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CITY SECRETARY  
DALLAS, TEXAS



City of Dallas

Public Notice

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POSTED CITY SECRETARY  
DALLAS, TX

**REVISED**

**BOARD OF ADJUSTMENT (PANEL A)**

**March 21, 2023, Briefing at 11:00 A.M. and the Public Hearing at 1:00 P.M.  
Dallas City Hall, 6ES Council Briefing Room and Videoconference**

\* The Board of Adjustment hearing will be held by videoconference and in 6ES at City Hall. Individuals who wish to speak in accordance with the Board of Adjustment Rules of Procedure **by joining the meeting virtually**, must register online at <https://bit.ly/BDA-A-Register> or contact the Development Services Department at 214-670-4127 **by the close of business Monday, March 20, 2023. All virtual speakers will be required to show their video in order to address the board.** Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 96 or 99; and [bit.ly/cityofdallastv](http://bit.ly/cityofdallastv) or [YouTube.com/CityofDallasCityHall](http://YouTube.com/CityofDallasCityHall), and the WebEx link: <https://bit.ly/032123A>

**AGENDA**

- I. **Call to Order** David A. Neumann, Chairman
- II. **Staff Presentation/Briefing**
- III. **Public Hearing** Board of Adjustment
- IV. **Public Testimony**
- V. **Miscellaneous Items**
  - Approval of Panel A Minutes – February 21, 2023
  - Two-Year Limitation Waiver – BDA201-112 – 5518 Winston Court

**REQUEST:** To waive the two-year limitation on a final decision reached by Board of Adjustment Panel A on November 16, 2021 - a request to construct and/or maintain an eight-foot-high fence as a special exception to the height requirement for fences
- VI. **Case Docket** Board of Adjustment
  - Uncontested Items
  - Holdover Items
  - Individual Items
- VII. **Adjournment**

**Handgun Prohibition Notice for Meetings of Governmental Entities**

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

"Pursuant to Section 46.03, Penal Code (places weapons prohibited), a person may not carry a firearm or other weapon into any open meeting on this property."

"De conformidad con la Sección 46.03, Código Penal (coloca armas prohibidas), una persona no puede llevar un arma de fuego u otra arma a ninguna reunión abierta en esta propiedad."

**EXECUTIVE SESSION NOTICE**

A closed executive session may be held if the discussion of any of the above agenda items concerns one of the following:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the City Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex Govt . Code §551.087]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critica Infrastructure, or security devices. [Tex Govt. Code §551.089]

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**UNCONTESTED CASE(S)**

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<b>BDA223-022(OA)</b>	4011 Turtle Creek Boulevard <b>REQUEST:</b> Application of Stephen A. Worsham for a special exception to the single family use regulations to authorize more than one electrical utility service or more than one electrical meter	1
<b>BDA223-024(OA)</b>	5506 Columbia Avenue <b>REQUEST:</b> Application of Kellisha Goodwin for a special exception to the fence height regulations	2
<b>BDA223-025(OA)</b>	13418 Hughes Lane <b>REQUEST:</b> Application of Jennifer Hiromoto for a special exception to the fence height regulations and for a special exception to the fence standards regulations	3
<b>BDA223-028(GB)</b>	1300 W. Mockingbird Lane <b>REQUEST:</b> Application of Hunt Companies, Inc., represented by Rodney Moss, for a special exception to the off-street parking regulations	4

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**HOLDOVER**

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None.

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**INDIVIDUAL CASES**

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<b>BDA223-027(OA)</b>	5608 Live Oak Street <b>REQUEST:</b> Application of Kevin Alaimo for a variance to the height regulations	5
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**MISCELLANEOUS ITEM NO. 1**

**FILE NUMBER:** BDA201-112

**REQUEST:** To waive the two-year limitation on a final decision reached by Board of Adjustment Panel A on November 16, 2021 - a request to construct and/or maintain an eight-foot-high fence as a special exception to the height requirement for fences contained in the Dallas Development Code, subject to the condition of compliance with submitted site plan and elevation.

**LOCATION:** 5518 Winston Court

**APPLICANT:** Rob Baldwin

**STANDARD FOR WAIVING THE TWO YEAR TIME LIMITATION ON A FINAL DECISION REACHED BY THE BOARD:**

The Dallas Development Code states that the board may waive the two-year time limitation on a final decision reached by the board if there are changed circumstances regarding the property sufficient to warrant a new hearing.

**GENERAL FACTS/TIMELINE:**

Two-year limitation.

(1) Except as provided below, after a final decision is reached by the board, no further request on the same or related issues may be considered for that property for two years from the date of the final decision.

(2) If the board renders a final decision of denial without prejudice, the two-year limitation is waived.

(3) The applicant may apply for a waiver of the two-year limitation in the following manner:

(A) The applicant shall submit his request in writing to the director. The director shall inform the applicant of the date on which the board will consider the request and shall advise the applicant of his right to appear before the board.

(B) The board may waive the two-year time limitation if there are changed circumstances regarding the property sufficient to warrant a new hearing. A simple majority vote by the board is required to grant the waiver. If a rehearing is granted, the applicant shall follow the process outlined in this section. (Ord. Nos. 19455; 20926; 22254; 22389; 22605; 25047; 27892; 28073)

November 16, 2021: The Board of Adjustment Panel A granted a request to construct and/or maintain an eight-foot-high fence as a special exception to the height requirement for fences contained in the Dallas Development Code, subject to the condition of compliance with

submitted site plan and elevation. See Attachment A Decision Letter.

March 1, 2023: Applicant for BDA201-112 submitted a letter to Board Administrator to schedule for Board's consideration, a request to waive the two-year time limitation on a final decision reached by the board if there are changed circumstances regarding the property sufficient to warrant a new hearing. This letter provided an explanation as to why the applicant was making the request and provide rationale as to why this request should be granted. The two-year waiver is sought so that the Board may consider applicant's request for a revised fence design and location on site plan. The two-year waiver request is made in order for the applicant to file a new application for a fence height special exception on the property given that the applicant proposes a fence that would no longer comply with the conditions imposed with his granted request of November 2021. See Attachment B Request to Waive Two-Year Time Limitation.

March 1, 2023: The Board Administrator emailed the applicant information regarding the miscellaneous item request with a hearing date of March 21, 2023, Panel A.

**FILE NUMBER:** BDA223-022(OA)

**BUILDING OFFICIAL'S REPORT:** Application of Stephen A. Worsham for a special exception to the single-family use regulations to authorize more than one electrical utility service or more than one electrical meter at 4011 Turtle Creek Boulevard. This property is more fully described as Block 1/2062, Lot 12 and is zoned PD-193 sub area R-7.5(A), which requires that a single family dwelling use in a single family, duplex, or townhouse district may be supplied by not more than one electrical utility service and metered by not more than one electrical meter. The applicant proposes to have more than one electrical utility service, or more than one electrical meter on a lot with a single-family use, which will require a special exception to the single-family zoning use regulations.

**LOCATION:** 4011 Turtle Creek Boulevard

**APPLICANT:** Stephen A Worsham

**REQUESTS:**

A special exception to the single-family use regulations is requested in conjunction with installing and maintaining an additional electrical utility service and electrical meter on a site that is currently developed with a single-family use.

**STANDARD FOR A SPECIAL EXCEPTION TO THE SINGLE-FAMILY USE REGULATIONS TO AUTHORIZE MORE THAN ONE ELECTRICAL UTILITY SERVICE OR MORE THAN ONE ELECTRICAL METER:**

The board may grant a special exception to authorize more than one electrical utility service or more than one electrical meter for a single-family use on a lot in a single-family zoning, duplex, or townhouse district when, in the opinion of the board, the special exception will not:

1. be contrary to the public interest;
2. adversely affect neighboring properties; and
3. be used to conduct a use not permitted in the zoning district.

**STAFF RECOMMENDATION:**

No staff recommendation is made on this or any request for a special exception to authorize more than one electrical utility service or more than one electrical meter for a single-family use on a lot in a single-family zoning district since the basis for this type of appeal is when in the opinion of the board, the standards described above are met.

## **BACKGROUND INFORMATION:**

### **Zoning:**

- Site: PD-193 Subdistrict R-7.5 (single-family)  
North: PD-193 Subdistrict R-7.5 (single-family)  
West: PD-193 Subdistrict R-7.5 (single-family)  
South: PD-193 Subdistrict R-7.5 (single-family)  
East: PD-21 Plan Development District.

### **Land Use:**

The subject site and all surrounding areas to the north, south, and west are developed with single-family uses and the area to the east with a park.

### **Zoning/BDA History:**

There have been no related board or zoning cases in the vicinity within the last five years.

## **GENERAL FACTS/STAFF ANALYSIS:**

- This request focuses on installing and maintaining a second electrical utility service/electrical meter on a site currently being developed with a single family home.
- According to the application, the applicant requires a three-phase power to operate electric tools and heaters located in the garage. The applicant advised that he requires a second electric meter to provide a three-phase power.
- The site is zoned PD-193 Subdistrict R-7.5 (single-family) where the Dallas Development Code permits one dwelling unit per lot.
- The Dallas Development Code states that in a single family, duplex, or townhouse district, a lot for single family use may be supplied by not more than one electrical service, and metered by not more than one electrical meter; and that the board of adjustment may grant a special exception to authorize more than one electrical utility service or more than one electrical meter for single family use on a lot in a single family zoning district when in the opinion of the board, the special exception will: 1) not be contrary to the public interest; 2) not adversely affect neighboring properties, and 3) not be used to conduct a use not permitted in the zoning district
- The applicant has submitted a site plan that indicate the proposed location of the second electrical meter on the subject site.
- As of March 10, 2023, no letters have been submitted in support of nor in opposition of the request.
- The applicant has the burden of proof in establishing that the additional electrical meter to be installed and/or maintained on the site will: 1) not be contrary to the public

interest; 2) not adversely affect neighboring properties, and 3) not be used to conduct a use not permitted in the zoning

- If the board were to approve this request to install and maintain a second electrical utility service/electrical meter, this special exception request will not provide any relief to the Dallas Development Code regulations other than allowing a second electrical utility service/electrical meter on the site (i.e., development on the site must meet all required code requirements).

**Timeline:**

December 20, 2022: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

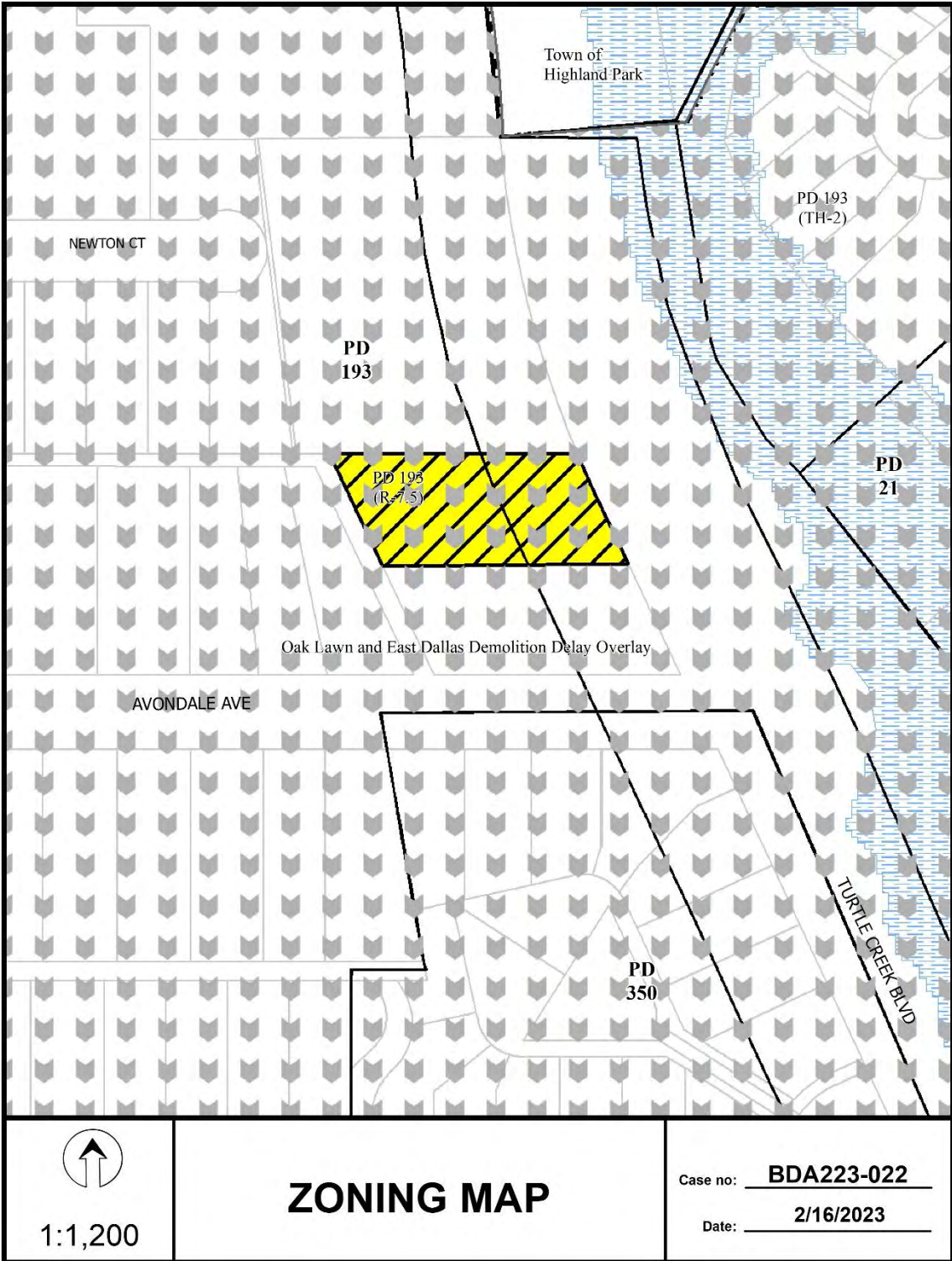
February 8, 2023: The Board of Adjustment Administrator assigned this case to Board of Adjustment Panel A.

February 13, 2023: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:

- an attachment that provided the public hearing date and panel that will consider the application; the February 27, 2023, deadline to submit additional evidence for staff to factor into their analysis; and March 10, 2023, deadline to submit additional evidence to be incorporated into the board’s docket materials.
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

February 28, 2023: The Board of Adjustment staff review team meeting was held regarding this request and other requests scheduled for the January public hearings. Review team members in attendance included: the Board of Adjustment Chief Planner/Board Administrator, the Development Services Senior Plans Examiner, the Assistant City Attorneys to the Board, and the Senior Planners.





1:1,200

# ZONING MAP

Case no: BDA223-022

Date: 2/16/2023

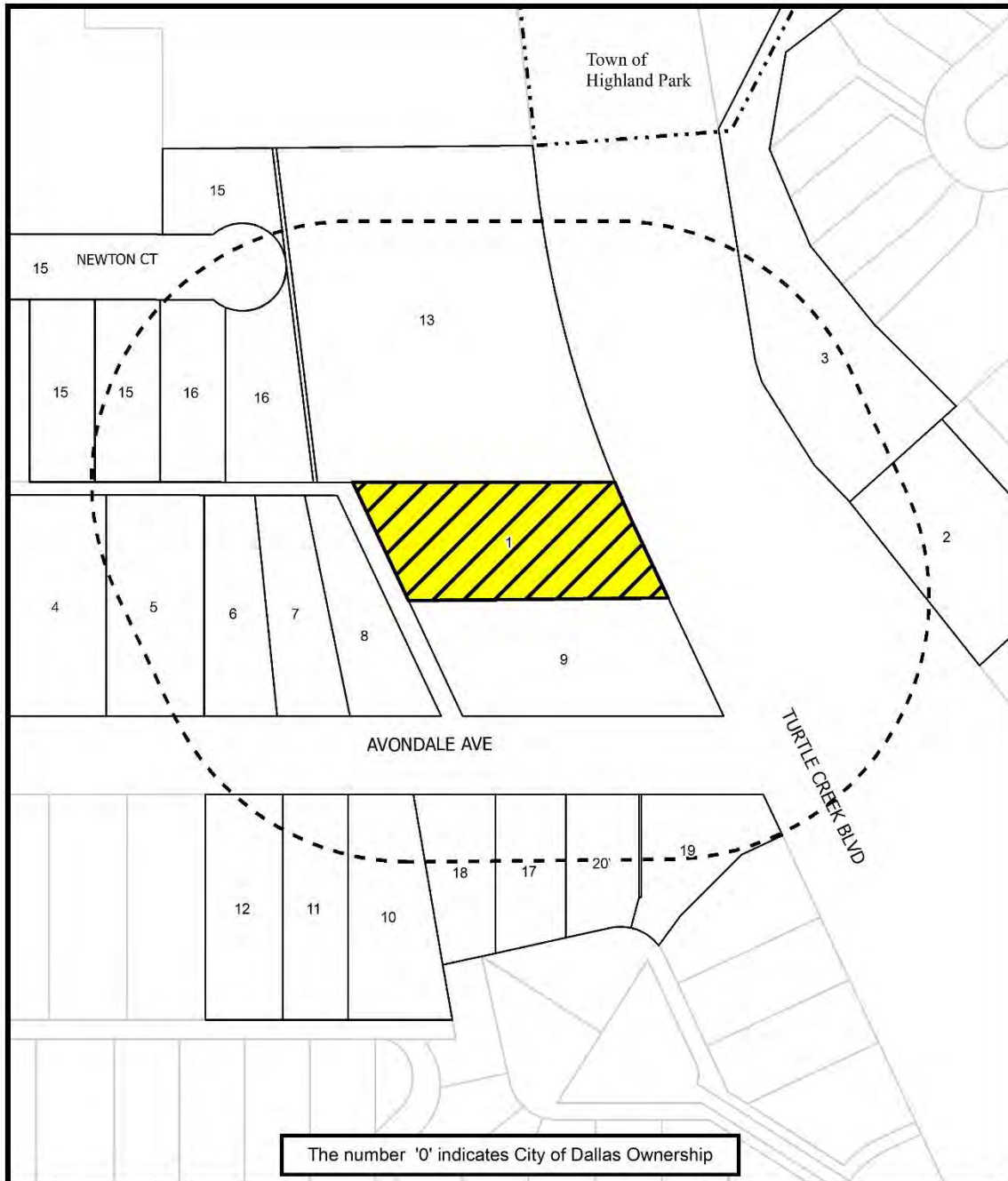


1:1,200

# AERIAL MAP

Case no: BDA223-022

Date: 2/16/2023



 1:1,200	<b>NOTIFICATION</b>		Case no: <b>BDA223-022</b>
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION <div style="border: 1px solid black; padding: 2px; display: inline-block;">21</div> NUMBER OF PROPERTY OWNERS NOTIFIED		Date: <b>2/16/2023</b>

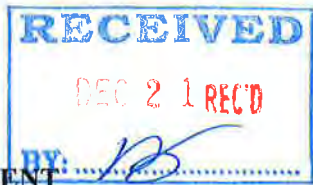
02/16/2023

## ***Notification List of Property Owners***

***BDA223-022***

### ***21 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	4011 TURTLE CREEK BLVD	WORSHAM REVOCABLE TRUST THE
2	1 CHRISTOPHER PL	CHRISTOPHER PL ASSN
3	1 TURTLE CREEK BEND	TURTLE CRK BEND HMOWNRS
4	4325 AVONDALE AVE	RICE KIM
5	4331 AVONDALE AVE	OESTERLING KURT F & CHRISTINE R
6	4337 AVONDALE AVE	RATAN RAJESH
7	4341 AVONDALE AVE	PINK PHILIP R
8	4347 AVONDALE AVE	PUTNAM JASON KYLE
9	4001 TURTLE CREEK BLVD	MCCABE MICHAEL JAMES JR &
10	4344 AVONDALE AVE	SEKIGUCHI DARREN &
11	4340 AVONDALE AVE	WARD PHYLLIS A
12	4336 AVONDALE AVE	DIWA LETICIA & TOMAS III
13	4027 TURTLE CREEK BLVD	MASON WILSON K III & GWYN
14	4300 NEWTON AVE	PARK CITIES PRESBYTERIAN
15	4326 NEWTON CT	PARK CITIES PRESBYTERIAN CHURCH
16	4334 NEWTON CT	PARK CITIES PRESBYTERIAN CH
17	3901 TURTLE CREEK BLVD	Taxpayer at
18	3901 TURTLE CREEK BLVD	STUEWE RANDALL C
19	3901 TURTLE CREEK BLVD	AF MANAGEMENT LLC
20	3901 TURTLE CREEK BLVD	OSBORNE BETTY
21	3901 TURTLE CREEK BLVD	FAULCONER AMY A



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-022

Data Relative to Subject Property:

Date: 11-1-2022

Location address: 4011 Turtle Creek Blvd. Dallas, TX Zoning District: PD193 (R.7.5(A))

Lot No.: 12 Block No.: 1/2062 Acreage: 0.417 Census Tract: \_\_\_\_\_

Street Frontage (in Feet): 1) 100.3 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): The Worsham Revocable Trust -owner Stephen Worsham

Applicant: Stephen A. Worsham Telephone: 831-809-9898

Mailing Address: 4011 Turtle Creek Blvd. Dallas, TX Zip Code: 75219

E-mail Address: saw93908@comcast.net

Represented by: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Affirm that an appeal has been made for a Variance , or Special Exception \_\_\_\_\_, of \_\_\_\_\_

second electrical service meter

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

This is not contrary to the public interest and will not affect my neighbors  
I have a few tools and electric heaters that I wish to  
use in my home garage. These require 3 phase power  
and thus I need a second electric meter. Thank you.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

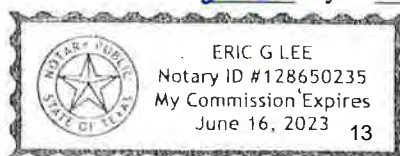
Before me the undersigned on this day personally appeared Stephen A. Worsham  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 20 day of DEC, 2022

(Rev. 08-01-11)



[Signature]  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that      STEPHEN A WORSHAM

did submit a request      provide an additional electrical meter  
at      4011 TURTLE CREEK BLVD.

BDA223-022. Application of STEPHEN A WORSHAM for a special exception to the single-family use regulations to authorize more than one electrical utility service or more than one electrical meter at 4011 TURTLE CREEK BLVD. This property is more fully described as Block 1/2062, Lot 12 and is zoned PD-193 sub area R-7.5(A), which requires that a single-family dwelling use in a single family, duplex, or townhouse district may be supplied by not more than one electrical utility service, and metered by not more than one electrical meter. The applicant proposes to maintain a single-family dwelling in a single family district and have more than one electrical utility service, or more than one electrical meter, which will require a special exception to the single-family zoning use regulations.

Sincerely,

  
Andrew Espinoza, CBO, MCP, CFM, CCEA



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 223-022

I, Stacie M. Worsham, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4011 Turtle Creek Blvd. Dallas, TX 75219  
(Address of property as stated on application)

Authorize: Stephen A. Worsham  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: second electrical service meter

Stacie M. Worsham  
Print name of property owner or registered agent

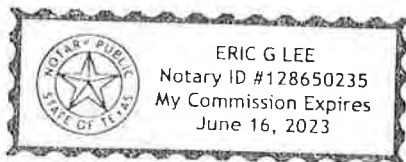
[Signature]  
Signature of property owner or registered agent

Date 12/21/2022

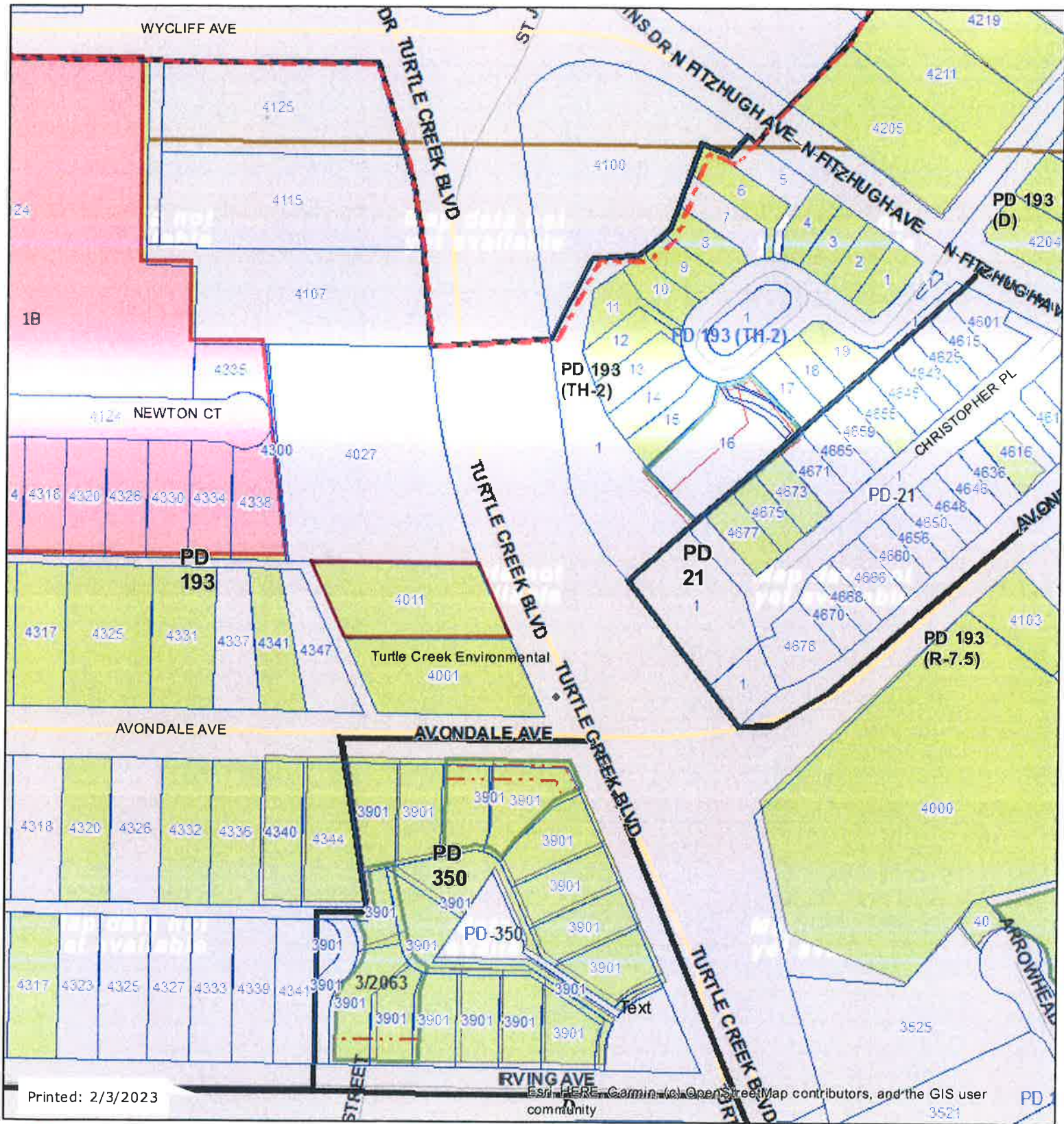
Before me, the undersigned, on this day personally appeared Stacie M. Worsham

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 21 day of Dec, 2022



[Signature]  
Notary Public for Dallas County, Texas



Printed: 2/3/2023

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

- City Limits
- Dallas Tax Parcels
- Base Zoning
- PD193 Oaklawn
- Platted Lines
- Setbacks
- Wastewater
- Addition Boundaries
- Preliminary Floodplain
- Final Floodplain
- 0.2 Pct Annual Flood Hazard
- 1 Pct Annual Chance Flood Hazard
- Parks
- Certified Parcels
- Base Zoning
- Historic Plat Parcels
- Historic
- Plat Parcels
- Preliminary
- Demolition Delay Overlay
- PD193 Oak Lawn
- Dallas Environmental Corridors
- Dry Overlay
- D

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. (Texas Government Code § 2051.102)



1:2,257



**CITY OF DALLAS PLAT BOOKS**

ADDITION  
 BLOCKS 2062, 2063, 2064, 2064  
 SCHOOL DISTRICT DALLAS

ANNEXED APRIL 1, 1919 ORD. NO. 501  
 SURVEY W. BRIGSBY ABST. 501

SCALE 100 FT EQUALS 1 INCH

FILED IN 225 2437 SURVEY  
 FILED IN 117 HIGHLAND PARK  
 MAPS 10-2-19 AVONDALE ADDN



ORDINANCE #21020  
 BY E. J. ...  
 ABANDONMENT  
 11-19-012 P. 9- 03/18

**\*SURVEY PLAT**

BEING LOT 12 IN BLOCK 2062 OF AVONDALE AN ADDITION TO THE CITY OF DALLAS DALLAS COUNTY TEXAS THE MAP HEREOF RECORDED IN VOLUME 2 PAGE 95 OF THE MAP RECORDS OF DALLAS COUNTY TEXAS

WILSON K. MASON III & WIFE,  
GWYN S. MASON  
VOLUME 89246, PAGE 1713  
D.R.D.C.I.

