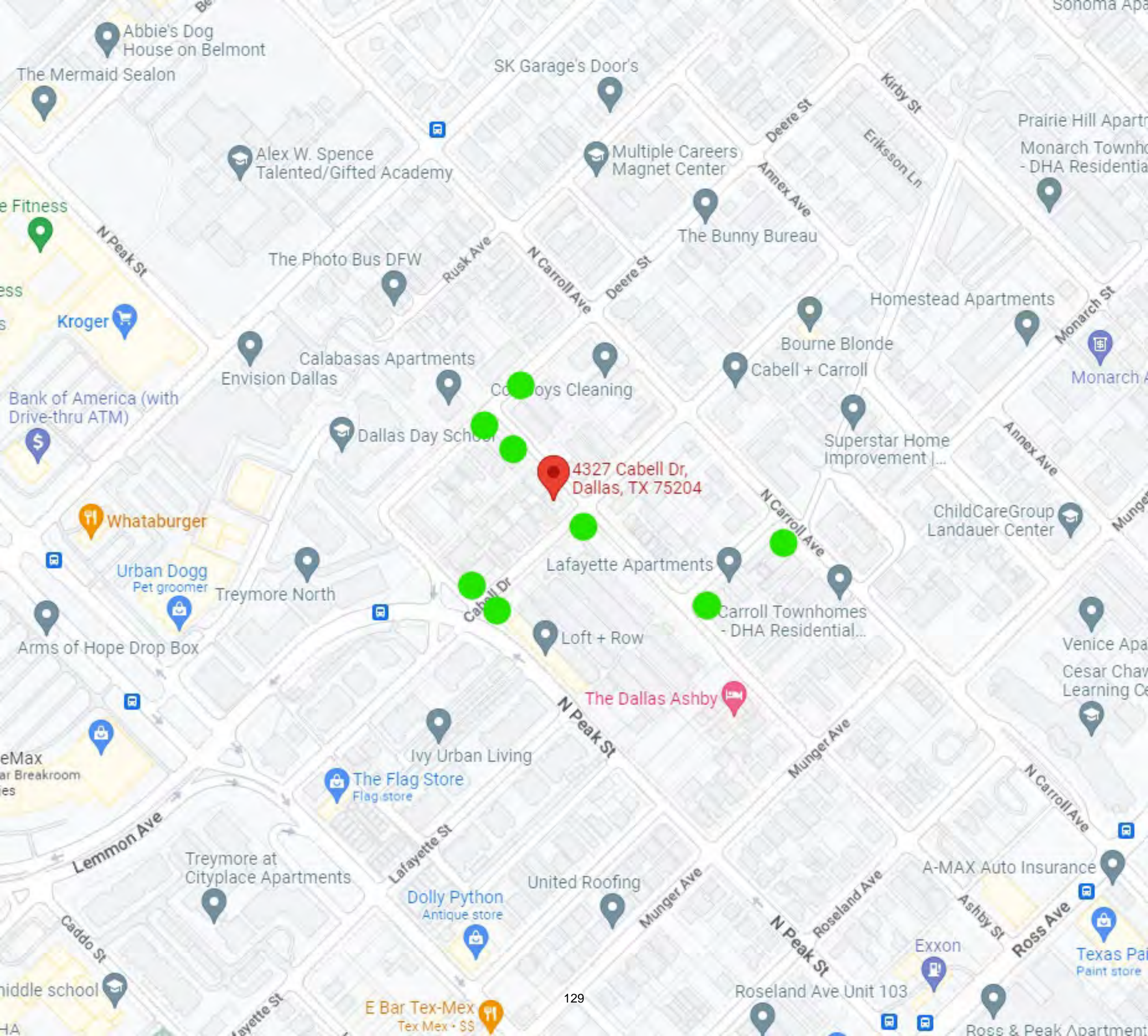
My name is Catherine Grant.

Julia White reached out to me regarding the fence built on her property at 4327 Cabell Drive, Dallas, TX, 75204. I live in Dallas and am in Julia's neighborhood regularly. I have no complaints regarding the fence's height, visibility, or quality. I do not believe the height, materials, or visibility adversely affect the neighborhood in any way. Please use this letter as my support in her efforts to keep her fence as is at the current height with the board or board cedar wood.

In addition, I do not think the fence creates any type of traffic hazard for me.

Thank you for your time,


Additional Comments:



4327 Cabell Dr,
Dallas, TX 75204

The Dallas Ashby

Abbie's Dog House on Belmont

The Mermaid Sealon

SK Garage's Door's

Alex W. Spence Talented/Gifted Academy

Multiple Careers Magnet Center

Prairie Hill Apartments
Monarch Townhome - DHA Residential

e Fitness

The Photo Bus DFW

The Bunny Bureau

Homestead Apartments

Kroger

Envision Dallas

Calabasas Apartments

Co-Boys Cleaning

Bourne Blonde

Cabell + Carroll

Monarch A

Bank of America (with Drive-thru ATM)

Dallas Day School

Superstar Home Improvement |...

Whataburger

ChildCareGroup Landauer Center

Urban Dogg Pet groomer

Treymore North

Lafayette Apartments

Carroll Townhomes - DHA Residential...

Arms of Hope Drop Box

Loft + Row

Venice Apa

Cesar Chav Learning Ce

eMax Car Breakroom

Ivy Urban Living

The Dallas Ashby

The Flag Store Flag.store

Treymore at Cityplace Apartments

Dolly Python Antique store

United Roofing

A-MAX Auto Insurance

Lemmon Ave

Lafayette St

N Peak St

Munger Ave

N Carroll Ave

Caddo St

Lafayette St

E Bar Tex-Mex Tex Mex • SS

129

Roseland Ave Unit 103

Exxon

Ashby St

Ross Ave

Texas Paint store

Ross & Peak Apartment





2007









2206

2206
2206
2206
2206
N. PEAK

2206
2206
2206
2206
N. PEAK

2206
2206
2206
2206
N. PEAK





Cabell Dr 4300











Ashby St
2200



FILE NUMBER: BDA223-020(ND)

BUILDING OFFICIAL'S REPORT: Application of Bangaly Kaba represented by Andrew Thorpe for a variance to the front yard setback regulations at 4502 LELAND AVE. This property is more fully described as Block 2/1762, southwest part of Lot 1, and is zoned PD-595 subdistrict R-5(A), which requires a front yard setback of 20 feet. The applicant proposes to construct a two-story single-family residential structure and provide a 5 foot 6 inch front yard setback, which will require a 14 foot 6 inch variance to the front yard setback regulations.

LOCATION: 4502 Leland Avenue

APPLICANT: Bangaly Kaba/Andrew Thorpe

REQUEST:

A request for a variance to the front yard setback regulations of 14 feet 6 inches is made to construct and/or maintain a two-story single family home structure with an approximately 2,300 square foot building footprint, part of which is to be located 5 feet 6 inches from one of the site's two front property lines (Marburg Street) or 14 feet 6 inches into this 20 foot front yard setback on a site that is undeveloped.

STANDARD FOR A VARIANCE:

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done;
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and
- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

State Law/HB 1475 effective 9-1-21

- the board may consider the following as grounds to determine whether compliance with the ordinance as applied to a structure that is the subject of the appeal would result in unnecessary hardship:
 - (a) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.
 - (b) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development is authorized to physically occur.
 - (c) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
 - (d) compliance would result in the unreasonable encroachment on an adjacent property or easement; or the municipality considers the structure to be a nonconforming structure.

STAFF RECOMMENDATION:

DENIAL

Rationale:

- Staff recommends denial. While staff recognizes that the site is different from most properties zoned R-5(A) in that it has two front yard setbacks, the applicant has not shown by submitting a document listing five properties with equivalencies of corner lot, zoning, and side yard setbacks of five feet of the proposed home on the subject site at approximately 2,300 square feet is commensurate to other homes in the same R-5(A) zoning district.

BACKGROUND INFORMATION:

Zoning:

Site: R-5(A) (Single family district 5,000 square feet)
North: R-5(A) (Single family district 5,000 square-feet)
South: R-5(A) (Single family district 5,000 square-feet)
East: R-5(A) (Single family district 5,000 square-feet)
West: R-5(A) (Single family district 5,000 square-feet)

Land Use:

The subject site is undeveloped. The areas to the north, south, east, and west are developed with single family uses. Areas to the immediate Northwest and Southwest are commercial institutional uses.

Zoning/BDA History:

There has not been any BDA History in the past five years.

GENERAL FACTS /STAFF ANALYSIS:

- This request for variance to the front yard setback regulations of 14 feet 6 inches focuses on constructing and maintaining a two-story single family home structure with an approximately 1,750 square foot building footprint, part of which is to be located 5 feet 6 inches from one of the site's two front property lines (Marburg Street) or 14 feet 6 inches into this 20 foot front yard setback on an undeveloped site.
- The property is located in an R-5(A) zoning district which requires a minimum front yard setback of 20 feet.
- The subject site is located at the southwest corner of Leland Avenue and Marburg Street. The subject site has 20 foot front yard setbacks along both street frontages. The site has a 20 foot front yard setback along Leland Avenue, the shorter of the two frontages, which is always deemed the front yard setback on a corner lot in this zoning district. The site also has a 20 foot front yard setback along Marburg, the longer of the two frontages of this corner lot, which is typically regarded as a side yard where a 5' side yard setback is required. However, the site's Marburg Street frontage that would function as a side yard on the property is treated as a front yard setback nonetheless, to maintain the continuity of the established front yard setback established by lots to the north that front/are oriented northward towards Marburg Street.
- The submitted site plan indicates that the proposed structure is located 5 feet 6 inches from the Marburg front property line or 14 feet 6 inches into this 20 foot front yard setback.
- According to DCAD records there are no improvements listed for property addressed at 4502 Leland Avenue.
- The subject site is flat, rectangular in shape (100' x 50'), and is 5,000 square feet in area. The site is zoned R-5(A) where lots are typically 7,500 square feet in area.
- The site plan represents that approximately 1/2 of the structure is located in the 20' Marburg front yard setback.
- The 50' wide subject site has 25 feet of developable width available once a 20 foot front yard setback is accounted for on Marburg and a 5' side yard setback is accounted for on the parallel yard. If the lot were more typical to others in the zoning district with only one front yard setback, the 50' wide site would have 45 feet of developable width.
- No variance would be necessary if the Marburg frontage were a side yard since the site plan represents that the proposed home is 5 feet 6 inches' from the Marburg Street property line and the side yard setback for properties zoned R-5(A) is 5 feet.

- A submitted floor plan represents that the “total under roof” area of the proposed home is about 2,300square feet. has not shown by submitting a document listing five properties with equivalencies of corner lot, zoning, and side yard setbacks of five feet of the proposed home on the subject site at approximately 2,300 square feet may not be commensurate to other homes in the same R-.5(A) zoning district.
- The applicant has the burden of proof in establishing the following:
 - That granting the variance to the front yard setback regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed and substantial justice done.
 - The variance is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same R-.5(A) zoning classification.
 - The variance would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same R-.5(A) zoning classification.
- If the Board were to grant the variance request, and impose the submitted site plan as a condition, the structure in the front yard setback would be limited to what is shown on this document– which in this case is a structure that would be located 5 feet 6 inches from the site’s Marburg Street front property line (or 14 feet 6 inches into this 20 foot front yard setback).

Timeline:

November 14, 2022:The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

January 5, 2023: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel C.

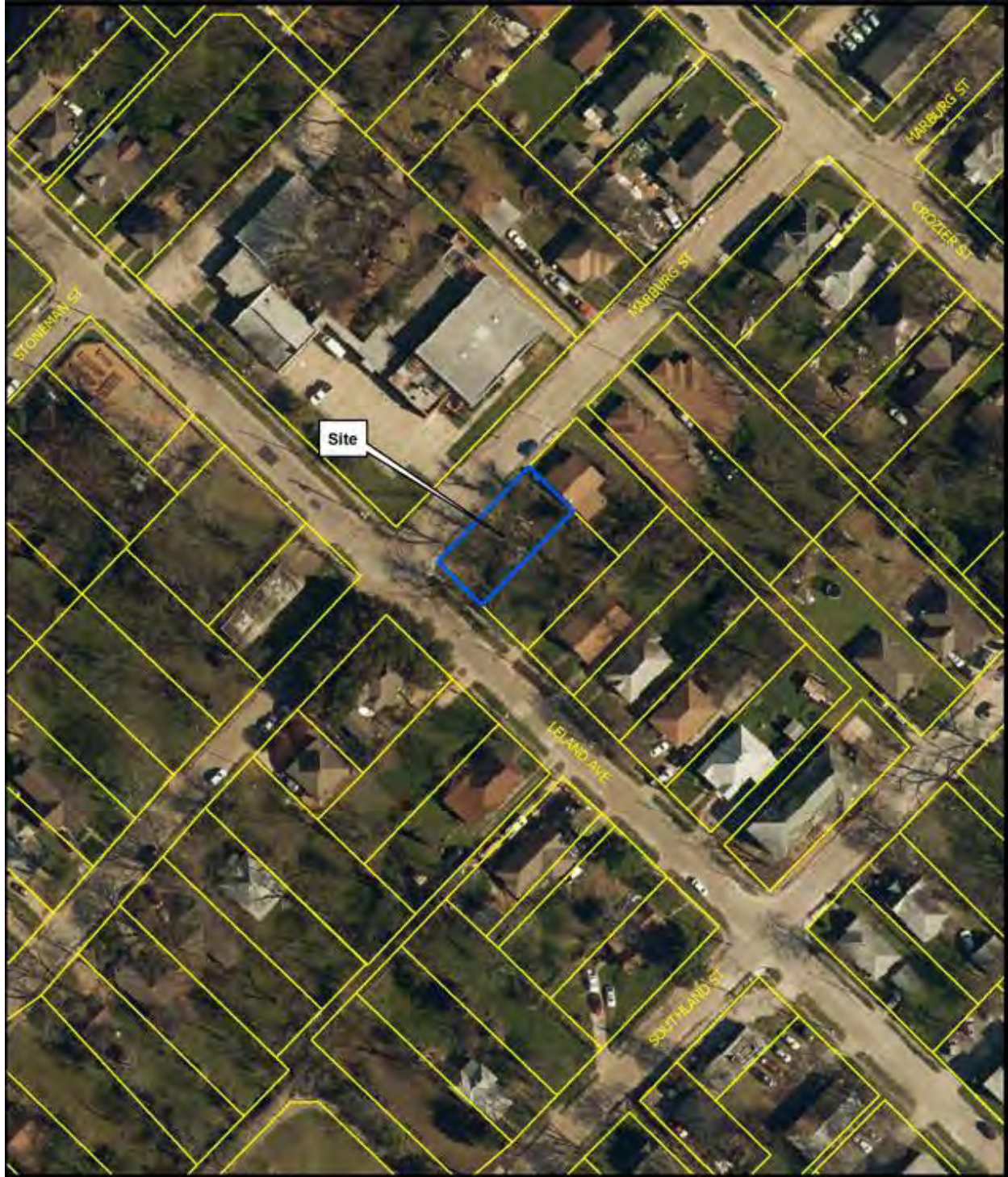
January 20, 2023: The Board of Adjustment Senior Planner emailed the applicant the following information:

- a copy of the application materials including the Building Official’s report on the application
- an attachment that provided the public hearing date and panel that will consider the application; the January 23rd deadline to submit additional evidence for staff to factor into their analysis; and the February 10th deadline to submit additional evidence to be incorporated into the Board’s docket materials
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

January 24, 2023: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the February public hearings. Review team members in attendance included the following: the Board of Adjustment Chief Planner/Board Administrator, the Board of Adjustment Senior Planner, the Board of Adjustment Development Code Specialist, the Board of Adjustment Consultant, the Chief Arborist, Development Services Senior Engineers, and the Board Attorney.

No review comment sheets were submitted in conjunction with this application.

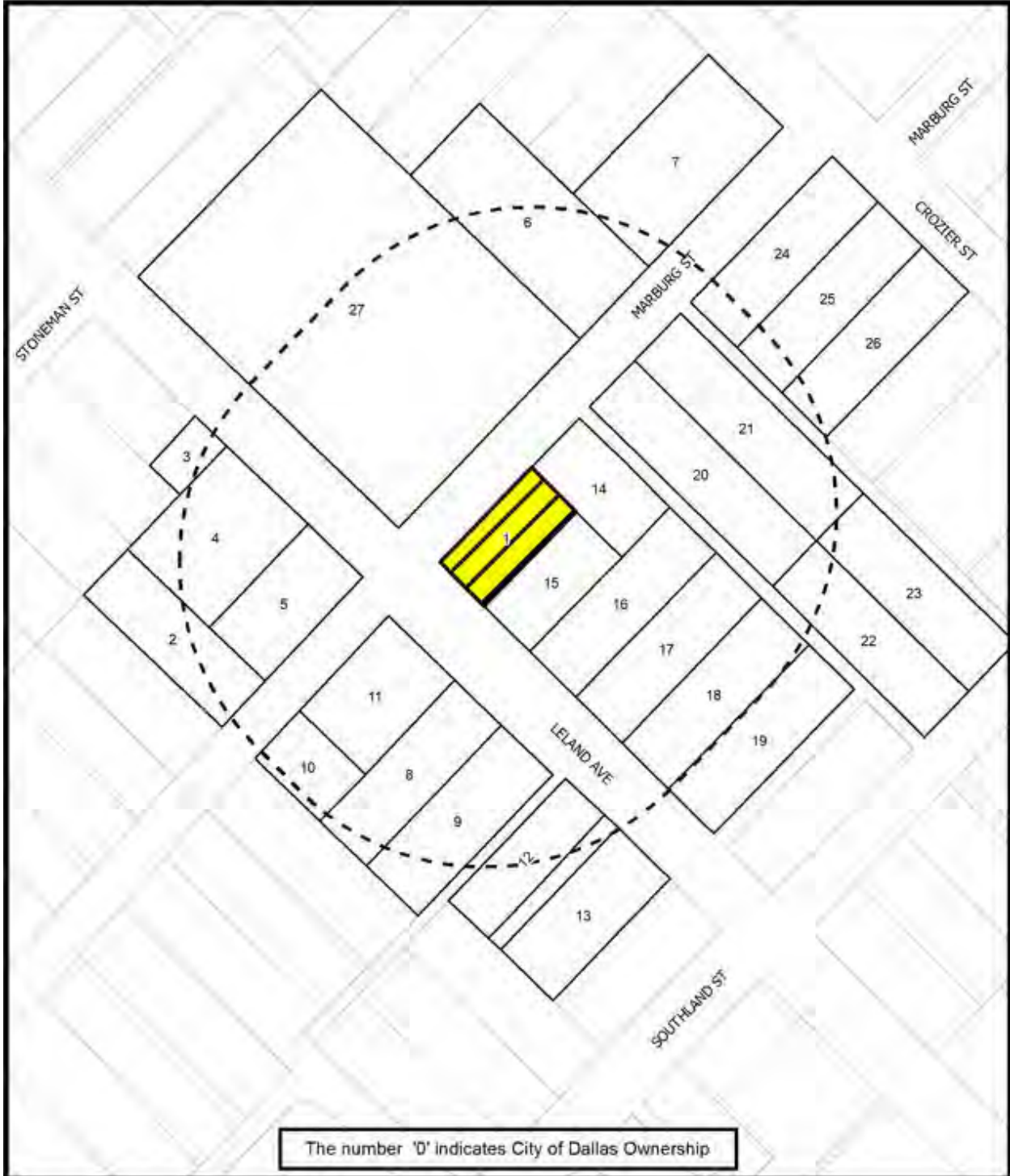
January 26, 2023: The applicant emailed additional documentary evidence which will be considered Attachment A and includes written testimony, chart, and pictures.




1:1,200

AERIAL MAP

Case no: BDA223-020
Date: 1/23/2023




 1:1,200

NOTIFICATION

200' AREA OF NOTIFICATION
27 NUMBER OF PROPERTY OWNERS NOTIFIED

Case no: BDA223-020
 Date: 1/23/2023

01/23/2023

Notification List of Property Owners

BDA223-020

27 Property Owners Notified

| <i>Label #</i> | <i>Address</i> | <i>Owner</i> |
|-----------------------|-----------------------|-------------------------------|
| 1 | 4502 LELAND AVE | KABINE N CO LLC |
| 2 | 2325 MARBURG ST | PATTERSON PRINE ELLA |
| 3 | 4410 LELAND AVE | DALLAS BETHLEHEM CTR INC |
| 4 | 4417 LELAND AVE | PIPKINS RODERICK A & |
| 5 | 4423 LELAND AVE | STEVE GRAHAM & COMPANY |
| 6 | 2419 MARBURG ST | JACKSON JOYCE M |
| 7 | 4429 CROZIER ST | ORELLANA JOSE DAVID & |
| 8 | 4507 LELAND AVE | TRED HOLDINGS LP |
| 9 | 4511 LELAND AVE | BRAJOR VENTURES LLC |
| 10 | 2322 MARBURG ST | WARREN EDGAR EARL & |
| 11 | 4503 LELAND AVE | Taxpayer at |
| 12 | 4515 LELAND AVE | SANCHEZTINAJERO GAUDENCIO & |
| 13 | 4519 LELAND AVE | NASH HOMES LLC |
| 14 | 2410 MARBURG ST | MCCLELLAN QUENTIN |
| 15 | 4506 LELAND AVE | INCLINE DEVELOPMENT GROUP INC |
| 16 | 4510 LELAND AVE | DONALDSON VERTA M |
| 17 | 4514 LELAND AVE | AOJ HOLDINGS LLC |
| 18 | 4518 LELAND AVE | LOPEZ KARINA |
| 19 | 4522 LELAND AVE | DUNN R T JR EST OF |
| 20 | 2416 MARBURG ST | HUBBARD JOHN W & WANDA |
| 21 | 2418 MARBURG ST | BIRCH DORIS A |
| 22 | 2415 SOUTHLAND ST | WILKINS BETTY |
| 23 | 2417 SOUTHLAND ST | JIMMERSON ROSIE |
| 24 | 4501 CROZIER ST | ROGERS GEORGE & ANN |
| 25 | 4505 CROZIER ST | TONEY SAMMIE J |
| 26 | 4509 CROZIER ST | LOTAR INVESTMENTS LLC |

01/23/2023

| <i>Label #</i> | <i>Address</i> | <i>Owner</i> |
|----------------|-----------------|------------------|
| 27 | 4410 LELAND AVE | DALLAS BETHLEHEM |



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-020

Date: 11/14/22

Data Relative to Subject Property:

Location address: 4502 Leland Ave, Dallas, TX Zoning District: PD 595 (R-5M)
Lot No.: PT1 Block No.: 2/1762 Acreage: .114 Census Tract: _____
Street Frontage (in Feet): 1) 50 2) 100 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Kabine N Co LLC

Applicant: Bangaly Kaba Telephone: 832-713-9102

Mailing Address: 3538 Lanesborough Dr, Missouri City, TX Zip Code: 77459

E-mail Address: Bangalykaba33@yahoo.com

Represented by: Andrew Thorpe Telephone: 972-352-7901

Mailing Address: 4417 Browning Ln Grand Prairie, TX Zip Code: 75052

E-mail Address: Dj.thorpe23@yahoo.com

Affirm that an appeal has been made for a Variance 4.5, or Special Exception , of requesting 14.5 foot variance to Marburg St setback

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

Building a home with a setback of 25 ft along Leland Ave and requesting 14.5 ft variance along Marburg St

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Bangaly Kaba

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Bangaly Kaba

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 14th day of December, 2022

Notary Public in and for Dallas County, Texas

MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied _____

Remarks _____

Chairman

Building Official's Report

I hereby certify that BANGALY KABA
represented by ANDREW THORPE
did submit a request for a variance to the front yard setback regulations
at 4502 LELAND AVENUE

BDA223-020. Application of BANGALY KABA represented by ANDREW THORPE for a variance to the front yard setback regulations at 4502 LELAND AVE. This property is more fully described as Block 2/1762, southwest part of lot 1, and is zoned PD-595 subdistrict R-5(A), which requires a front yard setback of 20 feet. The applicant proposes to construct a single-family residential structure and provide a 5 foot 6 inch front yard setback, which will require a 14 foot 6 inch variance to the front yard setback regulations.