N 89°37'49" E 200.00'  
N 89°46'54" W 199.99'  
(PLAT=200.00')

CUT OFF  
FENCE POST  
FOR CORNER (M&S)  
N 37°33'22" E 0.73'  
FINO 3/8" I.P. BEARS  
N 73°33'22" E 0.73'

TURTLE CREEK BOULEVARD  
(70' R.O.W.)  
REF. BRG. (ASSUMED)  
(PLAT=100.3')  
S 25°00'00" E 100.33'

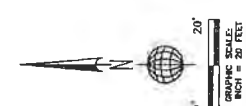
CENTRINE OF DALLAS  
COUNTY TEXAS  
VOLUME 1808, PAGE 336  
D.R.D.C.I.

TWO STORY  
BRICK RESIDENCE  
NO. 4011  
BLOCK 1/2062  
LOT 12  
18,177 SQ. FT.  
(0.416 ACRES)  
(M&S)

CUT OFF  
FENCE POST  
FOR CORNER (M&S)  
N 25°07'56" W 98.88'  
(PLAT=100.3')

S 89°46'54" W 199.99'  
(PLAT=200.00')

LOT 11



ADDRESS: 4011 TURTLE CREEK BOULEVARD

- NOTES:**
- 1) ALL CORNER LABELED HEREON AS "SET 3/8\" I.P." HAVE A YELLOW COP STAMPED THEREON 2062-12 (P.S.) INDICATING BUILDING LINES, EASEMENTS, R.O.W.S., DIMENSIONS, ETC. ARE PER PLAT.
  - 2) (P.S.) INDICATES BUILDING LINES, EASEMENTS, R.O.W.S., DIMENSIONS, ETC. ARE PER PLAT.
  - 3) THE SURVEYOR'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE ORIGINAL SURVEY OF THE PROPERTY SHOWN HEREON APPROX TO BE SUBJECT TO THE LESS OR MORE CONDITIONS, AND EASEMENTS CONTAINED IN DOCUMENT RECORDED IN VOLUME 1808, PAGE 336, MAP RECORDS OF DALLAS COUNTY, TEXAS.
- FLOOD STATEMENT:**  
ACCORDING TO MY INTERVIEW WITH COMMUNITY PLANNING BOARD MEMBER, DATED 01/07/2014, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR DALLAS COUNTY, TEXAS, THE SUBJECT FLOOD HAZARD MAP NUMBER IS 17050012000 AND THE SPECIAL FLOOD HAZARD MAP NUMBER IS 17050012000. THE FLOOD HAZARD MAP IS LOCATED ON THE FRONT OF THE SUBDIVISION.

CERTIFIED TO: STEPHEN WORSHAM

REF: 1011-000302-RIT [DATE: 01/25/2022] JOB NO.: 22-01-07D

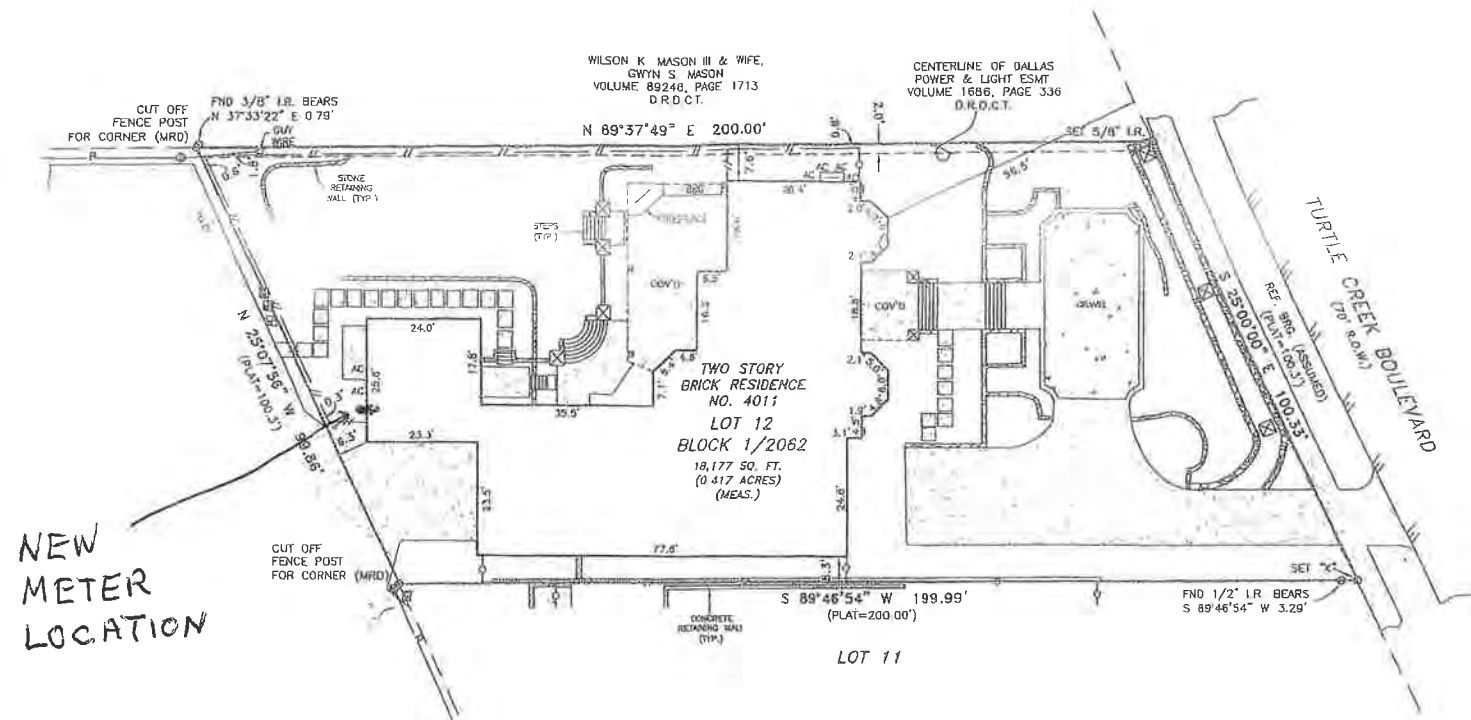
SYMBOL LEGEND	
—	IRON FOUND I.P. IRON ROD I.P. IRON PIPE ESMT.= EASEMENT B.L.=BUILDING LINE (MRD)=MONUMENT OF RECORD DIGNITY
—	WOOD FINISH
—	CHAIN LINK FENCE
—	WIRE FENCE
—	WROUGHT IRON FENCE
—	CONCRETE CURB
—	STONE PILE
—	WATER METER
—	POWERSHAFT
—	UNDERGROUND SERVICE LINE
—	UNDERGROUND WATER MAIN
—	THUNDERBOLT AND ROD
—	5/8" IRON PIPE
—	SPRING BURNER
—	1 1/2" GAS PIPE



**Global Land Surveying, Inc.**  
SERVING COLLIN, DALLAS AND DENTON COUNTIES SINCE 2002

GLOBAL LAND SURVEYING, INC.  
PLANO, TEXAS 75026  
PHONE (972) 891-7300  
FAX (972) 891-7300  
TBBELS FRM NO. 10018300

**\*SURVEY PLAT\***  
 BEING LOT 12, IN BLOCK 1/2062 OF AVONDALE, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 2, PAGE 96, OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS



NEW  
METER  
LOCATION

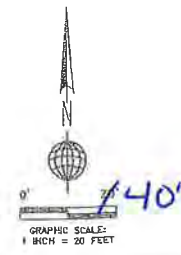
ADDRESS: 4011 TURTLE CREEK BOULEVARD

**NOTES:**

- 1) ALL CORNERS LABELED HEREON AS "SET 5/8\" L.R." HAVE A YELLOW CAP STAMPED "89LS 5587"
- 2) (P.P.) INDICATES BUILDING LINES, EASEMENTS, R.O.W.S, DIMENSIONS, ETC ARE PER PLAT REFERENCED IN LEGAL DESCRIPTION ABOVE.
- 3) (MRO) INDICATES MONUMENTS OF RECORD DIGNITY THAT REPRESENT ORIGINAL CORNERS SET BY THE SURVEYOR OR A SURVEYOR FOLLOWING IN THE FOOTSTEPS OF THE ORIGINAL SURVEYOR OF THE SUBDIVISION OR TRACT REFERENCED IN LEGAL DESCRIPTION ABOVE, UNLESS OTHERWISE NOTED
- 4) THE PROPERTY SHOWN HEREON APPEARS TO BE SUBJECT TO THE TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN DOCUMENT RECORDED IN VOLUME 1686, PAGE 336, REAL PROPERTY RECORDS OF DALLAS COUNTY, TEXAS.

**FLOOD STATEMENT:**

ACCORDING TO MY INTERPRETATIONS OF COMMUNITY PANEL NO. 480171 0335K, DATED 07/07/2014, OF THE NATIONAL FLOOD INSURANCE RATE MAPS FOR DALLAS COUNTY, TEXAS, THE SUBJECT PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "X" AND IS NOT KNOWN TO BE WITHIN A SPECIAL FLOOD HAZARD AREA. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.



CERTIFIED TO: STEPHEN WORSHAM		OFF: 1011-356302-RIT (DATE: 01/25/2022) JOB NO. 02-01-070	
<b>SYMBOL LEGEND</b>		FND=FOUND L.R.= IRON ROD L.P.=IRON PIPE ESMT = EASEMENT B.L.=BUILDING LINE (MRO)=MONUMENT OF RECORD DIGNITY	
—/—	WOOD FENCE		
—/—	CHAIN LINK FENCE		
—/—	WIRE FENCE		
—/—	BROUGHT IRON FENCE		
—/—	COURT		
—/—	POWER POLE		
—/—	WATER METER		
—/—	POWERLINE		
—/—	OVERHEAD SERVICE LINE		
—/—	TERRACE/ROCK AND PAD		
—/—	GAS METER		
—/—	ASPHALT SURFACE	<b>Global Land Surveying, Inc.</b> SERVING COLLIN, DALLAS AND DENTON COUNTIES SINCE 2002	
—/—	CONCRETE	GLOBAL LAND SURVEYING, INC. P.O. BOX 260369 PLANO, TEXAS 75028 PHONE (972) 881-1700 JLMORGAN@GLS-INC.COM TSPELS FIRM NO. 10018-300	

**FILE NUMBER:** BDA223-024(OA)

**BUILDING OFFICIAL’S REPORT:** Application of Kellisha Goodwin for a special exception to the fence standards regulations at 5506 Columbia Avenue. This property is more fully described as Block H/06947, Lot 2 and is zoned D(A), which limits the height of a fence in the front yard to 4 feet. The applicant proposes to construct and/or maintain a 6-foot high fence in a required front yard, which will require a 2-foot special exception to the fence standards regulations.

**LOCATION:** 5506 Columbia Avenue

**APPLICANT:** Kellisha Goodwin

**REQUEST:**

A request a special exception to the fence standards regulations of 2’ is made to maintain a 6’ high solid wood fence and an existing 6’ high automatic iron gate in the required front yard on a site developed with a duplex.

**STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS REGULATIONS:**

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards when in the opinion of the board, the special exception will not adversely affect neighboring property.

**STAFF RECOMMENDATION:**

No staff recommendation is made on this or any request for a special exception to the fence standards since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

**BACKGROUND INFORMATION:**

**Zoning:**

- Site: D(A) (duplex district)
- North: MF-2(A) (multi-family district)
- East: P (A) (parking district)
- South: D(A) (duplex district)
- West: D(A) (duplex district) and PD No 349 PD District.

### **Land Use:**

The subject site is being developed with duplex. The areas to the north is developed with multi-family uses, the areas to the south and west are developed with single family uses and the area to the east is developed with parking and commercial uses.

### **Zoning/BDA History:**

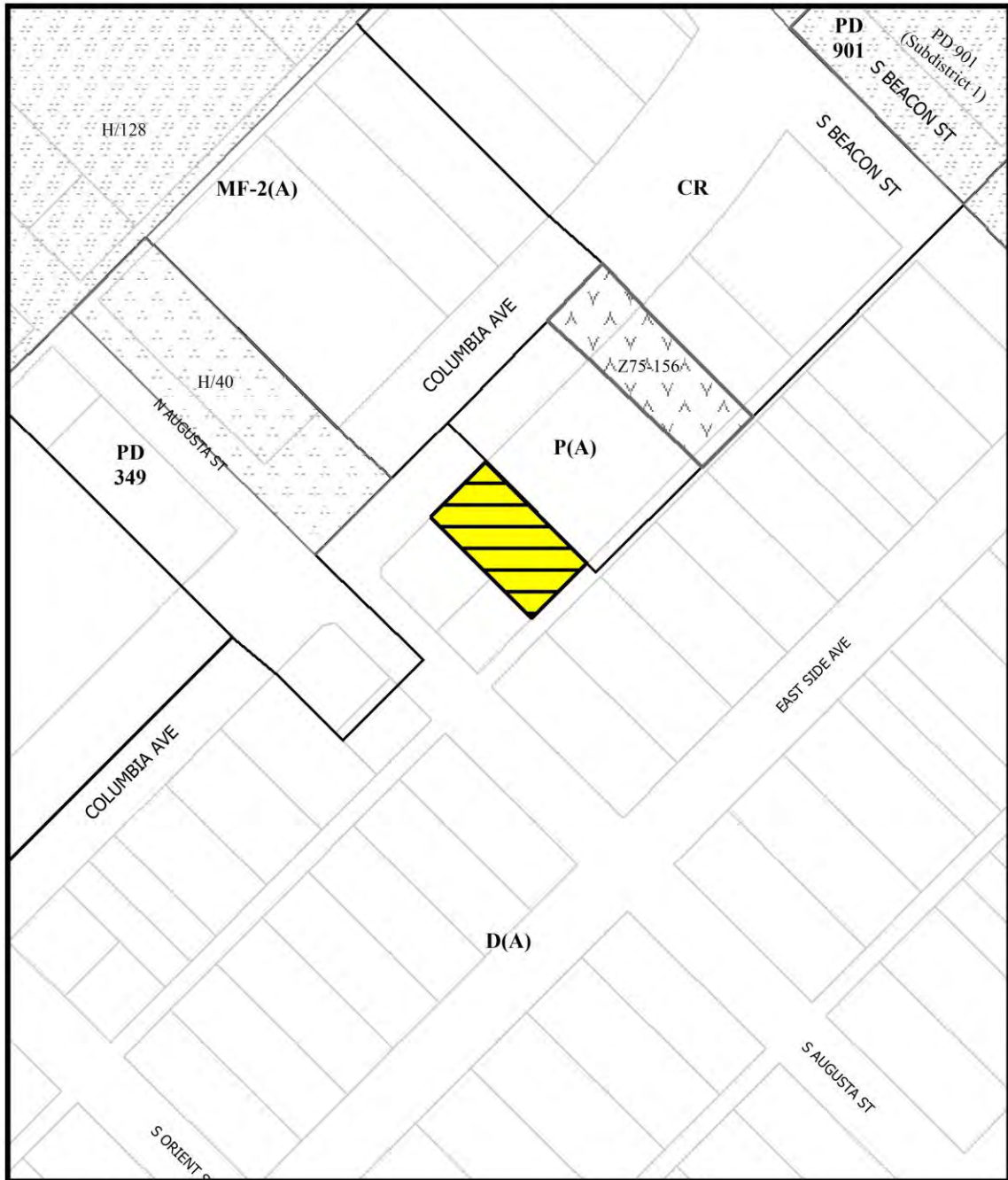
There have been no related board or zoning cases in the vicinity within the last five years.

### **GENERAL FACTS/STAFF ANALYSIS:**

- The request for a special exception to the fence height standards regulations of 2' focuses on maintaining a 6' high solid wood fence and an existing 6' high automatic iron gate in the required front yard on a site developed with a duplex.
- The Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed four feet above grade when located in the required front yard. The subject site is zoned D(A) Duplex District where a 25-foot front yard setback is required.
- The submitted site plan/elevation denotes that the existing fence is located in the required front yard. The following additional information was gleaned from the this document:
  - The proposed fence is approximately 59 feet in length parallel to Columbia Avenue and is located about 14' 6" from the front property line.
  - The distance between the proposed fence and the pavement line is 21'.
- Staff 6' conducted a field visit of the site and surrounding area (approximately 400 feet north, south, east, and west of the subject site) and noticed other fences that appear to be above four feet in height and located within a front yard setback.
- As of March 10, 2023, no letters have been submitted in support of nor in opposition of the request.
- The applicant has the burden of proof in establishing that the special exception to the fence height regulation of two feet will not adversely affect the neighboring property.
- Granting this special exception with a condition imposed that the applicant complies with the submitted site plan/elevation would require the proposal exceeding four feet in the front yard setback to be constructed in the location and heights as shown on this document.

**Timeline:**

- January 9, 2023: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- February 8, 2023: The Board of Adjustment Administrator assigned this case to Board of Adjustment Panel A.
- February 13, 2023: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:
- an attachment that provided the public hearing date and panel that will consider the application; the February 27, 2023, deadline to submit additional evidence for staff to factor into their analysis; and March 10, 2023, deadline to submit additional evidence to be incorporated into the board’s docket materials.
  - the criteria/standard that the board will use in their decision to approve or deny the request; and
  - the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.
- February 28, 2023: The Board of Adjustment staff review team meeting was held regarding this request and other requests scheduled for the January public hearings. Review team members in attendance included: the Board of Adjustment Chief Planner/Board Administrator, the Development Services Senior Plans Examiner, the Assistant City Attorneys to the Board, and the Senior Planners.

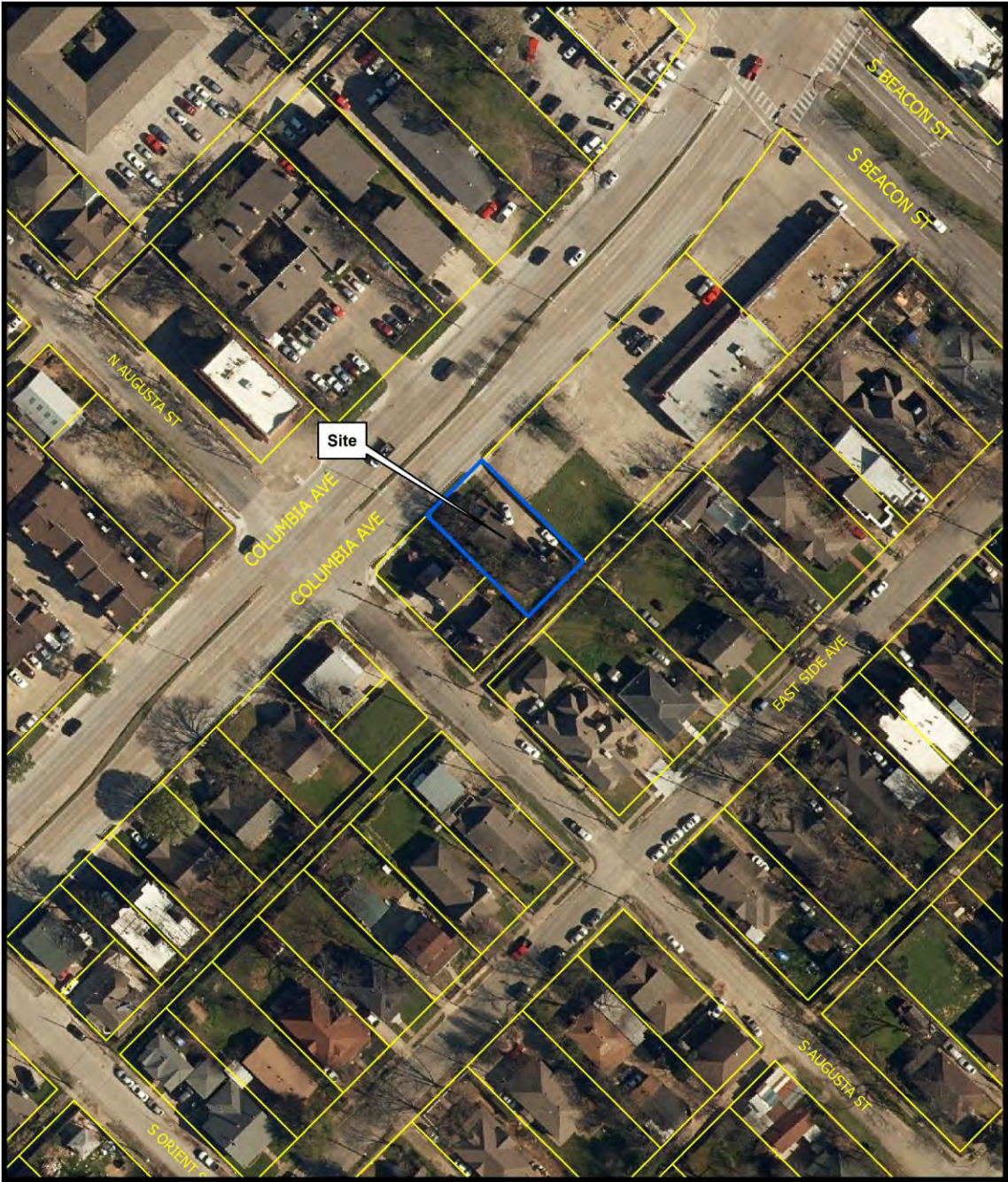


1:1,200

# ZONING MAP

Case no: BDA223-024

Date: 2/23/2023



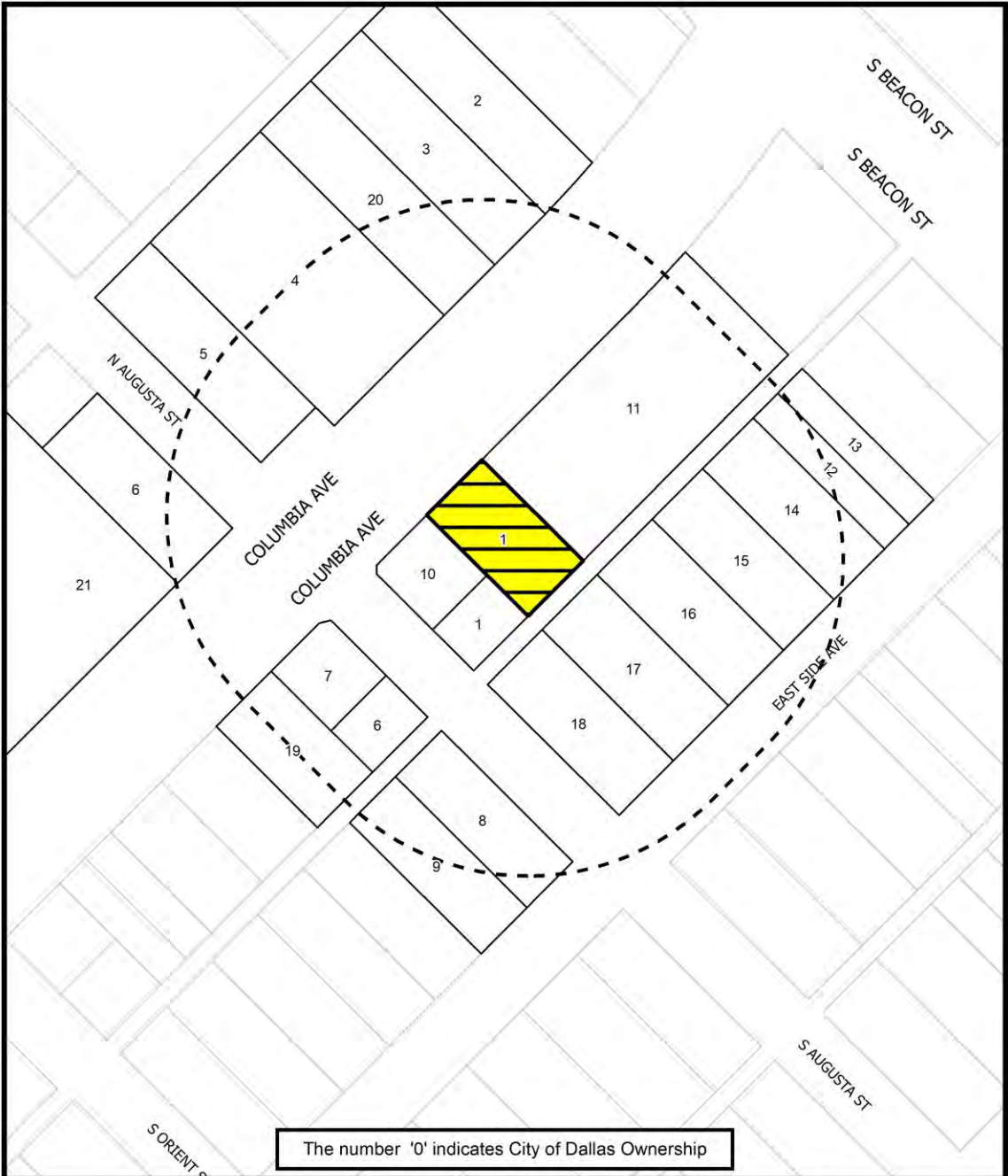
1:1,200

# AERIAL MAP

Case no: BDA223-024

Date: 2/23/2023





The number '0' indicates City of Dallas Ownership

 1:1,200	<h2>NOTIFICATION</h2> <table border="1"> <tr> <td>200'</td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td>21</td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table>	200'	AREA OF NOTIFICATION	21	NUMBER OF PROPERTY OWNERS NOTIFIED	Case no: <u>BDA223-024</u> Date: <u>2/23/2023</u>
200'	AREA OF NOTIFICATION					
21	NUMBER OF PROPERTY OWNERS NOTIFIED					

02/23/2023

## ***Notification List of Property Owners***

***BDA223-024***

### ***21 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	5506 COLUMBIA AVE	GRACE TOWNHOUSE PROPERTIES LLC
2	5523 COLUMBIA AVE	MARTINEZ JOSE J JR &
3	5521 COLUMBIA AVE	NORTHERN DATA RESOURCES
4	5511 COLUMBIA AVE	Taxpayer at
5	5501 COLUMBIA AVE	FIREHOUSE GALLERY INC
6	5425 COLUMBIA AVE	FIREHOUSE GALLERY
7	5420 COLUMBIA AVE	FIREHOUSE GALLERY INC
8	5427 EAST SIDE AVE	Taxpayer at
9	5421 EAST SIDE AVE	HEED CYNTHIA L
10	5502 COLUMBIA AVE	NAVARRETE GERARDO &
11	5522 COLUMBIA AVE	ALLEGRO FAMILY TRUST THE
12	5519 EAST SIDE AVE	ARFSTEN CASEY L
13	5521 EAST SIDE AVE	BARRETT MARIE BRIDGET
14	5517 EAST SIDE AVE	SIGNATURE LEASING & MGMT INC
15	5513 EAST SIDE AVE	GAITAN HECTOR M &
16	5509 EAST SIDE AVE	D5 GLOBAL INC
17	5505 EAST SIDE AVE	LEAL JOSE CESAR
18	5503 EAST SIDE AVE	GUEVARA JUAN
19	5416 COLUMBIA AVE	BALDERRAMA SONNIA
20	5517 COLUMBIA AVE	HOUSTON CALEB HOUSE LLC
21	5411 COLUMBIA AVE	5411 COLUMBIA LLC

RECEIVED  
JAN 13 REC'D  
BY: *[Signature]*



City of Dallas

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-024

Data Relative to Subject Property:

Date: 01-09-2023

Location address: 5506 Columbia Ave, Dallas Zoning District: Z69

Lot No.: 2 Block No.: H1697 Acreage: 0.515 Census Tract: 24.00

Street Frontage (in Feet): 1) 60' 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Grace Townhouse Properties LLC / Nicholas

Applicant: Kellisha L Goodwin Telephone: (469) 471-3279 <sup>McGrath</sup>

Mailing Address: P.O. Box 1806 Rowlett, Texas 75030 Zip Code: \_\_\_\_\_

E-mail Address: Kellisha@NicholsonPremier.com

Represented by: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Affirm that an appeal has been made for a Variance , or Special Exception , of Requesting Special Exception for a 2ft variance for a left Fence

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:  
9-4-2022, severe thunder storm came through Dallas and blew down and destroy the fence on the property so the owner replace it with same exact size that was there when he purchase it.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

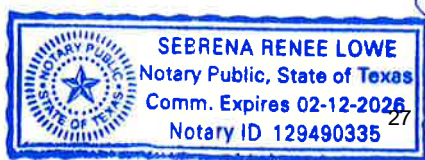
Before me the undersigned on this day personally appeared Kellisha L Goodwin  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 9th day of January, 2023

(Rev. 08-01-11)



[Signature]  
Notary Public in and for Dallas County, Texas

**MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT**

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

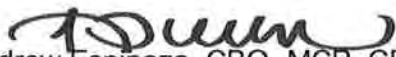
**Building Official's Report**

I hereby certify that KELLISHA GOODWIN

did submit a request for a special exception to the fence height regulations  
at 5506 Columbia Ave.