Sincerely,


David Session, Building Official

CITY OF DALLAS PLAT BOOKS

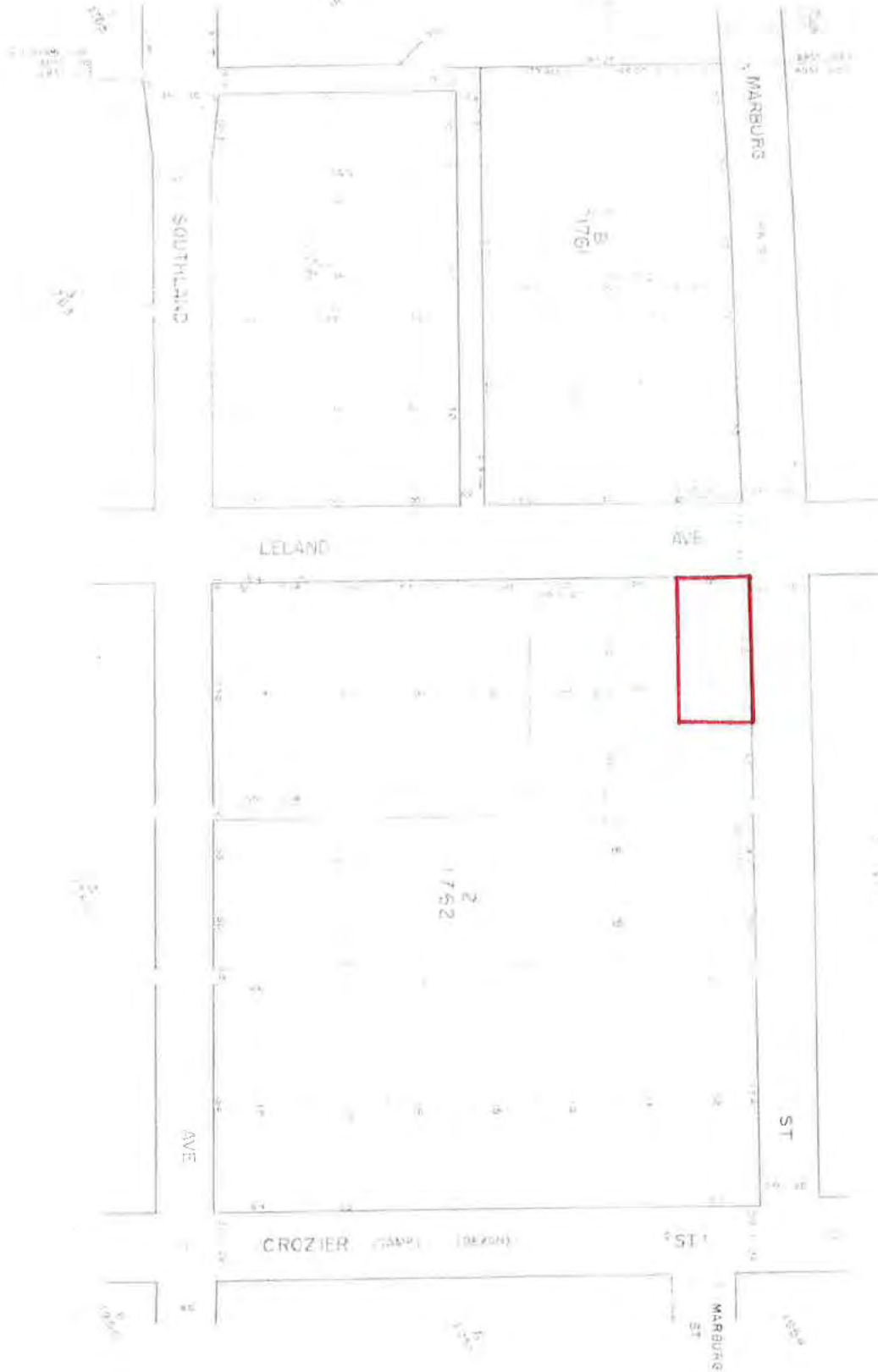
ANNEXED SURVEY 4 LANDLBY

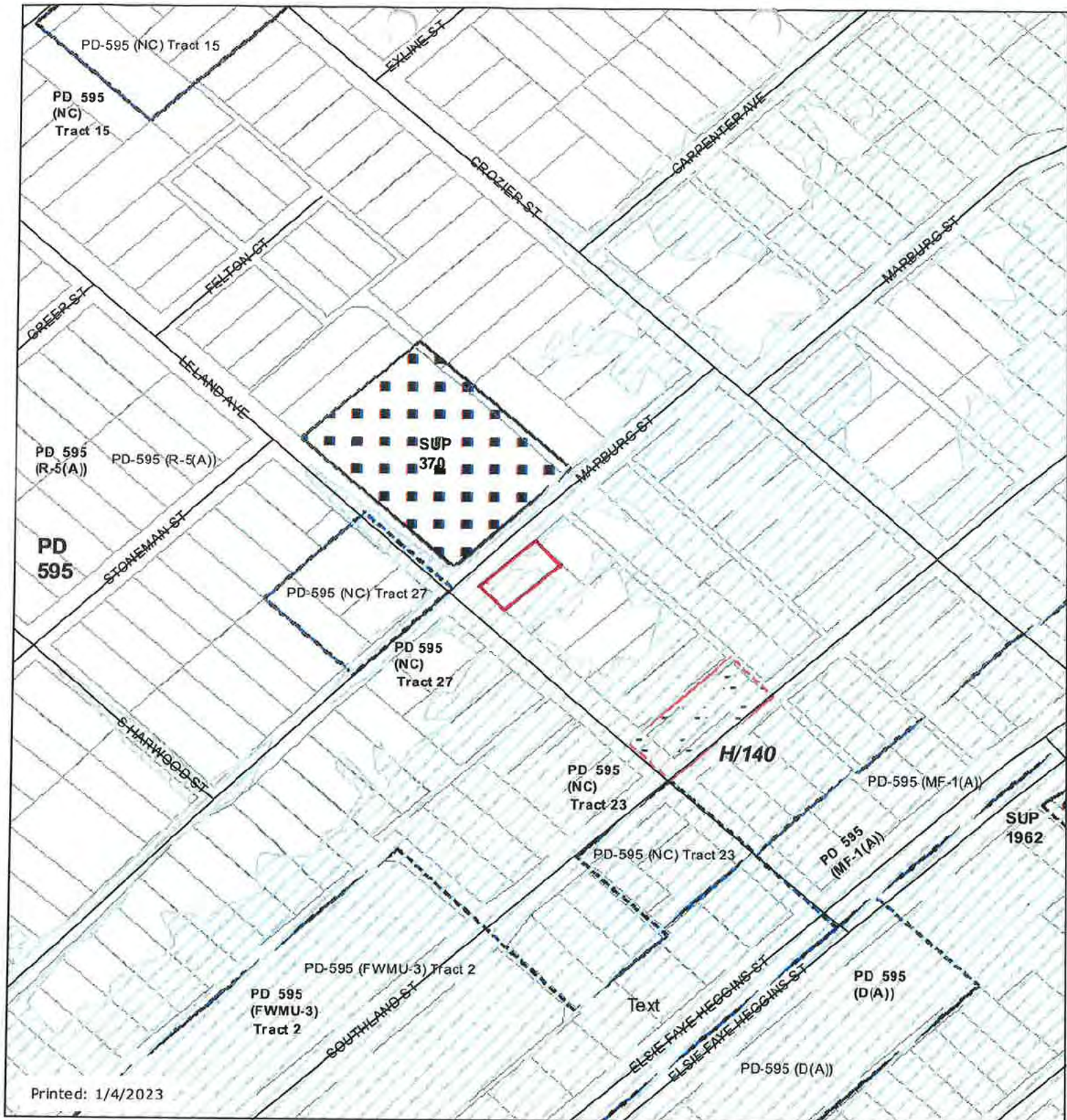
ADDITION

SCALE 50 FT EQUALS 1 INCH

BLK 13 A 2
1751 1762
SCHOOL DISTRICT DALLAS

ORIG. NO. ASST. 503





Printed: 1/4/2023

-  City Limits
-  Floodplain
-  0.2 Pct Annual Flood Hazard
-  Certified Parcels
-  Base Zoning
-  SUP
-  Historic Overlay
-  PD Subdistricts
-  PDS Subdistricts

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. (Texas Government Code § 2051.102)



FUTURE RESIDENCE

4502LELAND AVENUE, DALLAS, TX 75215

URBAN NEST
development
5555 amesbury drive
dallas, tx
75206
817.522.6248
demont@urbannestdevelopment.com

SG MODERN PROPERTIES
FUTURE RESIDENCE AT 4502 LELAND AVENUE

STANDARD ABBREVIATIONS

| | | |
|------------------------------|--------------------------------------|------------------------------|
| SF-SQUARE FEET | EG-END GUARD | MTL-METAL |
| SIM-SIMILAR | EGB-EXTERIOR GYPSUM BOARD | MTP-METAL TRIM PAINT |
| SPECS-SPECIFICATIONS | EJ-EXPANSION JOINT | MVF-MEDIUM VINYL FABRIC |
| SR-STRAIGHT RUBBER BASE | EP-EPOXY PAINT | NA-NOT APPLICABLE |
| SS-STAINLESS STEEL | ES-EPOXY SEMI-GLOSS | NIC-NOT IN CONTRACT |
| SSM-SOLID SURFACE MATERIAL | ETR-EXISTING TO REMAIN | NTS-NOT TO SCALE |
| STD-STANDARD | EWC-ELECTRIC WATER COOLER | O-OWNER |
| STL-STEEL | EWHE-ELECTRIC WATER HEATER | OA-OVER ALL |
| SV-SHEET VINYL | EXIST-EXISTING | OC-ON CENTER |
| T-TABLE | EXP-EXPOSED STRUCTURE | OD-OUTSIDE DIMENSION |
| TA-TOUCHLESS ACTUATOR | EXT-EXTERIOR | OH-OVERHEAD |
| TB-TACKBOARD | FA-FIRE ALARM | OPNG-OPENING |
| TEL-TELEPHONE | FEC-FIRE EXTINGUISHER CABINET | P-PAINT |
| TILT-TOILET | FHC-FIRE HOSE CABINET | PC-PRECAST CONCRETE PANEL |
| TPART-TOILET PARTITION | FIN-FINISH | PE-PAINT-EPOXY |
| TUSV-TURNED-UP SHEET VINYL | FLR-FLOOR | PES-PAINT-EPOXY SEMI GLOSS |
| TV-TELEVISION | FW-FACE OF WALL | PF-PAINT-FLAT FINISH |
| TYP-TYPICAL | FR-FIRE RESISTANT | PL-PLASTER |
| UNO-UNLESS NOTED OTHERWISE | FT-FINISH FLOOR TRANSITION | PLAM-PLASTIC LAMINATE |
| V-VENDOR | FWC-FABRIC WALL COVERING | PLYWD-PLYWOOD |
| VAT-VINYL ASBESTOS TILE | CFI-GROUND FAULT INTERRUPTER | POR-PORCELAIN TILE |
| VC-VARIEGATED COATING | GL-GLASS | PP-PUSH PAD |
| VCT-VINYL COMPOSITION TILE | GR-GROUT | PRELIM-PRELIMINARY |
| VERT-VERTICAL | GWB-GYPSUM WALLBOARD | PS-PAINT-SEMI-GLOSS |
| VIF-VERIFY IN FIELD | HDW-HARDWARE | PTB-PORCELAIN TILE BASE |
| VSF-VERTICAL SURFACE FABRIC | HGT-HEIGHT | PTM-PATCH TO MATCH |
| VPL-VENEER PLASTER | HM-HOLLOW METAL | PTS-PNEUMATIC TUBE SYSTEM |
| WVC-VINYL WALL COVERING | HORZ-HORIZONTAL | RAD-RADIUS |
| W/WITH | HR-HANDRAIL | RB-RUBBER BASE |
| W/O-WITHOUT | HWSV-HEAT WELDED SHEET VINYL | REF-REFERENCE |
| WB-WOOD BASE | HVH-HEAVY VINYL FABRIC | REV-REVISED OR REVISION |
| WC-WALL CARPET | ID-INSIDE DIMENSION | RF-RUBBER FLOORING |
| WCM-WOOD CROWN MOLDING | INCA-INCANDESCENT | RM-ROOM |
| WD-WOOD | INSUL-INSULATION | RQD-REQUIRED |
| WDW-WINDOW | LAM-LAMINATE | SA-SOUND ATTENUATION |
| WP-WALL PROTECTION | MAT-MATERIAL | SC-SEALED CONCRETE |
| WR-WALL RAIL | MRACT-MOISTURE RESISTANT | SCS-SUSPENDED CEILING SYSTEM |
| WSSV-WELDED SEAM SHEET VINYL | ACOUSTICAL CEILING | SCHED-SCHEDULE |
| XCT-EXISTING CERAMIC TILE | TILE | |
| DWG-DRAWING | MRCB-MOISTURE RESISTANT GYPSUM BOARD | |

INDEX OF DRAWINGS

| SHEET NUMBER | SHEET NAME | ISSUE DATE | REVISION |
|--------------|------------------------------|------------|----------|
| G100 | COVER SHEET | 01-10-2022 | |
| G101 | SITE PLAN | 01-10-2022 | |
| S100 | FOUNDATION PLAN | 01-10-2022 | |
| S101 | STRUCTURAL DETAILS | 01-10-2022 | |
| A100 | FIRST FLOOR PLAN | 11-04-2021 | |
| A101 | SECOND FLOOR PLAN | 01-10-2022 | |
| A102 | ROOF PLAN | 01-10-2022 | |
| A103 | WINDOW & DOOR SCHEDULE | 01-10-2022 | |
| A300 | FIRST FLOOR ELECTRICAL PLAN | 11-04-2021 | |
| A301 | SECOND FLOOR ELECTRICAL PLAN | 01-10-2022 | |
| A400 | EXTERIOR ELEVATIONS | 01-10-2022 | |
| A401 | EXTERIOR ELEVATIONS | 01-10-2022 | |
| A402 | WALL SECTION | 01-10-2022 | |
| A500 | WINDOW DETAILS | 01-10-2022 | |
| A600 | FRAMING DETAILS | 01-10-2022 | |
| P100 | 1ST FLOOR PLUMBING PLAN | 01-10-2022 | |
| P101 | 2ND FLOOR PLUMBING PLAN | 01-10-2022 | |

APPLICABLE CODES

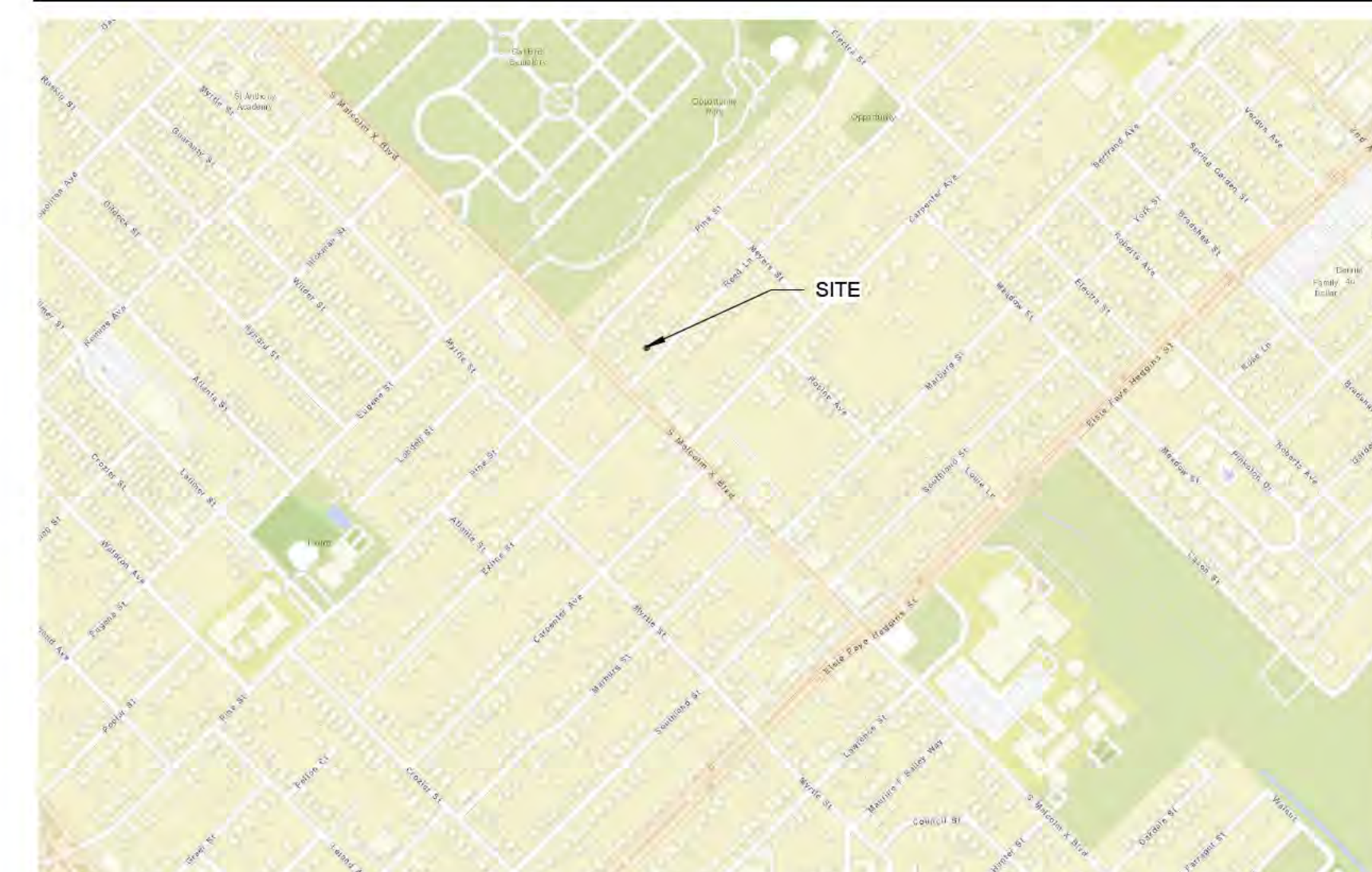
| | |
|---------------|---|
| BUILDING CODE | 2015 International Building Code with Dallas Amendments |
| | 2015 International Plumbing Code with Dallas Amendments |
| | 2015 International Mechanical Code with Dallas Amendments |
| | 2017 National Electrical Code with Dallas Amendments |
| | 2015 International Residential Code with Dallas Amendments |
| | 2015 International Green Construction Code with Dallas Amendments |

PROJECT SCOPE

THIS PROJECT CONSISTS OF THE NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE ON AN EXISTING VACANT CONFORMING LOT. THIS PROJECT CONSIST OF NEW CONSTRUCTION ONLY.

| | |
|-----------------------|--|
| OCCUPANCY: | R - RESIDENTIAL |
| ZONING: | R5(A) |
| TYPE OF CONSTRUCTION: | TYPE VB - UNPROTECTED |
| CONSTRUCTION: | 2X4 FRAMING CONCRETE SLAB ON GRADE ROOF TRUSSES & BUILT-UP ROOF SYSTEM |

VICINITY MAP



DESIGNER

STRUCTURAL ENGINEER

URBAN NEST DEVELOPMENT LLC
5555 AMESBURY DRIVE
DALLAS, TX
75206
817.522.6248
www.urbannestdevelopment.com

NORTEX FOUNDATION DESIGNS, INC.
BRANDI STEWARD
4416 KELLER HICKS ROAD
FORT WORTH, TX 76244
817.379.0866
www.nortexfoundation.com

| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | |
| Revision: | |
| Revision: | |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

COVER SHEET

G100

GENERAL SITE PLAN NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' = 6' - 6"

SITE INFORMATION

ZONING: R-5A
 LEGAL DESCRIPTION: BLK 2/1762 LT 1 WILSONS SUBDIVISION
 ADDRESS: 4502 LELAND AVENUE DALLAS, TEXAS 75215 NEIGHBORHOOD: 1DSA06 MAPCO: 56-C (DALLAS)
 EXISTING USE: RESIDENTIAL

AREA CALCULATIONS

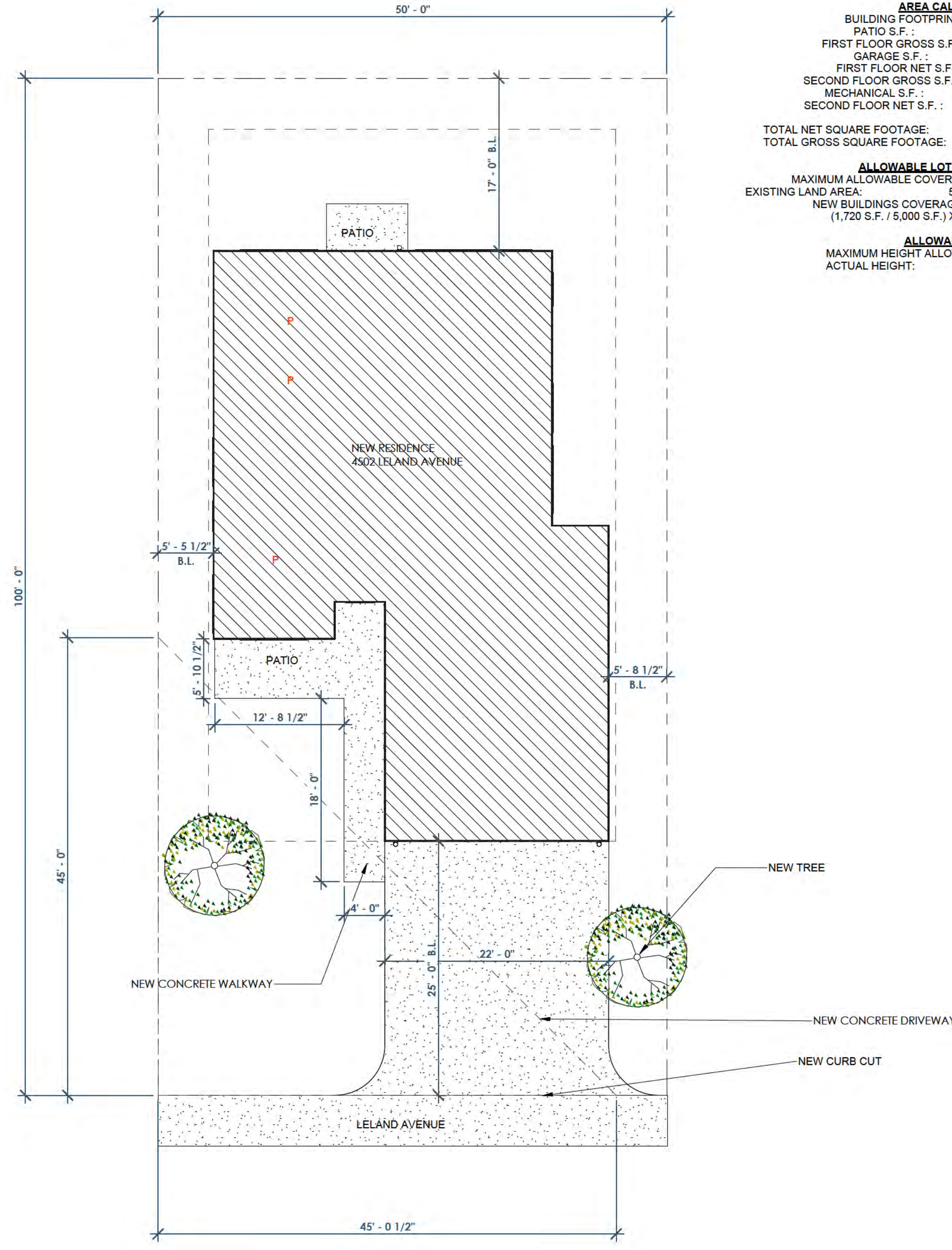
BUILDING FOOTPRINT: 1,750 S.F.
 PATIO S.F.: 243 S.F.
 FIRST FLOOR GROSS S.F.: 1,720 S.F.
 GARAGE S.F.: 500 S.F.
 FIRST FLOOR NET S.F.: 1,220 S.F.
 SECOND FLOOR GROSS S.F.: 1,117 S.F.
 MECHANICAL S.F.: 7 S.F.
 SECOND FLOOR NET S.F.: 1,110 S.F.
 TOTAL NET SQUARE FOOTAGE: 2,330 S.F.
 TOTAL GROSS SQUARE FOOTAGE: 2,637 S.F.

ALLOWABLE LOT COVERAGE

MAXIMUM ALLOWABLE COVERAGE: 45%
 EXISTING LAND AREA: 5,000 SQ. FT.
 NEW BUILDINGS COVERAGE: (1,720 S.F. / 5,000 S.F.) X 100 = 35%

ALLOWABLE HEIGHT

MAXIMUM HEIGHT ALLOWED: 30'-0"
 ACTUAL HEIGHT: 27'-7"



1 Site
 1/8" = 1'-0"

SG MODERN PROPERTIES
 FUTURE RESIDENCE AT 4502 LELAND AVENUE

| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | |
| Revision: | |
| Revision: | |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
 © URBAN NEST DEVELOPMENT LLC, 2020

21037

SITE PLAN

G101

DESIGN

- THIS CONVENTIONAL STEEL REINFORCING FOUNDATION HAS BEEN DESIGNED USING ACCEPTABLE ENGINEERING PRACTICE AND IN ACCORDANCE WITH THE REQUIREMENTS AS SET FORTH BY THE GOVERNING INTERNATIONAL RESIDENTIAL CODE AND THE LATEST AMERICAN CONCRETE INSTITUTE AC308.
- DESIGNED BEAM SIZES, BEAM SPACING, STEEL QUALITIES AND SPACING SHOWN ARE MINIMUM REQUIREMENTS NEEDED TO ALLOW THE STRUCTURAL SYSTEM TO ADEQUATELY PERFORM IN CONJUNCTION WITH DESIGNED INFORMATION LISTED IN THE ABOVE REFERENCED PUBLICATION. THE INTENT IS NOT TO ELIMINATE SOIL MOVEMENT, BUT TO LIMIT FOUNDATION FLEXURE DURING INEVITABLE DIFFERENTIAL MOVEMENT.
- THE DESIGN DOES NOT ALLOW FOR IMPROPER DRAINAGE, TREES LOCATED CLOSER THAN THEIR MATURE HEIGHT TO THE FOUNDATION, IMPROPER MAINTENANCE, OR ERRORS AND NEGLIGENCE BY THE PERSONS PERSONS CONTRACTED TO FOLLOW THIS DESIGN. IMPROPER MAINTENANCE IS DEFINED BY LACK OF UNIFORM SYSTEMATIC WATERING ON ALL SIDES OF THE FOUNDATION. SEE CONSTRUCTION AND REFER TO MAINTENANCE SCHEDULE SUPPLIED WITH INVOICE.

MATERIALS

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
- ALL CONVENTIONAL REINFORCING SHALL BE NEW BILLET STEEL CONFORMING TO A.S.T.M. A-615 GRADE 60. REINFORCEMENT SHALL BE OF RUST AND DELETERIOUS MATERIALS.
- ADDMIXTURES SHOULD NOT CONTAIN ANY CHEMICALS IN QUANTITY THAT MAY HAVE A HARMFUL EFFECT ON THE STEEL OR CEMENT. CHLORIDES, SULFATES AND NITRATES SHOULD NOT BE USED.