BDA223-024. Application of KELLISHA GOODWIN for a special exception to the fence height regulations at 5506 COLUMBIA AVE. This property is more fully described as Block H/0697, Lot 2 and is zoned D(A), which limits the height of a fence in the front yard to 4 feet. The applicant proposes to construct an 6 foot high fence in a required front yard, which will require a 2 foot special exception to the fence regulations

Sincerely,



Andrew Espinoza, CBO, MCP, CFM, CCEA



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 223-024

I, Nicholas McGrath, Owner of the subject property  
(Owner or "Grantor" of property as it appears on the Warranty Deed)

at: 5500 Columbia Ave Dallas, Texas 75214  
(Address of property as stated on application)

Authorize: Kellisha L Goodwin  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Requesting Special Exception for a 2ft Variance for a left fence that was replaced do to a storm destroying it

NICHOLAS MCGRATH  
Print name of property owner or registered agent

[Signature]  
Signature of property owner or registered agent

Date 1/04/2023

Before me, the undersigned, on this day personally appeared Nicholas McGrath

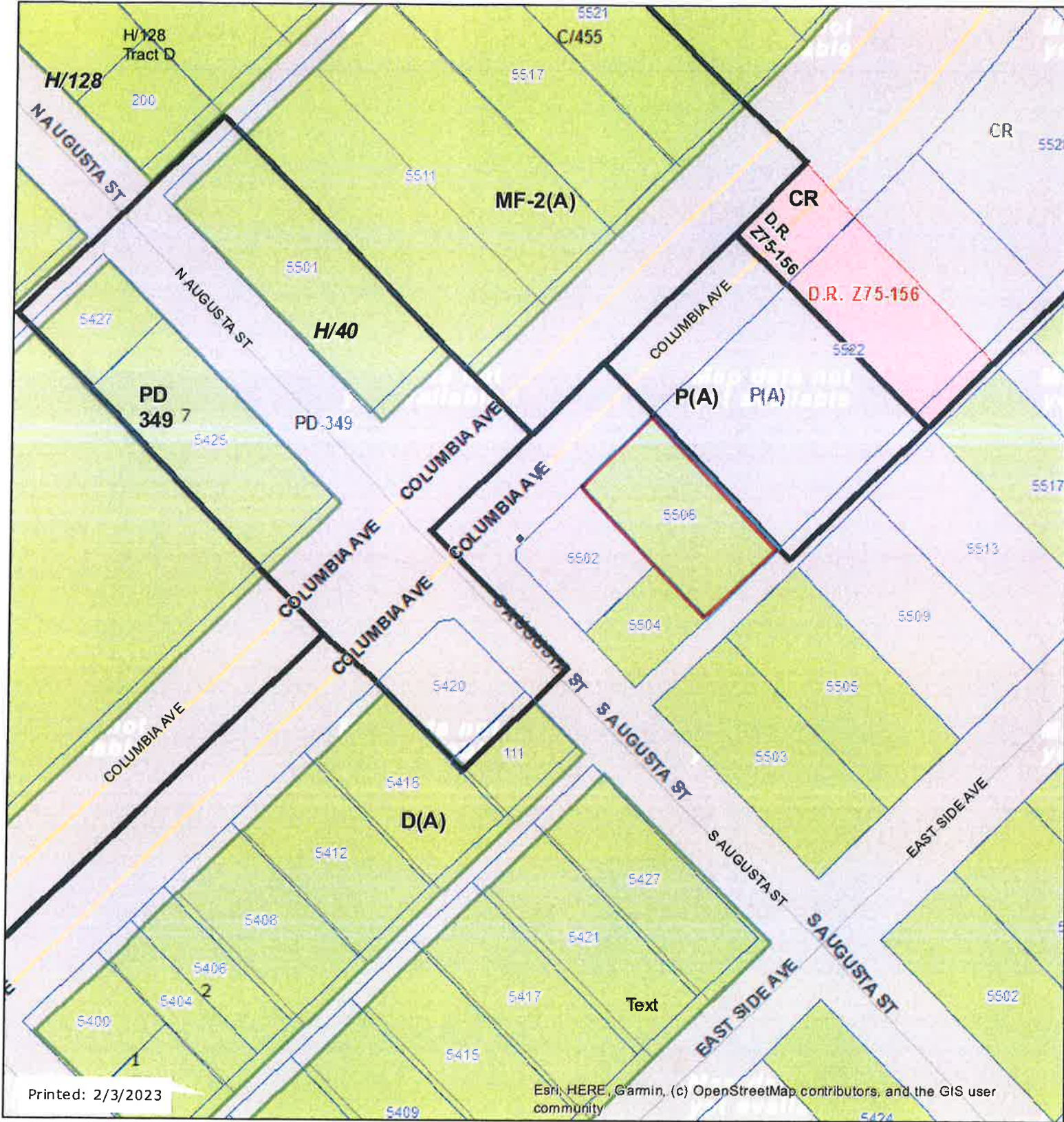
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 4 day of January, 2023

[Signature]  
Notary Public for Dallas County, Texas

Anchorage Alaska UP





Printed: 2/3/2023

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

- City Limits
- Deeds Tax Parcels
- Base Zoning
- Deed Restrictions
- Addition Boundaries**
- Final Plat Parcels
- Final Patted Block
- Major Streets
- Streets
- Zoning Grid
- City Limits
- Floodplain**
- East Peak's Branch
- Certified Parcels
- Base Zoning
- Deed Restrictions
- Historic Subdistricts
- Historic Overlay

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



1:1,128

CITY OF DALLAS PLAT BOOKS

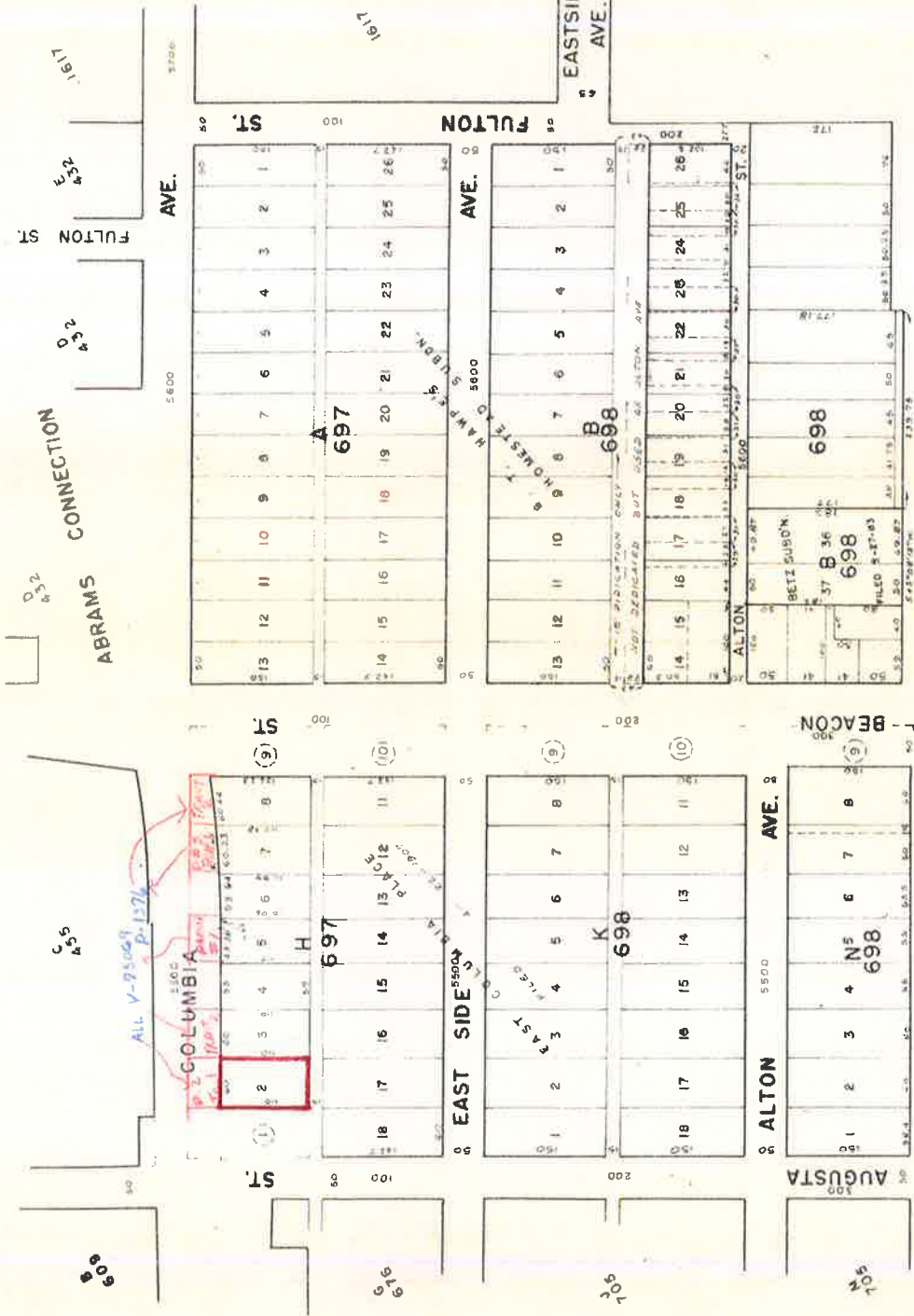
ANNEXED SURVEY R. MOORE  
 FILED 10-15-1901

ORD. NO. ABST 999

SCALE 100 FT. EQUALS 1 INCH

BLOCKS 697, 698  
 SCHOOL DISTRICT DALLAS

ADDITION



GULF COLORADO & SANTA FE R.R.

JAN 23 1984

110

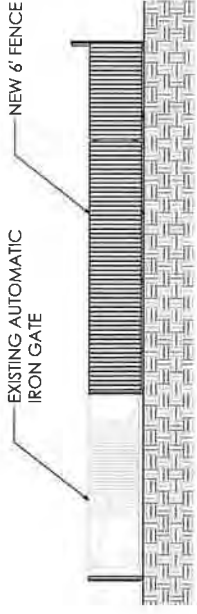
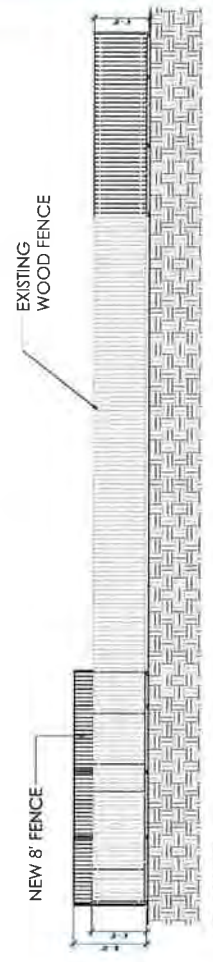
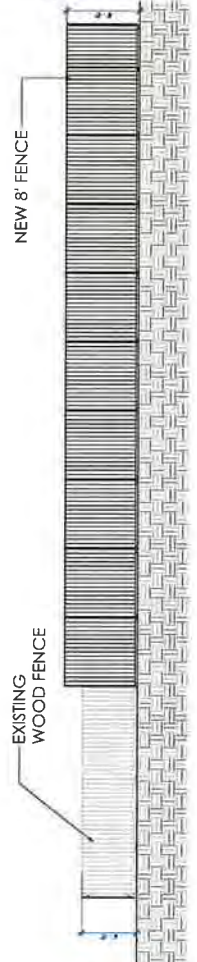
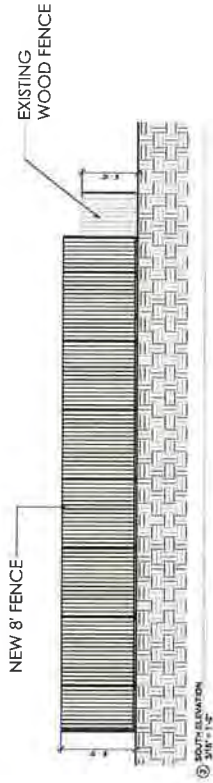
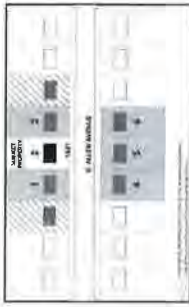
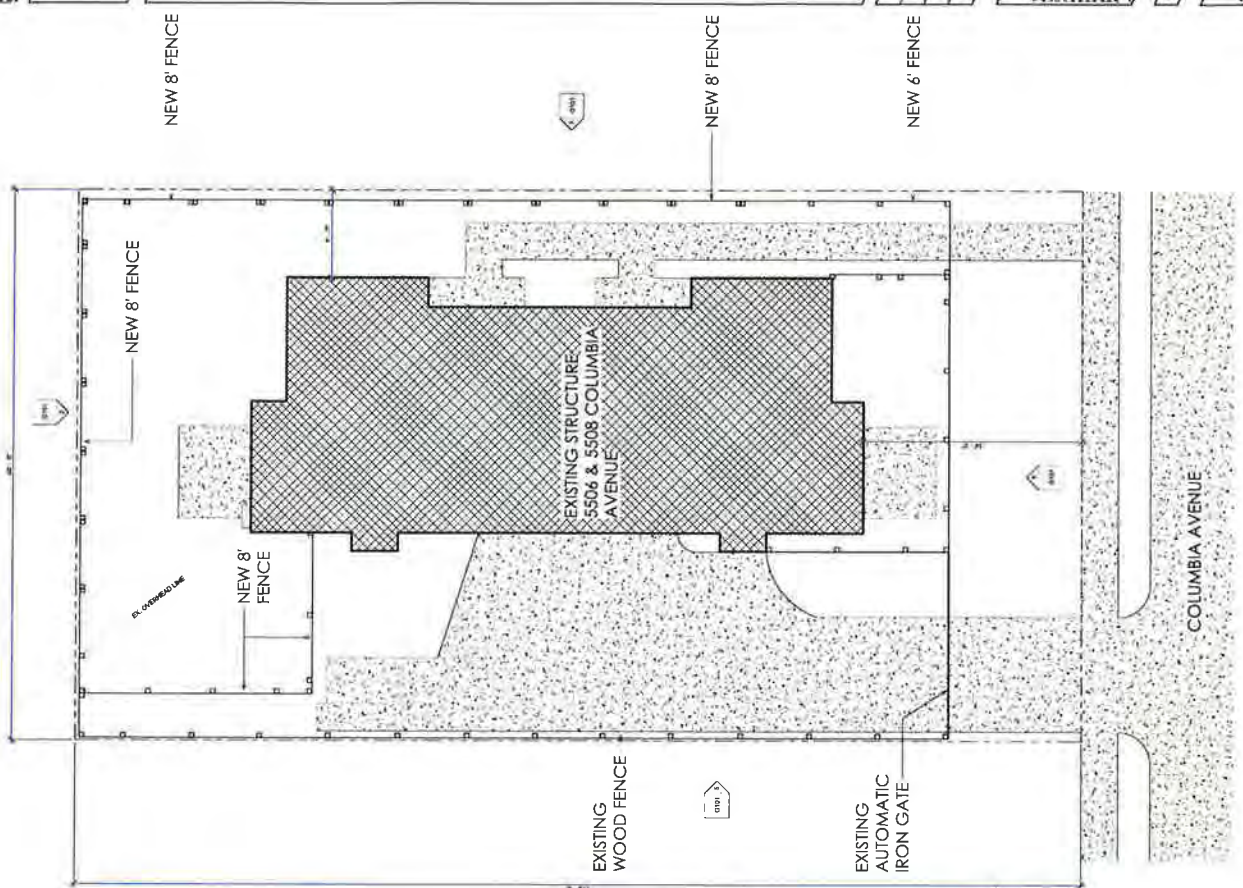


THIS FENCE PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT ACCEPTS ALL RISKS AND LIABILITIES ASSOCIATED WITH THE USE OF THIS PLAN. THE FENCE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE EXISTING CONDITIONS ON THE SITE. THE FENCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE. THE FENCE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND FOR THE PROTECTION OF ALL ADJACENT UTILITIES AND STRUCTURES.

2/20/23

SITE PLAN

G101







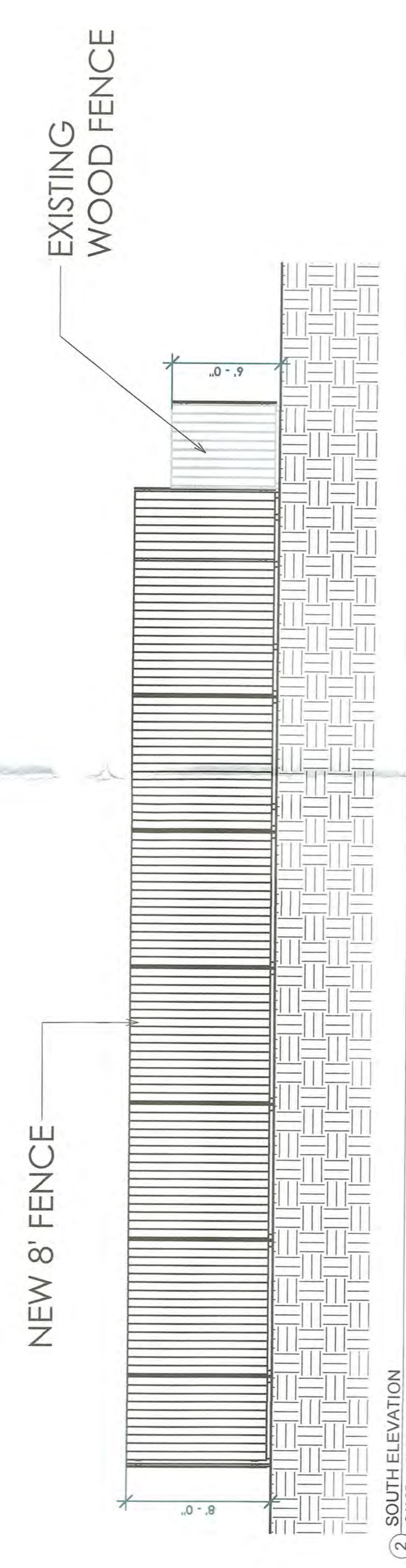
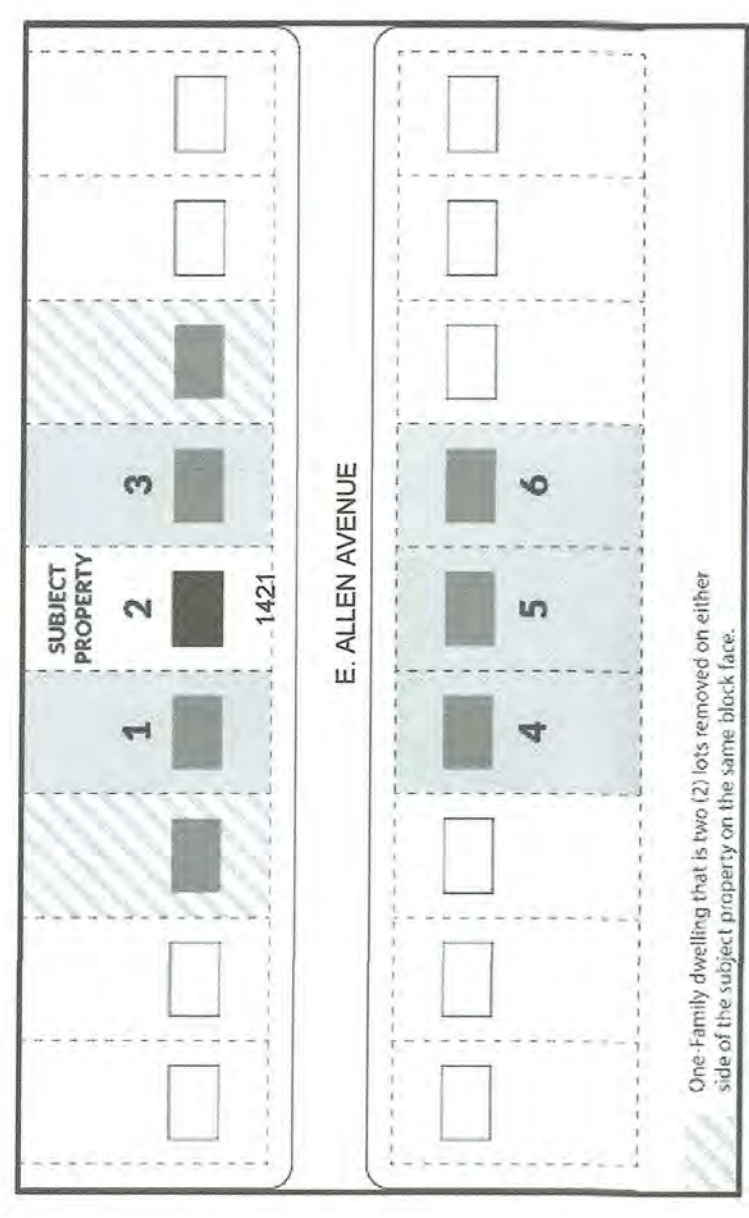
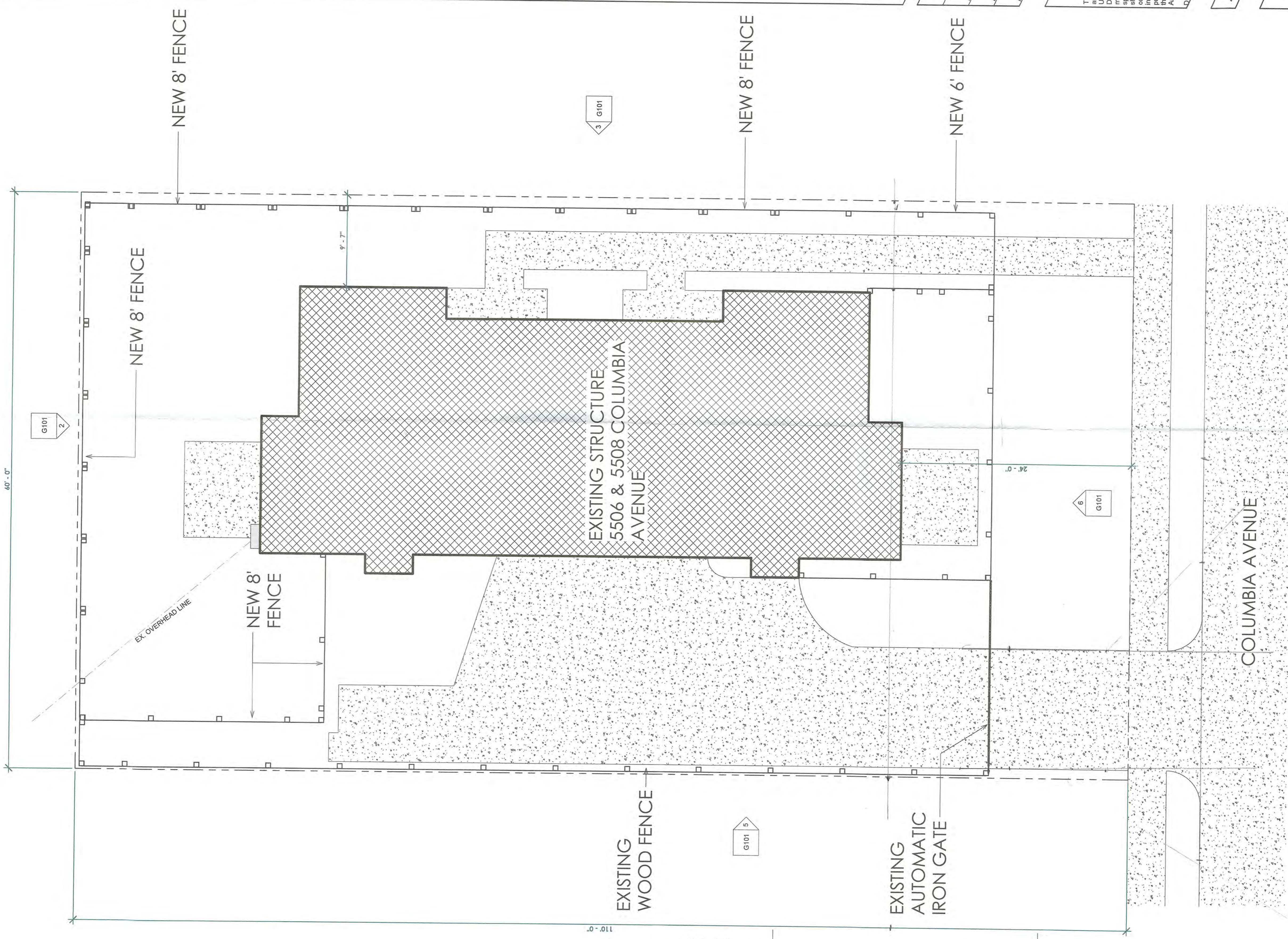
Issue Date: 08/17/2024	Drawn by: [Symbol]	Reviewed by: [Symbol]	Revised by: [Symbol]
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These drawings and details are the property of URBAN NEST DEVELOPMENT, LLC and shall not be loaned, copied, reproduced, or otherwise used in part, for any other purpose or project without the written consent of the Architect.  
URBAN NEST DEVELOPMENT, LLC 2020