CONSTRUCTION

- ALL BEAMS SHOULD BE EXCAVATED AS FOLLOWS UNLESS SPECIFIED OTHERWISE BY THE GEOTECHNICAL ENGINEER.
 - ALL BEAMS MUST EXTEND 12" INTO UNDISTURBED (ORIGIN) SOIL. BEAM DEPTHS MAY BE SLOPED OR INCREASED AS MUCH AS 24" WITHOUT ADDITIONAL REINFORCING. WHEN BEAM DEPTH EXCEEDS 36" CONTACT DESIGN ENGINEER FOR ADDITIONAL REINFORCING REQUIREMENTS.
 - ALL FILL UNDER SLAB MUST BE COMPACTED TO 90% OF STANDARD PROCTOR DENSITY (ASTM D698) AND CONFORM TO FIN SHEET P-10. ALL FILL SOIL UNDER SLAB SHALL BE PLACED IN STRICT ACCORDANCE WITH THE SOIL ENGINEER'S SPECIFICATIONS. THE SOIL ENGINEER SHALL CERTIFY THE FILL SOIL.
- PARTIAL PIERING OF FOUNDATION IS PROHIBITED. PIERS MAY BE USED ONLY IF THEY ARE SPECIFICALLY SHOWN IN THE DESIGN. REFER TO PIER SCHEDULE FOR DIAMETER, DEPTH, AND REINFORCING REQUIRED. PIERS MAY BE TERMINATED WHEN SOIL ROCK (AS PER RETAINAL IS ENCOUNTERED). PIERS TOPS SHOULD BE CLEAN AND EXPOSED TO THE BEAM.
- FINAL GRADING SHALL BE DONE USING SAND OR NON-CAPILLARY MATERIAL. WATERPROOFING IS REQUIRED IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE SECTION 1805 FOR RESIDENTIAL STRUCTURES OR INTERNATIONAL BUILDING CODE SECTION 1805 FOR COMMERCIAL STRUCTURES UNLESS REQUIREMENTS OF LOCAL AMENDMENTS ARE MORE STRINGENT.
- SITE GRADING AND DRAINAGE AROUND THE FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT UNDER OR ADJACENT TO THE SLAB.
- CONTRACTOR IS RESPONSIBLE TO ADVISE OWNER AND OCCUPANT OF PROPER FOUNDATION MAINTENANCE. MOISTURE CONTENT SHOULD BE KEPT CONSISTENT ANNUALLY WITH CONSIDERATION TO SEASONAL CHANGES FROM SLAB. IT IS IMPERATIVE TO PRESERVE THE PERFORMANCE OF THE FOUNDATION. REFER TO MAINTENANCE SCHEDULE SUPPLIED WITH INVOICE.
- TRENCHES FOR DEEP PLUMBING LINES SHOULD NOT BE LOCATED DIRECTLY UNDER BEAMS. TAMPING OF BACK FILL AT PLUMBING LINES IS REQUIRED PRIOR TO FINAL GRADING.
- PROVIDE MINIMUM 5 MIL POLYETHYLENE POLY SHALL NOT BRIDGE OVER THE BOTTOM OF THE BEAMS AND SHALL BE LAID FLAT ON THE SIDES OF THE TRENCHES AND SUPPORTED OF THE PADS TO AVOID AIR POCKETS AND PREVENT INSULATION OF GROUNDING ELECTRODE. NO POLY ALLOWED IN BOTTOM OF BEAMS.

GENERAL

- THIS DRAWING IS PRIMARILY FOR BEAM AND STEEL PLACEMENT. THE CONTRACTOR IS REQUIRED TO COORDINATE THIS FOUNDATION PLAN WITH THE ARCHITECTURAL DRAWING FOR OFFSETS, DROPS, OPENINGS AND INSERTED ITEMS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION OF THE SLAB.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. THIS DOCUMENT AND ANY ACCOMPANYING DESIGN DOCUMENT IS NULL AND VOID IF NOT ACCOMPANIED BY AN ENGINEER OF RECORD SEAL AND SIGNATURE. ANY REPRODUCTION OR REUSE OR DISCLOSURE BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. THIS PLAN AND ITS SPECIFICATIONS CONTAIN PROPRIETARY INFORMATION AND ARE THE SOLE PROPERTY OF NORTEX FOUNDATION DESIGNS, INC., FORT WORTH, TEXAS.

**** A PRE-POUR INSPECTION FOR THIS FOUNDATION ** MUST BE ACCOMPLISHED BY THE DESIGN ENGINEER OF RECORD FOR THE FOUNDATION, OR A CERTIFIED LAB.**

NOTICE:
ALL POST TENSION MATERIALS TO BE SUPPLIED BY A POST TENSION INSTALLER CERTIFIED FABRICATOR.

"DO NOT USE THIS PLAN TO SET FORM BOARDS"

INSPECTION NOTES

- NO INSPECTION APPROVAL WILL BE GRANTED IF THE FULL SET OF ENGINEERED PRINTS IS NOT PRESENT AND OBTAINABLE ON THE JOB SITE.
- INSPECTIONS ARE SCHEDULED IN ADVANCED FOR THE MORNINGS OR AFTERNOONS. NO OTHER SPECIFIC TIMES CAN BE GIVEN.
- IT IS IMPORTANT TO SCHEDULE PRE-POUR INSPECTIONS WELL BEFORE THE SCHEDULED CONCRETE PLACEMENT AND AFTER THE INSTALLATION IS COMPLETE.
- INSPECTIONS ARE REQUIRED ON ALL NORTEX FOUNDATION DESIGNS. THE COMPLIANCE LETTER WILL BE PROVIDED WHEN THE INSPECTION IS PASSED.

"NORTEX INSPECTIONS CAN BE ORDERED AT 817-379-0866"

NOTE:
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. THIS DOCUMENT AND ANY ACCOMPANYING DESIGN DOCUMENT IS NULL AND VOID IF NOT ACCOMPANIED BY AN ORIGINAL DESIGN LETTER, SIGNED AND SEALED BY THE ENGINEER OF RECORD. ANY REPRODUCTION OR REUSE, OR DISCLOSURE BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. THIS PLAN AND ITS SPECIFICATIONS CONTAIN PROPRIETARY INFORMATION AND ARE THE SOLE PROPERTY OF NORTEX FOUNDATION DESIGNS, INC., FORT WORTH, TEXAS.

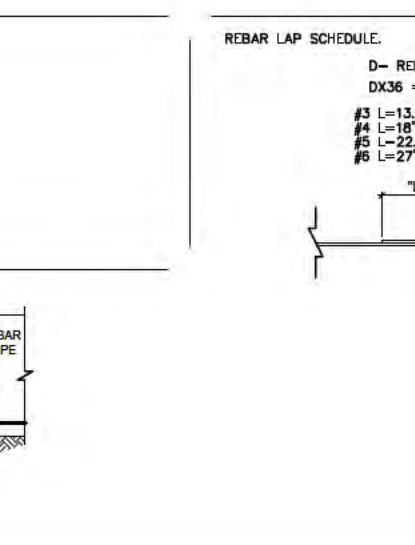
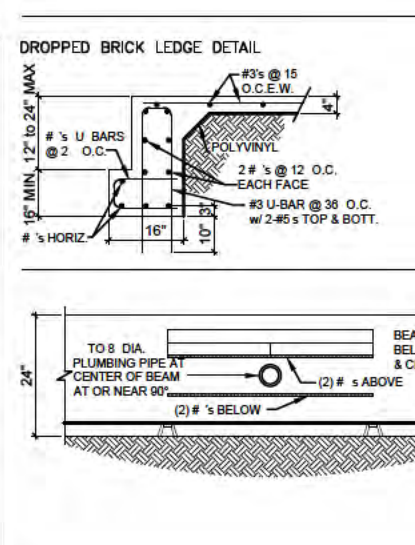
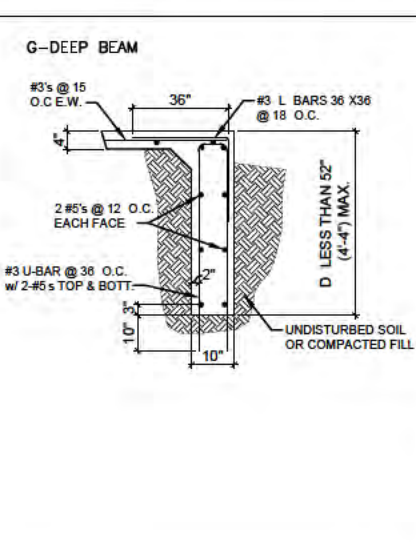
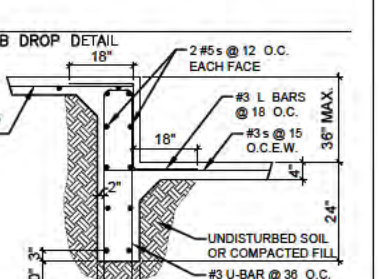
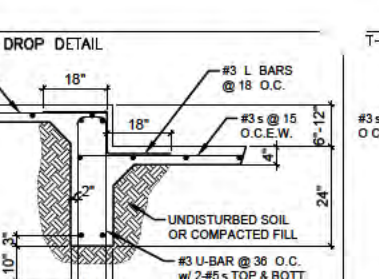
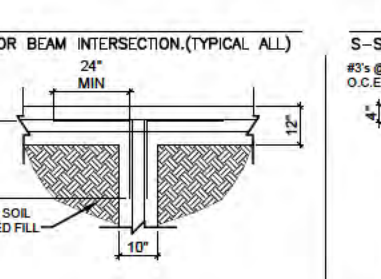
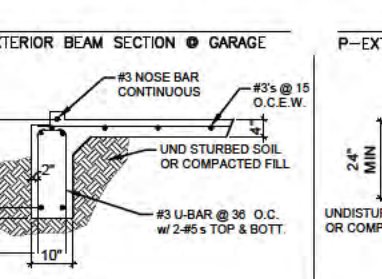
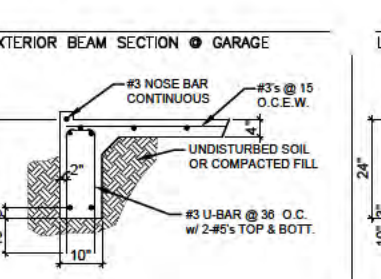
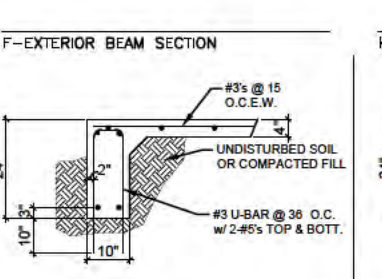
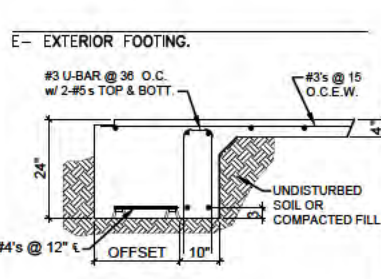
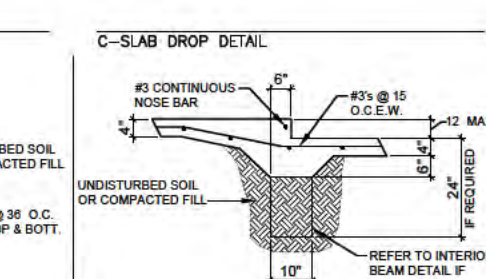
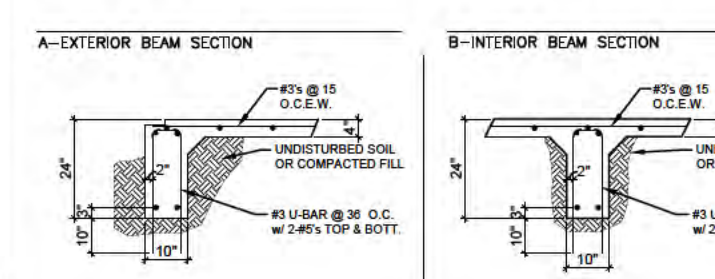
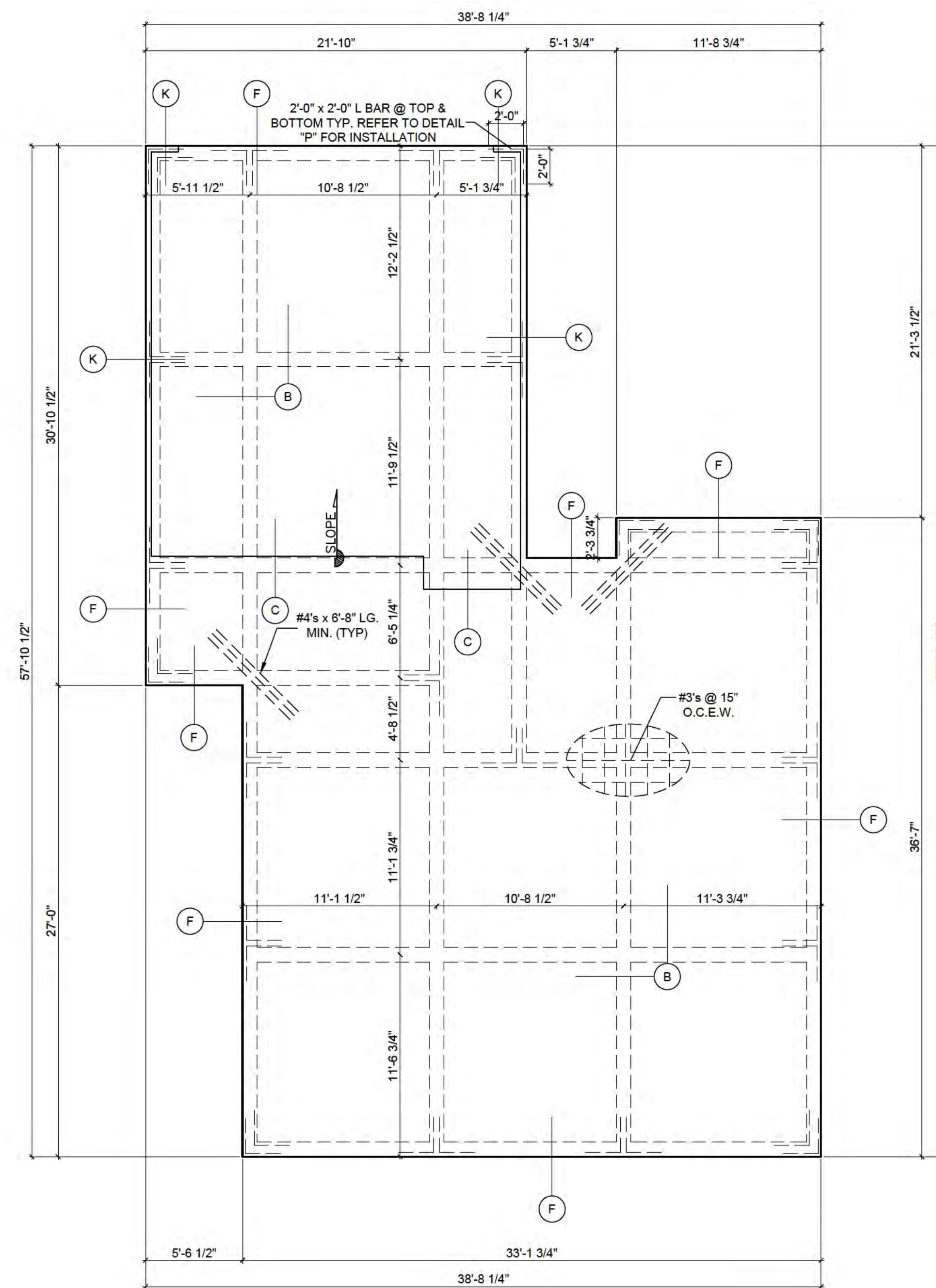
SLAB & BEAM REINFORCEMENT SCHEDULE

NOTE:
4" THICK SLAB WITH #3's @ 15" O.C.E.W. IN SLAB.

(2) #5's @ TOP & BOTTOM OF ALL BEAMS WITH #3 U-BARS @ 36" O.C.

SPECIAL FOUNDATION NOTES

1. THIS DRAWING IS PRIMARILY FOR BEAM AND STEEL. THE CONTRACTOR IS REQUIRED TO COORDINATE THIS FOUNDATION PLAN WITH THE ARCHITECTURAL DRAWING FOR OFFSETS, DROPS, OPENINGS AND INSERTED ITEMS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE CONSTRUCTION OF SLAB. NORTEX CANNOT BE HELD LIABLE FOR ANY CONTRACTOR OVERSIGHT IN THIS REGARD.



NORTEX FOUNDATION DESIGNS, INC.
4416 KELLER HICKS ROAD
FORT WORTH, TX 76244
(817) 379-0866
info@nortextfoundation.com

SG MODERN PROPERTIES

PLAN # 4510 LELAND AVENUE
WILSON'S SUBDIVISION
LOT: 1 BLOCK: 2/1762
4502 LELAND AVENUE
DALLAS, TX

| BEAM SCHEDULE | WIDTH | DEPTH |
|---------------|-------|-------|
| INT | 10" | 24" |
| EXT | 10" | 24" |

DESIGNED BY: DM
DATE: 06/25/2022
SCALE: 3/8" = 1'-0"
SIZE: 17 1/2" x 22 1/2"
GEOTECHNICAL ENGINEER: N/A
GEOTECHNICAL REPORT NUMBER: N/A
GEOTECHNICAL REPORT DATE: N/A

JOB NUMBER
22-174960

PAGE 1 of 1

TX FIRM REGISTRATION # F-6417



Issue Date: 04/02/2020

| | |
|----------|---|
| Revision | 1 |
| Revision | 2 |
| Revision | 3 |

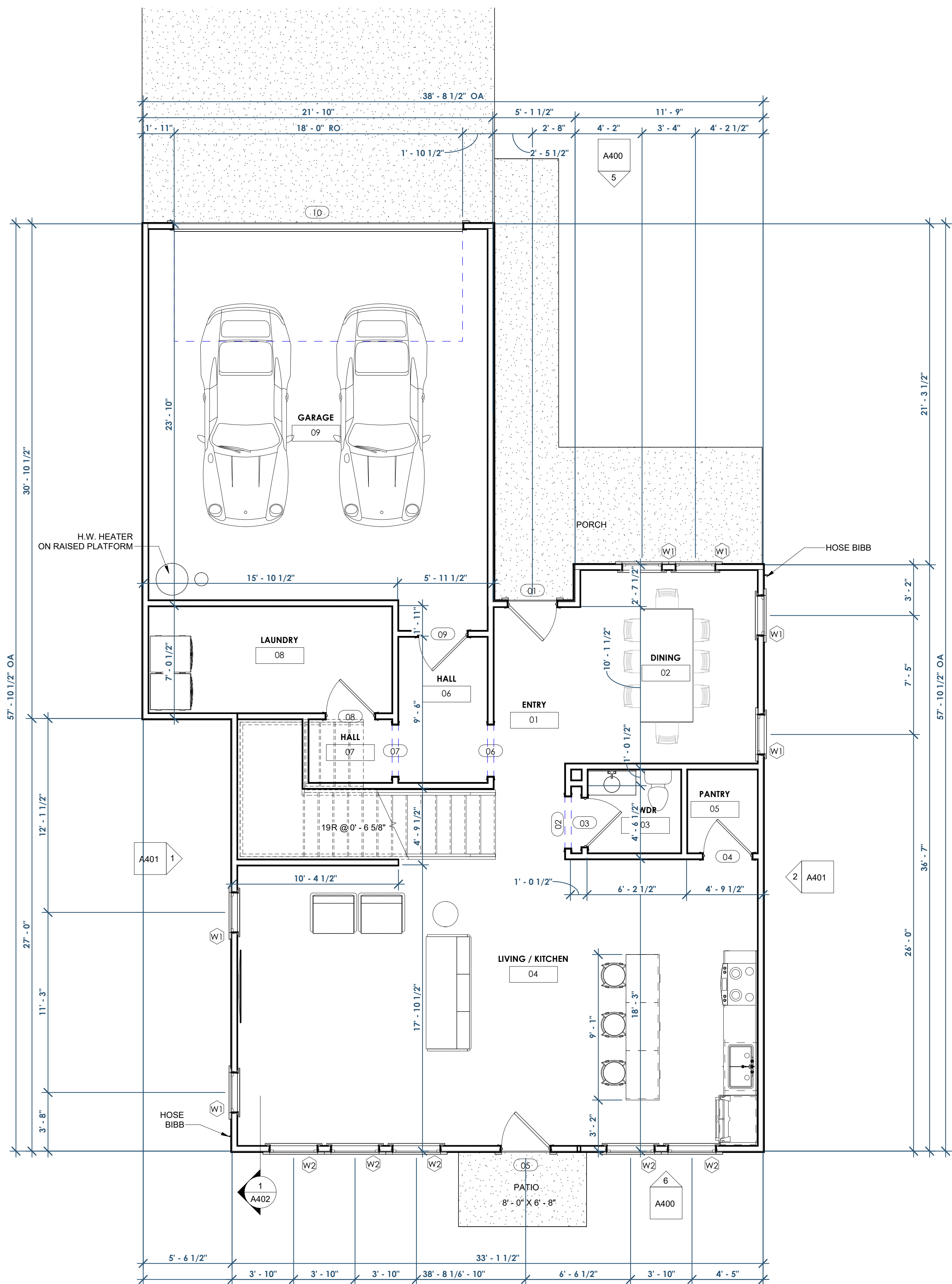
These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

FIRST FLOOR PLAN

A100

| Room Schedule - Level 1 | | | |
|-------------------------|------------------|--------|---------|
| Level | Name | Number | Area |
| Level 1 | ENTRY | 01 | 79 SF |
| Level 1 | DINING | 02 | 133 SF |
| Level 1 | PWDR | 03 | 30 SF |
| Level 1 | LIVING / KITCHEN | 04 | 572 SF |
| Level 1 | PANTRY | 05 | 23 SF |
| Level 1 | HALL | 06 | 51 SF |
| Level 1 | HALL | 07 | 21 SF |
| Level 1 | LAUNDRY | 08 | 101 SF |
| Level 1 | GARAGE | 09 | 500 SF |
| Grand total | | | 1511 SF |



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



Issue Date: 04/02/2020

| | |
|----------|---|
| Revision | ▲ |
| Revision | ▲ |
| Revision | ▲ |

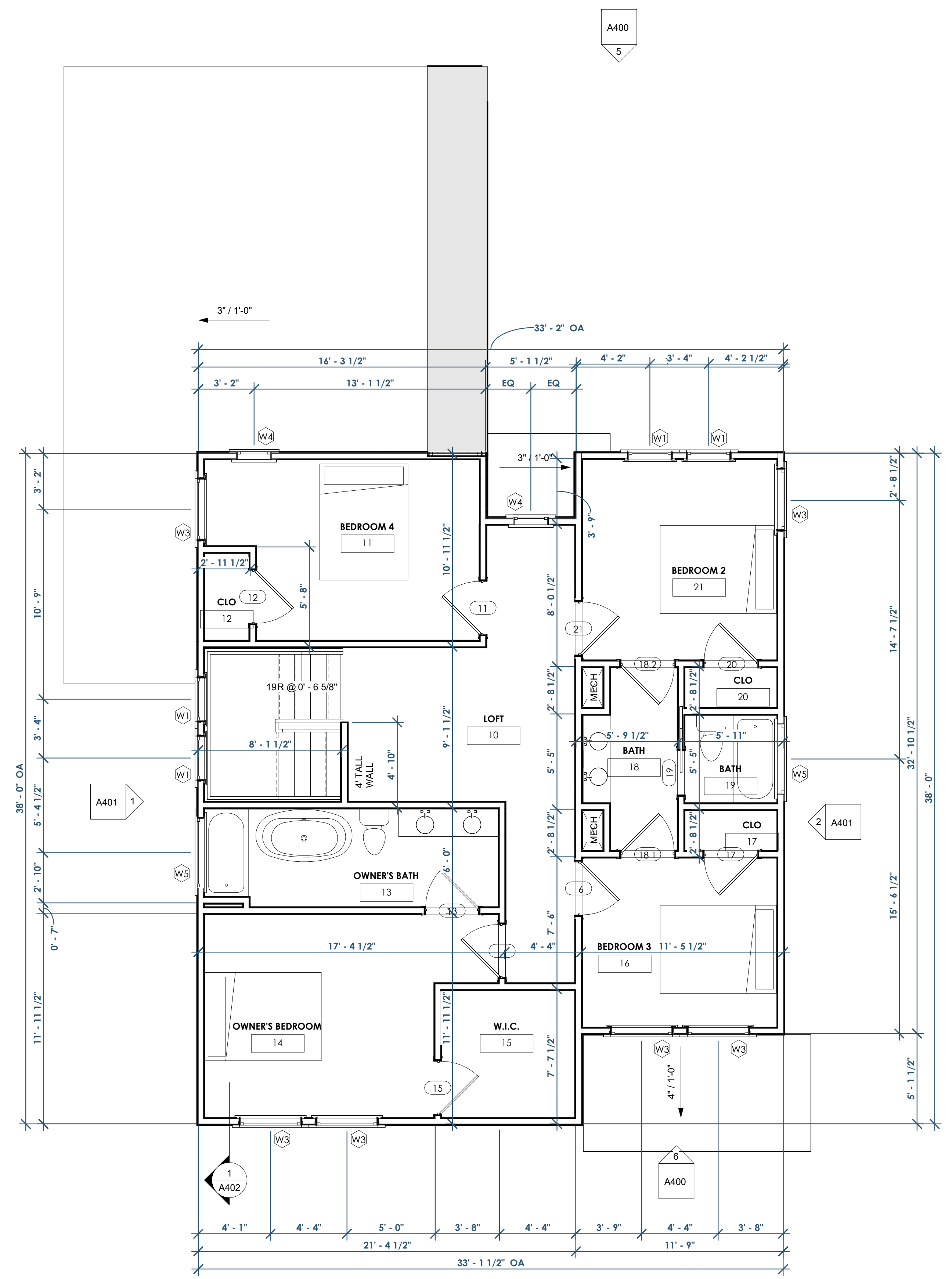
These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
 © URBAN NEST DEVELOPMENT LLC, 2020

21037

SECOND FLOOR PLAN

A101

| Room Schedule - Level 2 | | | |
|-------------------------|-----------------|--------|---------|
| Level | Name | Number | Area |
| T.O. DECK @ 2ND FLR | LOFT | 10 | 257 SF |
| T.O. DECK @ 2ND FLR | BEDROOM 4 | 11 | 460 SF |
| T.O. DECK @ 2ND FLR | CLO | 12 | 13 SF |
| T.O. DECK @ 2ND FLR | OWNER'S BATH | 13 | 92 SF |
| T.O. DECK @ 2ND FLR | OWNER'S BEDROOM | 14 | 165 SF |
| T.O. DECK @ 2ND FLR | W.I.C. | 15 | 55 SF |
| T.O. DECK @ 2ND FLR | BEDROOM 3 | 16 | 107 SF |
| T.O. DECK @ 2ND FLR | CLO | 17 | 12 SF |
| T.O. DECK @ 2ND FLR | BATH | 18 | 48 SF |
| T.O. DECK @ 2ND FLR | BATH | 19 | 26 SF |
| T.O. DECK @ 2ND FLR | CLO | 20 | 12 SF |
| T.O. DECK @ 2ND FLR | BEDROOM 2 | 21 | 126 SF |
| Grand total | | | 1372 SF |