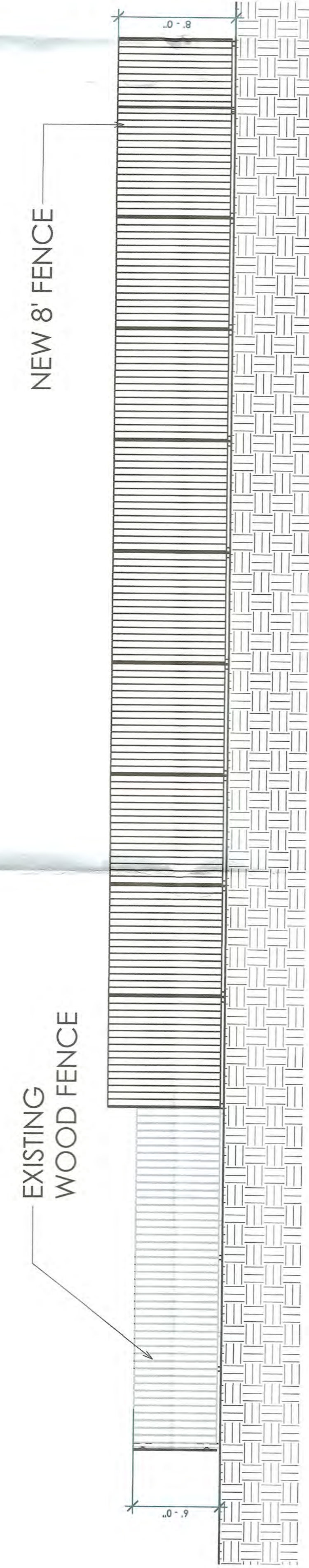
22082

SITE PLAN

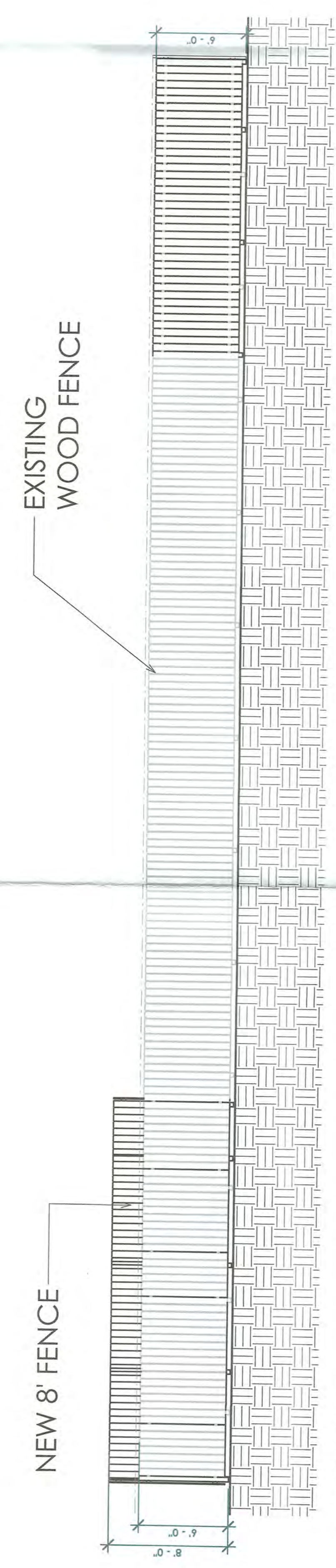
G101  
BA-223-024



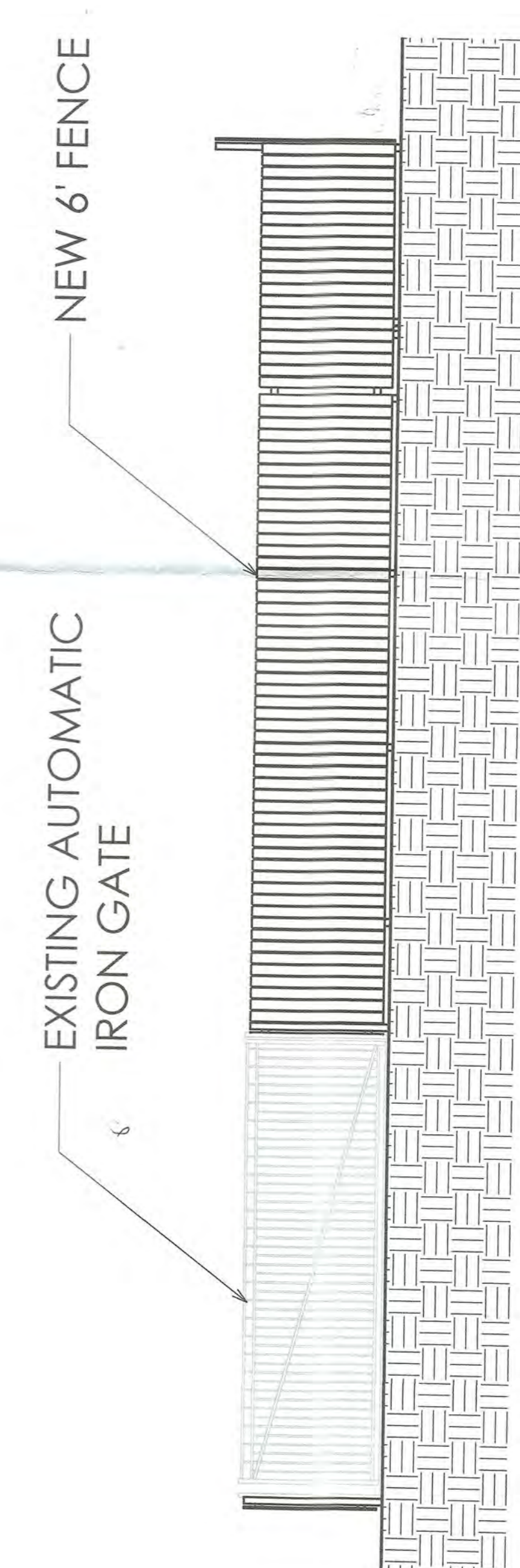
2 SOUTH ELEVATION  
3/16" = 1'-0"



3 EAST ELEVATION  
3/16" = 1'-0"



5 WEST ELEVATION  
3/16" = 1'-0"



6 NORTH ELEVATION  
3/16" = 1'-0"



1 Site  
3/16" = 1'-0"

**FILE NUMBER:** BDA223-025(OA)

**BUILDING OFFICIAL'S REPORT:** Application of Jennifer Hiromoto for special exceptions to the fence standards regulations at 13418 Hughes Lane. This property is more fully described as A/7439, Lot 3 and is zoned R-16(A) which limits the height of a fence in the front yard to 4 feet, and requires a fence panel with a surface area that is less than 50 percent open may not be located less than 5 feet from the front lot line. The applicant proposes to construct and/or maintain a 6 foot 6 inch high fence in a required front yard, which will require a 2 foot 6 inch special exception to the fence standards regulations, and to construct and/or maintain a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than 5 feet from the front lot line, which will require a special exception to the fence standards regulations.

**LOCATION:** 13418 Hughes Lane

**APPLICANT:** Jennifer Hiromoto

**REQUESTS:**

The following requests have been made on a site that is being developed with a single-family home:

1. A request for a special exception to the fence standards regulations of 2' 6" is made to construct and maintain a 6' 6" high wall with stone finish, a drive gate with 2" metal frame and welded wire mech panels with 6' tall stone finish post with Limestone caps, and a 6' tall 2X4 12.5 gauge welded wire mech panels on top of a low wall with stone finish with a 6' tall stone finish wall with a pedestrian gate.
2. A request for a special exception to the fence standards regulations related to fence panels with a surface area that is less than 50 percent open and less than five feet from the front lot line is made to construct and maintain a 6' 6" high wall with stone finish and a 6' tall stone finish wall with a pedestrian gate located less than five feet from the front lot line.

**STANDARD FOR A SPECIAL EXCEPTION TO FENCE STANDARDS (fence standards regulations):**

Section 51A-4.602 of the Dallas Development Code states that the board may grant a special exception to the fence standards when, in the opinion of the board, the special exception will not adversely affect the neighboring property.

**STAFF RECOMMENDATION:**

No staff recommendation is made on this or any request for a special exception to the fence standards since the basis for this type of appeal is when in the opinion of the board, the special exception will not adversely affect neighboring property.

**BACKGROUND INFORMATION:**

**Zoning:**

- Site: R-1ac(A) (Single Family District)
- North: R-1ac(A) (Single Family District)
- East: R-1ac(A) (Single Family District)
- South: R-1ac(A) (Single Family District)
- West: R-1ac(A) (Single Family District)

**Land Use:**

The subject site and all surrounding properties are developed for single-family uses.

**Zoning/BDA History:**

There have been two related board cases in the vicinity within the last five years.

1. **BDA212-111:** On January 17, 2023, Panel C granted requests to construct and/or maintain a six-foot nine-inch-high fence as a special exception to the height requirement for fences; to construct and/or maintain a fence with panel having less than 50 percent open surface area as a special exception to the surface area openness requirement for fences; and to maintain items in the 20-foot visibility triangle at the drive approach on Alpha Road as a special exception to the visual obstruction regulations in the Dallas Development Code subject to compliance with the submitted revised site plan / elevation.
2. **BDA212-112:** On January 17, 2023, Panel C granted requests to construct and/or maintain a six-foot nine-inch-high fence as a special exception to the height requirement for fences; to maintain items in the 20-foot visibility triangle at the drive approach on Alpha Road as a special exception to the visual obstruction regulations; and to construct and/or maintain a fence with panel having less than 50 percent open surface area located less than five feet from the front lot line as a special exception to the surface area openness requirement for fences in the Dallas Development Code subject to compliance with the submitted revised site plan / elevation.

**GENERAL FACTS/STAFF ANALYSIS:**

- The following requests are made on a site being developed with a single-family home:
  1. A request for a special exception to the fence standards regulations of 2' 6" is made to construct and maintain a 6' 6" high wall with stone finish, a drive gate with 2" metal frame and welded wire mech panels, with 6' tall stone finish post with

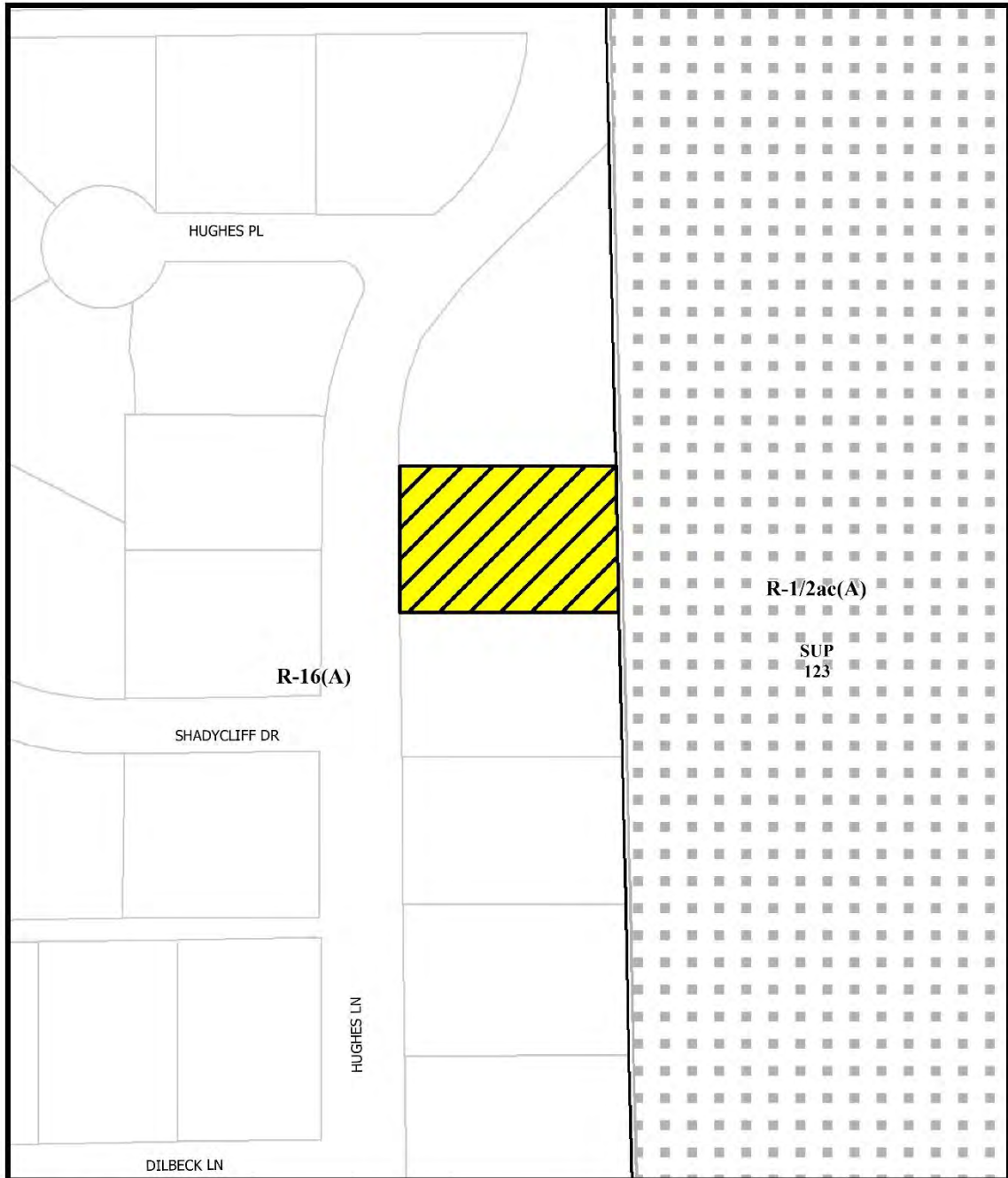
Limestone caps, and a 6' tall 2X4 12.5 gauge welded wire mech panels on top of a low wall with stone finish with a 6' tall stone finish wall with a pedestrian gate.

2. A request for a special exception to the fence standards regulations related to fence panels with a surface area that is less than 50 percent open and less than five feet from the front lot line is made to construct and maintain a 6' 6" high wall with stone finish and a 6' tall stone finish wall with a pedestrian gate located less than five feet from the front lot line,

- The Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed 4' above grade when located in the required front yard. The subject site is zoned an R-16(A) Single Family District which requires a 35-foot front yard setback. However, this site has a recorded 40' required front yard along Hughes Lane per plat.
- Section 51A-4.602(a) (2) of the Dallas Development Code states that in all residential districts except multifamily districts, a fence may not exceed 4' above grade when located in the required front yard.
- Additionally, the Dallas Development Code states that in single family districts, a fence panel with a surface area that is less than 50 percent open may not be located less than five from the front lot line.
- The following information is denoted on the submitted site plan:
  - The fence is represented as being approximately 135' in length fronting Hughes Lane.
  - The fence is located between the property line and 19' into the property line along the street.
  - The fence extends 40' perpendicular to Hughes Lane on the east and west side of the site.
  - The fence is proposed to be located between 12' and 32' from the pavement line.
- Staff conducted a field visit of the site and surrounding area, approximately 1000 feet around the subject site, and noticed several other fences that appear to be above four feet in height and located in a front yard setback.
- As of March 10, 2022, 10 letters have been submitted in support and no letters in opposition to this request.
- The applicant has the burden of proof in establishing that the special exceptions to the fence standards regulations will not adversely affect neighboring property.
- If the Board were to grant these special exceptions request and impose a condition that the applicant complies with the submitted site plan and elevation, the proposal over 4' in height in the front yard setback and less than 50 percent open and less than five feet from the front lot line be limited to that what is shown on these documents.

## **Timeline:**

- January 13, 2023: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- February 8, 2023: The Board of Adjustment Administrator assigned this case to Board of Adjustment Panel A.
- February 13, 2023: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:
- an attachment that provided the public hearing date and panel that will consider the application; the February 27, 2023, deadline to submit additional evidence for staff to factor into their analysis; and March 10, 2023, deadline to submit additional evidence to be incorporated into the board’s docket materials.
  - the criteria/standard that the board will use in their decision to approve or deny the request; and
  - the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.
- February 25, 2023: The applicant provided additional evidence (**Attachment A**).
- February 28, 2023: The Board of Adjustment staff review team meeting was held regarding this request and other requests scheduled for the January public hearings. Review team members in attendance included: the Board of Adjustment Chief Planner/Board Administrator, the Development Services Senior Plans Examiner, the Assistant City Attorneys to the Board, and the Senior Planners.

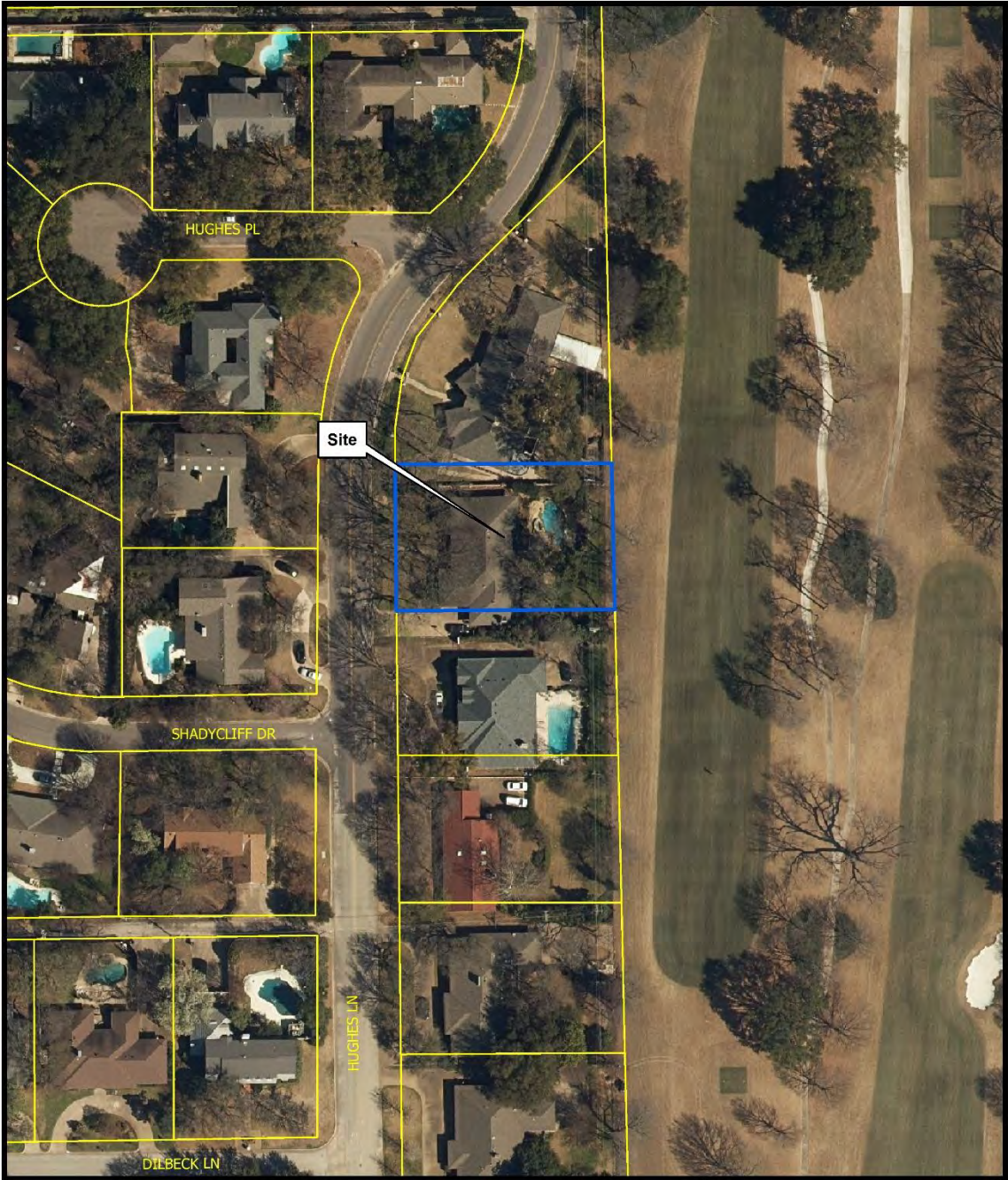


1:1,200

# ZONING MAP

Case no: BDA223-025

Date: 2/16/2023

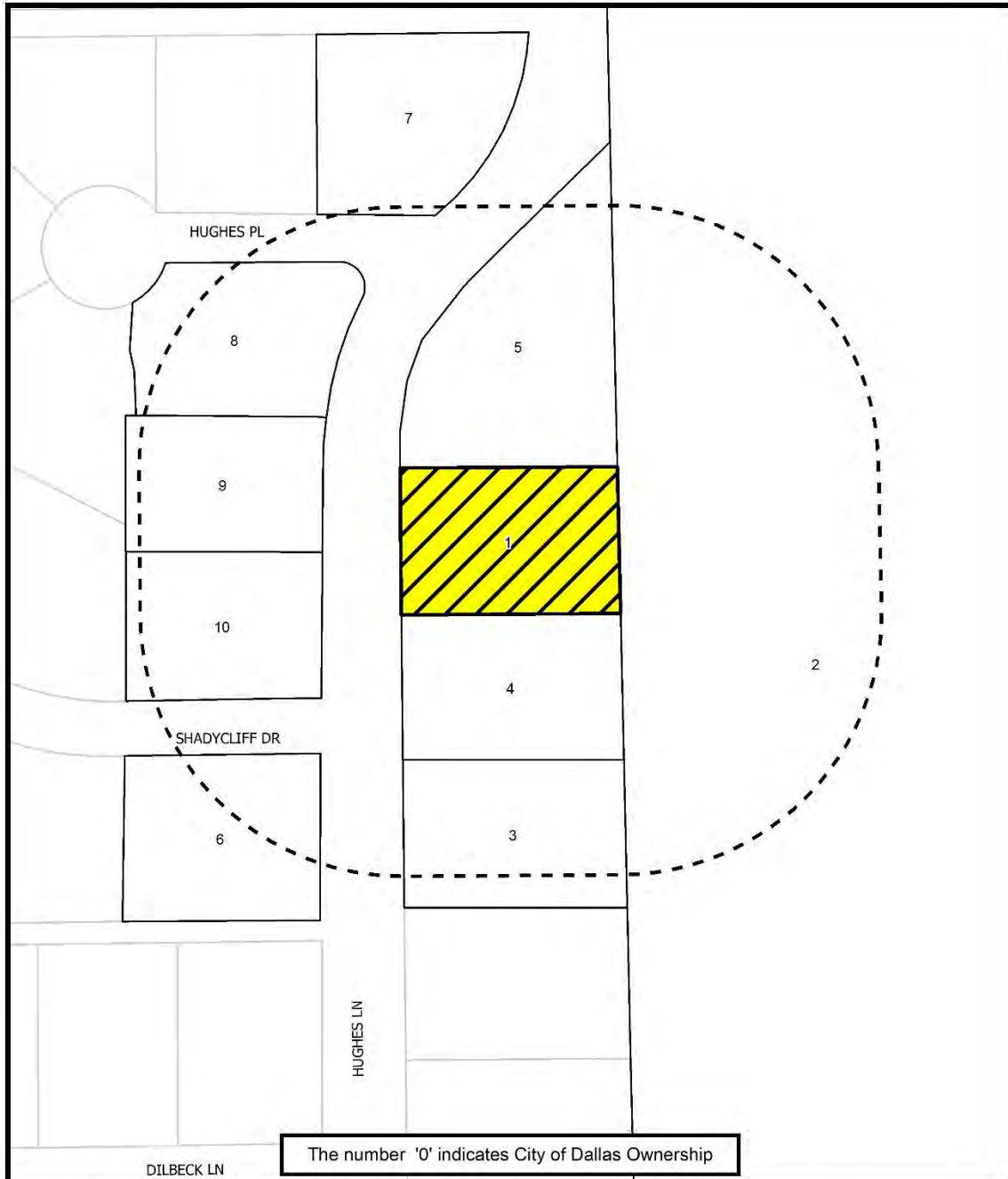


1:1,200

# AERIAL MAP

Case no: BDA223-025

Date: 2/16/2023



The number '0' indicates City of Dallas Ownership

 1:1,200	<h2>NOTIFICATION</h2> <table border="1"> <tr> <td style="padding: 2px;">200'</td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td style="padding: 2px;">10</td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table>	200'	AREA OF NOTIFICATION	10	NUMBER OF PROPERTY OWNERS NOTIFIED	Case no: <u>BDA223-025</u> Date: <u>2/16/2023</u>
200'	AREA OF NOTIFICATION					
10	NUMBER OF PROPERTY OWNERS NOTIFIED					



02/16/2023

## ***Notification List of Property Owners***

***BDA223-025***

### ***10 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	13418 HUGHES LN	TIM JACKSON CUSTOM HOMES LP
2	6524 ALPHA RD	NORTHWOOD CLUB
3	13326 HUGHES LN	LARKIN JOHN E
4	13408 HUGHES LN	TOOBIAN ABRAHAM
5	13428 HUGHES LN	GRAHAM JAMES E JR
6	6238 SHADYCLIFF DR	CRAFT JEFFREY T & ANDREA M
7	13561 HUGHES PL	HARRIS JOHN E & JUDITH A HARRIS
8	13429 HUGHES PL	BASS ASHLEY & PRESTON
9	13419 HUGHES LN	JAEB KATHERINE R & WINSTON
10	13409 HUGHES LN	CARTER EVA



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-025

Date: 1/13/23

Data Relative to Subject Property:

Location address: 13418 Hughes Lane Zoning District: R-16(A)

Lot No.: 3 Block No.: A/7439 Acreage: 0.43 acres Census Tract: 136.08

Street Frontage (in Feet): 1) 115 ft 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): The Joel and Lyn Pustmueller Living Trust

Applicant: Jennifer Hiromoto Telephone: 469-275-2414

Mailing Address: PO Box 38586 Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Represented by: Jennifer Hiromoto Telephone: 469-275-2414

Mailing Address: PO Box 38586 Zip Code: 75238

E-mail Address: jennifer@buzzurbanplanning.com

Affirm that an appeal has been made for a Variance <sup>66" H</sup>, or Special Exception X, of 2' to the fence height regulations to allow a 6" fence in the front yard setback and to the fence standards regarding less than 50% openness

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:  
The proposed fencing and gates will be similar in height and appearance to other fences in the area. The majority of the proposed fence will be an open-style fence on a masonry base. The approval of this Special Exception is reasonable and will not negatively affect neighboring properties.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

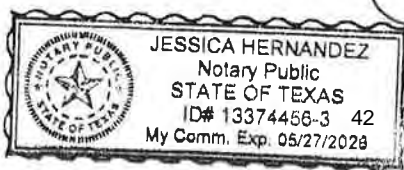
Before me the undersigned on this day personally appeared Jennifer Hiromoto  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 13 day of January, 2023

(Rev. 08-01-11)



[Signature]  
Notary Public in and for Dallas County, Texas

MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that Jennifer Hiromoto

did submit a request for a special exception to the fence height regulations, and for a special exception to the fence standards regulations

at 13418 HUGHES LANE

BDA223-025. Application of Jennifer Hiromoto for a special exception to the fence height regulations, and for a special exception to the fence standards regulations at 13418 HUGHES LN. This property is more fully described as A/7439, Lot 3 and is zoned R-16(A) which limits the height of a fence in the front yard to 4 feet and requires a fence panel with a surface area that is less than 50 percent open may not be located less than 5 feet from the front lot line. The applicant proposes to construct a 6 foot 6 inch high fence in a required front yard, which will require a 2 foot 6 inch special exception to the fence regulations, and to construct a fence in a required front yard with a fence panel having less than 50 percent open surface area located less than 5 feet from the front lot line, which will require a special exception to the fence regulations.

Sincerely,



Andrew Espinoza, CBO, MCP, CFM, CCEA



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 223-025

I, The Joel and Lyn Pustmueller Living Trust, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 13418 Hughes Lane  
(Address of property as stated on application)

Authorize: Jennifer Hiromoto, Buzz Urban Planning  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Fence height

\_\_\_\_\_

JOEL PUSTMUELLER  
Print name of property owner or registered agent

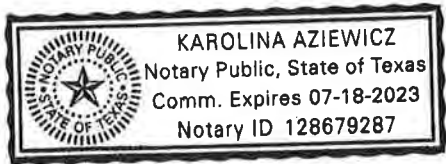
[Signature]  
Signature of property owner or registered agent

Date 01/09/23

Before me, the undersigned, on this day personally appeared JOEL PUSTMUELLER

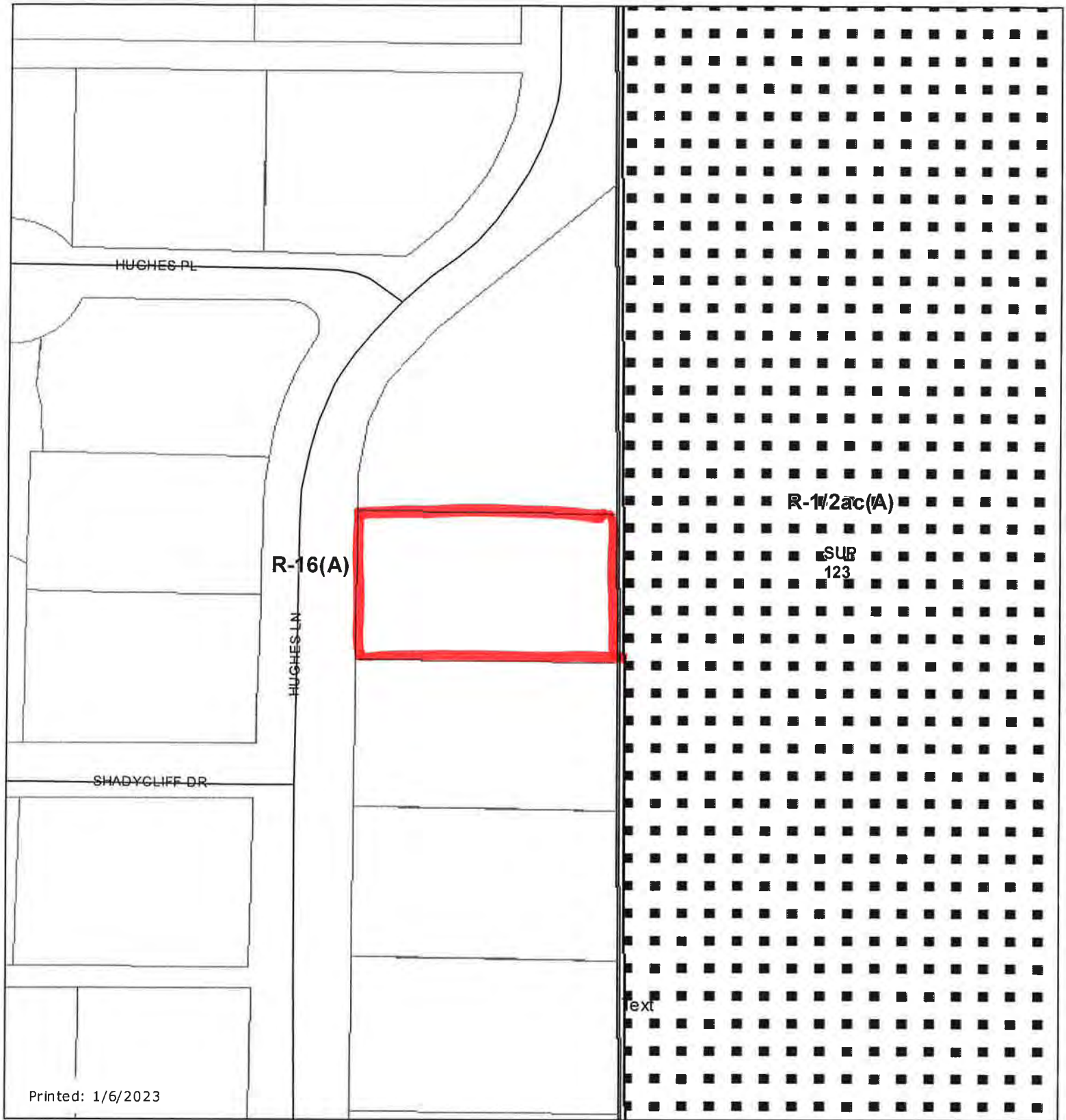
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 9 day of JANUARY, 2023



[Signature]  
Notary Public for Dallas County, Texas

Commission expires on 07-18-2023



Printed: 1/6/2023

-  City Limits
-  Certified Parcels
-  Base Zoning
-  SUP

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



CITY OF DALLAS PLAT BOOKS

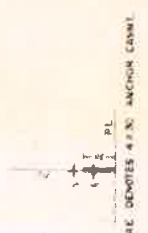
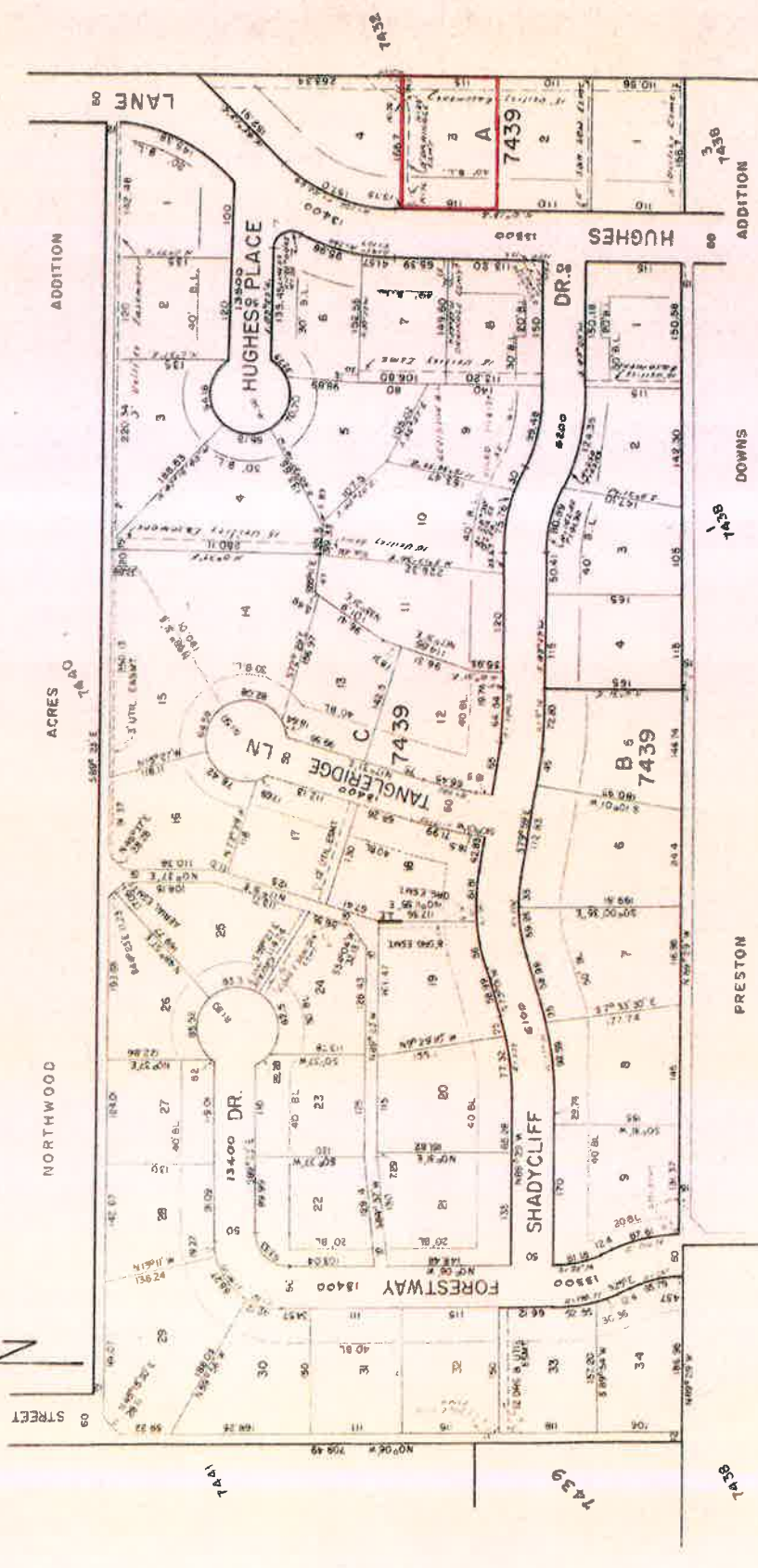
ANNEXED APRIL 26, 1954 ORD. NO. 6183  
 SURVEY EDWARD WILBURN ABST. 1583

ADDITION PRESTON DOWNS NO. 2 & NO. 3

ABC  
 BLOCKS 7439  
 SCHOOL DISTRICT RICHARDSON

SCALE 100 FT. EQUALS 1 INCH

NO. 2 FILED 9-5-51  
 NO. 3 (LOTS 9 THRU 31, BLK. B, (LOTS 16 THRU 24), BLK. C, FILED 5-4-52



RE. DEVIATES 47.50 ANCHOR CORNER.

MAR 7 - 1977



PROJECT NAME

LANDSCAPE ARCHITECTURAL DRAWINGS FOR:  
**THE PUSTMUELLER RESIDENCE**  
13418 Hughes Ln., Dallas, TX

ISSUE TITLE  
FENCE PLAN

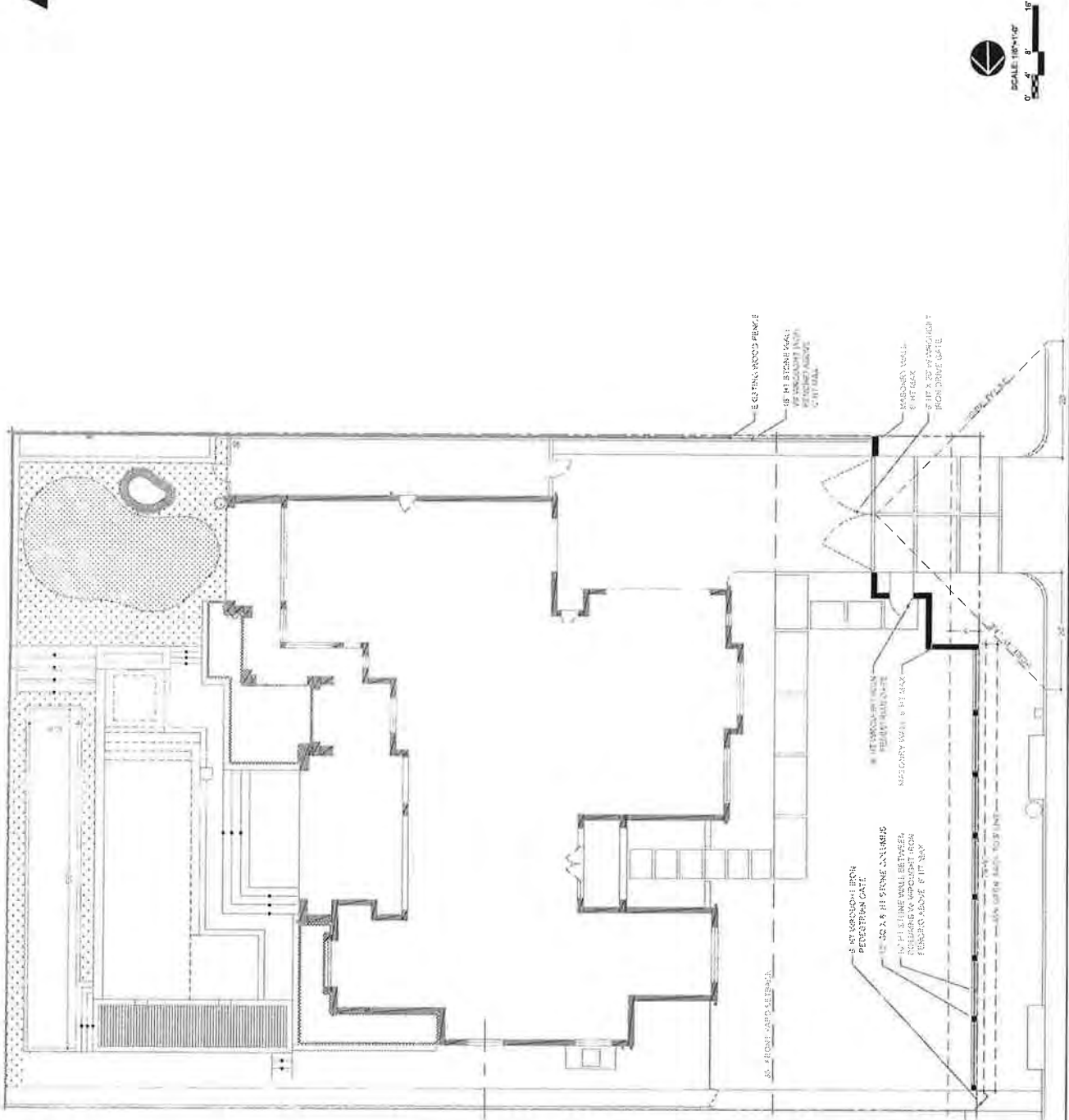
DATE	10 NOV. 2022
REVISION	12 JAN. 2023
BY	AA
SEAL	

NOT FOR REGULATORY  
APPROVAL, PERMITTING  
OR CONSTRUCTION  
FOR REVIEW ONLY!

DRAWING TITLE  
FENCE PLAN

DRAWN BY  
COURTNEY BB  
CHECKED BY  
COURTNEY BB

SHEET NUMBER  
L-1



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PROJECT NAME

LANDSCAPE ARCHITECTURAL DRAWINGS FOR:  
**THE PUSTMUELLER**  
**RESIDENCE**  
13418 Hughes Ln., Dallas, TX

ISSUE TITLE

FENCE PLAN

DATES

START DATE: 10 NOV. 2022  
ISSUE DATE: 12 JAN. 2023

▲	

SEAL

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION!  
FOR REVIEW ONLY!

DRAWING TITLE

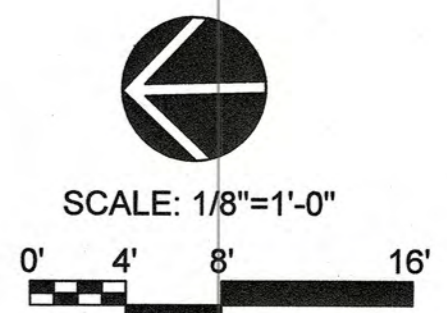
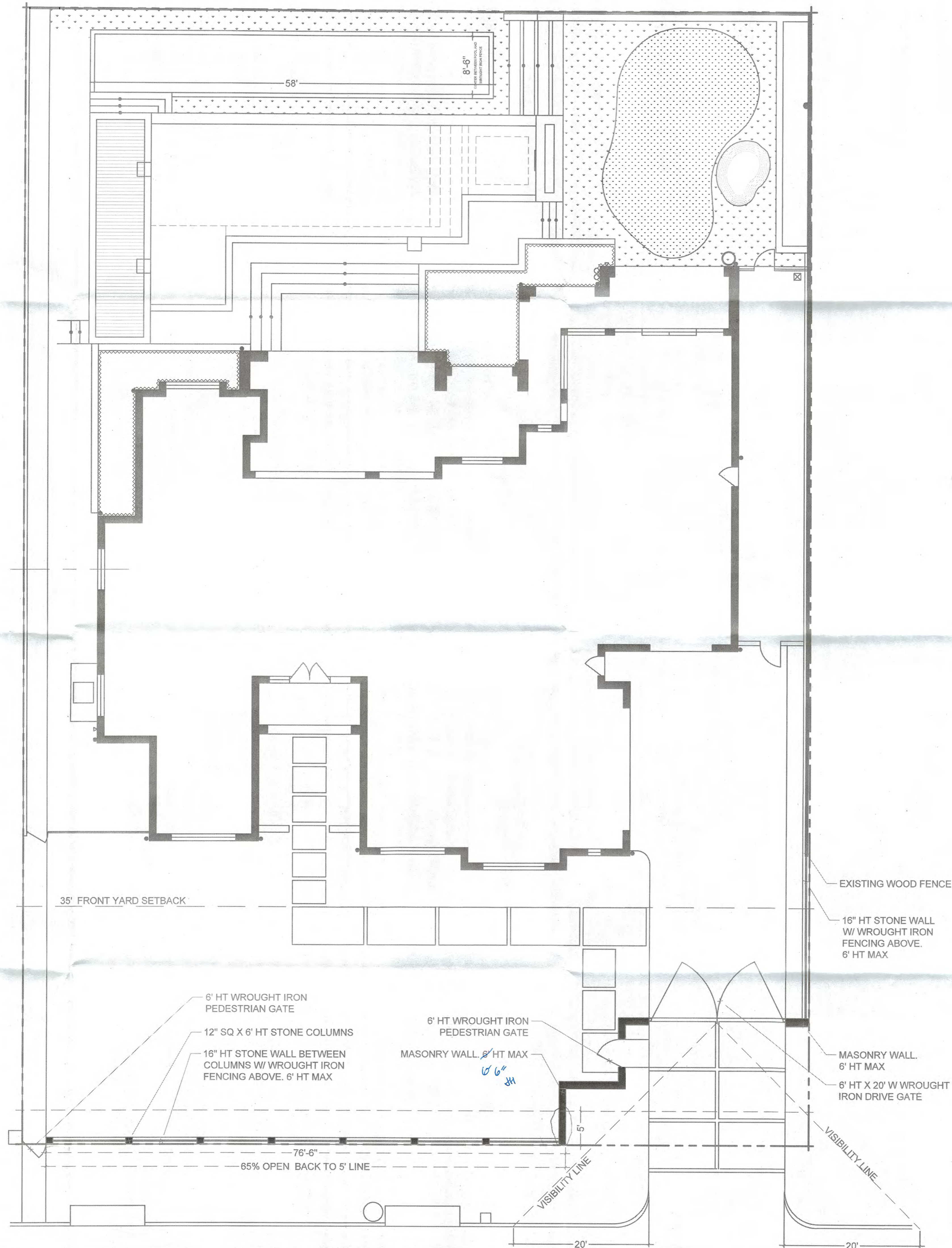
FENCE PLAN

DRAWN BY

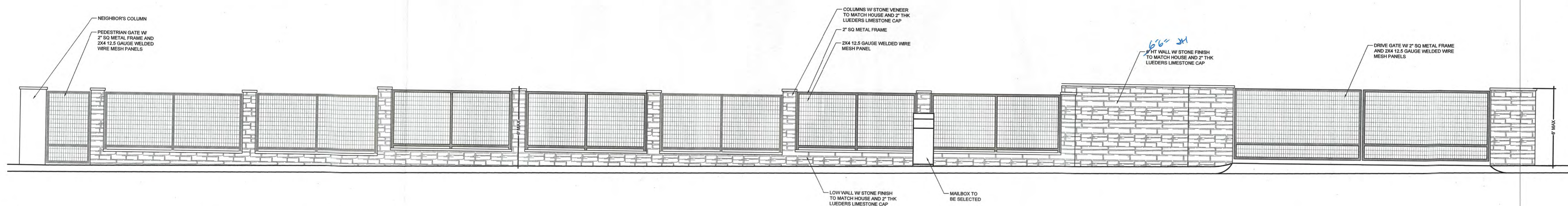
DESIGNED BY: BB  
DRAWN BY: EC  
CHECKED BY: BB

**PDA 223-025**  
SHEET NUMBER

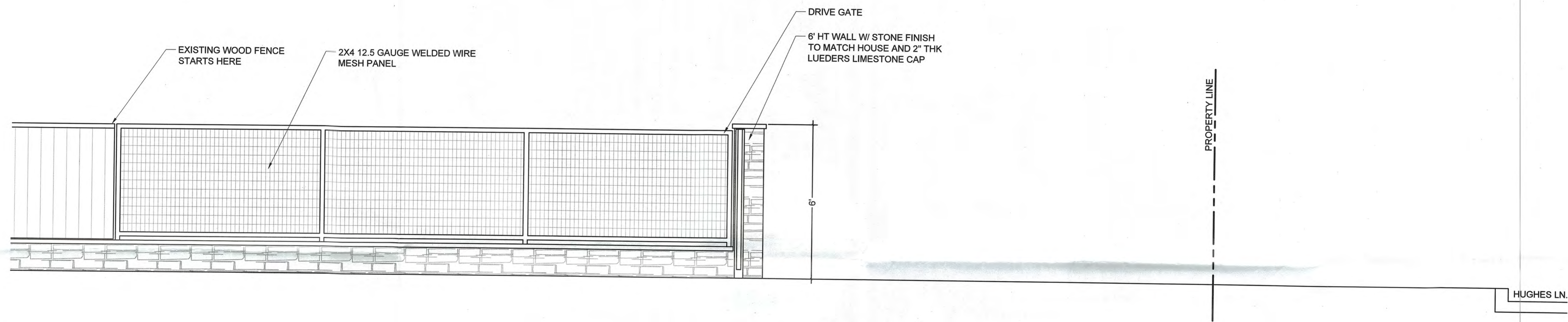
L-1



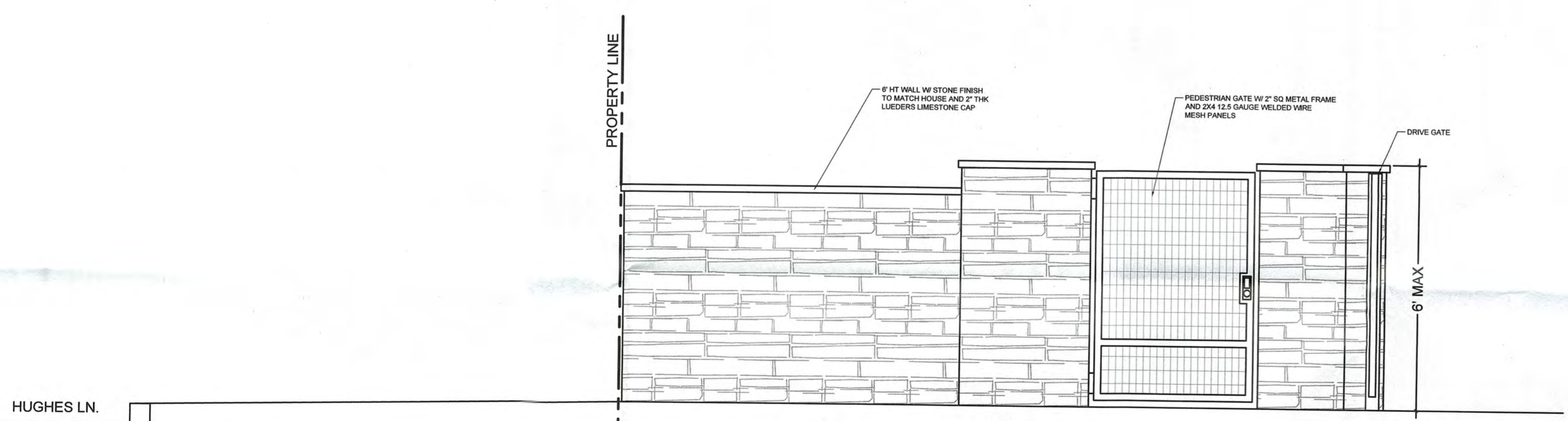
PROJECT NAME



**A** FRONT WALL/FENCE/GATE ELEVATION  
SCALE: 1/4" = 1'-0"



**B** SOUTH FENCE ELEVATION  
SCALE: 1/2" = 1'-0"



**C** PEDESTRIAN GATE / WALL ELEVATION @ DRIVE  
SCALE: 1/2" = 1'-0"

LANDSCAPE ARCHITECTURAL DRAWINGS FOR:  
**THE PUSTMUELLER**  
**RESIDENCE**  
13418 Hughes Ln., Dallas, TX

ISSUE TITLE  
FENCE PLAN

DATES	
START DATE:	10 NOV. 2022
ISSUE DATE:	12 JAN. 2023
▲	
SEAL	

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION!  
FOR REVIEW ONLY!

DRAWING TITLE  
FENCE DETAILS

DRAWN BY  
DESIGNED BY: BB  
DRAWN BY: EC  
CHECKED BY: BB

BDA 223-025  
SHEET NUMBER

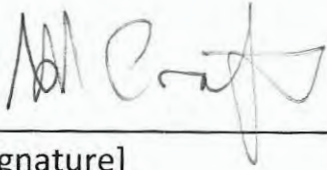
# EXHIBIT-A

## FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.



[Signature]

ANDREA M. CRAFT

[Printed Name]

6238 Shadycliff Drive, Dallas TX 75240

[Address]


Dated: 19<sup>th</sup> of February 2023

FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

  
\_\_\_\_\_  
[Signature]

  
\_\_\_\_\_  
[Printed Name]

  
\_\_\_\_\_  
[Address]

Dated: 18 of February 2023

**FRONT FENCE REQUEST AT 13418 HUGHES LANE**

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

*Eva Carter*

[Signature]

EVA CARTER

[Printed Name]

13409 Hughes Lane Dallas

[Address]

TX 75240

Dated: 2/18/23 of February 2023

FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

2-18-2023

Winston S. Jacobs WS Jacobs  
[Signature]

WS Jacobs  
[Printed Name]

13419 Hughes Lane, Dallas, TX 75240  
[Address]

Dated: 18<sup>th</sup> of February 2023

FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

*Judith Harris*  
\_\_\_\_\_  
[Signature]

*JUDITH HARRIS*  
\_\_\_\_\_  
[Printed Name]

*13561 Hughes Place, Dallas 75240*  
\_\_\_\_\_  
[Address]

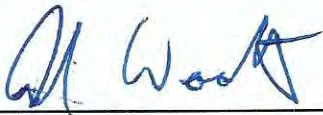
Dated: 19 of February 2023

FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.



[Signature]

Andrew Wootton

[Printed Name]

6249 Dilbeck, Dallas, 75240

[Address]

Dated: 19<sup>th</sup> of February 2023



FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as support of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.



[Signature]

LAWRENCE F KERN

[Printed Name]

13521 HUGHES PL., DALLAS, TX 75240

[Address]


Dated: 18<sup>TH</sup> of February 2023

FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

  
[Signature]

Donna Bezucha  
[Printed Name]

13316 Hughes, Lane Dallas, TX 75248  
[Address]

Dated: 20<sup>th</sup> of February 2023

Hey Lyn. This is your neighbor, Preston Bass. Appreciate you dropping by yesterday. Girls loved the thin mints which is always a hit! We have no objections to the landscaping. You guys have a such a beautiful home and look forward to being long-time neighbors. Also, you inquired about a directory which is great idea.

See below on contact:

13429 Hughes Lane

Preston Bass

## Attachment A

### FRONT FENCE REQUEST AT 13418 HUGHES LANE

February 20, 2023

To the City of Dallas Zoning Board of Adjustment

As a neighbor of Lyn and Joel Pustmueller, who reside at 13418 Hughes Lane, please let this letter serve as **support** of the request to allow for 2 feet to be added to the permitted fence height of 4 feet, as well as one fence panel to exceed the 50% openness rule. This project has been carefully designed to enhance their property and the surrounding neighborhood.