1 LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"

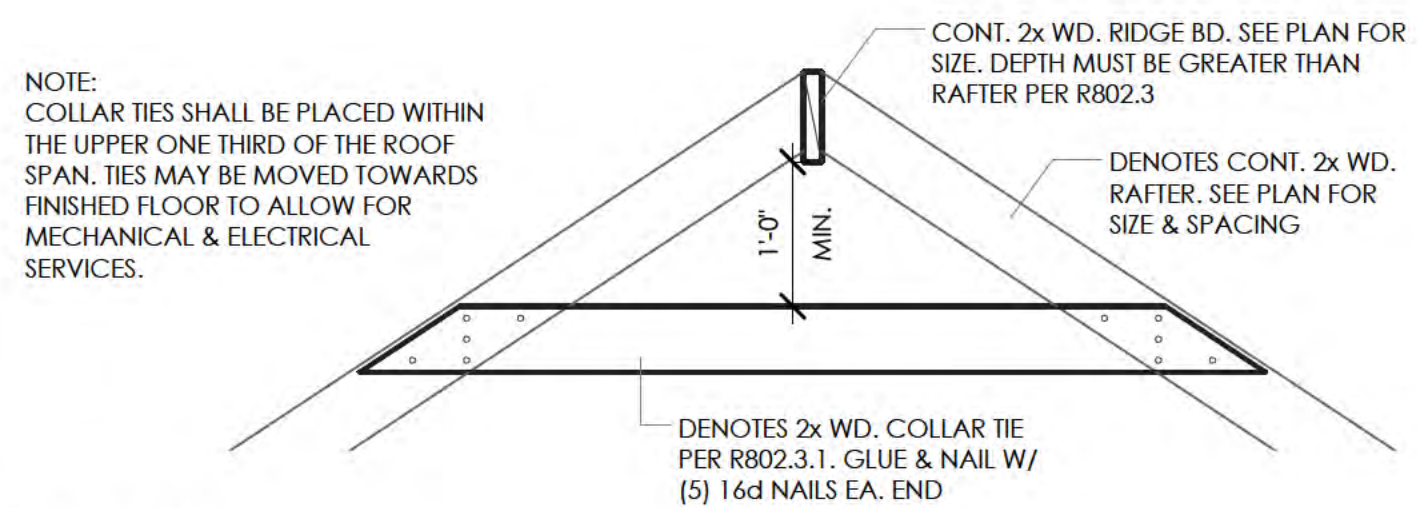
| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | |
| Revision: | |
| Revision: | |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, in whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

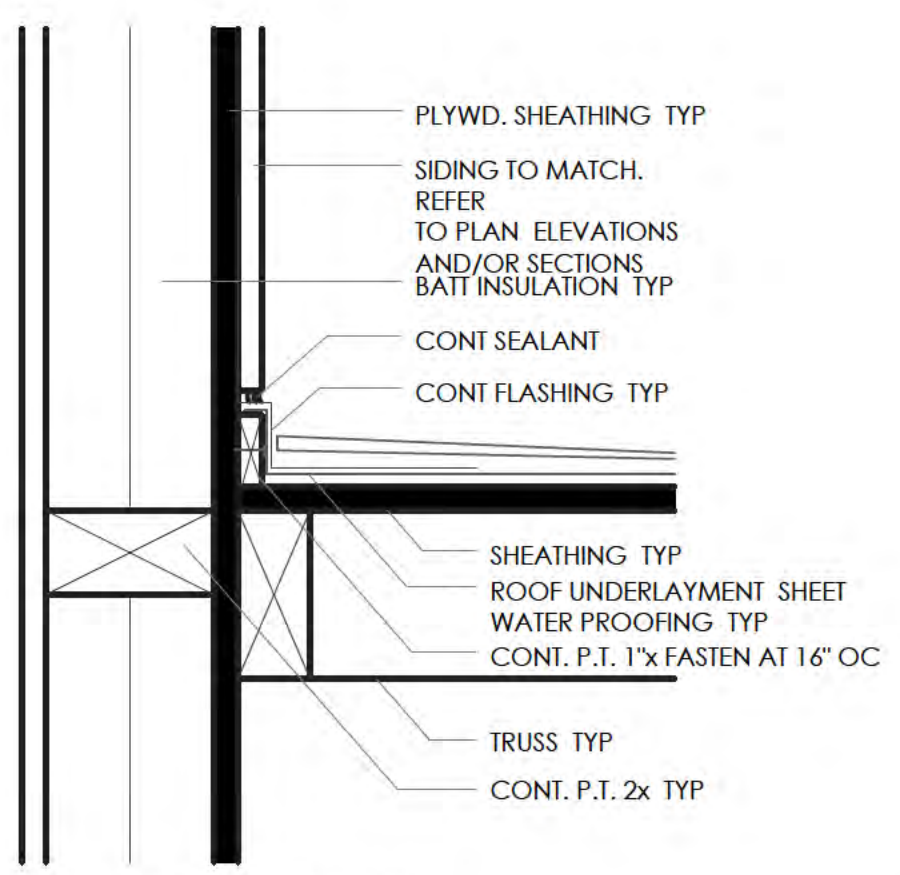
21037

ROOF PLAN

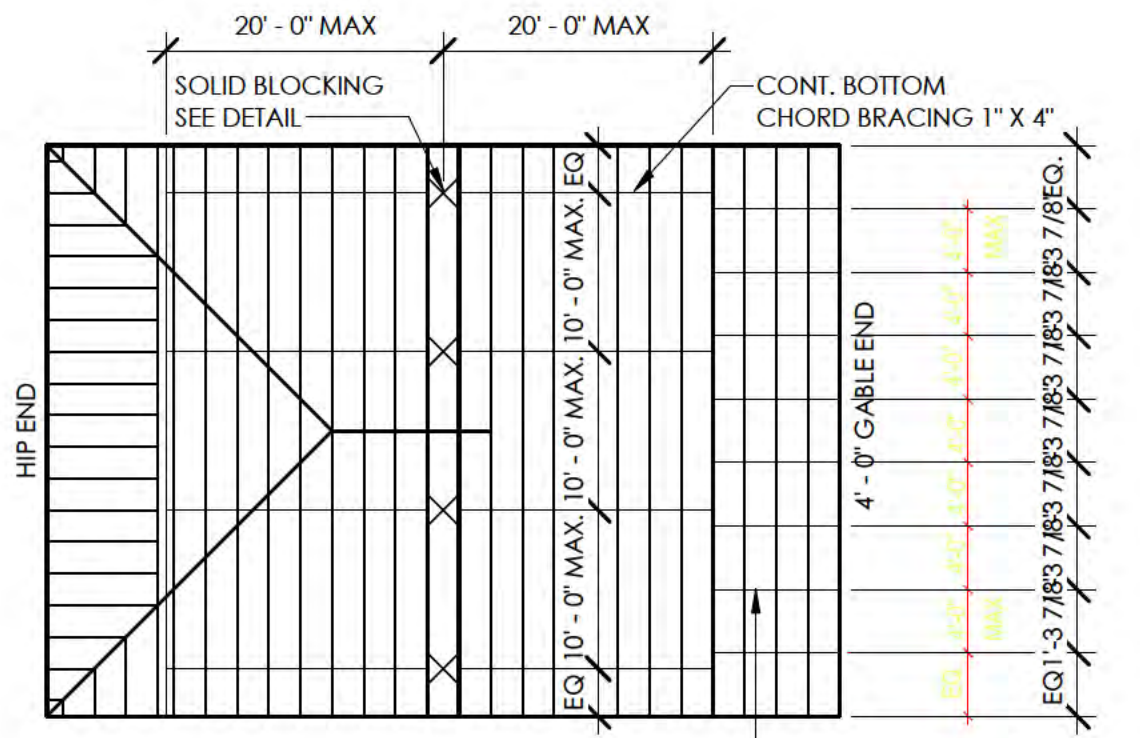
A102



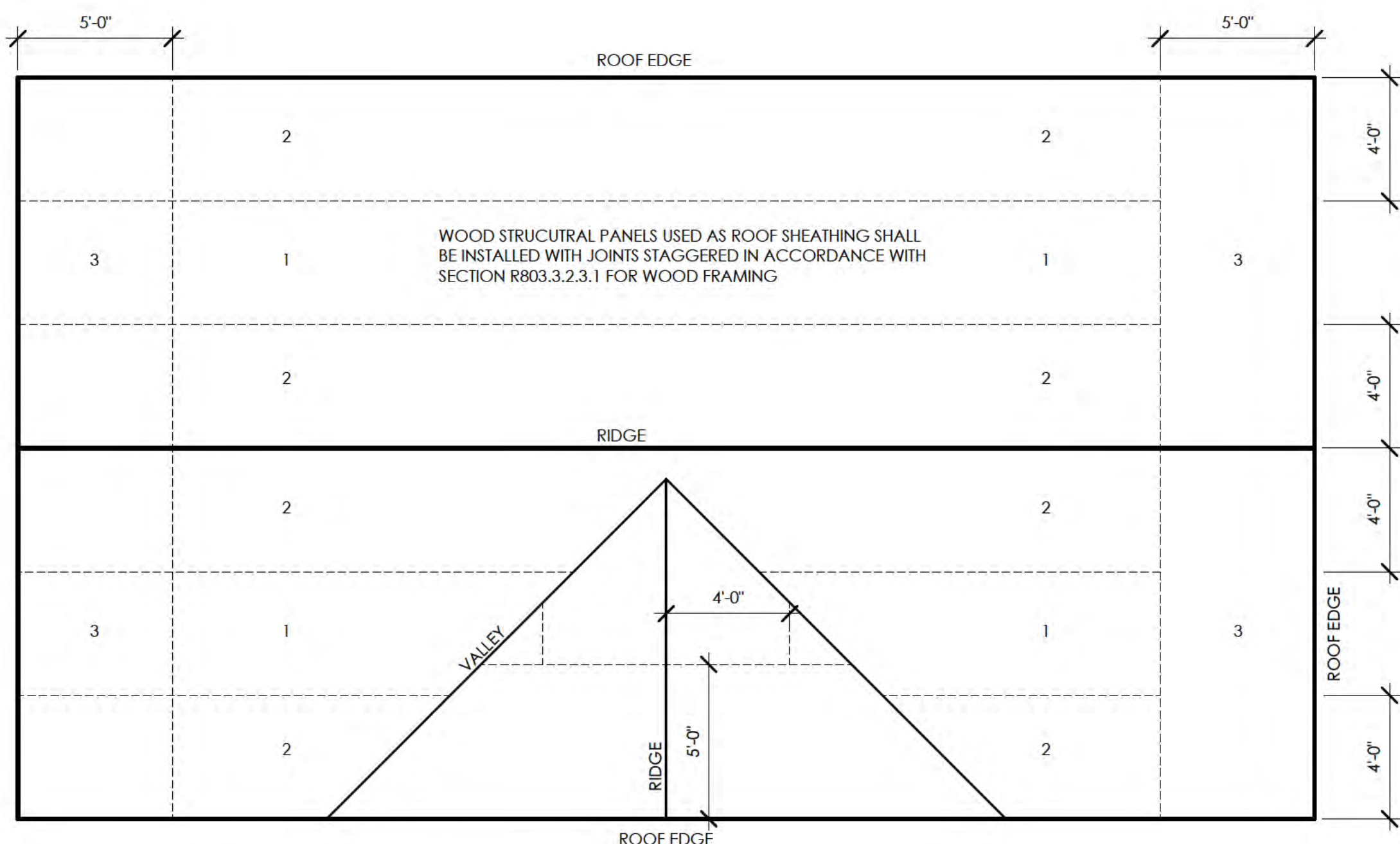
5 COLLAR TIE
3/4" = 1'-0"



4 WALL TO ROOF SECTION
3" = 1'-0"



3 TYP. TRUSS BRACING PLAN
1/4" = 1'-0"



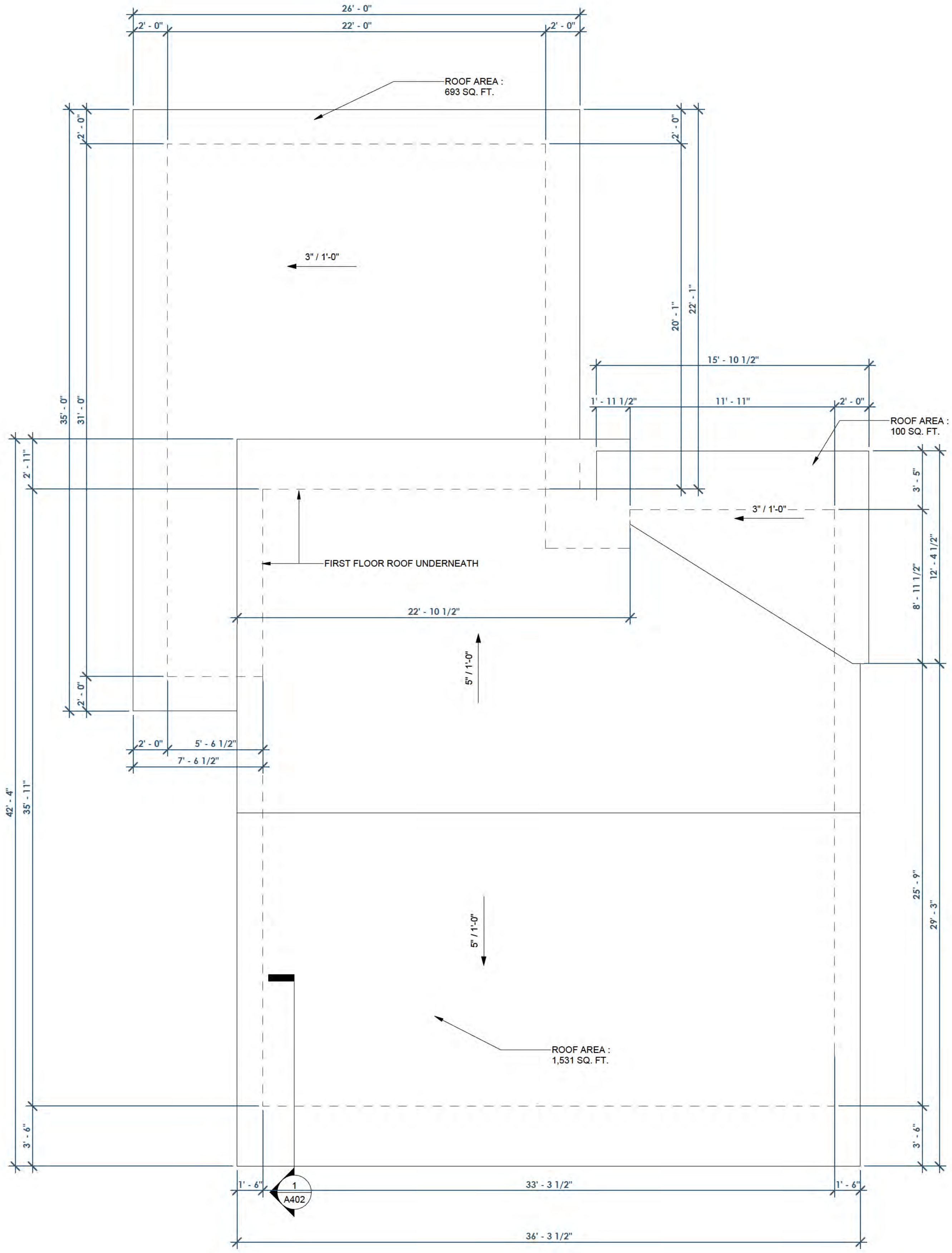
R803.2.3.1 SHEATHING FASTENERS
WOOD STRUCTURAL PANEL SHEATHING SHALL BE FASTENED TO ROOF FRAMING WITH RSRS-01 (2 3/8" X 0.113") NAILS AT 6 INCHES ON CENTER AT EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE FRAMING UNLESS ROOF DIAPHRAGM DESIGN REQUIRES A CLOSER SPACING. RSRS-01 IS RING SHANK ROOF SHEATHING NAIL MEETING THE SPECIFICATIONS IN ASTM F1667.

WHERE ROOF FRAMING WITH SPECIFIC GRAVITY 0.42 < G < 0.49 IS USED SPACING OF RING-SHANK FASTENERS SHALL BE 4 INCHES ON CENTER IN NAILING ZONE 3 IN ACCORDANCE WITH FIGURE R803.2.3.1 WHERE VuH IS 165 MPH OR GREATER.

EXCEPTIONS:

- WHERE ROOF FRAMING WITH A SPECIFIC GRAVITY 0.42 < G < 0.49 IS USED SPACING OF RING-SHANK FASTENERS SHALL BE PERMITTED AT 12 INCHES ON CENTER AT INTERMEDIATE FRAMING IN NAILING ZONE 1 FOR ANY VuH AND IN NAILING ZONE 2 FOR VuH LESS THAN OR EQUAL TO 140 MPH IN ACCORDANCE WITH FIGURE R803.2.3.1.
- WHERE ROOF FRAMING WITH A SPECIFIC GRAVITY G = 0.49 IS USED SPACING OF RING-SHANK FASTENERS SHALL BE PERMITTED AT 12 INCHES ON CENTER AT INTERMEDIATE FRAMING IN NAILING ZONE 1 FOR ANY VuH AND IN NAILING ZONE 2 FOR VuH LESS THAN OR EQUAL TO 150 MPH IN ACCORDANCE WITH FIGURE R803.2.3.1.
- WHERE ROOF FRAMING WITH A SPECIFIC GRAVITY G = 0.49 IS USED 8D AND COMMON OR 8D HOT DIPPED GALVANIZED BOX NAILS AT 6 INCHES ON CENTER AT EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE FRAMING SHALL BE PERMITTED FOR VuH LESS THAN OR EQUAL TO 130 MPH IN ACCORDANCE WITH FIGURE R803.2.3.1.

2 GENERIC NAILING PATTERN
1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

GENERAL FRAMING NOTES

- ALL MATERIAL BELOW FINISH FLOOR ELEVATION TO BE TREATED FOR WATER RESISTANCE
- ENCLOSED AREAS BELOW FLOOD ELEVATION SHALL MEET REQUIREMENTS OF R322.2.2 IRC 2012 ES FOR USE AND FLOOR VENTILATION
- ATTIC VENTILATION WILL BE PROVIDED TO MEET SEC. R806 OF THE IRC 2012 ED.
- ATTIC ACCESS WILL BE IN COMPLIANCE WITH SEC R807 IRC 2012 ED.
- ALL INSULATION WILL BE BATT INSULATION AND WILL COMPLY WITH SECTION 1102 OF THE IRC 2012 ED. CEILING-ROOF/WALL/FLOOR TO BE MIN. R-30/R-13/R-13.
- ALL CEILING JOISTS TO COMPLY WITH TABLE 601.4 IRC 2012 ED.
- ANY AND ALL PROJECTION (ROOF OVERHANGS) EXTENDING INTO THE THREE FOOT FIRE SEPARATION DISTANCE SHALL HAVE NOT LESS THAN ONE-HOUR FIRE RESISTIVE CONSTRUCTION ON THE UNDERSIDE AS REQUIRED BY R302.1 IRC 2012 ED.
- ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL STATE AND NATIONAL CODES AND REGULATIONS.
- ALL PRODUCTS AND MATERIALS SHALL BE STORED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION METHODS TECHNIQUES SEQUENCES PROCEDURES AND JOBSITE SAFETY AND CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR CONFLICTS BETWEEN THESE DRAWINGS AND ACTUAL BUILDING CONDITIONS OR SITE CONDITIONS. RESOLVE ALL CONFLICTS PRIOR TO FABRICATION ERECTION ON INSTALLATION OF CONFLICTING ITEMS OF WORK.
- EXCEPT AS OTHERWISE NOTED ALL CONNECTORS EXPOSED TO EXTERIOR SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A123 OR A153. SIMPSON CONNECTORS SHALL BE HOT DIP GALVANIZED OR "ZMAX" ELECTROGALVANIZED FASTENERS ARE NOT ACCEPTABLE.
- NO PIPING SHALL PASS THROUGH BEAMS WITHOUT PERMISSION OF THE ENGINEER. PIPES PASSING THROUGH BEAMS SHALL PASS WITHIN THE MIDDLE THIRD OF THE BEAM WIDTH AND DEPTH.
- ALL STRUCTURAL ELEMENTS HAVE BEEN DESIGNED TO RESIST THE COMPLETED STRUCTURE. CONTRACTOR SHALL PROVIDE ALL REQUIRED BRACING AND SUPPORT FOR INCOMPLETE ELEMENTS DURING CONSTRUCTION.
- ALL NUTS BOLTS AND WASHERS SHALL BE HOT DIP GALVANIZED.
- SIMPSON CONNECTORS SHALL BE FASTENED PER MANUFACTURER'S SPECIFICATIONS UNLESS OTHERWISE NOTED.
- LEDGER BOARD AT FACE BEAMS - FASTEN W/ 16D RING-SHANK NAILS NAIL PATTERN: 3 NAIL VERTICAL ROW AT 24" O.C. REDUCING SPACING TO 12" O.C. AT THE LAST 4' AT EACH END. EACH VERTICAL ROW SHOULD CONSIST OF TOP NAIL - TOIL NAILED DOWNWARD INTO RECEIVING MEMBER MID-NAIL STRAIGHT NAILED INTO RECEIVING MEMBER BOTTOM NAIL - TOE NAILED UPWARD INTO RECEIVING MEMBER.
- GLUE ND NAIL ALL LUMBER TO PANEL CONNECTIONS
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS. REPORT AND DISCREPANCIES IN DIMENSIONS POTENTIAL CODE VIOLATIONS MATERIAL ISSUES OR OTHER CONCERNS TO ENGINEER.

ROOF NOTES

- COMPOSITION SHINGLE ROOFING AS SELECTED
- LINE OF PARTITIONS BELOW
- 4" GALVANIZED METAL GUTTER AS SELECTED. 4" X 4" DOWNSPOUTS LOCATIONS TO BE DETERMINED ON-SITE
- PROVIDE CONTINUOUS RIDGE VENTING TYP.
- EXTERIOR CEMENTIOUS SOFFIT
- RIDGE





| |
|------------------------|
| Issue Date: 04/02/2020 |
| Revision: |
| Revision: |
| Revision: |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

WINDOW & DOOR SCHEDULE

A103

GENERAL WINDOW NOTES

1. ALL WINDOW NOMENCLATURE AND DIMENSIONS ARE SHOWN ARE GENERAL WINDOW SIZES REFER TO CHOSEN MANUFACTURER FOR DIFFERENCES AND EXACT SIZES.
2. FOR ALL WINDOW MUNTIN PATTERNS REFER TO EXTERIOR ELEVATIONS.
3. GENERAL CONTRACTOR SHALL VERIFY ROUGH OPENING DIMENSIONS AND COORDINATE CHOSEN WINDOW MANUFACTURERS UNITS WITH DIMENSIONS PROVIDED IN THE WINDOW TYPE SCHEDULE.
4. DIMENSIONS SHOWN IN THE WINDOW SCHEDULE ARE TO THE OUTSIDE OF WINDOW FRAME.
5. ANY AND ALL WINDOWS REQUIRING SAFETY GLASS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. REFER TO THE EXTERIOR ELEVATIONS FOR OPERABLE WINDOWS AND DIRECTION OF SWING.
7. SLOPE ALL WINDOW SILLS AWAY FROM WINDOW A MINIMUM OF 1/8" PER FOOT.

| Window Schedule | | | | | | |
|-----------------|--------|-------|-------------|-----------|----------|-------|
| Type Mark | Height | Width | Sill Height | Operation | Material | Notes |

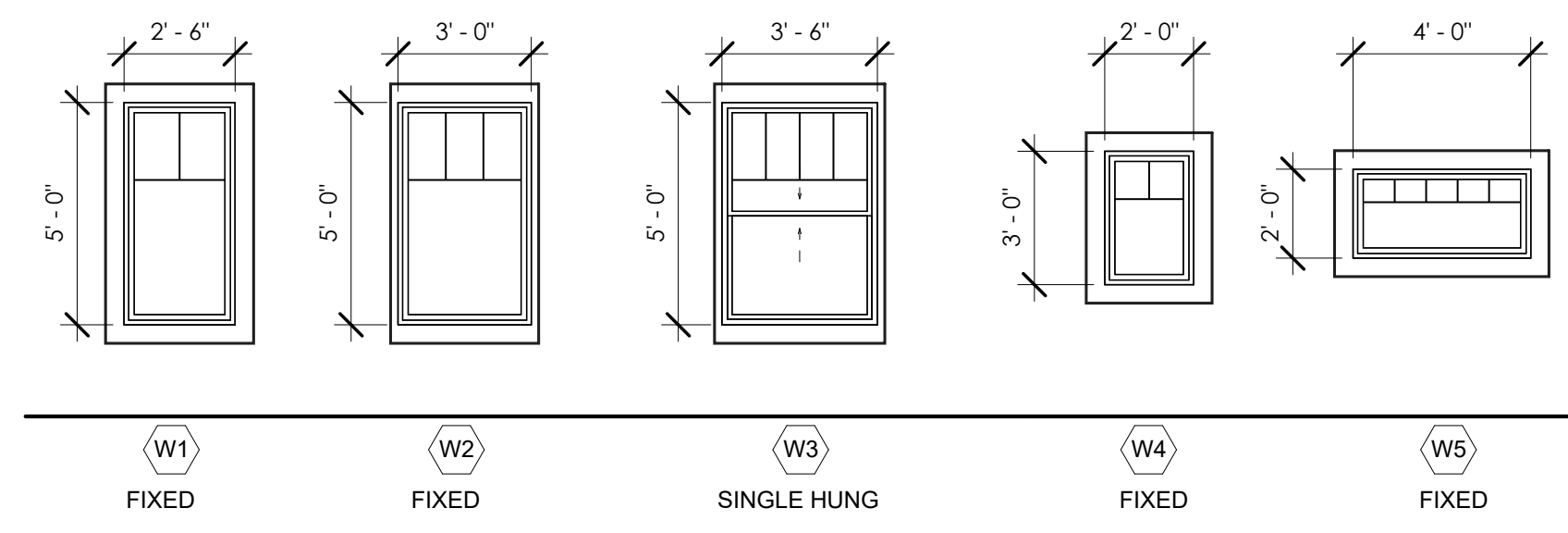
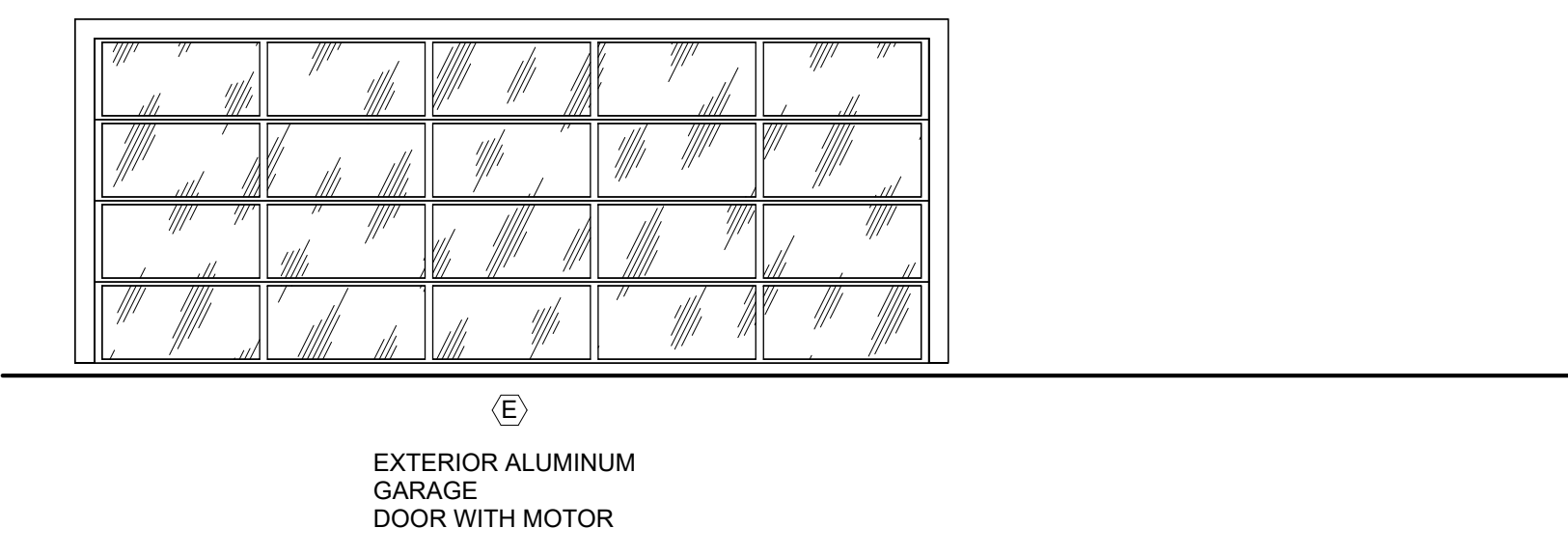
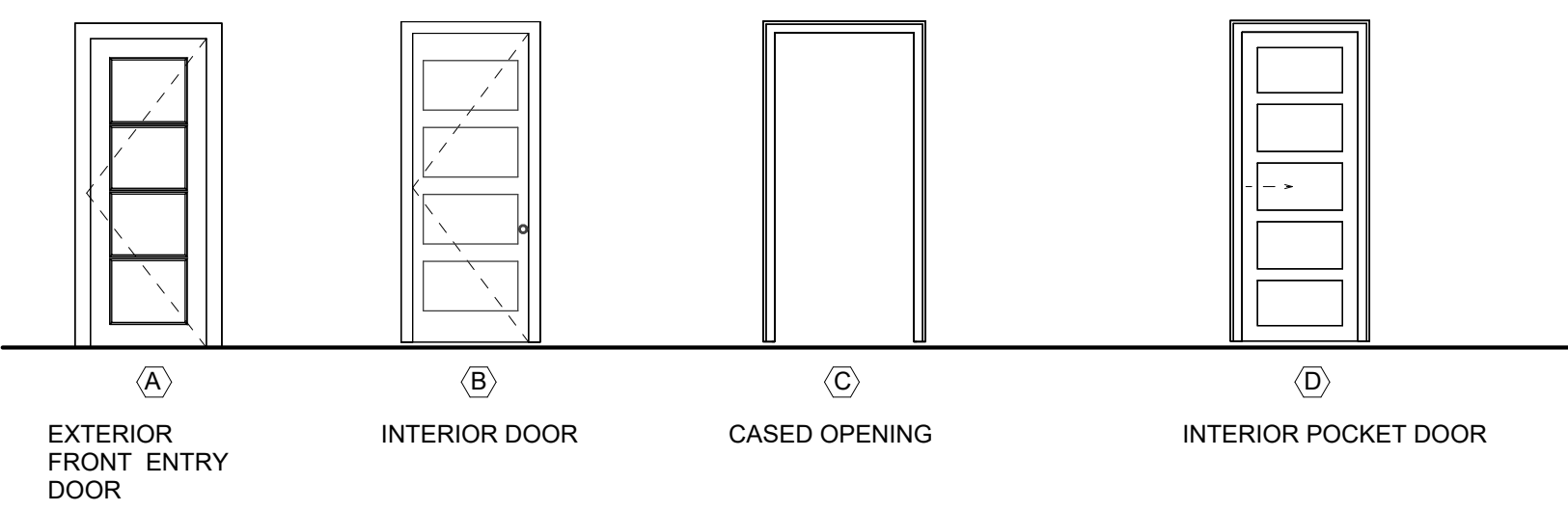
| | | | | | | |
|----|---------|---------|---------|-------------|-------|--|
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 2" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 2" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 2" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 2" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W1 | 5' - 0" | 2' - 6" | 3' - 0" | FIXED | VINYL | |
| W2 | 5' - 0" | 3' - 0" | 3' - 0" | FIXED | VINYL | |
| W2 | 5' - 0" | 3' - 0" | 3' - 0" | FIXED | VINYL | |
| W2 | 5' - 0" | 3' - 0" | 3' - 0" | FIXED | VINYL | |
| W2 | 5' - 0" | 3' - 0" | 3' - 0" | FIXED | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 2" | SINGLE-HUNG | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 2" | SINGLE-HUNG | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 2" | SINGLE-HUNG | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 2" | SINGLE-HUNG | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 0" | SINGLE-HUNG | VINYL | |
| W3 | 5' - 0" | 3' - 6" | 3' - 0" | SINGLE-HUNG | VINYL | |
| W4 | 3' - 0" | 2' - 0" | 5' - 0" | FIXED | VINYL | |
| W4 | 3' - 0" | 2' - 0" | 5' - 0" | FIXED | VINYL | |
| W5 | 2' - 0" | 4' - 0" | 6' - 0" | FIXED | VINYL | |
| W5 | 2' - 0" | 4' - 0" | 6' - 2" | FIXED | VINYL | |

- WINDOW NOTES:
1. HURRICANE PROTECTION SHALL BE MISSLE TEST PER SECTION R301.2.1.2 IRC 2012 AND FBC REQUIREMENTS - CERTIFICATE NO. 08-0313.01)
 2. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA AND BUILDING SHALL MEET ALL ADDITIONAL REQUIREMENTS OF SECTION R303 "LIGHT VENTILATION AND HEATING" IRC 2012.
 3. EVERY BEDROOM SHALL HAVE ATLEAST ONE OPERABLE OPENING AND SHALL MEET ALL ADDITIONAL EGRESS REQUIREMENTS OF SECTION R310 "EMERGENCY ESCAPE OPENINGS" IRC 2012.

| DOOR SCHEDULE | | | | |
|---------------|----------|---------|-------------------------------|-------|
| Door Number | Width | Height | Door Type / Operation | Notes |
| 01 | 3' - 0" | 6' - 8" | EXTERIOR FRONT ENTRY DOOR | |
| 02 | 3' - 2" | 6' - 8" | CASED OPENING | |
| 03 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 04 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 05 | 3' - 0" | 6' - 8" | EXTERIOR FRONT ENTRY DOOR | |
| 06 | 3' - 2" | 6' - 8" | CASED OPENING | |
| 07 | 3' - 2" | 6' - 8" | CASED OPENING | |
| 08 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 09 | 3' - 0" | 6' - 8" | INTERIOR FIRE RATED DOOR | |
| 10 | 18' - 0" | 7' - 0" | EXTERIOR ALUMINUM GARAGE DOOR | |
| 11 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 12 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 13 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 14 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 15 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 16 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 17 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 18.1 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 18.2 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 19 | 2' - 6" | 6' - 8" | INTERIOR POCKET DOOR | |
| 20 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |
| 21 | 3' - 0" | 6' - 8" | INTERIOR DOOR | |

DOOR NOTES:

1. GLAZED DOORS TO HAVE HURRICANE PROTECTION THAT MEET THE MISSLE TEST PER SECTION R301.2.1. IRC 2012 AND FBC REQUIREMENTS - CERTIFICATE NO. 08-0313.01)





| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | 1 |
| Revision: | 2 |
| Revision: | 3 |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

FIRST FLOOR ELECTRICAL PLAN

A300

SYMBOLS

| | | | |
|----|---|-----|--------------------------------------|
| TV | TV HOOK-UP (LIST CABLING REQ'D, CAT6, STRUCTURED CABLING, ETC.) | E | FIXTURE TYPE, SEE SCHED. |
| K | KEYPAD | ○ | SURFACE MTD. LIGHT |
| ⌘ | ETHERNET / PHONE (LIST JACK REQUIREMENTS) | ○ | RECESSED LIGHT (ARROW = DIRECTIONAL) |
| \$ | SWITCH (DIMMING CIRCUIT) | ○ | WALL MOUNTED LIGHT |
| Ⓛ | DUPLEX RECEPTACLE (USB INDICATES CHARGING OUTLET/STATION) | ○ | MONOPOINT |
| Ⓛ | QUAD RECEPTACLE | Ⓛ | PLUG-IN FIXTURE |
| Ⓛ | WATERPROOF DUPLEX RECEPTACLE | P | PENDANT FIXTURE |
| Ⓛ | FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE) | Ⓛ | CEILING MOUNTED SPEAKER |
| T | THERMOSTAT | Ⓛ | IN-WALL SPEAKER |
| F | EXHAUST FAN + TIMER SWITCH | --- | LED STRIP LIGHT |
| Ⓛ | HEAT DETECTOR (LOW - LOW TEMP SENSOR, LP = LP GAS DETECTOR) | Ⓛ | STEP LIGHT |
| Ⓛ | SMOKE/CO DETECTOR | ○ | IN-GROUND/WELL LIGHT |
| Ⓛ | REMOTE TRANSFORMER | Ⓛ | TRACK/HEADS |
| | | Ⓛ | WALL MOUNTED SWING-ARM LIGHT |
| | | Ⓛ | ELECTRICAL PANEL |

GENERAL NOTES

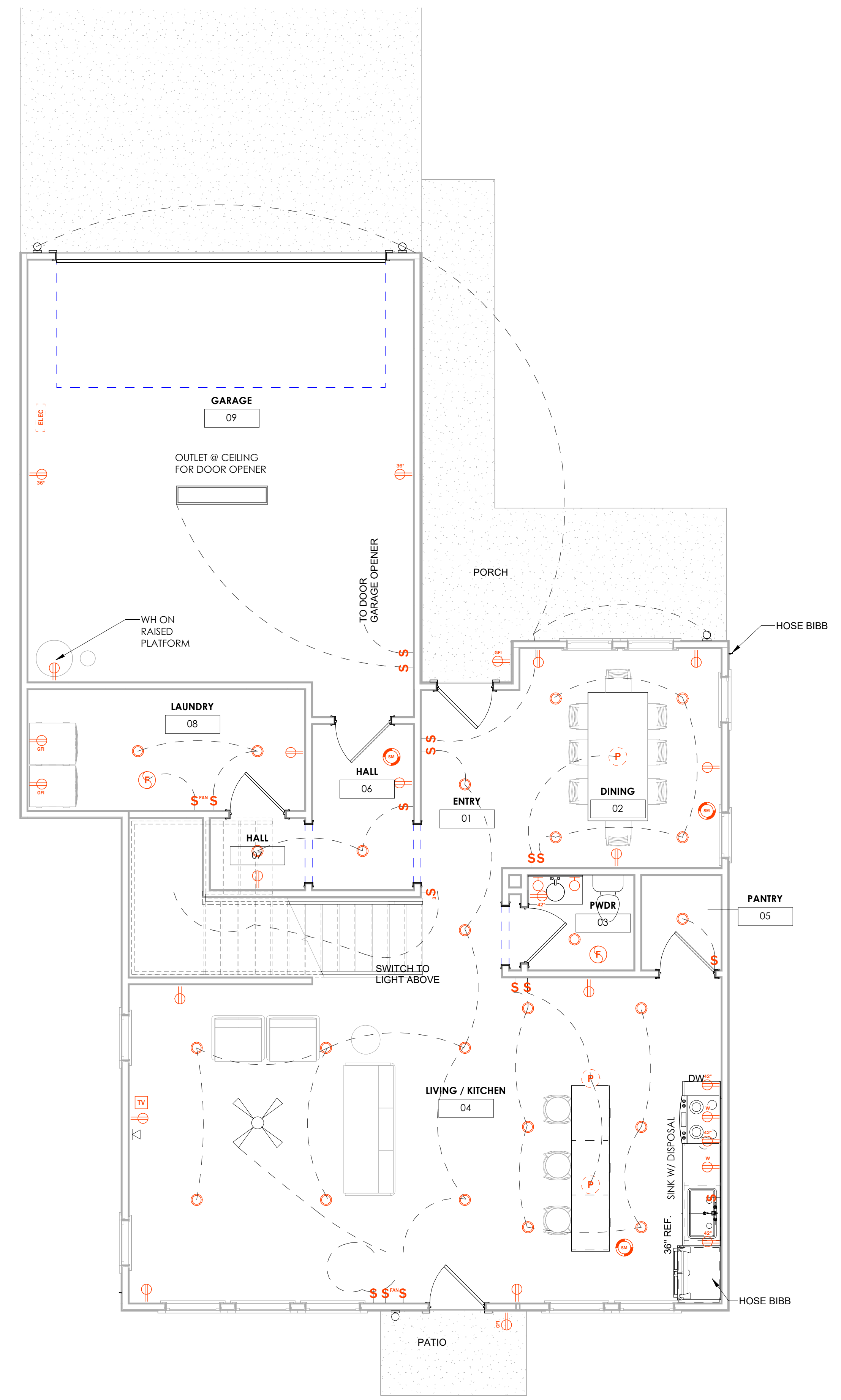
It is the intent that all receptacles, switches and devices be centered on all finished surfaces horizontally and vertically unless noted otherwise. If field conditions arise that make centering impossible, consult the Architect for guidance on final placement. Contractor shall coordinate all roof framing to allow the centering shown on this plan for all recessed lighting. If additional framing is required to accommodate this layout, the Contractor shall incl. such framing as part of the cost of the work. Any coordination shall take place during rough framing, prior to rough-in.

- A. Install all receptacles at (INSERT HEIGHT) a.f.f. (HORIZONTALLY/VERTICALLY) U.N.O.
- B. Install all above counter outlets (HORIZONTALLY/VERTICALLY) with a centerline of (INSERT HEIGHT) a.f.f. U.N.O.
- C. Install all switches (HORIZONTALLY/VERTICALLY) with centerline at (INSERT HEIGHT) a.f.f. Install blocking as necessary to achieve centering.
- D. Mount centerline of thermostats + keypads at (INSERT HEIGHT) a.f.f. Center on switches below if applicable.
- E. All switches to be on dimming circuits. Notify Architect prior to rough-in of any fixture locations that are not able to be on a dimming circuit so alternate plans can be made.
- F. All exposed switches and outlets to be "INSERT SERIES" series with (INSERT COVERPLATES) coverplates by (INSERT MANUF).
- G. Device color: (INSERT COLOR) with matching (INSERT COVERPLATE) coverplates.
- **COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
- H. All outlets in baths, at kitchen counters, and within (INSERT CODE REQUIREMENTS) of a sink shall be GFCI circuits.
- I. Installation shall conform to current adopted (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). If this requires the addition of receptacles, wiring, devices, special circuiting, breakers, interrupters, or other items not indicated on the plans, the electrician shall make the Contractor and Architect aware of any omissions and shall include them as part of the cost of the work.
- J. Coordinate location of all electrical devices with any interior elevations.
- K. No distinction is made on these plans between circuits requiring single three-way and four-way switches. The electrical subcontractor is responsible for providing all necessary system components to achieve the lighting controls as drawn.

NOTE: All fixture heights indicated are above finish floor and are to center of junction box unless noted otherwise.

ELECTRICAL/LIGHTING NOTES

1. ELECTRICAL INSTALLATION SHALL MEET REQUIREMENTS OF ALL CITY CODES AND REGULATIONS.
2. FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTACT DESIGNER FOR COORDINATION IF NECESSARY.
3. SWITCHED CONVENIENCE OUTLETS TO BE SWITCHED AT TOP OUTLET ONLY.
4. SWITCHES SHALL BE MOUNTED AT 4'-6" ABOVE FINISH FLOOR TO CENTER OF SWITCH COVER PLATE UNLESS NOTED OTHERWISE.
5. CONVENIENCE OUTLETS SHALL BE MOUNTED 1'-0" ABOVE FINISH FLOOR TO CENTER OF COVER PLATE UNLESS NOTED OTHERWISE.
6. INTERIOR WALL BRACKET FIXTURES SHALL BE MOUNTED AT 6'-10" TO CENTER OF COVER PLATE ABOVE FINISHED WALKING SURFACE UNLESS NOTED OTHERWISE.
7. EXTERIOR WALL BRACKET FIXTURES SHALL BE MOUNTED AT 6'-10" TO CENTER OF COVERPLATE ABOVE FINISHED WALKING SURFACE UNLESS NOTED OTHERWISE.
8. SMOKE DETECTORS SHALL BE 100 VOLT. COORDINATE WITH ALARM SYSTEM INSTALLER AS NECESSARY. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
9. PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS AS NECESSARY. CONTRACTOR TO VERIFY LOCATION WITH OWNER.
10. ALL EXTERIOR CONVENIENCE OUTLETS SHALL BE WATER PROOF AND GROUND FLOOR FAULT CIRCUIT.
11. ALL BATHROOM AND KITCHEN OUTLETS SHALL BE MOUNTED 6" ABOVE THE FINISHED COUNTER HEIGHT UNLESS NOTED OTHERWISE.
12. OWNER TO VERIFY QUANTITY OF SPEAKERS AND EXACT SPEAKER LOCATION PRIOR TO INSTALLATION AND PURCHASE OF SPEAKER SYSTEM.



1 LEVEL 1 ELECTRICAL PLAN
1/4" = 1'-0"



| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | 1 |
| Revision: | 2 |
| Revision: | 3 |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

SECOND FLOOR ELECTRICAL PLAN

A301

SYMBOLS

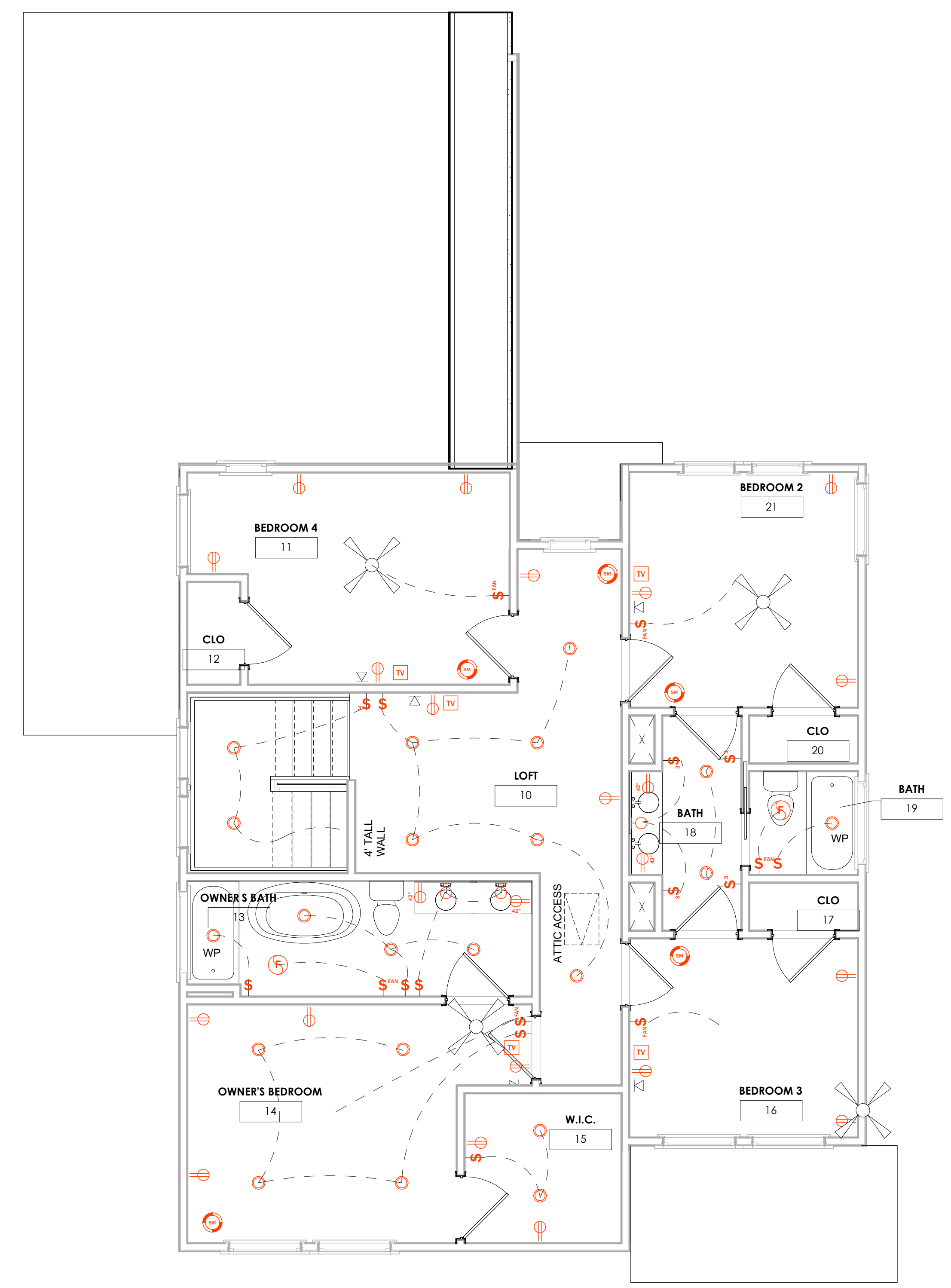
| | |
|---|--------------------------------------|
| TV HOOK-UP (LIST CABLING REQ'D. CAT6. STRUCTURED CABLING, ETC.) | SURFACE MTD. LIGHT |
| KEYPAD | RECESSED LIGHT (ARROW = DIRECTIONAL) |
| ETHERNET / PHONE (LIST JACK REQUIREMENTS) | WALL MOUNTED LIGHT |
| SWITCH (DIMMING CIRCUIT) | MONOPOINT |
| DUPLEX RECEPTACLE (USB INDICATES CHARGING OUTLET/STATION) | PLUG-IN FIXTURE |
| QUAD RECEPTACLE | PENDANT FIXTURE |
| WATERPROOF DUPLEX RECEPTACLE | CEILING MOUNTED SPEAKER |
| FLOOR DUPLEX RECEPTACLE (SPECIFY RECESSED OR SURFACE) | IN-WALL SPEAKER |
| THERMOSTAT | LED STRIP LIGHT |
| EXHAUST FAN + TIMER SWITCH | STEP LIGHT |
| HEAT DETECTOR (LOW = LOW TEMP SENSOR, LP = LP GAS DETECTOR) | IN-GROUND/WELL LIGHT |
| SMOKE/CO DETECTOR | TRACK/HEADS |
| REMOTE TRANSFORMER | WALL MOUNTED SWING-ARM LIGHT |
| | ELECTRICAL PANEL |

GENERAL NOTES

- It is the intent that all receptacles, switches and devices be centered on all finished surfaces horizontally and vertically unless noted otherwise. If field conditions arise that make centering impossible, consult the Architect for guidance on final placement. Contractor shall coordinate all roof framing to allow the centering shown on this plan for all recessed lighting. If additional framing is required to accommodate this layout, the Contractor shall include such framing as part of the cost of the work. Any coordination shall take place during rough framing, prior to rough-in.
- Install all receptacles at (INSERT HEIGHT)" a.f.f. (HORIZONTALLY/VERTICALLY) U.N.O.
 - Install all above counter outlets (HORIZONTALLY/VERTICALLY) with a centerline of (INSERT HEIGHT)" a.f.f. U.N.O.
 - Install all switches (HORIZONTALLY/VERTICALLY) with centerline at (INSERT HEIGHT) a.f.f. Install blocking as necessary to achieve centering.
 - Mount centerline of thermostats + keypads at (INSERT HEIGHT) a.f.f. Center on switches below if applicable.
 - All switches to be on dimming circuits. Notify Architect prior to rough-in of any fixture locations that are not able to be on a dimming circuit so alternate plans can be made.
 - All exposed switches and outlets to be (INSERT SERIES) series with (INSERT COVERPLATES) coverplates by (INSERT MANUF).
 - Device color: (INSERT COLOR) with matching (INSERT COVERPLATE) coverplates.
**COORDINATE THESE SELECTIONS WITH ARCHITECT PRIOR TO ORDERING
 - All outlets in baths at kitchen counters and within (INSERT CODE REQUIREMENTS) of a sink shall be GFCI circuits.
 - Installation shall conform to current adopted (INSERT YOUR REFERENCE NATIONAL ELECTRICAL CODE). If this requires the addition of receptacles, wiring devices, special circuiting, breakers, interrupters, or other items not indicated on the plans, the electrician shall make the Contractor and Architect aware of any omissions and shall include them as part of the cost of the work.
 - Coordinate location of all electrical devices with any interior elevations.
 - No distinction is made on these plans between circuits requiring single, three-way and four-way switches. The electrical subcontractor is responsible for providing all necessary system components to achieve the lighting controls as drawn.
- NOTE: All fixture heights indicated are above finish floor and are to center of junction box unless noted otherwise.