*Betsy Stern*

[Signature]

*Betsy Stern*

[Printed Name]

*6229 Shadycliff Dr.*

[Address]

Dated: 26 of February 2023

**FILE NUMBER:** BDA223-028(GB)

**BUILDING OFFICIAL'S REPORT:** Application of Hunt Companies, Inc., represented by Rodney Moss, for a special exception to the off-street parking regulations at 1300 W. Mockingbird Lane. This property is more fully described as Lot 1, Block P/7940, and is zoned MU-3, which requires off-street parking to be provided. The applicant proposes to construct and/or maintain a structure for office, medical laboratory and communication exchange facility uses, and provide 454 of the required 547 parking spaces, which will require a 93 space special exception to the off-street parking regulations.

**LOCATION:** 1300 W Mockingbird Lane

**APPLICANT:** Hunt Companies, Inc., represented by Rodney Moss

**REQUEST:**

- A request for a special exception to the off-street parking regulations of 93 spaces is made to transition certain uses within an existing approximately 230,000 square feet, five-story structure to other uses, some of which require more off-street parking than what is currently required. In this particular case, the proposal is to reallocate certain uses in the existing structure (most of which are office use) to a combination of office, medical laboratory, and communication exchange facility uses, and provide 454 (or 83 percent) of the required 547 off-street parking spaces on the subject site.

**STANDARD FOR A SPECIAL EXCEPTION TO THE OFF-STREET PARKING REGULATIONS:**

- 1) The Board of Adjustment may grant a special exception to authorize a reduction in the number of off-street parking spaces required under this article if the board finds, after a public hearing, that the parking demand generated by the use does not warrant the number of off-street parking spaces required, and the special exception would not create a traffic hazard or increase traffic congestion on adjacent and nearby streets. The maximum reduction authorized by this section is 25 percent or one space, whichever is greater, minus the number of parking spaces currently not provided due to delta credits, as defined in Section 51A-4.704(b)(A). For the commercial amusement (inside) use and the industrial (inside) use, the maximum reduction authorized by this section is 75 percent or one space, whichever is greater, minus the number of parking spaces currently not provided due to delta credits, as defined in Section 51A-4.704(b)(4)(A). For the office use, the maximum reduction authorized by this section is 35 percent or one space, whichever is greater, minus the number of parking spaces currently not provided due to delta credits, as defined in Section 51A-4.704(b)(4)(A). Applicants may seek a special exception to the parking requirements

under this section and an administrative parking reduction under Section 51A-4.313. The greater reduction will apply, but the reduction may not be combined.

- 2) In determining whether to grant a special exception, the board shall consider the following factors:
  - (A) The extent to which the parking spaces provided will be remote, shared, or packed parking.
  - (B) The parking demand and trip generation characteristics of all uses for which the special exception is requested.
  - (C) Whether or not the subject property or any property in the general area is part of a modified delta overlay district.
  - (D) The current and probable future capacities of adjacent and nearby streets based on the city's thoroughfare plan.
  - (E) The availability of public transit and the likelihood of its use.
  - (F) The feasibility of parking mitigation measures and the likelihood of their effectiveness.
- 3) In granting a special exception, the board shall specify the uses to which the special exception applies. A special exception granted by the board for a particular use automatically and immediately terminates if that use is changed or discontinued.
- 4) In granting a special exception, the board may:
  - (A) Establish a termination date for the special exception or otherwise provide for the reassessment of conditions after a specified period of time;
  - (B) Impose restrictions on access to or from the subject property; or
  - (C) Impose any other reasonable conditions that would have the effect of improving traffic safety or lessening congestion on the streets.
- 5) The board shall not grant a special exception to reduce the number of off-street parking spaces required in an ordinance granting or amending a specific use permit.
- 6) The board shall not grant a special exception to reduce the number of off-street parking spaces expressly required in the text or development plan of an ordinance establishing or amending regulations governing a specific planned development district. This prohibition does not apply when:
  - (A) the ordinance does not expressly specify a minimum number of spaces, but instead simply makes references to the existing off-street parking regulations in Chapter 51 or this chapter; or
  - (B) the regulations governing that specific district expressly authorize the board to grant the special exception.

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- The special exception to the off-street parking regulations of 93 spaces shall automatically and immediately terminate if the “medical laboratory”, “office”, “communication exchange facility” uses are changed or discontinued.

Rationale:

- The Senior Engineer indicated that he has no objections to the request.

## **BACKGROUND INFORMATION:**

### **Zoning:**

Site:MU-3 (Mixed-Use; High density retail, office, hotel and/or multifamily residential uses in combination on single or contiguous building sites)

North:MU-3 (Mixed-Use; High density retail, office, hotel and/or multifamily residential uses in combination on single or contiguous building sites)

South:MU-3 (Mixed-Use; High density retail, office, hotel and/or multifamily residential uses in combination on single or contiguous building sites)

East:MU-3 (Mixed-Use; High density retail, office, hotel and/or multifamily residential uses in combination on single or contiguous building sites)

West: MU-3 (Mixed-Use; High density retail, office, hotel and/or multifamily residential uses in combination on single or contiguous building sites)

### **Land Use:**

There is an existing office building located on the site. The areas to the north, south, east, and west are developed with mixed-uses.

### **Zoning/BDA History:**

There has not been any BDA History in the past five years.

## **GENERAL FACTS /STAFF ANALYSIS:**

- A request for a special exception to the off-street parking regulations of 93 parking spaces (17% reduction) focuses reallocating certain uses in the existing structure (most of which are office use) to a combination of office, medical laboratory, and communication exchange facility uses, and provide 454 (or 83 percent) of the required 547 off-street parking spaces on the subject site.
- The Dallas Development Code requires the following off-street parking requirements:
  - Office: one space per 333 square feet of floor area
  - Medical Office: one space per 200 square feet of floor area.
  - Communication exchange facility: one space per 5,00 square feet of floor area

- The applicant has submitted a document that provides information regarding the total square footage of the existing structure on the site with a list of the uses (and square footage of each use) that is proposed.
- The applicant has the burden of proof in establishing the following:
  - The parking demand generated by the office, medical laboratory, and communication exchange facility uses on the site does not warrant the number of off-street parking spaces required, and
  - The special exception of 93 spaces (or a 17 percent reduction of the required off-street parking) would not create a traffic hazard or increase traffic congestion on adjacent and nearby streets.
- If the Board were to grant this request, and impose condition recommended by staff, the applicant could lease and maintain the existing structure with the uses described above and provide only 454 (or 83 percent) of the 547 required off-street parking spaces on the subject site.

**Timeline:**

January 20, 2023: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.

February 08, 2023: The Board of Adjustment Secretary randomly assigned this case to Board of Adjustment Panel C.

February 16, 2023: The Board of Adjustment Senior Planner emailed the applicant the following information:

- a copy of the application materials including the Building Official’s report on the application
- an attachment that provided the public hearing date and panel that will consider the application; the February 27th deadline to submit additional evidence for staff to factor into their analysis; and the March 10th deadline to submit additional evidence to be incorporated into the Board’s docket materials
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to “documentary evidence.”

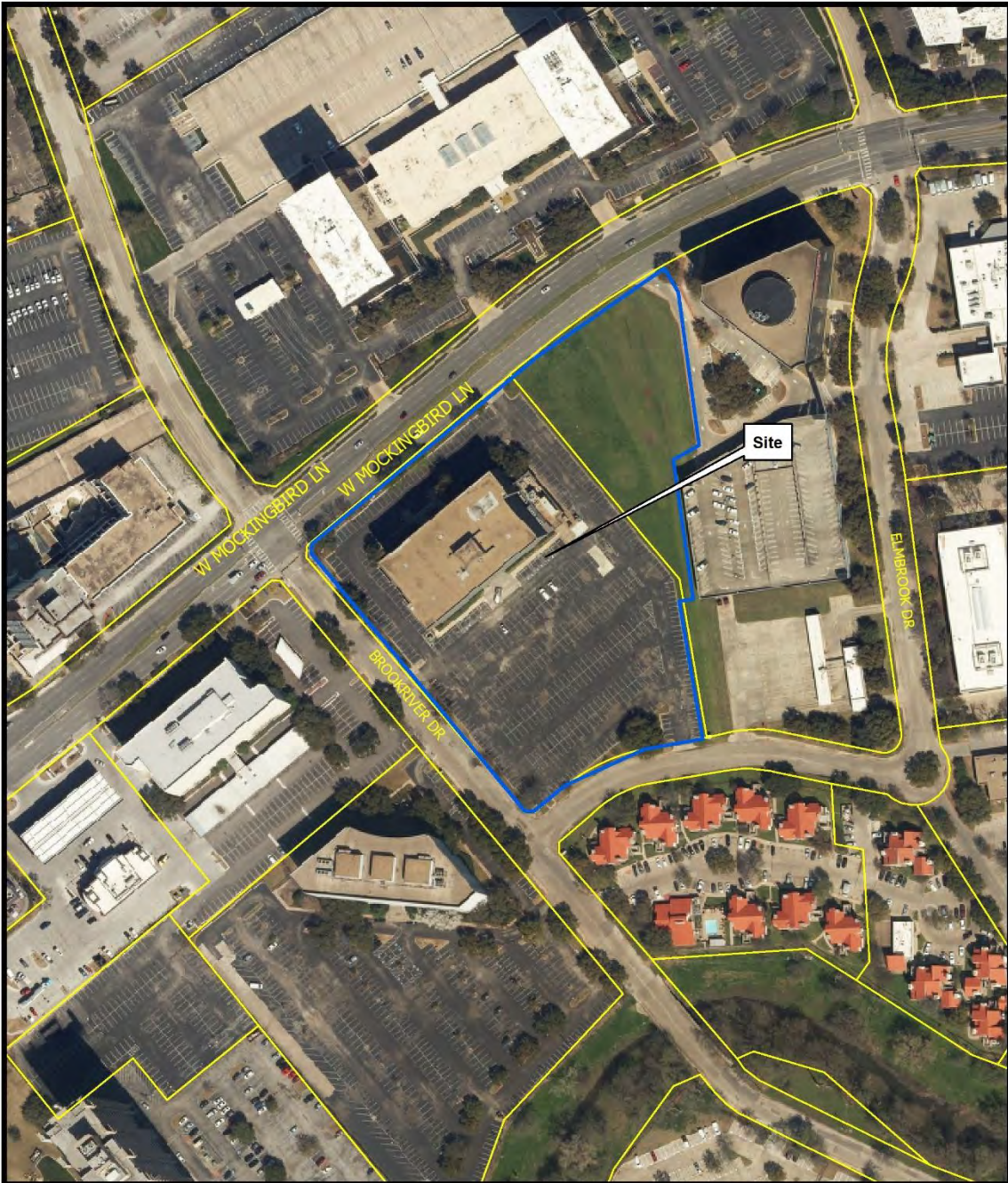
February 28, 2023: The Board of Adjustment staff review team meeting was held regarding this request and the others scheduled for the February public hearings. Review team members in attendance included the following: the Board of Adjustment Chief Planner/Board Administrator, the Board of Adjustment Senior Planners (Oscar Aguilera and Giahanna Bridges), the Board of Adjustment Development Code Specialist, the Board of Adjustment Consultant, Development Services Senior Engineers, and the Board Attorney.

- ❖ Comments (February 16, 2023): The Development Services Engineering Department (David Nevarez) suggested for the



applicant to submit a traffic study/analysis to justify the request for a 17% parking reduction.

March 06, 2023: Received comments from engineering: "No objections based on technical review of parking needs, empirical data, and anticipated shared parking demand" "Has no objections"



1:2,400

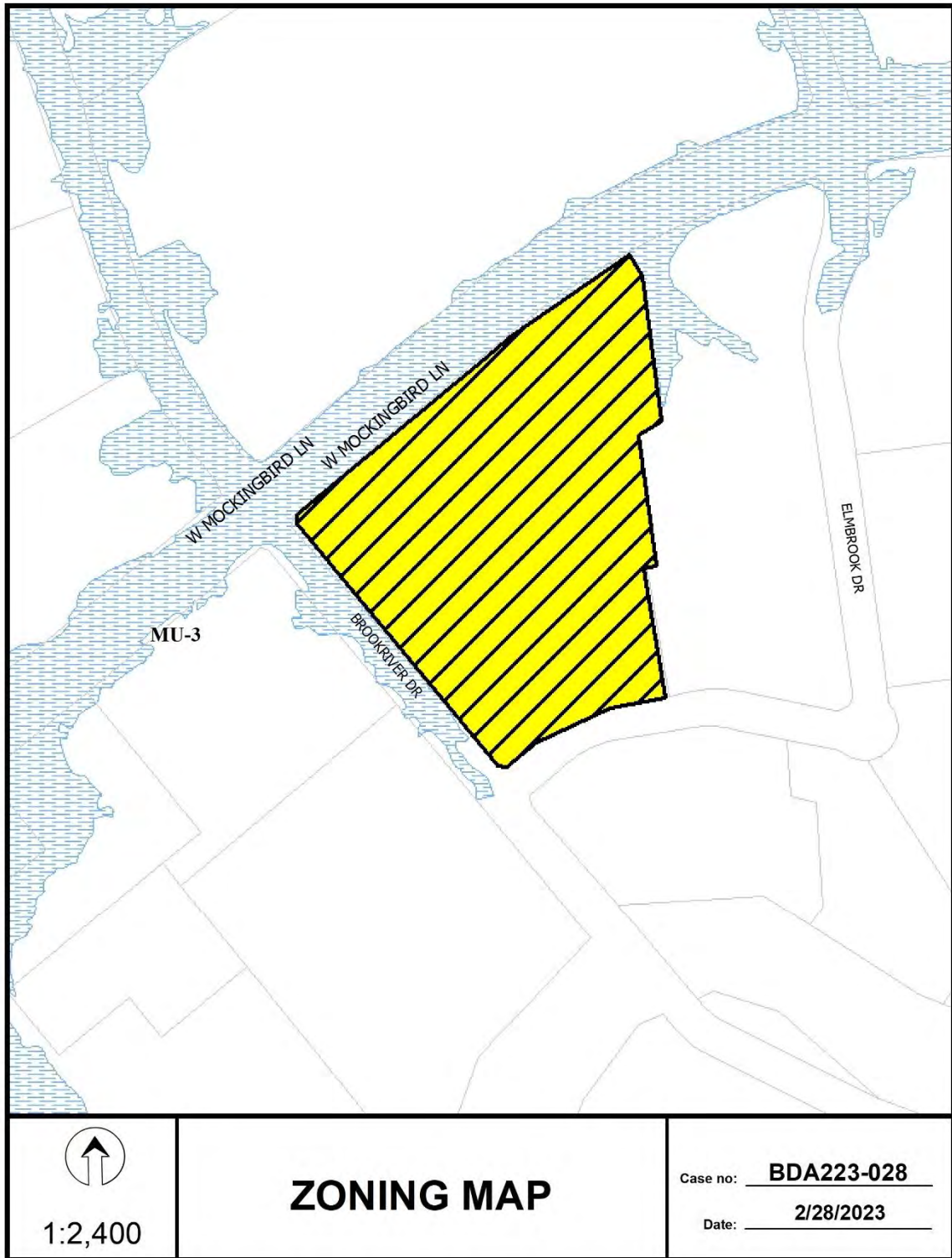
# AERIAL MAP

Case no: BDA223-028

Date: 2/28/2023



 1:2,400	<b>NOTIFICATION</b>		Case no: <b>BDA223-028</b>
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION <div style="border: 1px solid black; padding: 2px; display: inline-block;">8</div> NUMBER OF PROPERTY OWNERS NOTIFIED		Date: <b>2/28/2023</b>



Notification letters were sent to the following property owners:

1 00000778557750000  
COUNTY OF DALLAS TEXAS  
600 COMMERCE ST 9TH FL  
DALLAS, TEXAS 75202-4606

2 00000778557800000  
ALBANY ROAD MOCKINGBIRD III  
LLC  
155 FEDERAL ST STE 1202  
BOSTON, MASSACHUSETTS 02110-1735

3 00000778556300000  
ALBANY ROADMOCKINGBIRD LLC  
1920 MCKINNEY AVE STE 706  
DALLAS, TEXAS 75201-2483

4 00000778556350000  
BROOKHOLLOW NATL BANK  
1111 W MOCKINGBIRD LN  
DALLAS, TEXAS 75247-5028

5 00000778556420000  
7929 BROOKRIVER SUB LLC  
4525 SHERMAN OAKS AVE STE 201  
SHERMAN OAKS, CALIFORNIA 91403-3826

6 00000778556200000  
ALBANY ROAD MOCKINGBIRD II LLC  
155 FEDERAL ST STE 1202  
BOSTON, MASSACHUSETTS 02110-1735

7 00000778556800000  
GP HOTEL DALLAS LLC  
% PANDEY HOTEL CORPORATION  
3155 S VAUGHN WAY  
AURORA, COLORADO 80014-3505

8 00000778557500000  
TASOCOM REAL ESTATE LLC &  
NOSHAHI MOHAMMAD SADIQ  
7900 BROOKRIVER DR  
DALLAS, TEXAS 75247-4910

RECEIVED  
CIVIL DIVISION



APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-028

Data Relative to Subject Property:

Date: ~~12/2/2022~~ 1/20/2023

Location address: 1300 W. MOCKINGBIRD W. DALLAS TX 75247 Zoning District: \_\_\_\_\_

Lot No.: 1 Block No.: 27940 Acreage: 5 Census Tract: 100

Street Frontage (in Feet): 1) 275 2) 325 3) 240 4) 0 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): DALLAS COUNTY

Applicant: HUNT COMPANIES, INC. (AGENT) Telephone: JONATHAN BAZAN

Mailing Address: 601 N. MOSSA ST. EL PASO TX Zip Code: 79901

E-mail Address: HUNTCOMPANIES.COM

Represented by: RODNEY MOSS Telephone: 2144378016

Mailing Address: 2626 COLB AVE STE 10 Zip Code: \_\_\_\_\_

E-mail Address: RODNEY.MOSS@HUNTCOMPANIES.COM

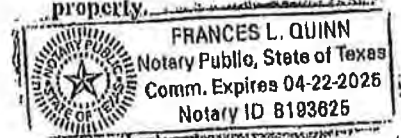
Affirm that an appeal has been made for a Variance, or Special Exception X, of A REDUCTION OF LESS THAN 25% OF PARKING PROVIDED BY CITY ORDINANCE AS ALLOWED BY SECTION 51A-A.311 NUMBER AVAILABLE IS 454 SPOTS. NUMBER REQUIRED IS 547 SPOTS  
Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:  
THE PARKING DEMAND AND TRIP GENERATION CHARACTERISTICS ARE FAR LESS THAN THE CITY CODE REQUIREMENTS (SEE ATTACHED MEMO)

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared RODNEY MOSS  
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.



Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 2 day of December, 2022

(Rev. 08-01-11)

[Signature]  
Notary Public in and for Dallas County, Texas

**MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT**

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that HUNT COMPANIES, INC.  
represented by Rodney Moss  
did submit a request for a special exception to the parking regulations  
at 1300 W MOCKINGBIRD

BDA223-028. Application of HUNT COMPANIES, INC. represented by Rodney Moss for a special exception to the parking regulations at 1300 W MOCKINGBIRD LN. This property is more fully described as P/7940, Lot 1 and is zoned MU-3, which requires parking to be provided. The applicant proposes to construct and maintain a nonresidential structure for an office use, medical laboratory use and, communication exchange facility use, and provide 454 of the required 547 parking spaces, which will require a 93 space special exception (17% reduction) to the parking regulation.

Sincerely,

  
Andrew Espinoza, CBO, MCP, CFM, CCEA



CITY OF DALLAS

AFFIDAVIT

Appeal number: BDA 223-028

I, County of Dallas, a political subdivision of the State of Texas, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 1300 W. Mockingbird Lane, Dallas Texas 75247  
(Address of property as stated on application)

Authorize: Rodney Moss  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: For a 93 spot (17%) parking reduction on the combined Lot 1 with a portion of Lot 2 of Block P/7490 Brookhollow Place, Section 6 Addition

Jonathon Bazan, Assistant County Administrator

Print name of property owner or registered agent

Signature of property owner or registered agent

Digitally signed by Jonathon Bazan  
DN: cn=Jonathon Bazan, o, ou,  
email=jonathon.bazan@dallascounty.org, c=US  
Date: 2023.01.03 13:39:29 -06'00'

Date 1-3-23

Before me, the undersigned, on this day personally appeared Jonathon Bazan

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 3 day of January, 2023

Notary Public for Dallas County, Texas

Commission expires on 4-14-25







CITY OF DALLAS  
AFFIDAVIT

Appeal number: BDA 223-028

I, Albany Road- Mockingbird III LLC, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 1420 W. Mockingbird Lane, Dallas Texas 75247  
(Address of property as stated on application)

Authorize: Rodney Moss  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: For a 93 spot (17%) parking reduction on the combined Lot 1 with a portion of Lot 2 of Block P/7490 Brookhollow Place, Section 6 Addition

Justin Smith  
Print name of property owner or registered agent

Justin Smith  
Signature of property owner or registered agent

Date January 17, 2023

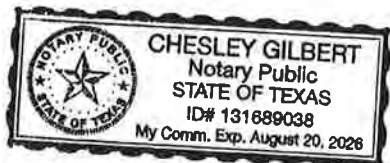
Before me, the undersigned, on this day personally appeared Justin Smith

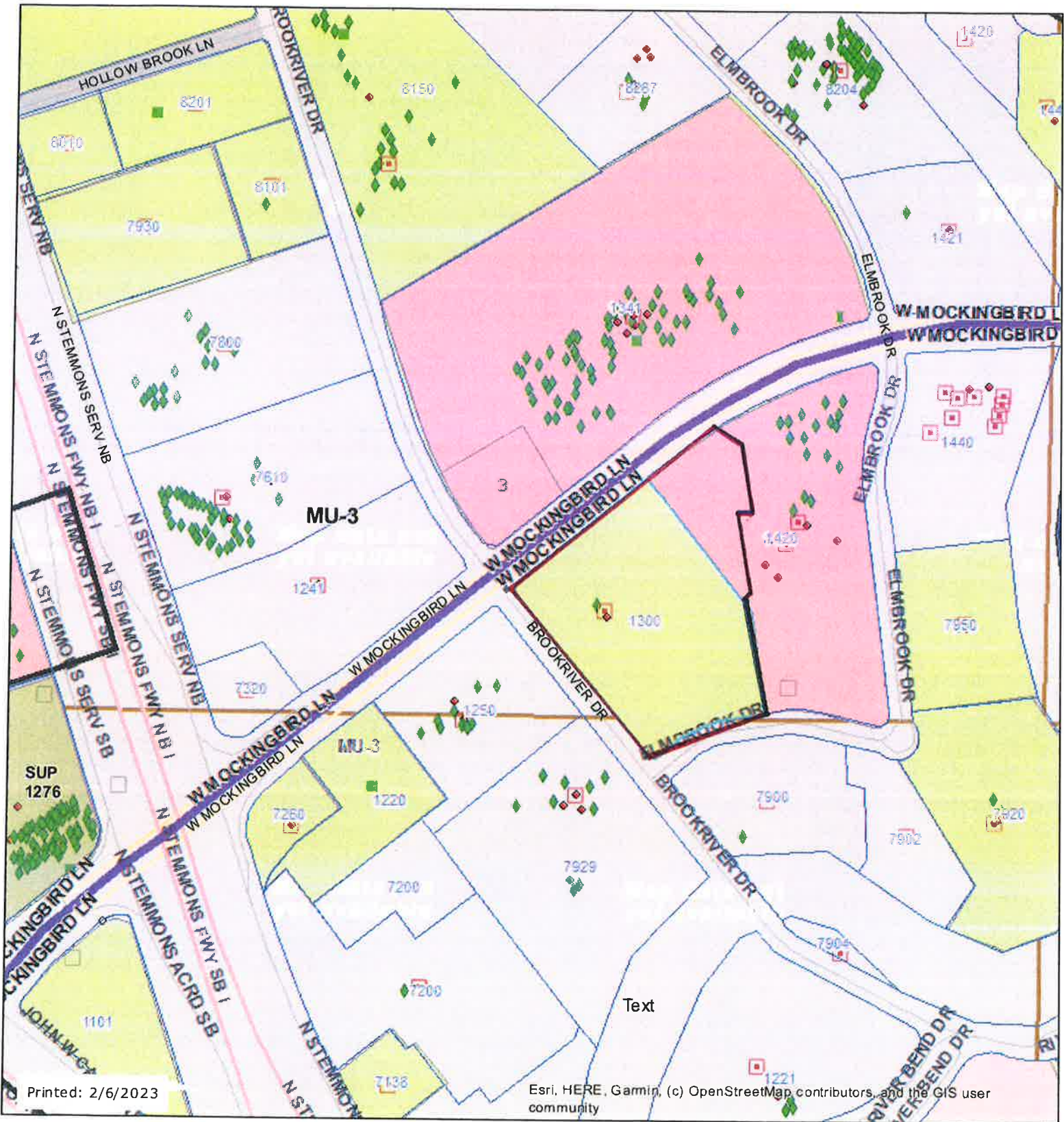
Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

Subscribed and sworn to before me this 17 day of January, 2023

Chesley Gilbert  
Notary Public for Dallas County, Texas

Commission expires on 8-20-2026





Printed: 2/6/2023

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

- |                    |                            |                                  |     |
|--------------------|----------------------------|----------------------------------|-----|
| City Limits        | Building                   | Thoroughfare Plan                | SUP |
| Dallas Tax Parcels | Suite                      | PA - Principal Arterial          |     |
| Base Zoning        | Tax Parcel                 | Highways                         |     |
| SUP                | Plat Parcels               | Major Streets                    |     |
| Main Address       | Preliminary                | Streets                          |     |
| Account            | Final                      | Zoning Grid                      |     |
| Building           | Platted Block              | City Limits                      |     |
| Kiosk              | Final                      | Floodplain                       |     |
| Sign               | Public Right of Way        | 0.2 Pct Annual Flood Hazard      |     |
| Other              | Previous Year Plat Cases   | 1 Pct Annual Chance Flood Hazard |     |
| Tax Parcel         | Four Year Old Plat Cases   | Floodway                         |     |
| Sub-Address        | Five Year Old Plat Cases   | X Protected By Levee             |     |
| Account            | Four Year Old Zoning Cases | Certified Parcels                |     |
|                    |                            | Base Zoning                      |     |

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)







Architectural - SITE PLAN  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

PROJECT INFORMATION  
 PROJECT NO. 2021-001  
 DATE: 01/20/21  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Name]

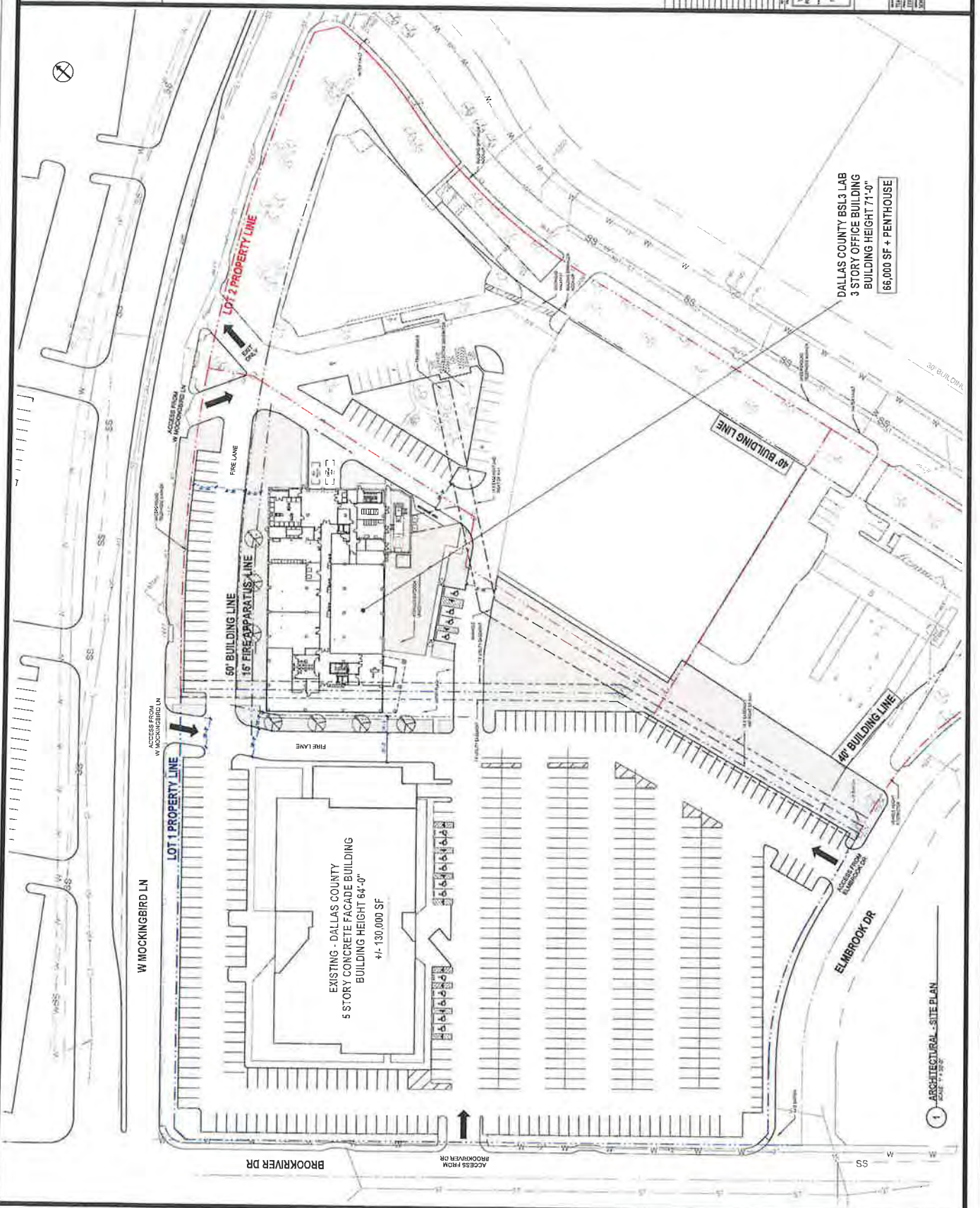
DALLAS COUNTY BSL-3 LAB  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

NO.	DESCRIPTION
1	ARCHITECTURAL - SITE PLAN

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 OR BY ANY INFORMATION STORAGE AND  
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 WRITTEN PERMISSION OF THE ARCHITECT.