ELECTRICAL/LIGHTING NOTES

- ELECTRICAL INSTALLATION SHALL MEET REQUIREMENTS OF ALL CITY CODES AND REGULATIONS.
- FIELD VERIFY EXISTING UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTACT DESIGNER FOR COORDINATION IF NECESSARY.
- SWITCHED CONVENIENCE OUTLETS TO BE SWITCHED AT TOP OUTLET ONLY.
- SWITCHES SHALL BE MOUNTED AT 4'-6" ABOVE FINISH FLOOR TO CENTER OF SWITCH COVER PLATE UNLESS NOTED OTHERWISE.
- CONVENIENCE OUTLETS SHALL BE MOUNTED 1'-0" ABOVE FINISH FLOOR TO CENTER OF COVER PLATE UNLESS NOTED OTHERWISE.
- INTERIOR WALL BRACKET FIXTURES SHALL BE MOUNTED AT 6'-10" TO CENTER OF COVER PLATE ABOVE FINISHED WALKING SURFACE UNLESS NOTED OTHERWISE.
- EXTERIOR WALL BRACKET FIXTURES SHALL BE MOUNTED AT 6'-10" TO CENTER OF COVERPLATE ABOVE FINISHED WALKING SURFACE UNLESS NOTED OTHERWISE.
- SMOKE DETECTORS SHALL BE 100 VOLT. COORDINATE WITH ALARM SYSTEM INSTALLER AS NECESSARY. DETECTORS TO COMPLY WITH GOVERNING CODES AND REGULATIONS.
- PROVIDE 220V JUNCTION BOX AND OTHER REQUIRED WIRING FOR HVAC UNITS AS NECESSARY. CONTRACTOR TO VERIFY LOCATION WITH OWNER.
- ALL EXTERIOR CONVENIENCE OUTLETS SHALL BE WATER PROOF AND GROUND FLOOR FAULT CIRCUIT.
- ALL BATHROOM AND KITCHEN OUTLETS SHALL BE MOUNTED 6" ABOVE THE FINISHED COUNTER HEIGHT UNLESS NOTED OTHERWISE.
- OWNER TO VERIFY QUANTITY OF SPEAKERS AND EXACT SPEAKER LOCATION PRIOR TO INSTALLATION AND PURCHASE OF SPEAKER SYSTEM.



1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



SG MODERN PROPERTIES
FUTURE RESIDENCE AT 4502 LELAND AVENUE

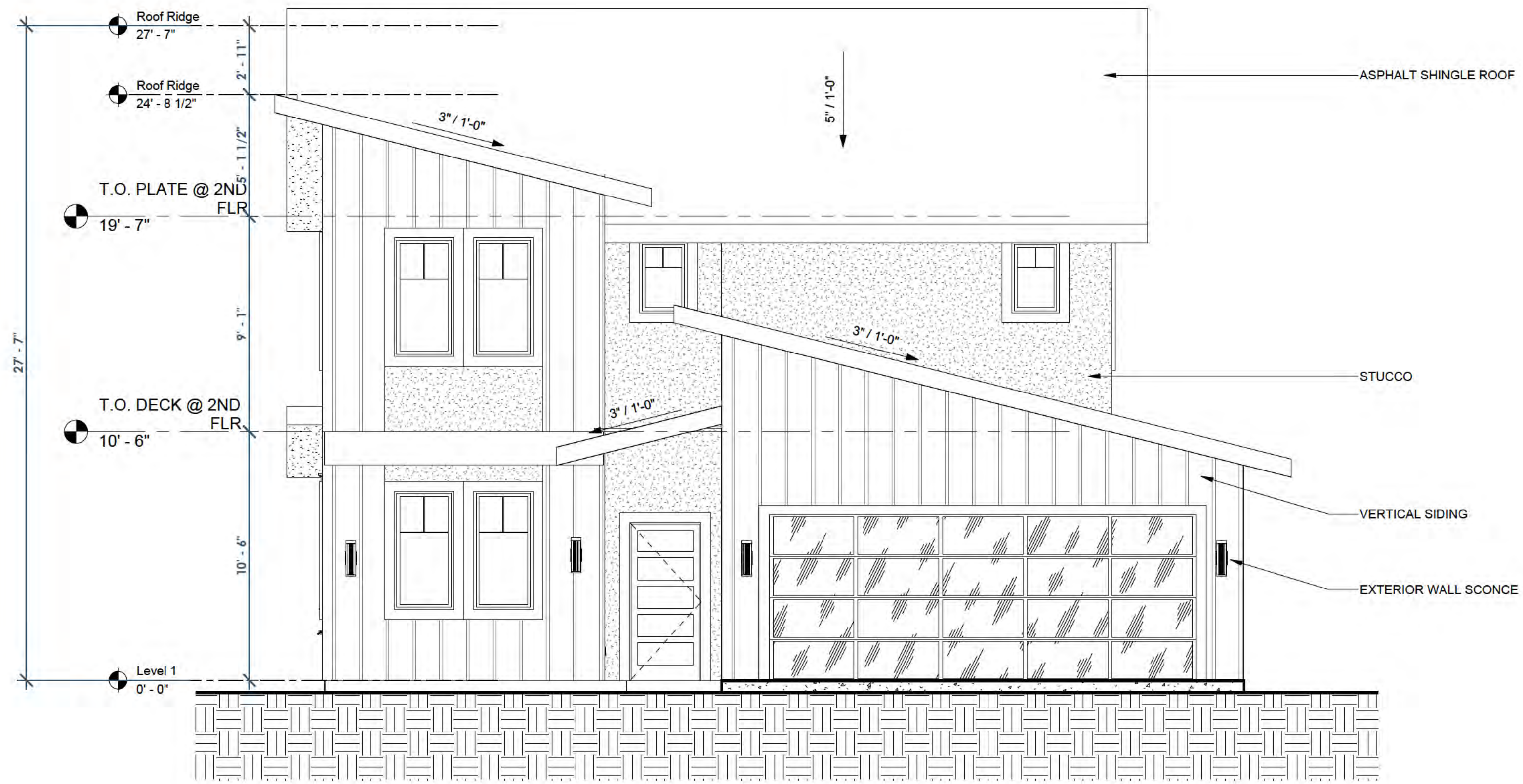
| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | △ |
| Revision: | △ |
| Revision: | △ |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

EXTERIOR ELEVATIONS

A400



5 NORTH ELEVATION
1/4" = 1'-0"



6 SOUTH ELEVATION
1/4" = 1'-0"



SG MODERN PROPERTIES
FUTURE RESIDENCE AT 4502 LELAND AVENUE

| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | △ |
| Revision: | △ |
| Revision: | △ |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

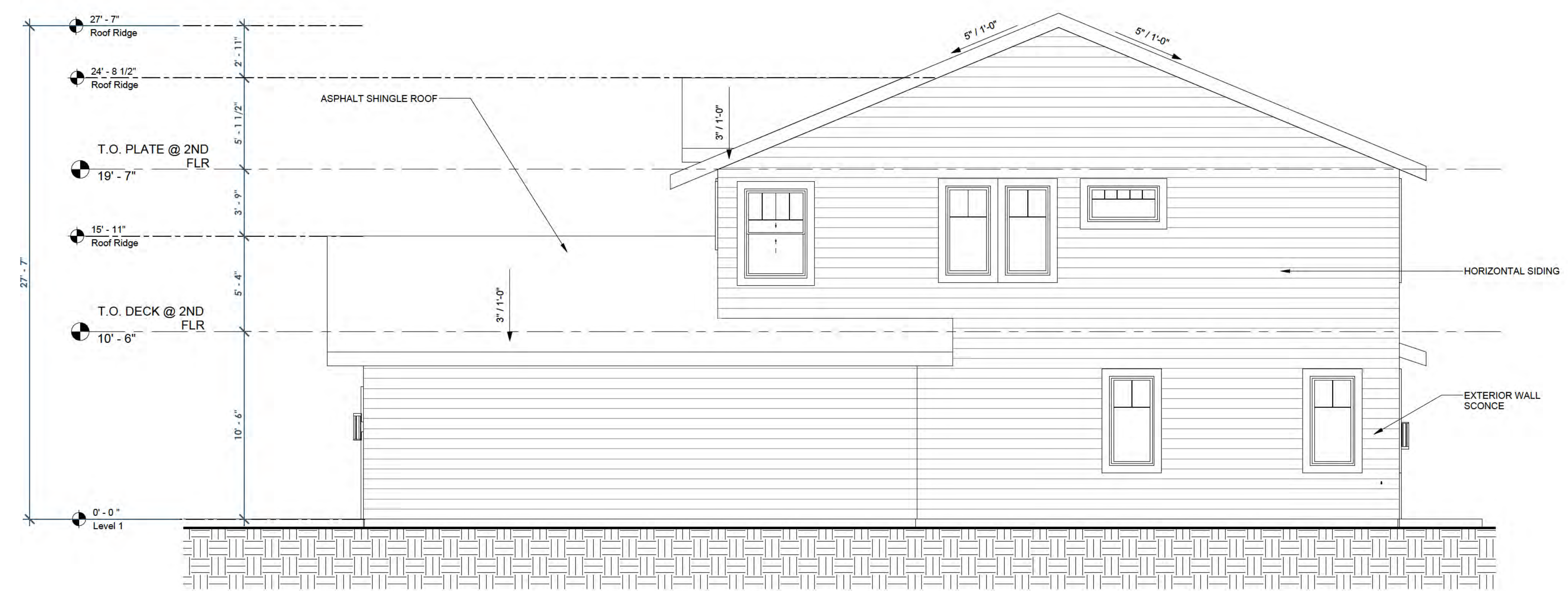
21037

EXTERIOR ELEVATIONS

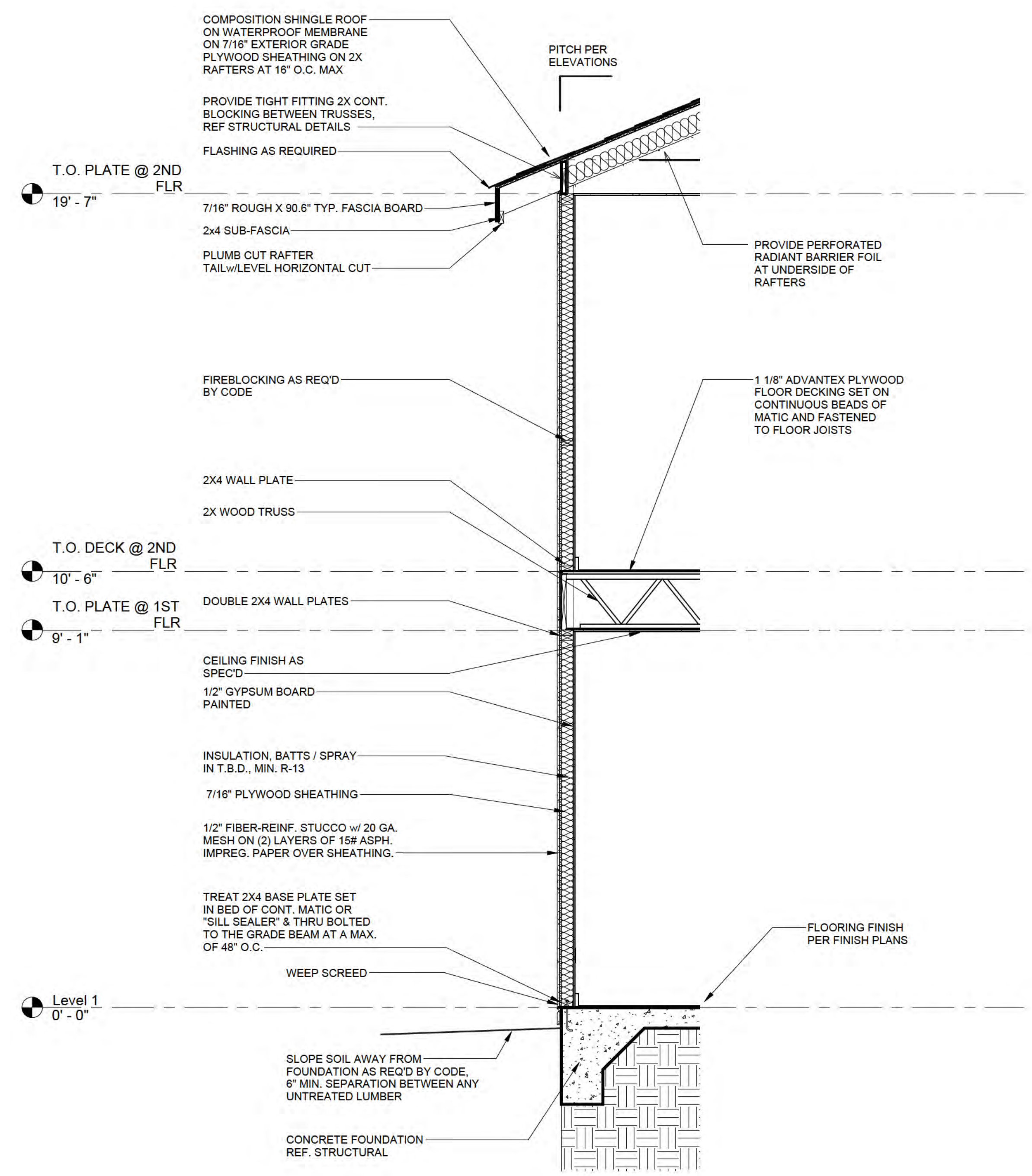
A401



② WEST EXTERIOR ELEVATION
1/4" = 1'-0"



① EAST EXTERIOR ELEVATION
1/4" = 1'-0"



1 TYP WALL SECTION @ STUCCO
1/2" = 1'-0"

| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | △ |
| Revision: | △ |
| Revision: | △ |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

WALL SECTION

A402



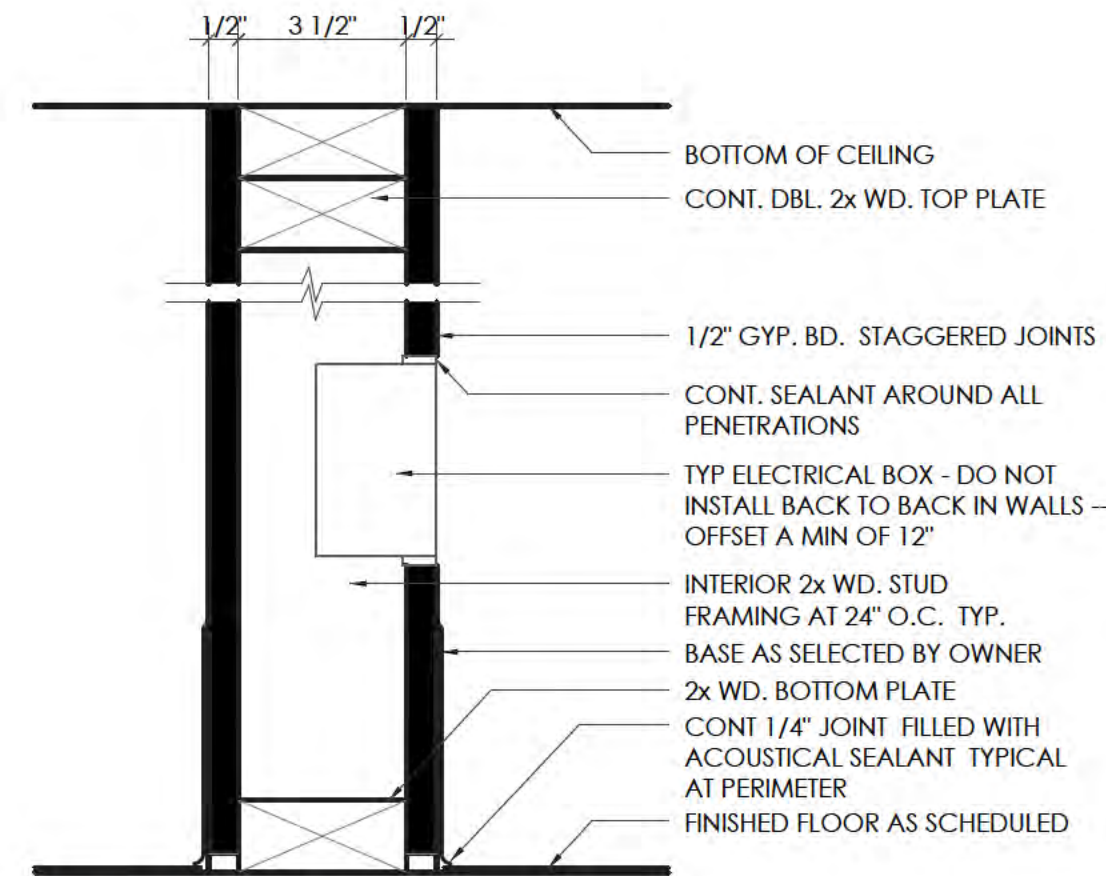
| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | |
| Revision: | |
| Revision: | |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

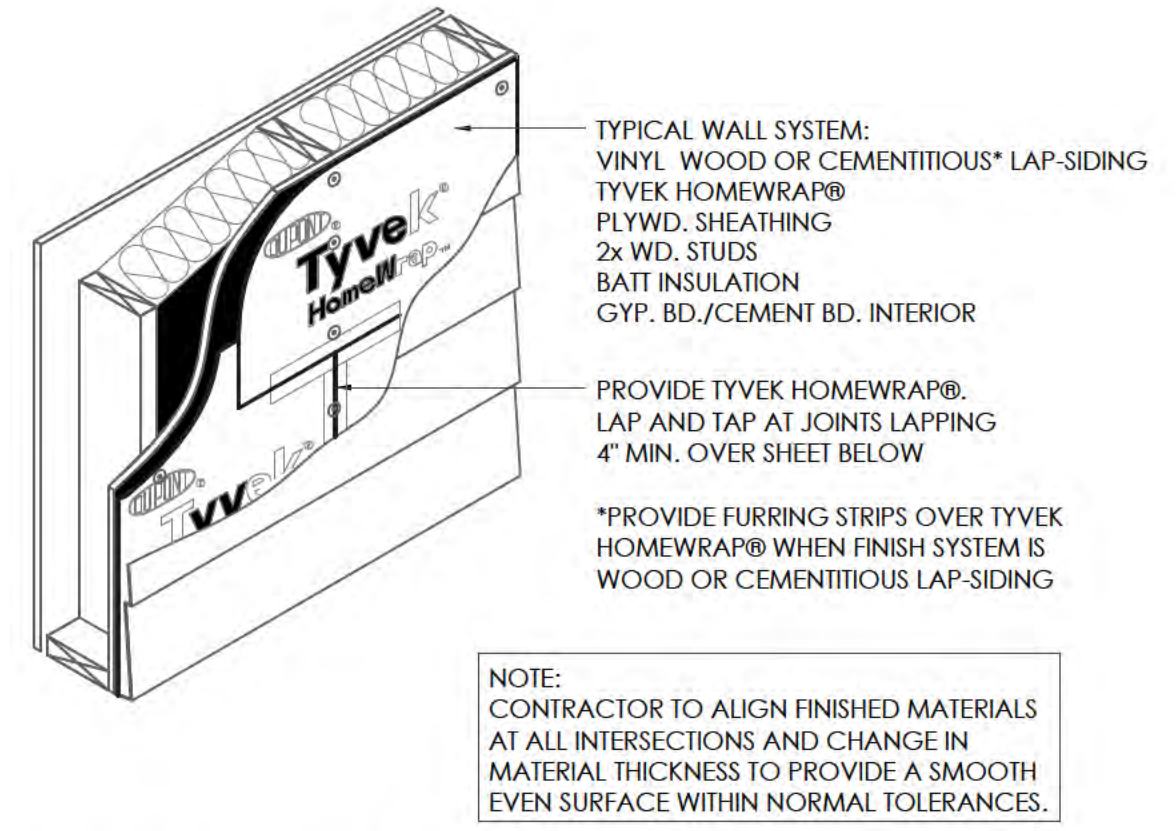
21037

WINDOW DETAILS

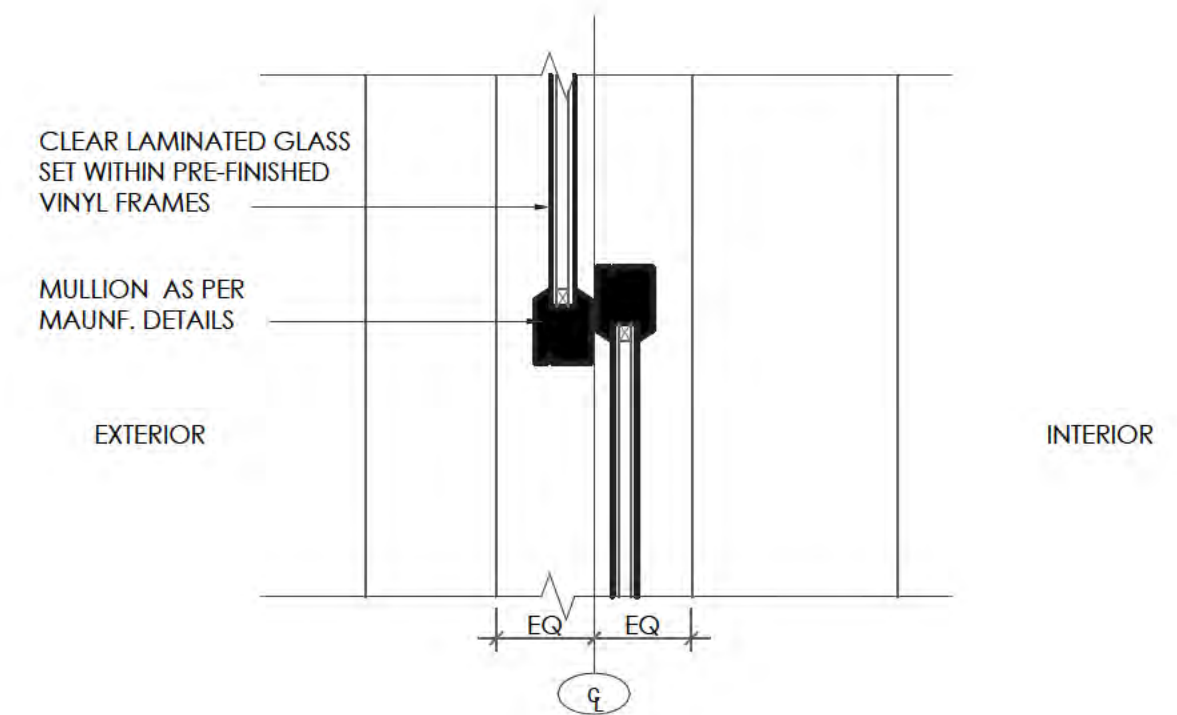
A500



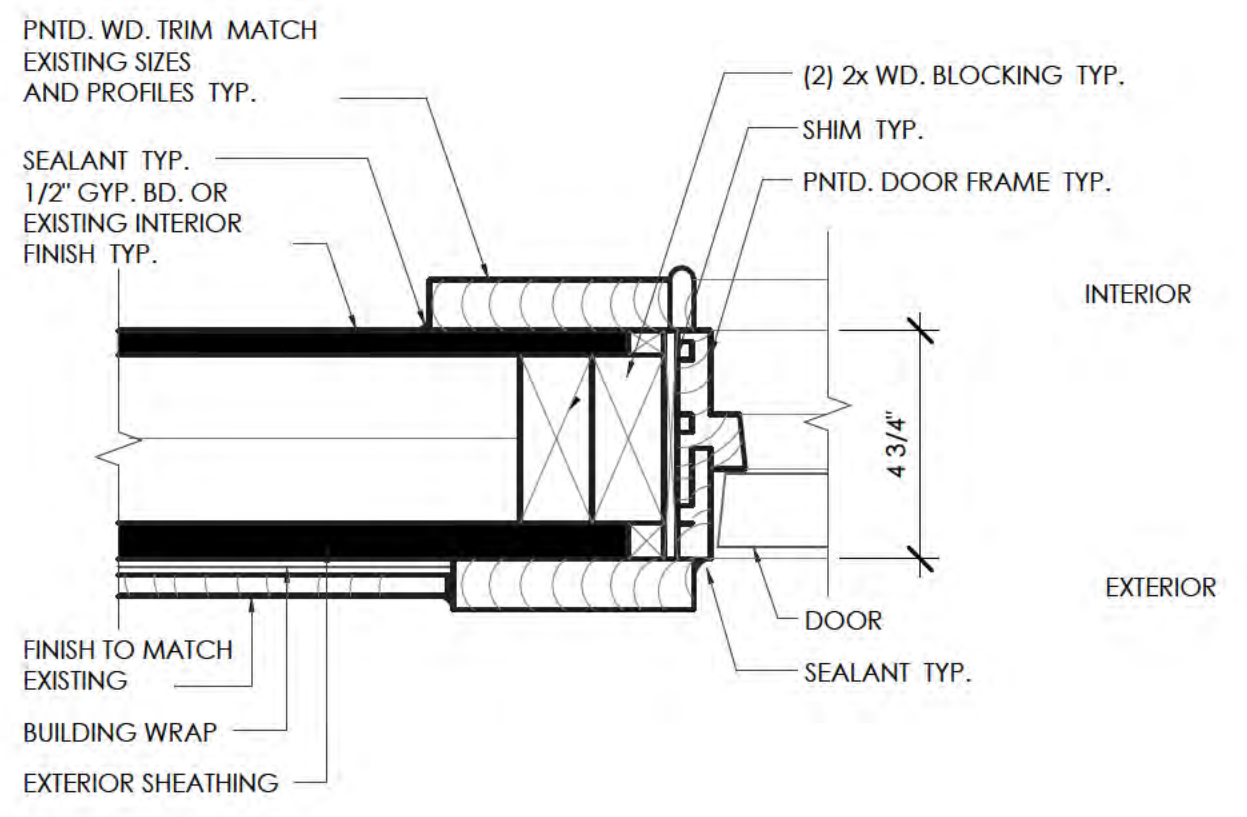
12 TYPICAL WALL DETAIL
SCALE: 3" = 1'-0"



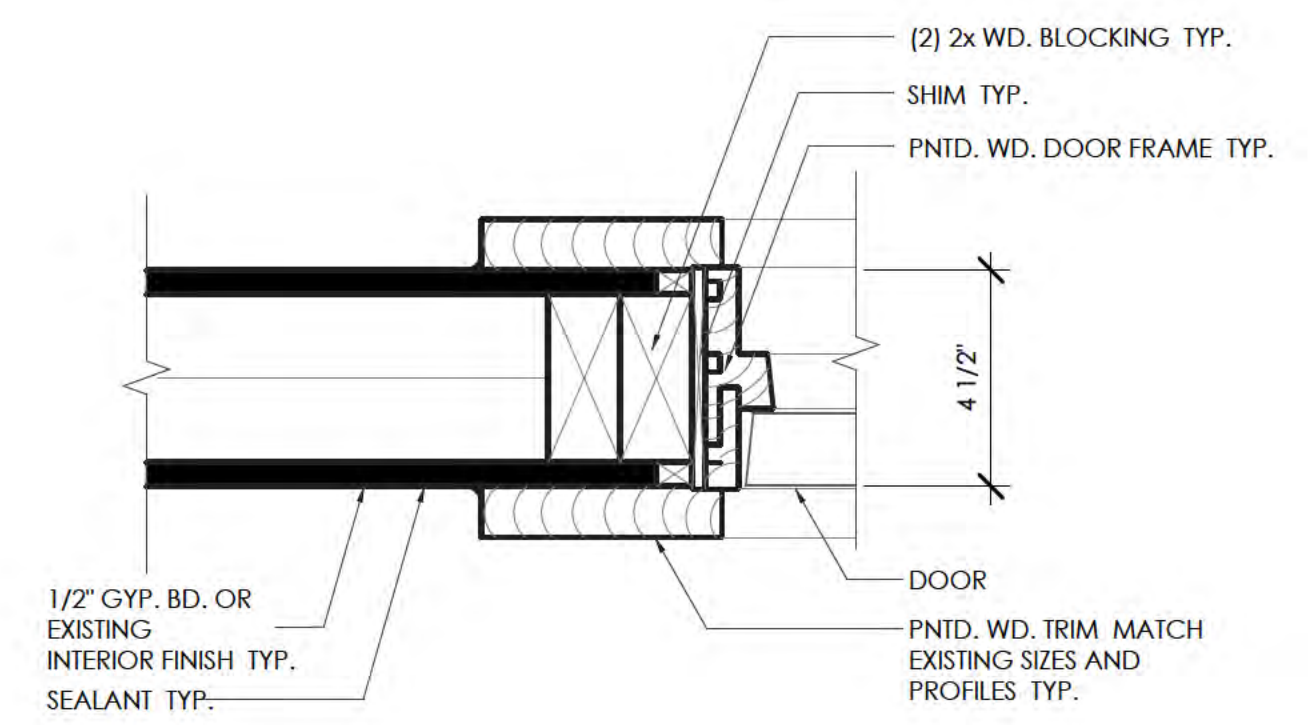
8 TYPICAL FRAME WALL - ISOMETRIC
SCALE: N.T.S.



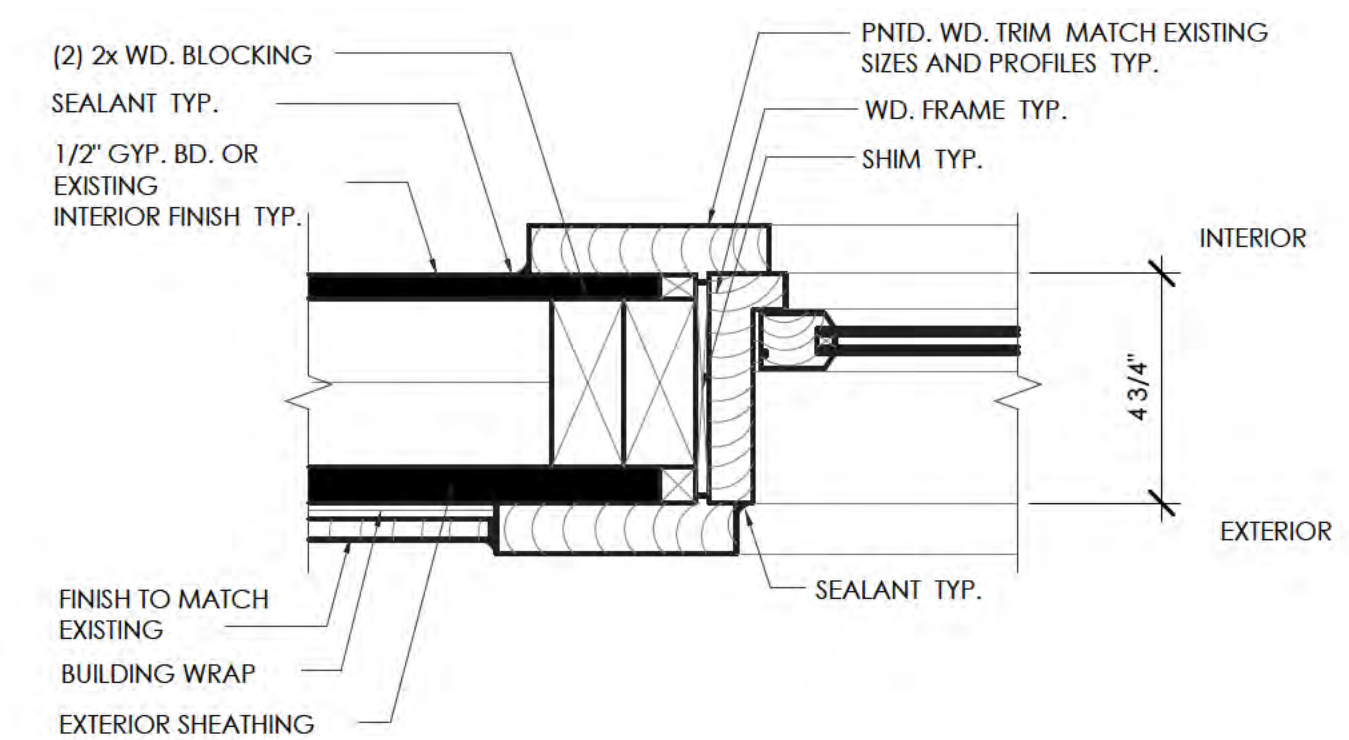
4 TYPICAL WINDOW MULLION
SCALE: 3" = 1'-0"



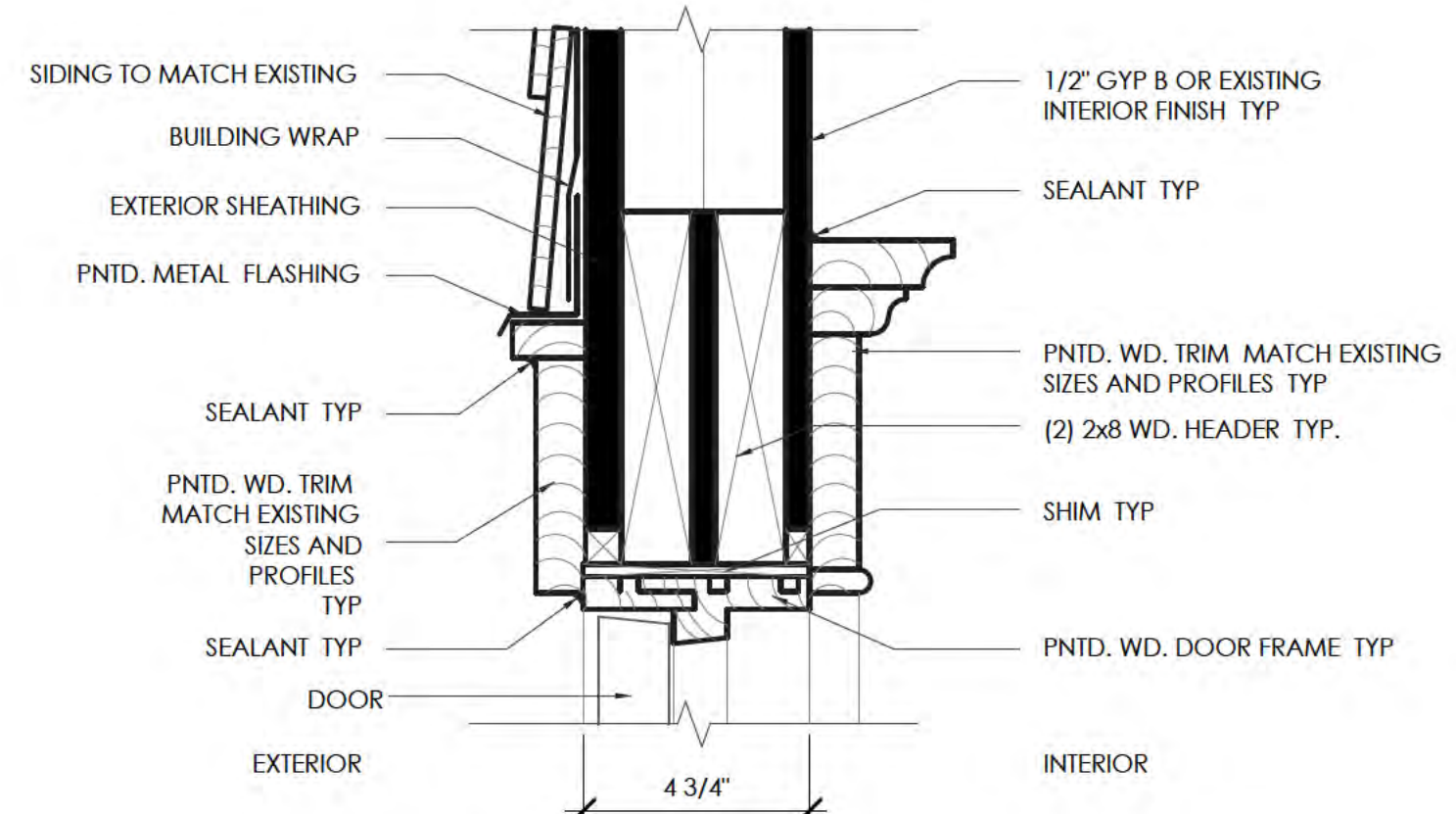
11 EXTERIOR DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



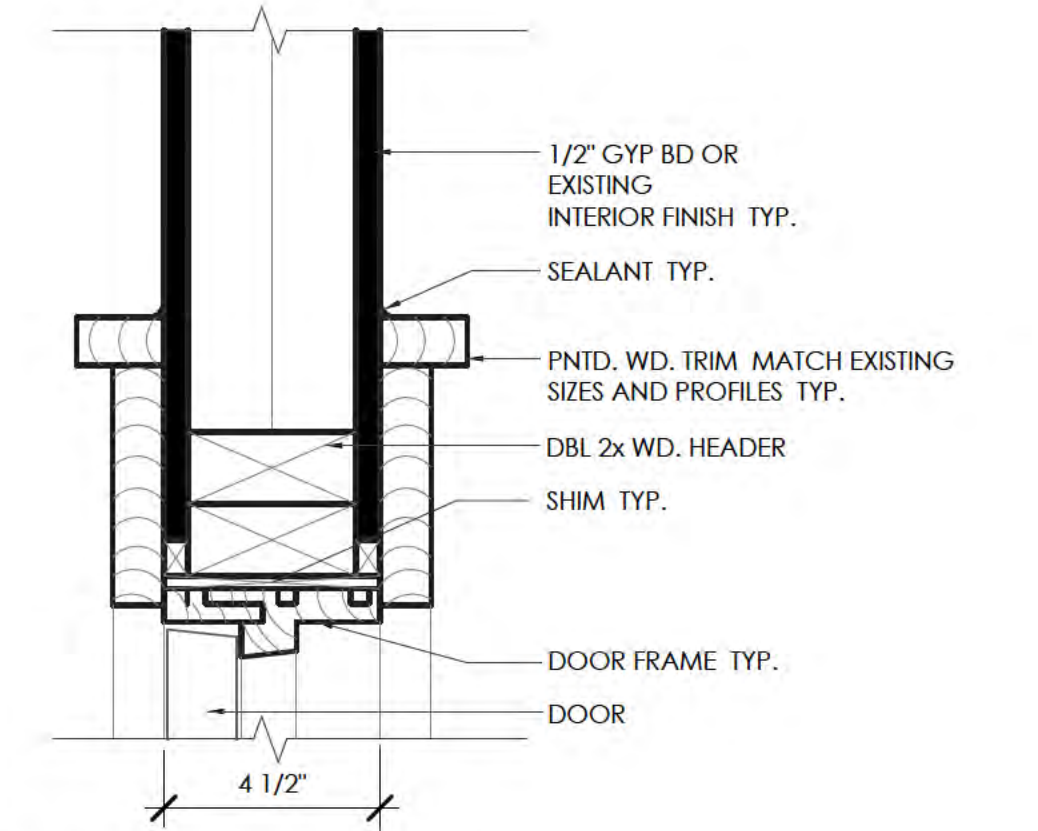
7 INTERIOR DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



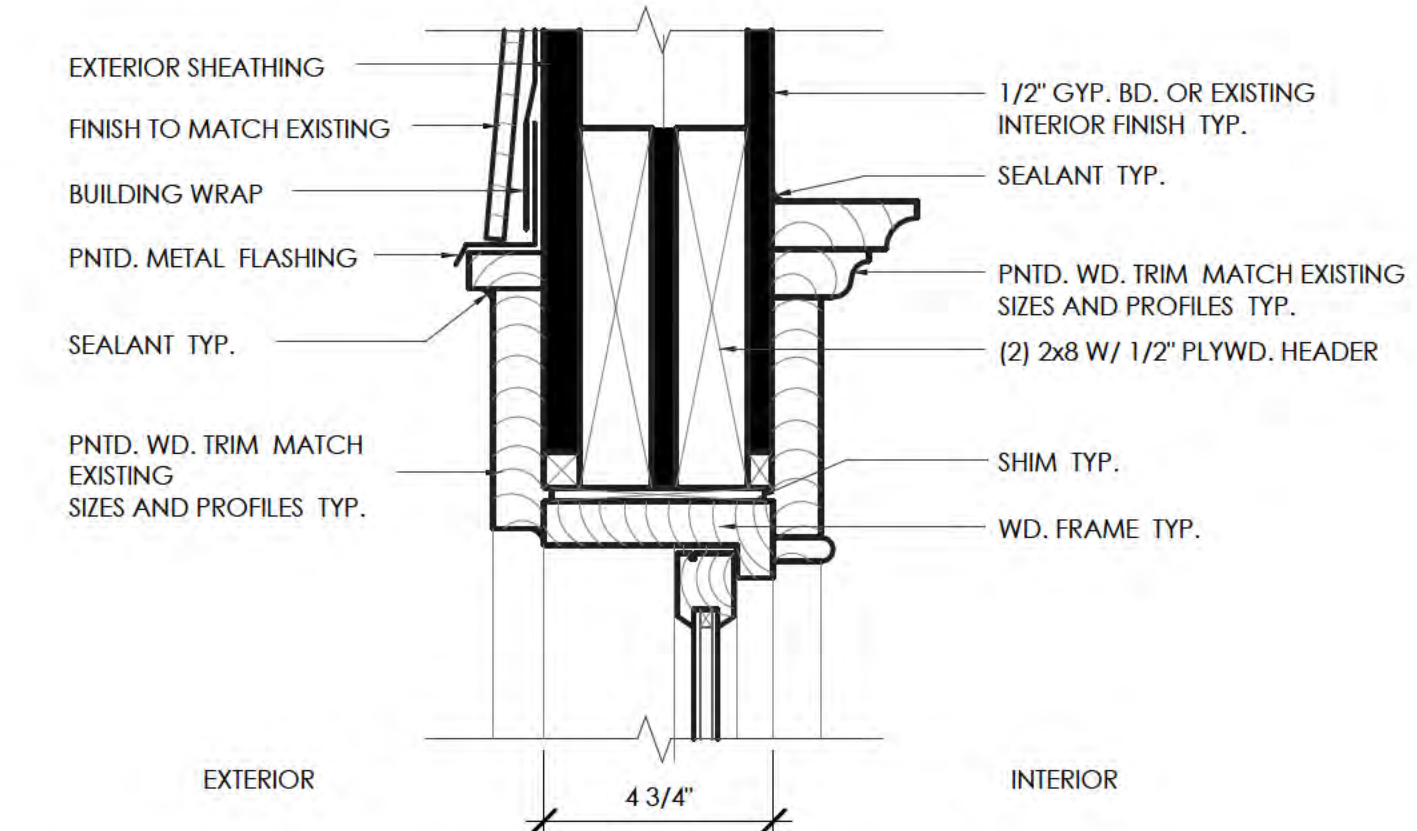
3 WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



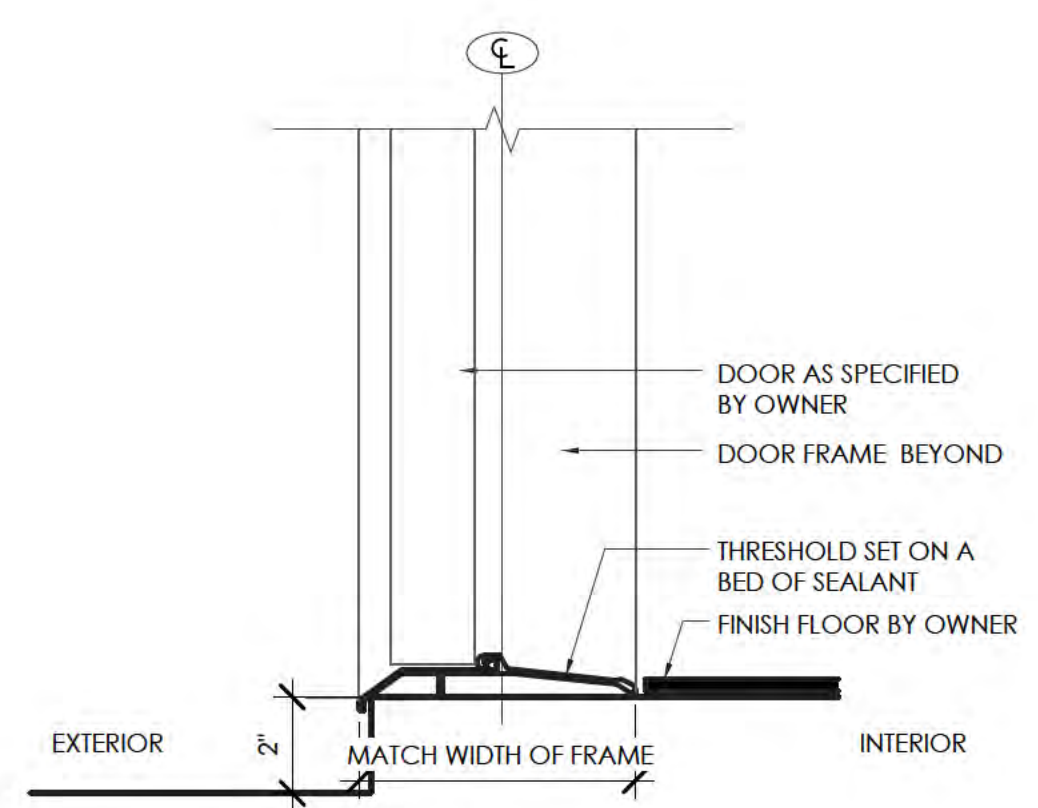
10 EXTERIOR DOOR HEAD DETAIL
SCALE: 3" = 1'-0"



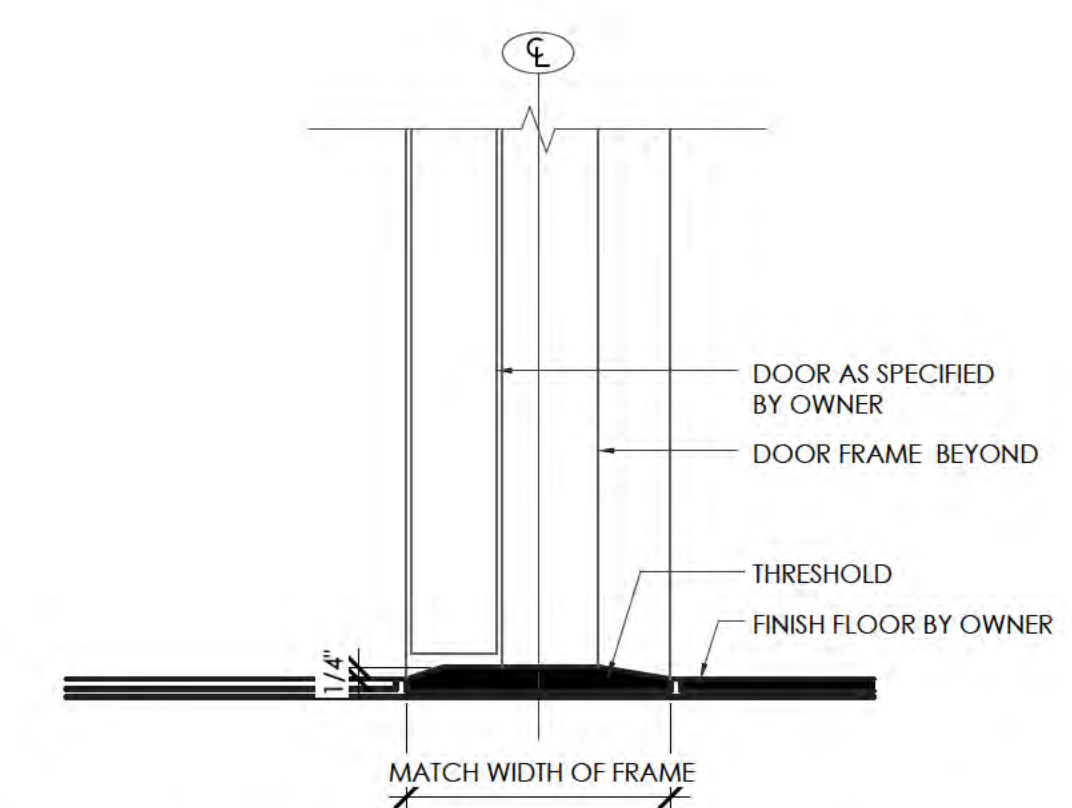
6 INTERIOR DOOR HEAD DETAIL
SCALE: 3" = 1'-0"



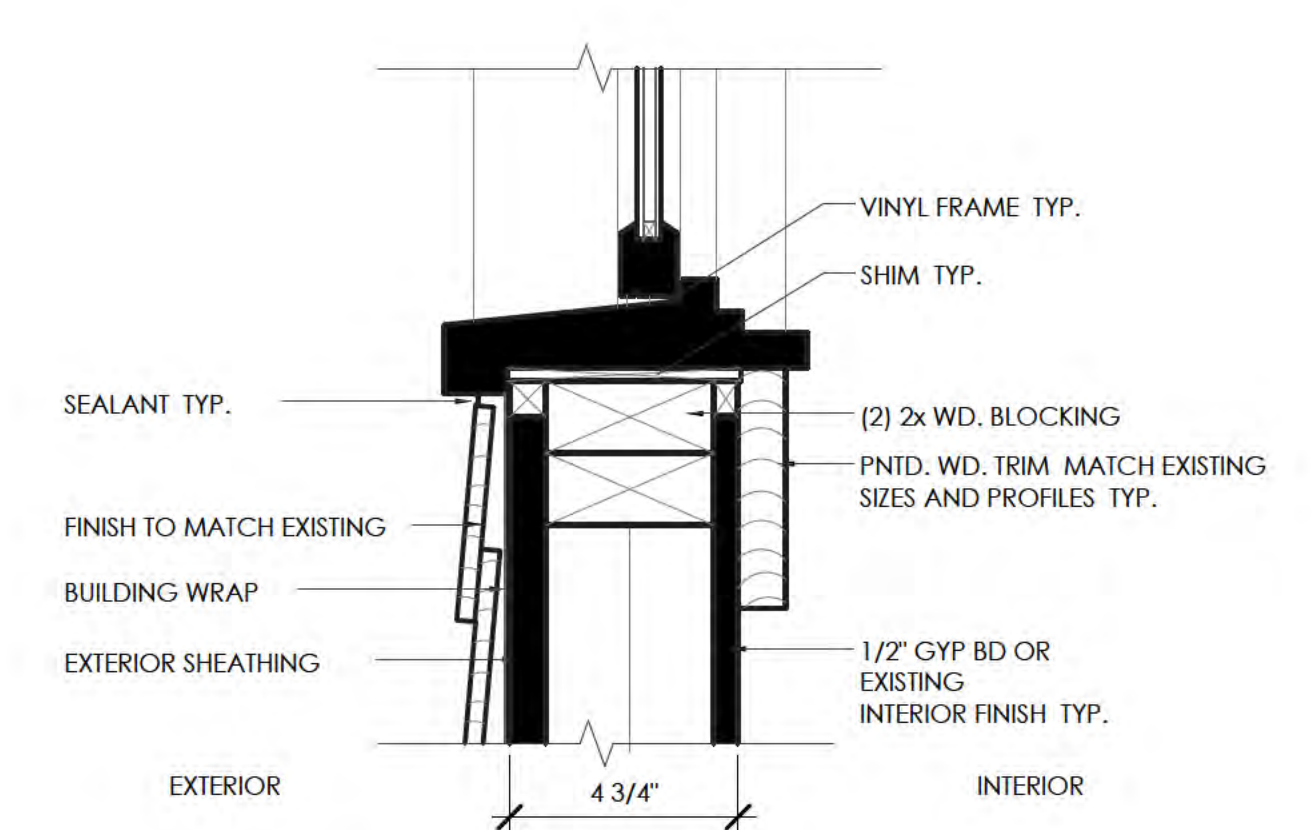
2 WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



9 EXTERIOR DOOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"



5 INTERIOR DOOR THRESHOLD DETAIL
SCALE: 3" = 1'-0"



1 WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



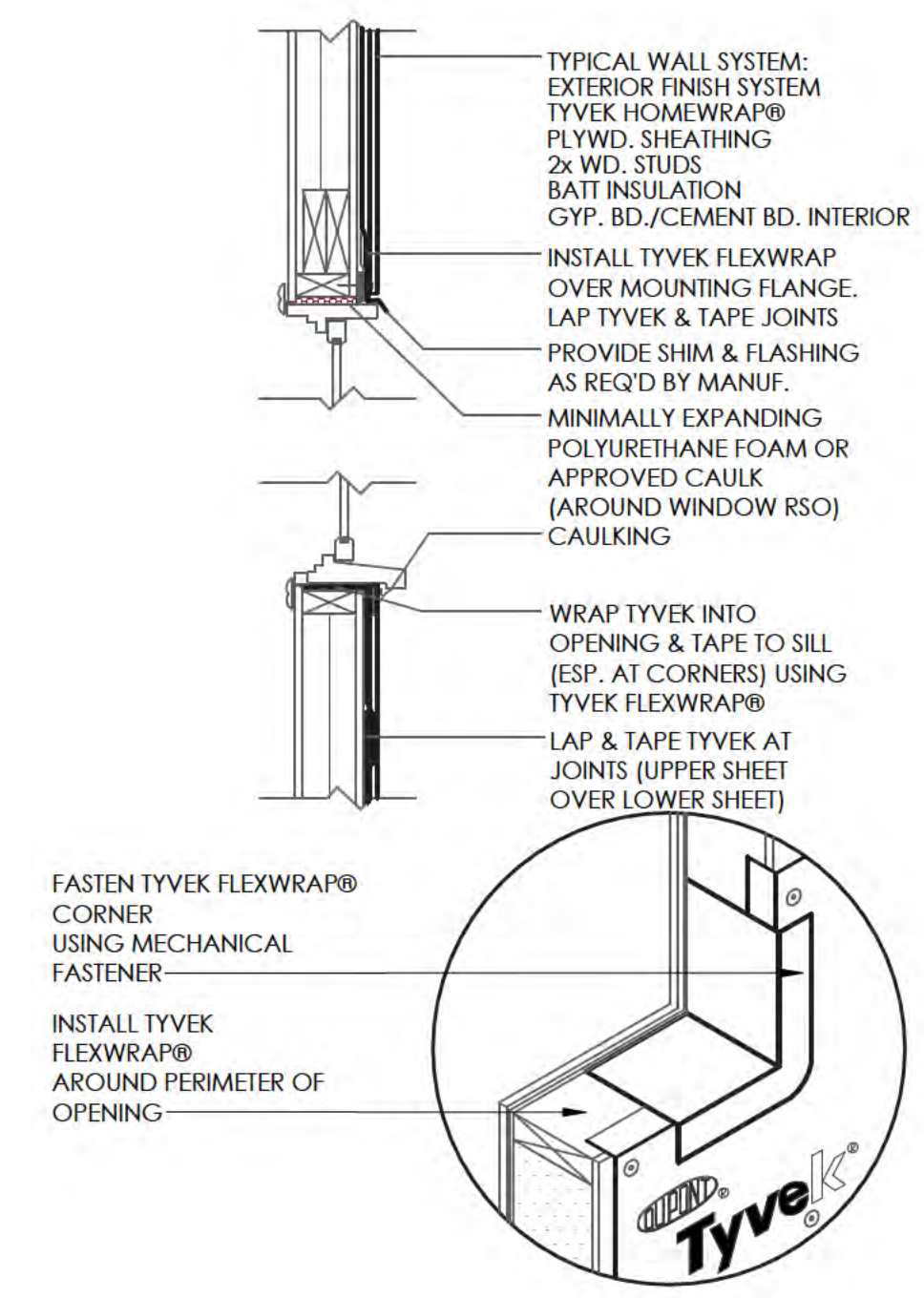
| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | |
| Revision: | |
| Revision: | |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