ARCHITECTURAL - SITE PLAN  
 DATE: 01/20/21

AS-101



1 ARCHITECTURAL - SITE PLAN  
 DATE: 01/20/21

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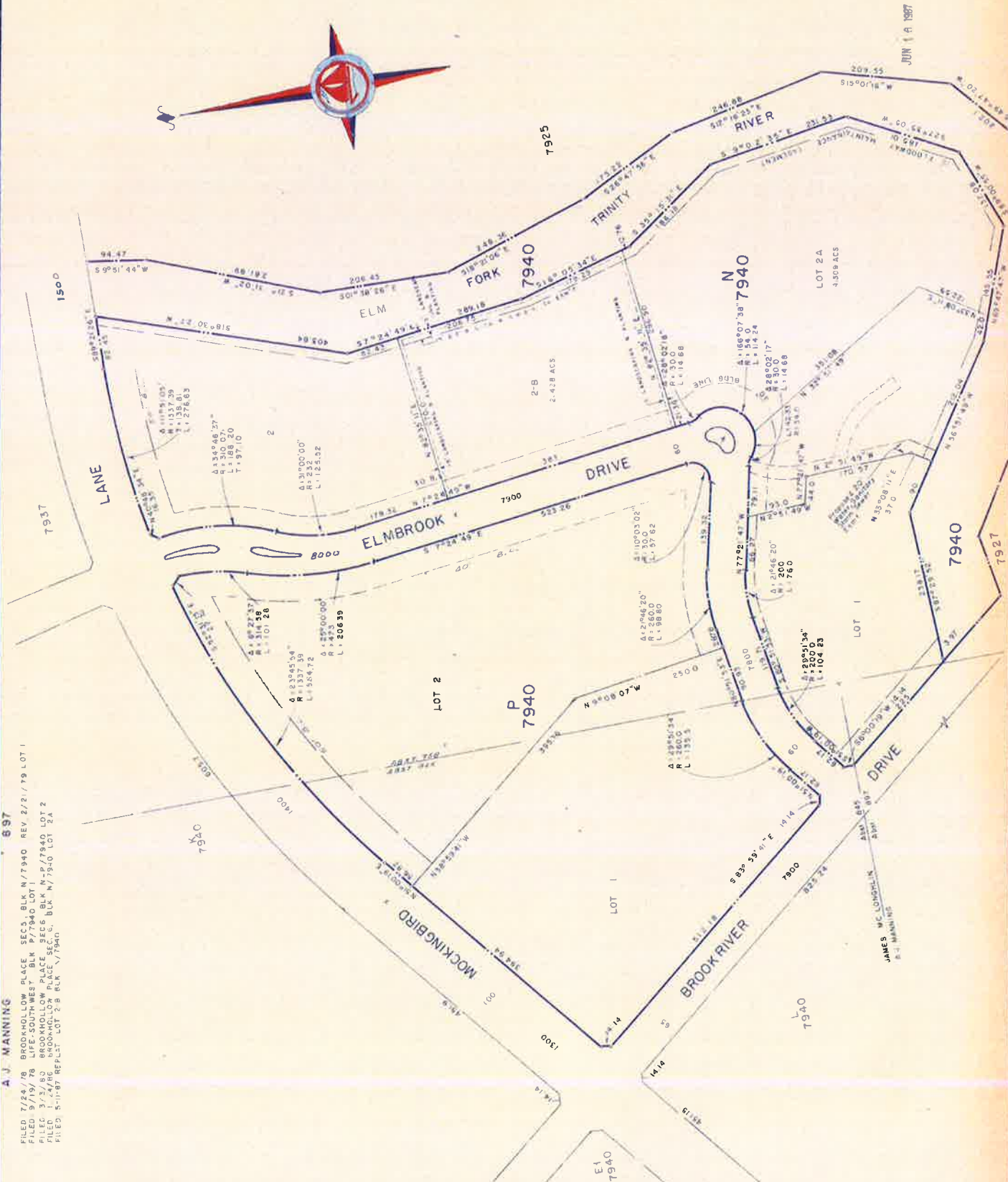
**CITY OF DALLAS PLAT BOOKS**  
**ADDITION, BROOKHOLLOW PLACE**

BLOCKS 7940 & 7940  
 SCHOOL DISTRICT DALLAS

ANNEXED JULY 30, 1956 ORD. NO. 7001  
 SURVEY JAMES MC LAUGHLIN ABST. 845  
 T. E. MANNING 958

A. J. MANNING 697  
 FILED 5/15/78 BROOKHOLLOW PLACE SEC. 6, BLK. N/7940 REV. 2/2/79 LOT 1  
 FILED 5/15/78 BROOKHOLLOW PLACE SEC. 6, BLK. N/7940 LOT 2  
 FILED 3/23/80 BROOKHOLLOW PLACE SEC. 6, BLK. N-P/7940 LOT 2  
 FILED 1-24/86 BROOKHOLLOW PLACE SEC. 6, BLK. N/7940 LOT 2A  
 FILED 5-11-87 REPLIST LOT 2 B BLK N/7940

SCALE 100 FT. EQUALS 1 INCH



JUN 14 1987

**DALLAS COUNTY LAB**  
**Schematic Design Package**

**Date**

10 November 2022

**Dallas County**

1420 W. Mockingbird, Lot 2A, Dallas, Texas

**Project Number**

322017



Page Southern Page, Inc.  
 1600 Main Street Suite 123  
 Dallas, TX 75201  
 page@vix.com  
 Tel: 214.522.3900  
 Fax: 214.522.4380

**CIVIL ENGINEER**  
 JG ENGINEERING  
 1201 Grand Street  
 Dallas, TX 75201  
 214-623-8872

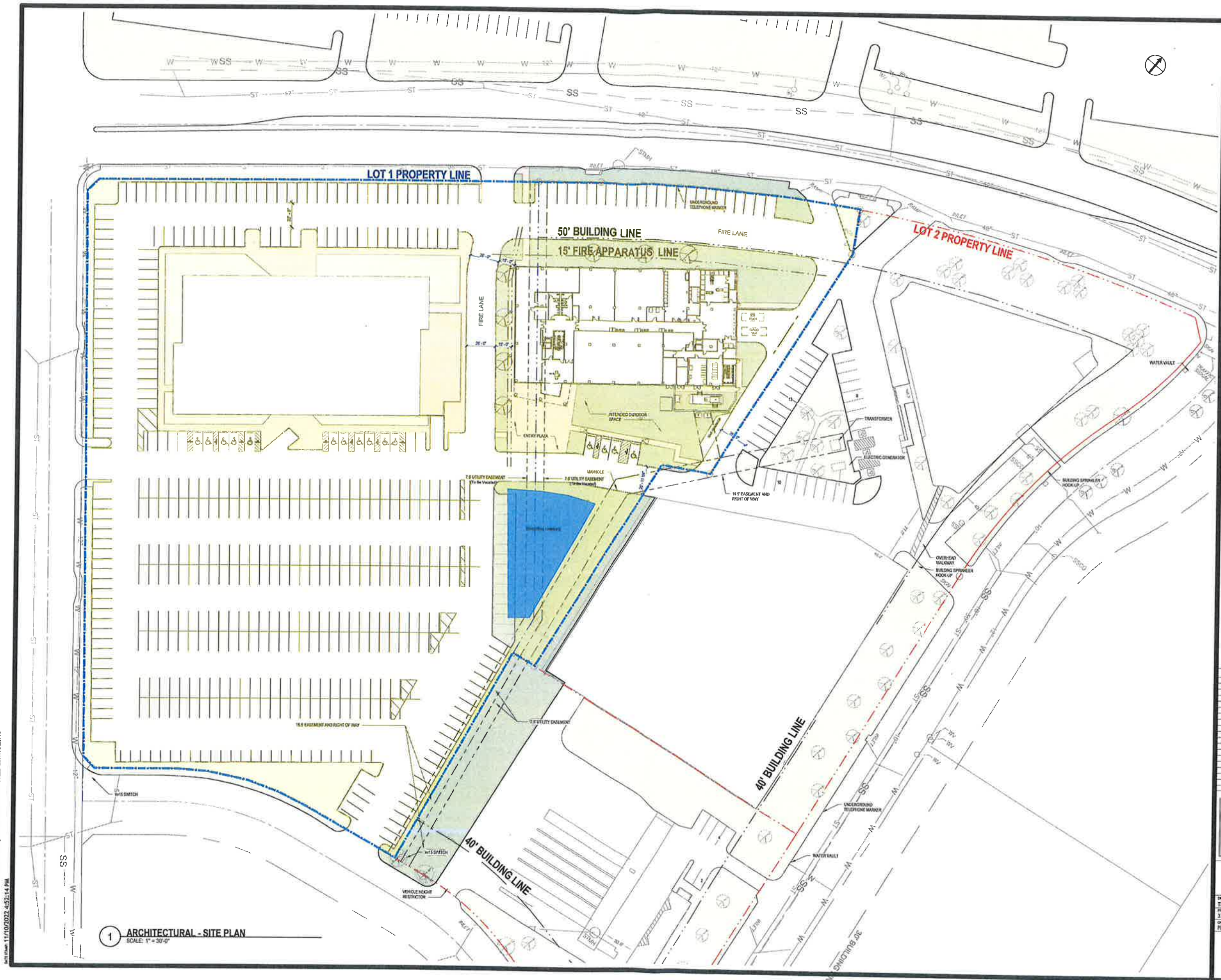
**LANDSCAPE ARCHITECT**  
 JG LA TOY ASSOCIATES  
 18214 Greenville Ave.  
 Suite 242  
 Allen, TX 75002  
 214-504-8008

**STRUCTURAL**  
 MARTINEZ MOORE / WPM  
 500 N. Akard Street  
 Suite 2000  
 Dallas, TX 75201  
 214-740-9201

**MECHANICAL**  
 SHAN SMITH ASSOCIATES  
 8448 Forest Park  
 Suite 508  
 Irving, TX 75063  
 817-451-0404

**PLUMBING**  
 PDA ENGINEERS  
 3829 N. Sam Houston Pkwy E  
 Suite 550  
 Houston, TX 77032  
 281-510-2418

**DALLAS COUNTY BSL-3 LAB**  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247



**1 ARCHITECTURAL - SITE PLAN**  
 SCALE: 1" = 30'-0"

REVISION	DESCRIPTION	DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ENGINEER \*\*\* choose ARCHITECT or ENGINEER \*\*\* from list in Family Types IT IS NOT TO BE USED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.

ARCHITECTURAL - SITE PLAN

DRAWN BY: [ ] TEAM  
 PROJECT NUMBER: 322017  
 ORIGINAL DATE: [ ]  
 PROG / SD: [ ]

CHECKED BY: [ ] TEAM  
 PROJECT APPROVAL: BSL-3 LAB  
 DATE: 01 NOV 2012

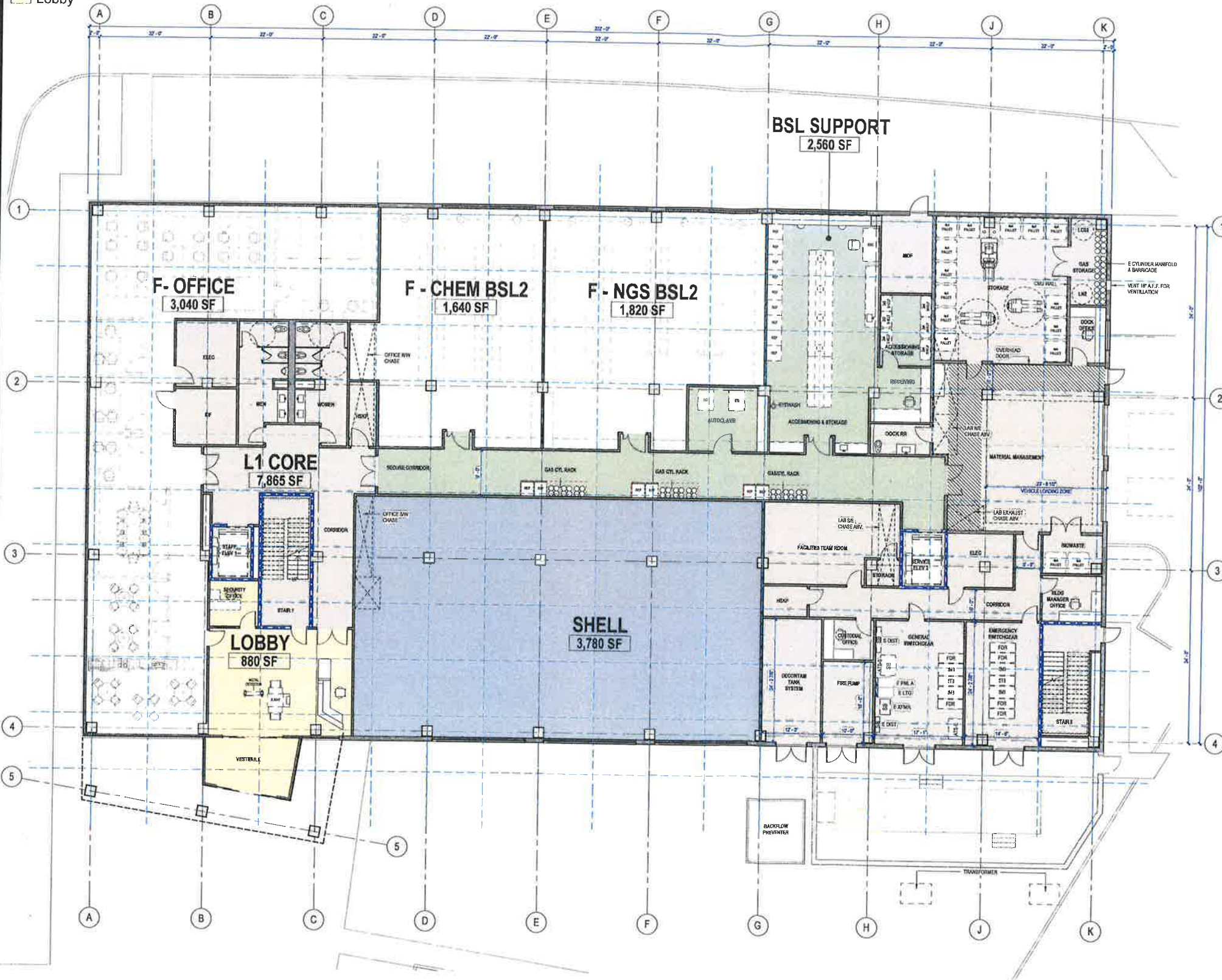
**AS-101**  
 SHEET NUMBER

File Name: AutoCAD Docx/10/2017/Dallas County BSL-3 Lab/10/2017-AR02-CENTRAL.rvt  
 Date Plotted: 11/01/2012 4:52:14 PM



**LEGEND**

- Core
- Future
- Lab BSL-3
- Office
- Shell N.I.C.
- Lobby



**FLOOR PLAN GENERAL NOTES**

1. ALL UNMARKED PARTITIONS ARE TYPE \_\_. ALL COLUMN PURSING TO BE PARTITION TYPE \_\_ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON ANGA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, AS BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOW, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VERTICAL BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A451 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MECHANICAL JOINT COORDINATING. CONTRACTOR IS TO PROVIDE ROUGH OPENING DIMENSIONS CONSISTENT WITH EXISTING ARCHITECTURAL TRANSECTION DETAILS AND SERIES SHEETS, AND WINDOW SCHEDULES (S.M. SERIES). CONTRACTOR TO VERIFY FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

Page Southernland Page, Inc.  
 1900 Main Street Suite 123  
 Dallas, TX 75201  
 page@spk.com  
 Tel: 214.522.3800  
 Fax: 214.522.4300  
 Architecture (residential) / Interiors Planning / Retail / Auto / Aquatics / Audio / Data / Design / Education / Health Care / Hospitality / Industrial / Institutional / Manufacturing / Office / Retail / Residential / Transportation / Utility

**KEYED NOTES**

NUMBER	DESCRIPTION	AREA
1	LOBBY	880 SF
2	BSL SUPPORT	2,560 SF
3	F-OFFICE	3,040 SF
4	F-CHEM	1,640 SF
5	F-NGS	1,820 SF
6	SHELL	3,780 SF
7	CORE	7,865 SF
<b>TOTAL</b>		<b>21,585 SF</b>

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	REFERENCE
	KEYED NOTE
	PARTITION TAG
	BUILDING SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	ACTUAL AREA / PROGRAMMING AREA
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	4-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	5-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	NEW DOOR
	NEW WINDOW
	COLUMN GRID DESIGNATIONS

CIVIL ENGINEER  
 JG ENGINEERING  
 10101 Greenleaf Ave.  
 Dallas, TX 75207  
 214-627-0472

LANDSCAPE ARCHITECT  
 JC LA FOY ASSOCIATES  
 18101 Greenleaf Ave.  
 Suite 242  
 Allen, TX 75002  
 214-602-4000

STRUCTURAL  
 MARTINEZ MOORE / WPM  
 390 N. Akard Street  
 Suite 600  
 Dallas, TX 75201  
 214-740-9201

MECHANICAL  
 SHAH SMITH ASSOCIATES  
 4445 Freepoint Pkwy  
 Suite 600  
 Irving, TX 75063  
 972-451-0404

PLUMBING ENGINEER  
 3238 N. Sam Houston Pkwy E.  
 Suite 550  
 Houston, TX 77032  
 281-570-4113

**DALLAS COUNTY BSL-3 LAB**  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

REVISION HISTORY

NO.	DESCRIPTION	DATE
1	INTERIM REVIEW	

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ARCHITECTURAL - FLOOR PLAN - LEVEL 01 - OPTION 1

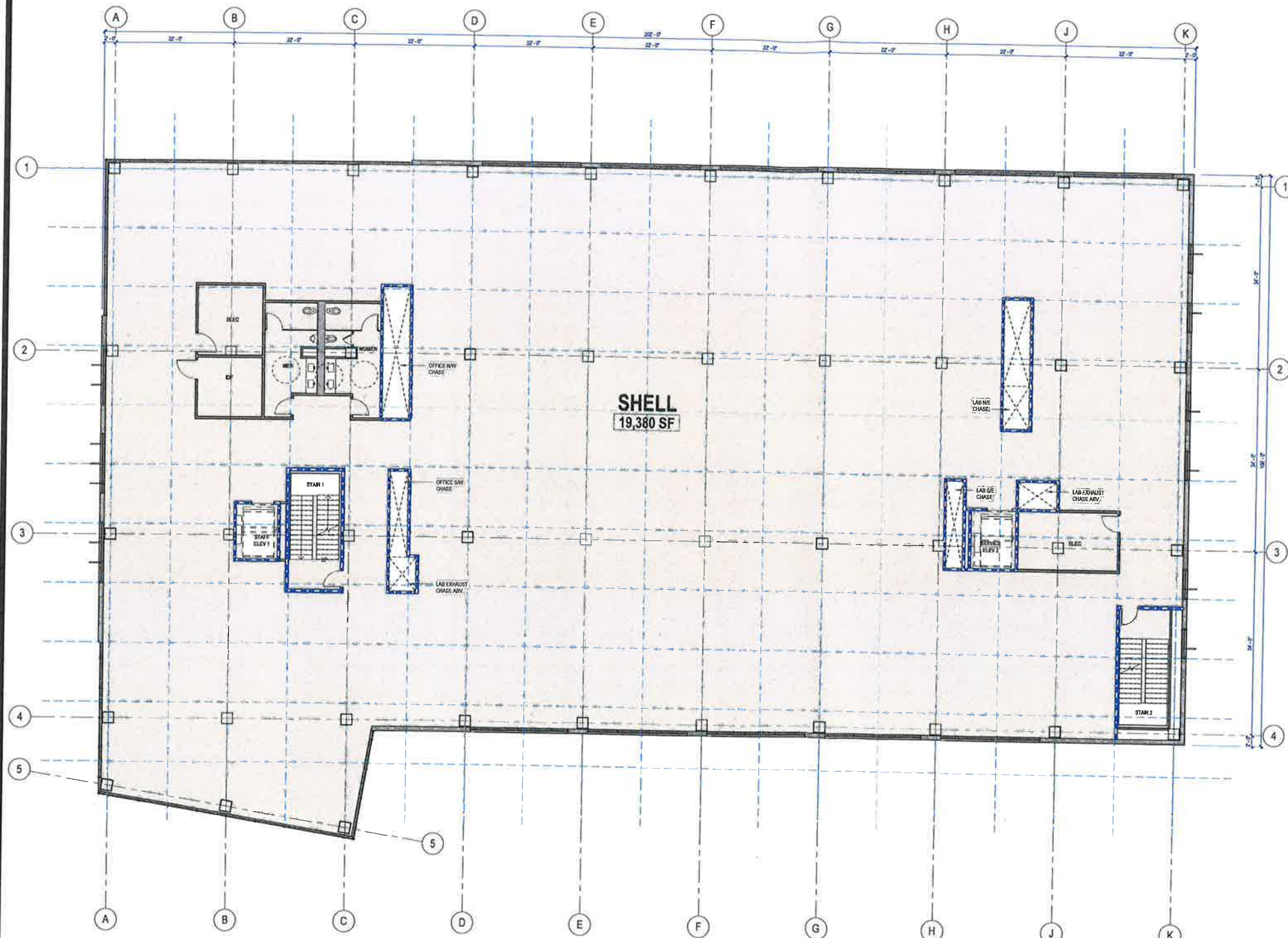
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 Project Number: 222017      Project Name: BSL-3 LAB  
 Original Issue: [Date]      Date: [Date]

FILE PATH: AutoCAD\Drawings\222017-Dallas County BSL-3 Lab\222017-A-R22-CENTRAL.rvt  
 SHEETNAME: 11/10/2022 4:23:02 PM

**1 ARCHITECTURAL - OVERALL FLOOR PLAN - LEVEL 01 - OPTION 2**  
 SCALE: 1/8" = 1'-0"  
 21,585 SF

**LEGEND**

-  Core
-  Office
-  Shell N.I.C.