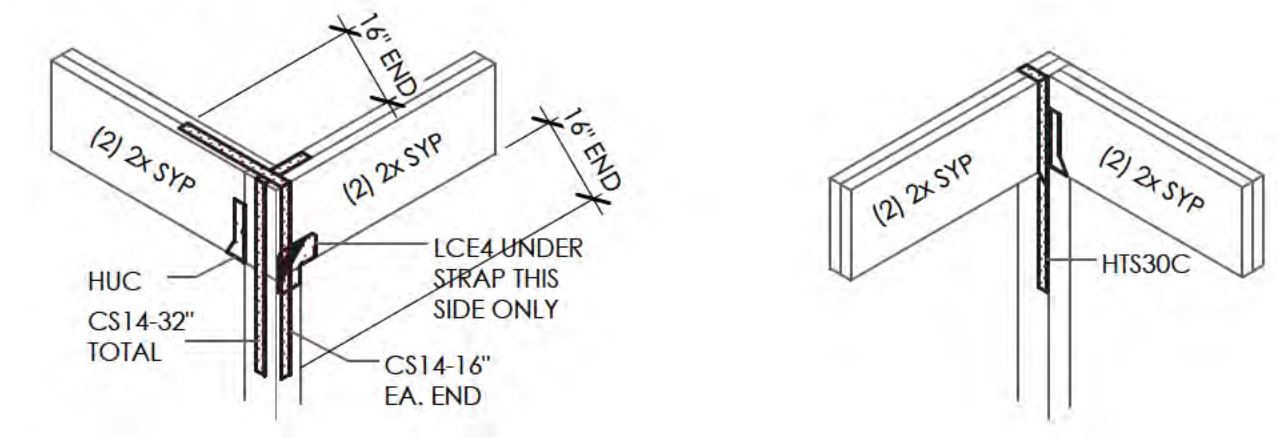
21037

FRAMING DETAILS

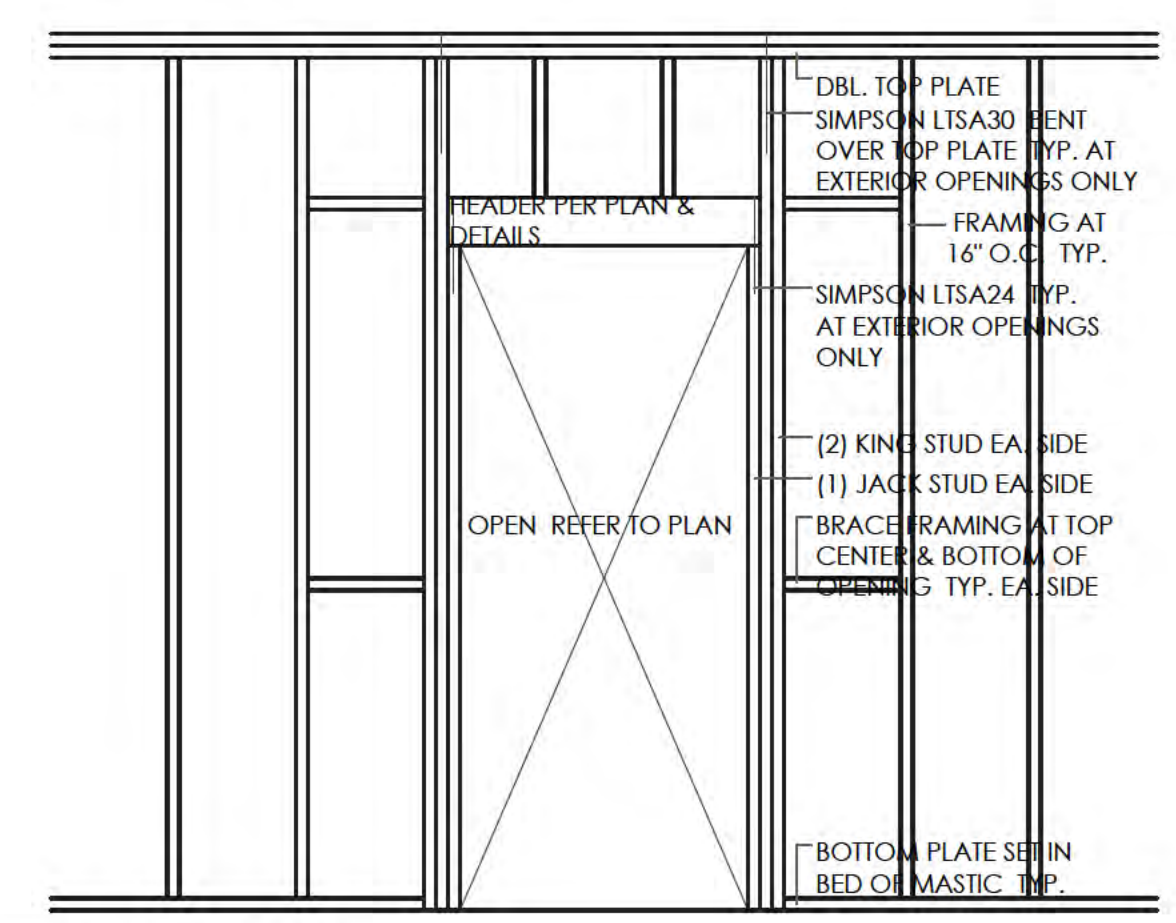
A600



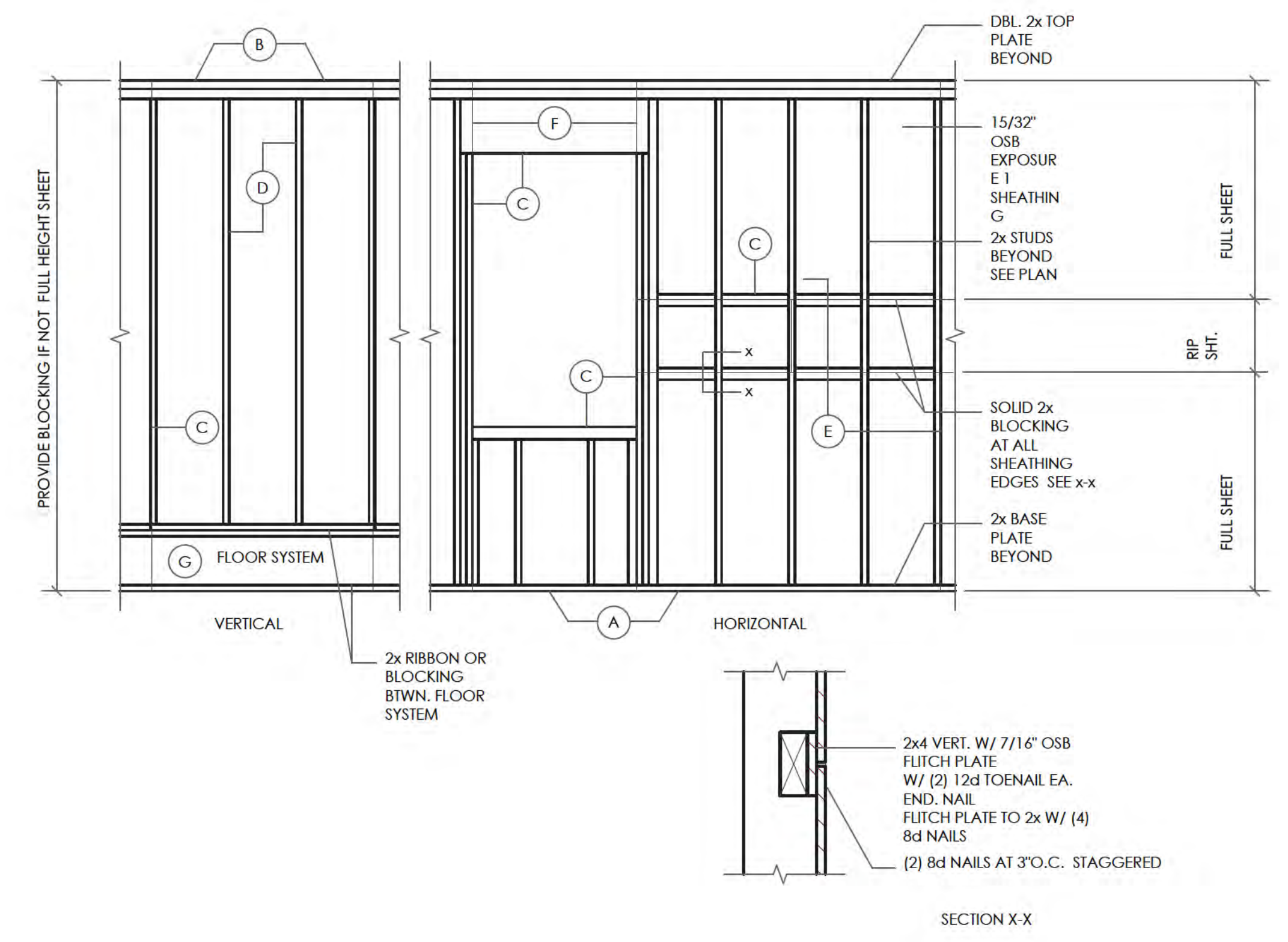
5 WOOD FRAME HOUSEWRAP DETAIL
1/2" = 1'-0"



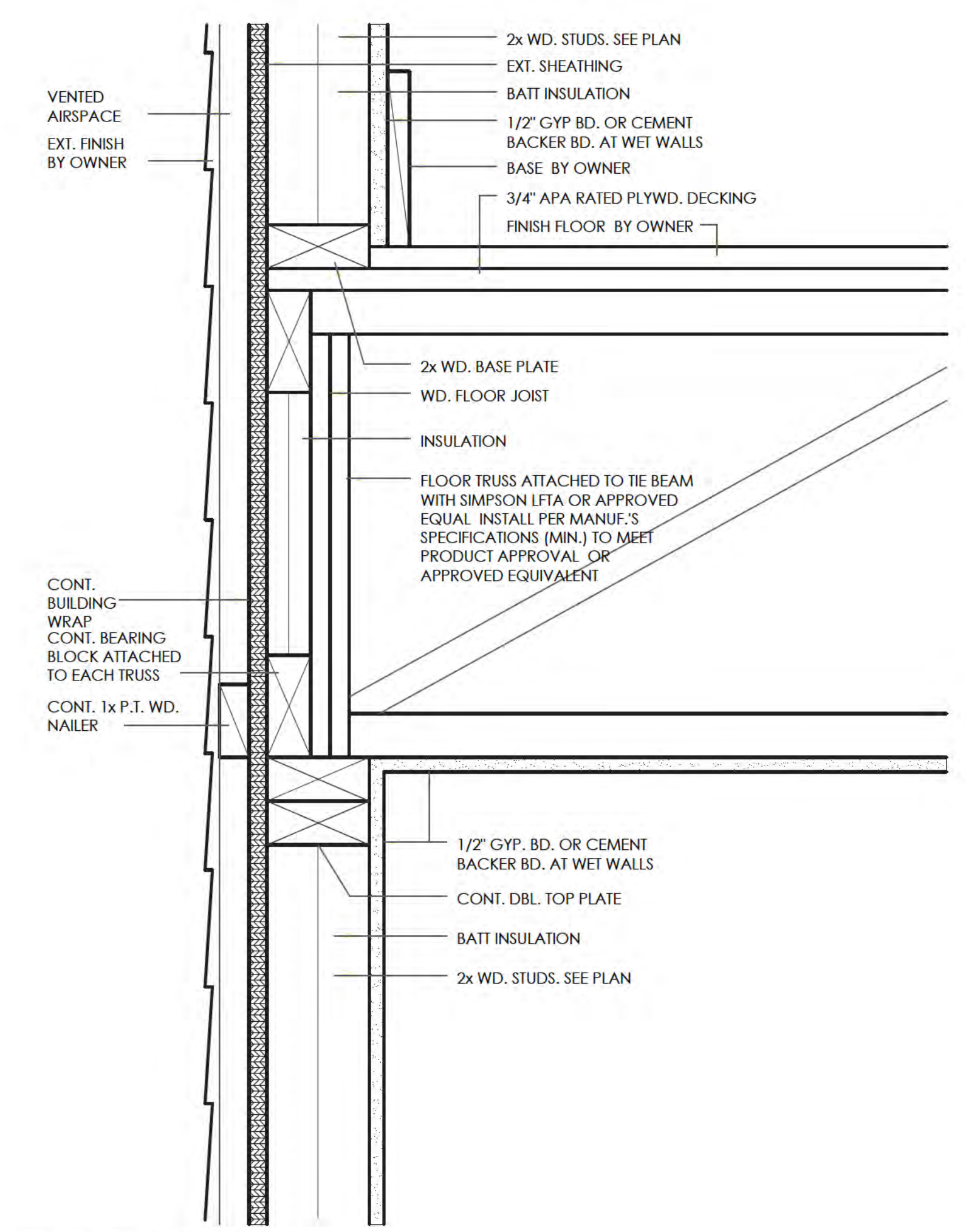
4 WOOD BEAM DETAILS
1/2" = 1'-0"



3 FRAMING DETAIL
1/2" = 1'-0"

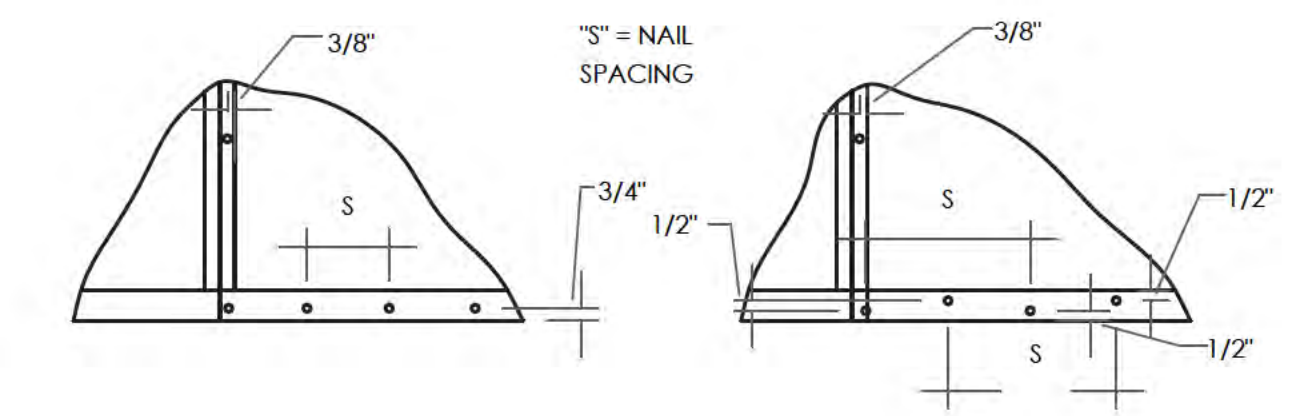


2 SHEATHING DIAGRAM
1/2" = 1'-0"



1 RIMBOARD SECTION
3" = 1'-0"

- (A) NAIL AT BASE W/ (2) ROWS AT 4"O.C. & 8d COMMON NAIL
 - (B) NAIL AT TOP W/ (2) ROWS AT 4"O.C. & 8d COMMON NAIL
 - (C) NAIL PERIMETER AT 3"O.C. & 8d COMMON NAIL
 - (D) NAIL INTERIOR AT 3"O.C. & 8d COMMON NAIL
 - (E) STAGGER VERT. JOINTS NAIL AT 4"O.C. & 8d COMMON NAIL
 - (F) SHEATHING SPLICES AT HEADER NAIL AT 4"O.C. & 8d COMMON NAIL
 - (G) (2) 8d NAILS AT 3"O.C. TO EA. TRUSS END OR AT VERT. IF GABLE END
- SHEATHING MAY BE INSTALLED VERTICAL OR HORIZONTAL
ATTACH PER NAILING SCHEDULE. PANEL EDGES TO BE ATTACHED TO STUD AND/OR BLOCKING AT ALL EDGES.
1/8" MIN. SPACE IS RECOMMENDED BETWEEN PANELS AT EDGES & END JOINTS TO ALLOW FOR EXPANSIONS. 1/8" MAX.
PENETRATION OF FASTENERS INTO SURFACE
8d NAILS FOR WALL SHEATHING SHALL BE .131"x2-1/2" MIN.





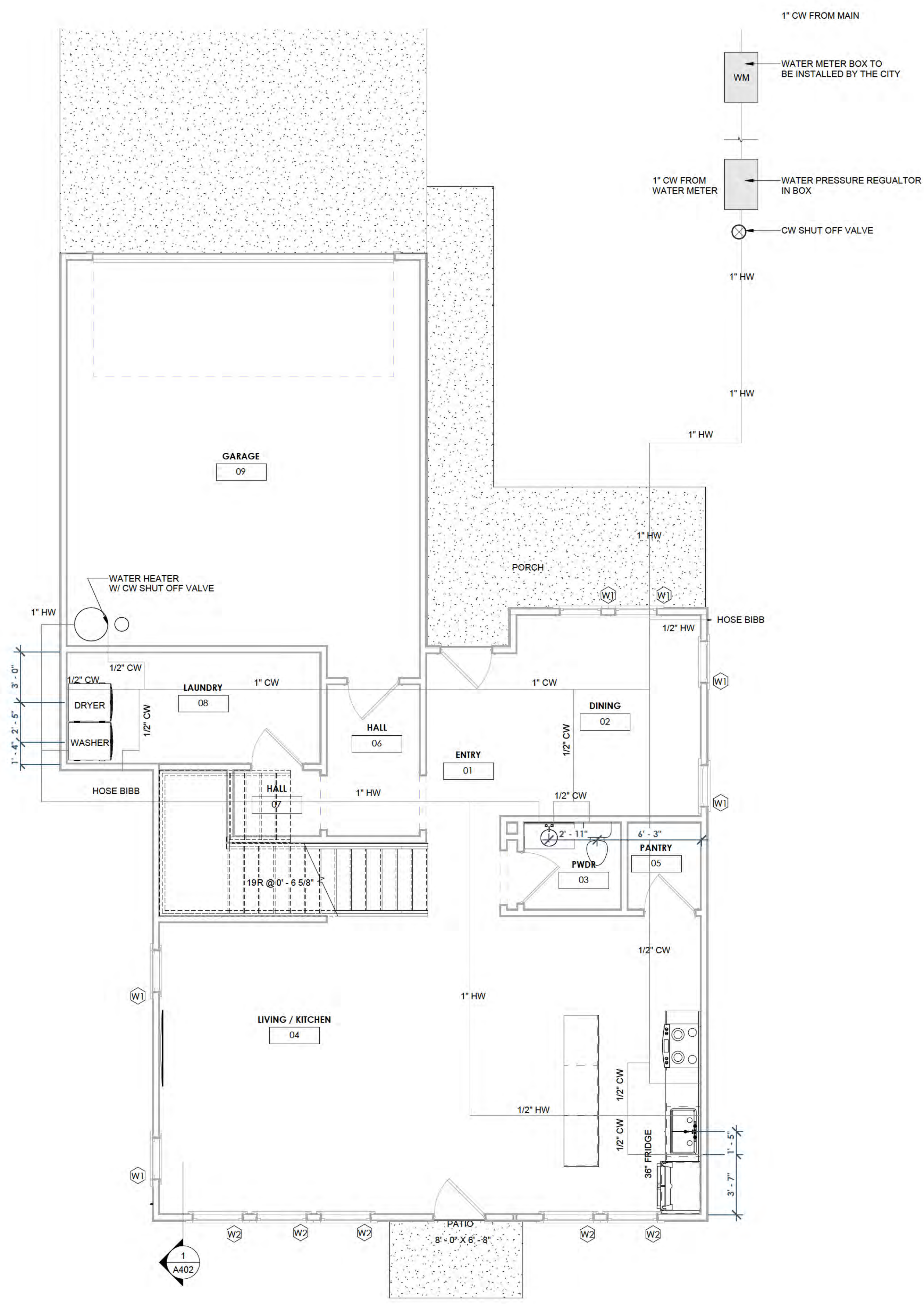
| | |
|-------------|------------|
| Issue Date: | 04/02/2020 |
| Revision: | △ |
| Revision: | △ |
| Revision: | △ |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
(C) URBAN NEST DEVELOPMENT LLC, 2020

21037

1ST FLOOR PLUMBING PLAN

P100



① LEVEL 1 FLOOR PLAN
1/4" = 1'-0"



SG MODERN PROPERTIES
FUTURE RESIDENCE AT 4502 LELAND AVENUE

Issue Date: 04/02/2020

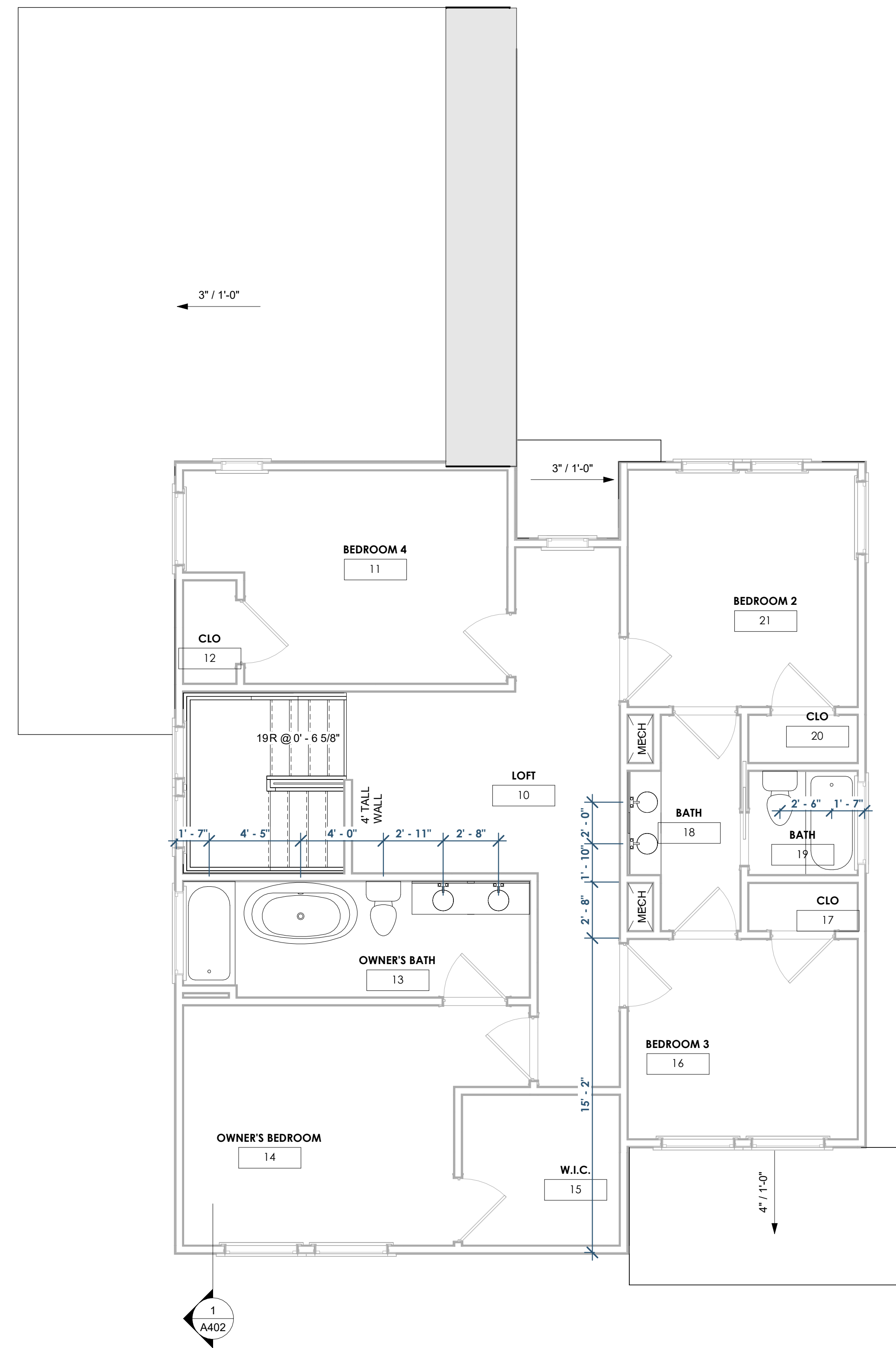
| | |
|----------|---|
| Revision | △ |
| Revision | △ |
| Revision | △ |

These drawings and details are the sole property of URBAN NESTS DEVELOPMENT, LLC and may be used for this specific project only. They shall not be loaned, copied or reproduced, on whole or in part, for any other purpose or project without the written consent of the Architect.
© URBAN NEST DEVELOPMENT LLC, 2020

21037

2ND FLOOR PLUMBING PLAN

P101



1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"