**1** ARCHITECTURAL - OVERALL FLOOR PLAN - LEVEL 02  
 SCALE: 1/8" = 1'-0"  
 22,220 SF






















**FLOOR PLAN GENERAL NOTES**

- ALL UNMARKED PARTITIONS ARE TYPE 1. ALL COLUMN CURBS TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO O1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A8 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOODING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A401 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MACHINERY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING DIMENSIONS CONSISTENT WITH ENRAGED ARCHITECTURAL FINISHING DETAILS (AS SEEN IN SHEET) AND WINDOW SCHEDULE DETAILS (AS NOTED). CONTRACTOR TO VERIFY FOR ANY HIGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION
SHELL	19,380 SF
CORE	2,840 SF
<b>TOTAL</b>	<b>22,220 SF</b>

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	REF 01/101
	KEYED NOTE
	PARTITION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	ACTUAL AREA PROGRAMMING AREA
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	4-HOUR FIRE RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	3-HOUR FIRE RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	NEW DOOR
	NEW WINDOW
	COLUMN GRID DESIGNATIONS

**Page/**

Page Southland Page, Inc.  
 1800 Mills Street Suite 123  
 Dallas, TX 75201  
 page@psk.com  
 Tel: 214.527.3900  
 Fax: 214.527.4500

ARCHITECT / DESIGN DEVELOPER / PROJECT MANAGER  
 Joseph M. Page / David L. Page / Robert J. Page / Thomas M. Page  
 1515 N. Greenbriar Ave.  
 Suite 200  
 Dallas, TX 75201  
 214-625-6872

CIVIL ENGINEER  
 JO ENGINEERING  
 100 Olive Street  
 Dallas, TX 75201  
 214-625-6872

LANDSCAPE ARCHITECT  
 J.C. LA FOY ASSOCIATES  
 1515 N. Greenbriar Ave.  
 Suite 200  
 Allen, TX 75002  
 214-625-6872

STRUCTURAL  
 MARTINE MOORE / WSP  
 500 N. Akard Street  
 Suite 2000  
 Dallas, TX 75201  
 214-740-8201

MERFP  
 BRUCE SMITH ASSOCIATES  
 8445 Frenshott Place  
 Suite 300  
 Irving, TX 75039  
 972-451-0404

MECHANICAL  
 POA ENGINEERS  
 2838 E. South Houston Freeway E  
 Suite 505  
 Houston, TX 77002  
 281-572-2418

**DALLAS COUNTY BSL-3 LAB**  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

**PROFESSIONAL SEALS**

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ARCHITECTURAL - FLOOR PLAN - LEVEL 02

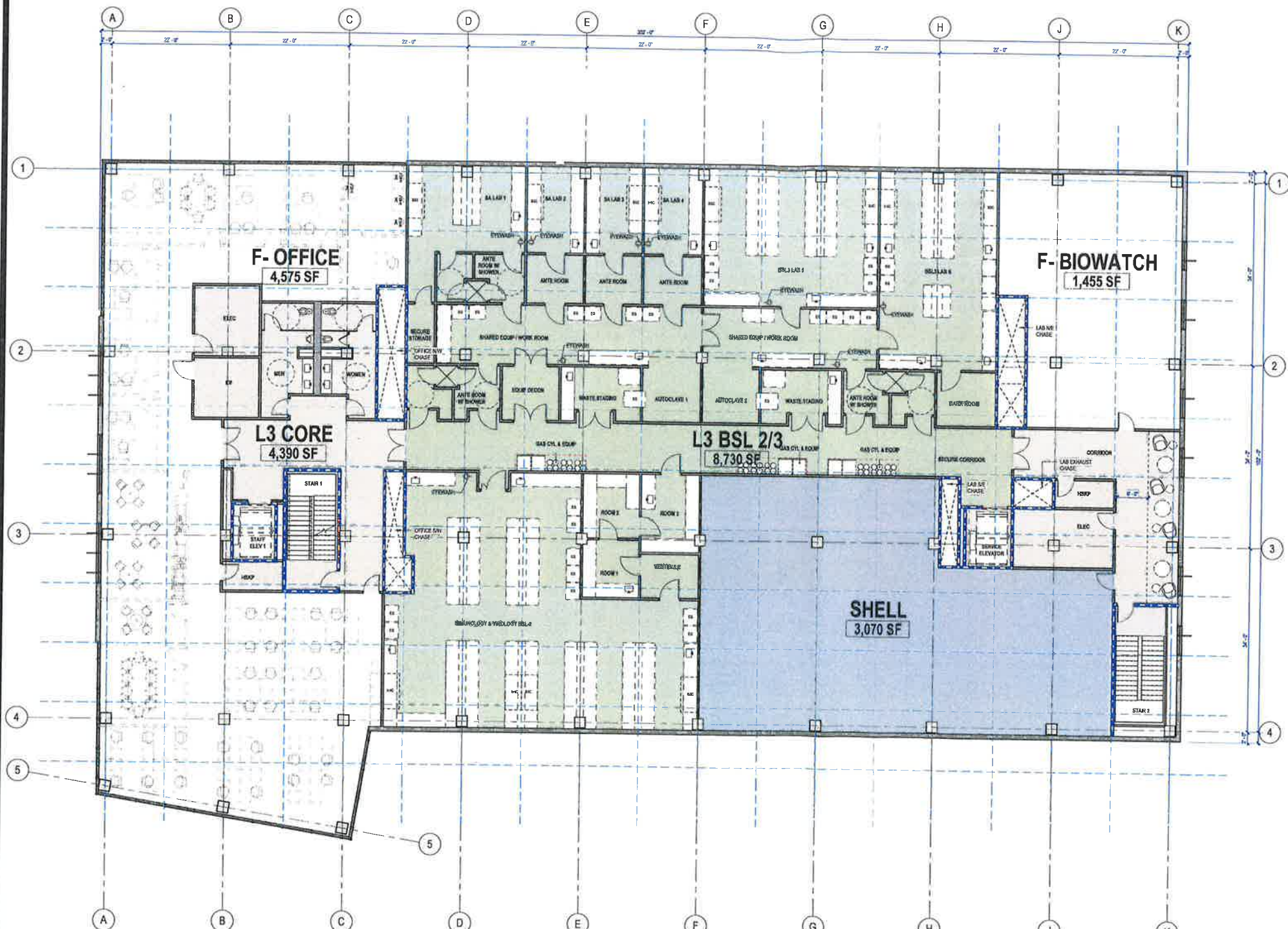
DRAWN BY: TEAM  
 PROJECT NUMBER: 222017  
 DRAWING DATE: 01 NOV 2022

CHECKED BY: TEAM  
 PROJECT APPROVAL: BSL-3 LAB  
 DATE: 01 NOV 2022

**A-102**  
 SHEET NUMBER

FILE PATH: AutoCAD\Drawings\222017-Dallas County BSL-3 Lab\222017-A-R22-CENTRAL.rvt  
 DATE PLOTTED: 11/01/2022 4:23:02 PM

- LEGEND**
- Core
  - Future
  - Lab BSL-3
  - Office
  - Shell N.I.C.



**FLOOR PLAN GENERAL NOTES**

- ALL UNMARKED PARTITIONS ARE TYPE 1. ALL COLUMN FLOORING TO BE PARTITION TYPE 1 UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO ARCHITECT'S DRAWINGS, EXTERIOR ELEVATIONS, AS BUILDING AND WALL SECTIONS.
- REFER TO ARCHITECT'S DRAWINGS FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VERTICAL EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOOMING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTIGUOUS WITH ADJACENT WALL.
- REFER TO ARCHITECT'S DRAWINGS FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COORDINATIONS. CONTRACTORS TO PROVIDE ROUGH OPENING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN SECTION DETAILS (AS SERIES SHEETS) AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTORS TO SUBMIT FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION	AREA
BSL 2/3		8,730 SF
F-OFFICE		4,575 SF
F-BIOWATCH		1,455 SF
SHELL		3,070 SF
CORE		4,390 SF
<b>TOTAL</b>		<b>22,220 SF</b>

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
MATCHLINE	MATCHLINE
REF 01/A101	SHEET REFERENCE
KEYED NOTE	KEYED NOTES ONLY APPLY TO THIS SHEET
PARTITION TAG	REFER TO PARTITION SCHEDULE
BUILDING SECTION TAG	WALL SECTION TAG
EXTERIOR ELEVATION TAG	
INTERIOR ELEVATION TAG	
PLAN REFERENCE TAG	
ROOM NAME	ROOM NAME
ROOM NUMBER	ROOM NUMBER
ACTUAL AREA / PROGRAMMING AREA	
SMOKE PARTITION	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
1-HOUR FIRE-RATED SMOKE BARRIER	
2-HOUR FIRE-RATED SMOKE BARRIER	
3-HOUR FIRE-RATED SMOKE BARRIER	
3-HOUR FIRE-RATED SMOKE BARRIER, OR FIRE PARTITION	
NEW WINDOW	NEW WINDOW
NEW WINDOW TAG	NEW WINDOW TAG
REF DOOR SCHED	REF DOOR SCHED
COLUMN GRID	DESIGNATIONS

**Page/**

Page Southland Page, Inc.  
1900 West Street Suite 123  
Dallas, TX 75201  
page@ps.com  
Tel: 214-522-3000  
Fax: 214-522-4300

ARCHITECTS / CONSULTANTS / ENGINEERS / PLANNERS / DESIGNERS  
Abuqhar / Aude / Dab / Davis / Dub / Foster / Hines / O'Brien / Pomeroy / Soti / Swanson / W. Langston / DC / International Office

CIVIL ENGINEER  
JG ENGINEERING  
100 Green Street  
Dallas, TX 75207  
214-423-0872

LANDSCAPE ARCHITECT  
JG LA POT ASSOCIATES  
1000 N. Greenview Ave.  
Suite 242  
Allen, TX 75002  
214-522-4000

STRUCTURAL  
MARTINEZ MOORE / WPM  
500 N. Alford Street  
Suite 200  
Dallas, TX 75201  
214-740-4301

MERFP  
SHAH SMITH ASSOCIATES  
8445 Freepoint Pkwy  
Suite 500  
Irving, TX 75063  
512-551-0404

PLANS  
POA ENGINEERS  
3038 N. Sam Houston Pkwy E  
Suite 550  
Houston, TX 77032  
281-410-2418

**DALLAS COUNTY BSL-3 LAB**  
1420 W. MOCKINGBIRD LN, LOT 2A  
DALLAS, TEXAS 75247

REVISION HISTORY

NO.	DESCRIPTION	DATE

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ARCHITECTURAL - FLOOR PLAN - LEVEL 03

DRAWN BY: TEAM  
PROJECT NUMBER: 22017  
ORIGINAL TITLE: BSL-3 LAB  
PROG / SO: 01 NOV 2022

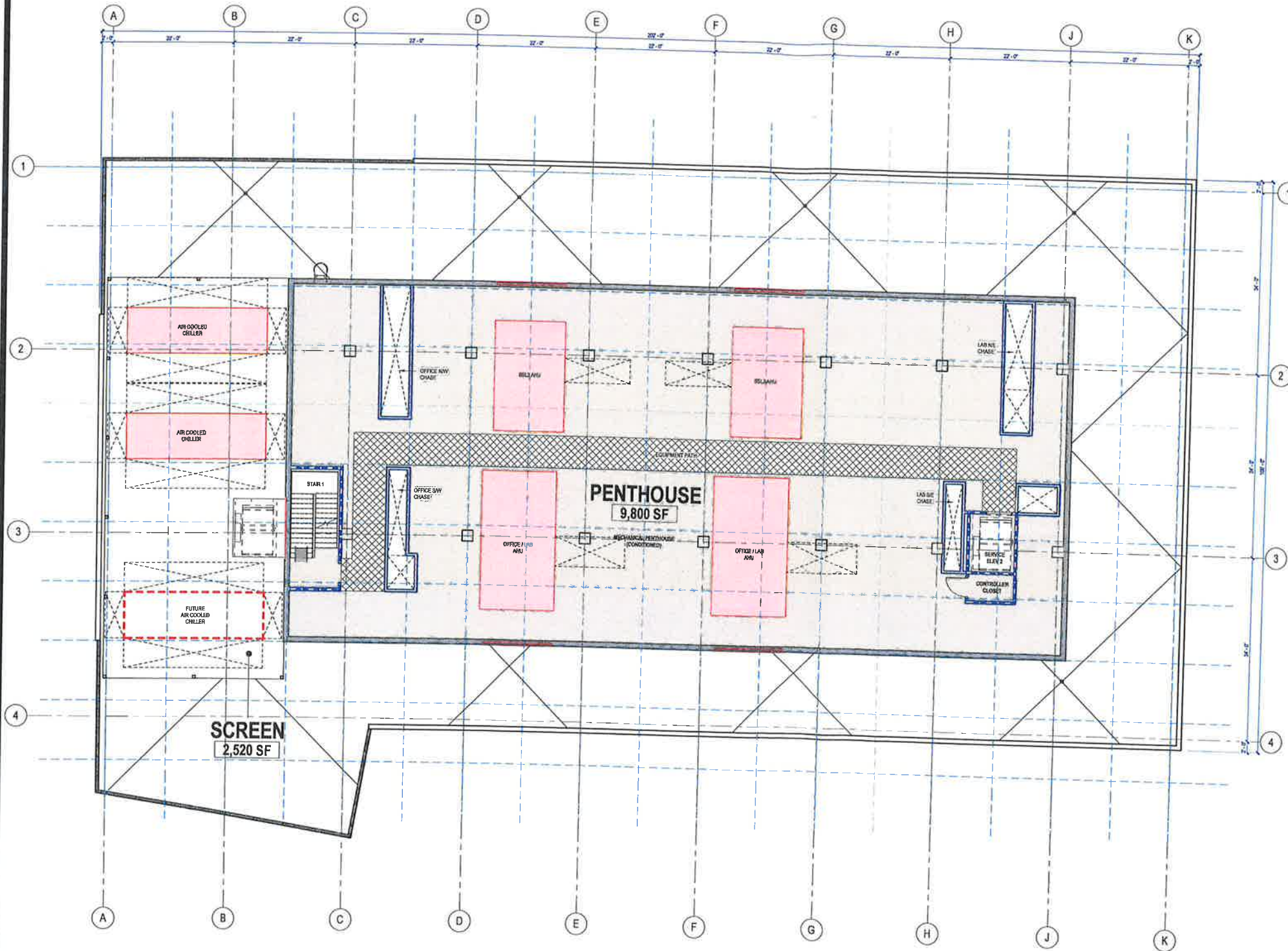
**A-103**

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 Date Plotted: 11/10/2022 4:25:07 PM

**1 ARCHITECTURAL - OVERALL FLOOR PLAN - LEVEL 03**  
SCALE: 1/8" = 1'-0"  
22,220 SF

**LEGEND**

□ Core



**1** ARCHITECTURAL - OVERALL FLOOR PLAN - LEVEL 04 PENTHOUSE  
 SCALE: 1/8" = 1'-0"  
 8,975 SF

**FLOOR PLAN GENERAL NOTES**

1. ALL UNMARKED PARTITIONS ARE TYPE \_\_\_ ALL COLUMN FURRING TO BE PARTITION TYPE \_\_\_ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO 01 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, AS BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR/EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCCING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANNING GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-651 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MAJOR JOINT COLLINGS. CONTRACTORS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL FINISHING DETAILS AS SHOWN IN SHEETS AND WINDOW SCHEDULES (AS APPLICABLE). CONTRACTOR TO SUBMIT TO FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION	AREA
PENTHOUSE		9,800 SF
<b>TOTAL</b>		<b>9,800 SF</b>

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
MATCHLINE REF. 01/A101	MATCHLINE SHEET REFERENCE
KEYED NOTE	KEYED NOTES ONLY APPLY TO THIS SHEET
PARTITION TAG	REFER TO PARTITION SCHEDULE
BUILDING SECTION TAG	WALL SECTION TAG
EXTERIOR ELEVATION TAG	
INTERIOR ELEVATION TAG	
PLAN REFERENCE TAG	
ROOM NAME	ROOM NAME
ROOM NUMBER	ROOM NUMBER
ACTUAL AREA / PROGRAMMING AREA	
SMOKE PARTITION	
1 HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION	
1 HOUR FIRE-RATED SMOKE BARRIER	
2 HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION	
2 HOUR FIRE-RATED SMOKE BARRIER	
3 HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION	
NEW DOOR WITH DOOR TAG REF. DOOR SCHED	
NEW WINDOW WITH WINDOW MARK REF. GLAZING ELEVATIONS	
COLUMN GRID DESIGNATIONS	

Page Southland Page, Inc.  
 1900 Main Street Suite 123  
 Dallas, TX 75201  
 page@spk.com  
 Tel: 214.522.7900  
 Fax: 214.522.4360

CIVIL ENGINEER  
 JG ENGINEERING  
 105 Glass Street  
 Dallas, TX 75207  
 214-423-0872

LANDSCAPE ARCHITECT  
 JC LA FOY ASSOCIATES  
 1910 N. Glenville Ave.  
 Suite 242  
 Allen, TX 75002  
 214-400-4208

STRUCTURAL  
 MARTINEZ SCHOELLER WPM  
 500 N. Akard Street  
 Suite 2300  
 Dallas, TX 75201  
 214-740-0201

MECHANICAL  
 SKANSKY ASSOCIATES  
 8445 Fropont Place  
 Suite 500  
 Irving, TX 75039  
 817-451-0404

IT/AVIS  
 PMA ENGINEERS  
 3028 N. East Mountain Pkwy E  
 Suite 560  
 Houston, TX 77052  
 281-519-6118

**DALLAS COUNTY BSL-3 LAB**  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

REVISION HISTORY

REVISION	DESCRIPTION	DATE

PROFESSIONAL SEAL

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ARCHITECTURAL - FLOOR PLAN - LEVEL 04 PENTHOUSE

DATE BY	TEAM	DATE

PROJECT NUMBER: 322017  
 PROJECT NAME: BSL-3 LAB  
 PROJECT DATE: 01 NOV 2022

**A-104**  
 SHEET NUMBER

11/10/2022 4:23:08 PM  
 Autodesk Docs://372017-Dallas County BSL-3 Lab/322017-A-R22-CENTRAL.rvt

To: Diana Barkhume  
From: Rodney Moss  
Date: January 5, 2023  
RE: Dallas County BSL Lab

On behalf of Dallas County, we appreciate the Board of Adjustments Team agreeing to meet to understand options on several issues that affect the feasibility of this site for its new Biosafety Laboratory. The current plan is that the County will acquire the western part of Lot 2 at 1420 W. Mockingbird and replat it as Lot 2A and consolidate it with its current adjacent site at 1300 W. Mockingbird. The County does not want to acquire the site or spend money on further design and legal and surveying associated with re-platting the two parcels if there are entitlement issues that make the site too expensive. The required parking reduction analysis for the special exception is as follows:

**TOTAL FLOOR AREA AND PARKING CALCS: 230,007 (to be parked) 1300/1420 W Mockingbird**

OFFICE: 139,278SF @ 1:333 = 418

MEDICAL LABORATORY: 35,435SF @ 1:300 = 118

COMMUNICATION EXCHANGE FACILITY: 55,294SF @ 1:5000 = 11

PARKING PROVIDED = 454

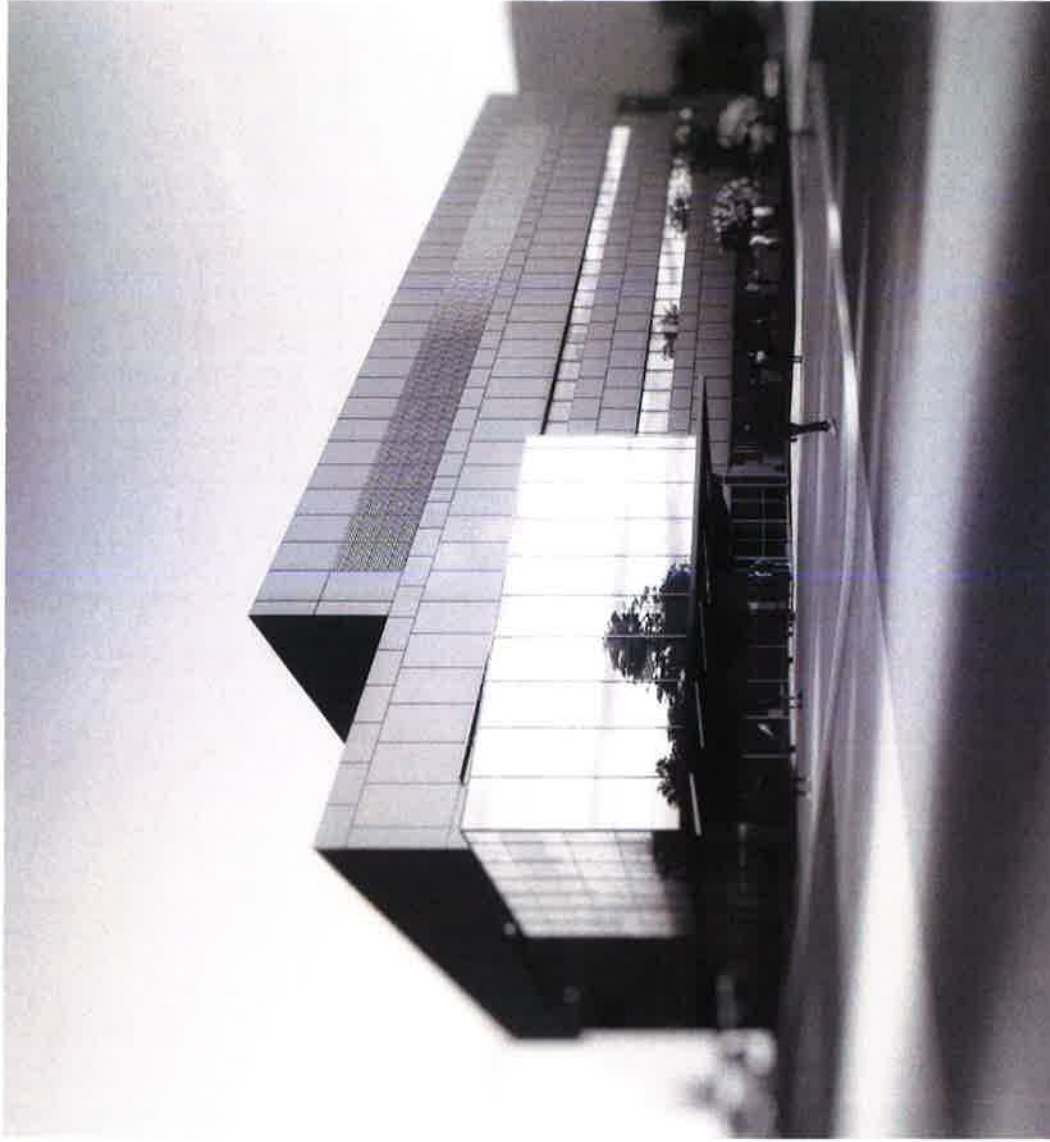
PARKING REQUIRED = 547

DEFICIENT = 93 SPACES

SPECIAL EXCEPTION REQUEST **93 SPACES**

**17% REDUCTION**

Thank you for all of your assistance on this important project for the County.



**DALLAS COUNTY LAB**  
**Schematic Design Package**

**Date**  
10 November 2022  
**Dallas County**  
1420 W. Mockingbird, Lot 2A, Dallas, Texas  
**Project Number**  
322017

11/07/2022 4:31:14 PM  
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 Date: 11/07/2022  
 Time: 4:31:14 PM  
 User: JACOB LAMBERT  
 Job Number: 11072022-43114-PM  
 Project Name: BSL-3 LAB  
 Project Path: \\server\projects\11072022-43114-PM\BSL-3 LAB\11072022-43114-PM.dwg  
 Plot Date: 11/07/2022  
 Plot Time: 4:31:14 PM  
 Plot User: JACOB LAMBERT

ARCHITECT: JACOB LAMBERT ARCHITECTS, P.C.  
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 DALLAS, TEXAS 75247  
 PROJECT: BSL-3 LAB  
 SHEET: AS-101  
 DATE: 11/07/2022  
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 PROJECT MANAGER: JACOB LAMBERT  
 ARCHITECT: JACOB LAMBERT ARCHITECTS, P.C.  
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 DALLAS, TEXAS 75247  
 PROJECT: BSL-3 LAB  
 SHEET: AS-101  
 DATE: 11/07/2022  
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 PROJECT MANAGER: JACOB LAMBERT

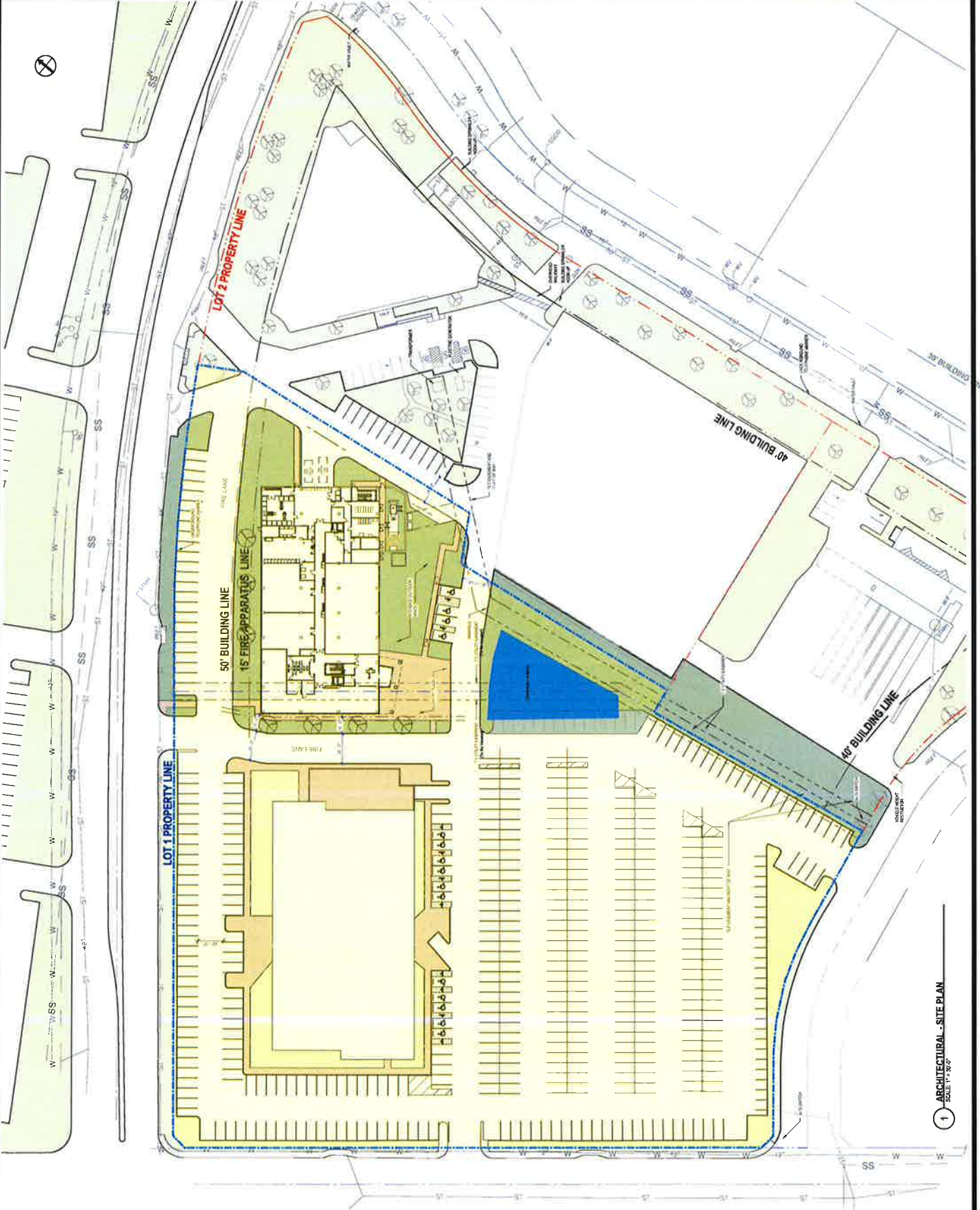
DALLAS COUNTY BSL-3 LAB  
 1420 W. MOCKINGBIRD LN, LOT 2A  
 DALLAS, TEXAS 75247

NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMITS	11/07/2022
3	ISSUED FOR PERMITS	11/07/2022
4	ISSUED FOR PERMITS	11/07/2022
5	ISSUED FOR PERMITS	11/07/2022
6	ISSUED FOR PERMITS	11/07/2022
7	ISSUED FOR PERMITS	11/07/2022
8	ISSUED FOR PERMITS	11/07/2022
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17	ISSUED FOR PERMITS	11/07/2022
18	ISSUED FOR PERMITS	11/07/2022
19	ISSUED FOR PERMITS	11/07/2022
20	ISSUED FOR PERMITS	11/07/2022

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ARCHITECTURAL - SITE PLAN	
DATE:	11/07/2022
PROJECT:	BSL-3 LAB
SHEET:	AS-101
SCALE:	1" = 30'-0"
DRAWN BY:	JACOB LAMBERT
CHECKED BY:	JACOB LAMBERT
PROJECT MANAGER:	JACOB LAMBERT

AS-101



1 ARCHITECTURAL - SITE PLAN  
 SCALE 1" = 30'-0"











# PARKING DEMAND ANALYSIS

Project:

**1300 and 1420 W Mockingbird Lane**

*In Dallas, Texas*

Prepared for:

**City of Dallas**

On behalf of:

**Dallas County & Hunt Companies**

Prepared by:

*Steve E. Stoner*

Steve E. Stoner, P.E., PTOE



7557 Rambler Road, Suite 1400  
Dallas, Texas 75231-2388  
(972) 235-3031 [www.pkce.com](http://www.pkce.com)  
TX.REG: ENGINEERING FIRM F-469  
TX. REG. SURVEYING FIRM LS-100080-00

## EXECUTIVE SUMMARY

The services of **Pacheco Koch** were retained by **Page Southerland Page** on behalf of **Dallas County & Hunt Companies** (the "Applicant") to conduct a Parking Demand Analysis (PDA) for the existing and proposed uses located at 1300 and 1420 W Mockingbird Lane in Dallas, Texas. This study is related to a request for a Special Exception to the parking requirement for the property based on an excess of parking supply required by the standard code requirements.

A technical analysis was prepared to evaluate the merits of the request based on a consideration of information provided to Pacheco Koch with regard to the existing and proposed uses and Pacheco Koch's analysis of parking demand characteristics for those uses. The PDA was prepared for submittal to the City of Dallas for review in consideration of the request.

The following table provides a summary of the request.

QUANTITY	PARKING SPACES (SUPPLY) / PARKED VEHICLES (DEMAND)
Cumulative Parking Requirement Per Base Codes	547
Proposed Parking Spaces Provided	534
<b>Requested Reduction (Special Exception)</b>	<b>13 (2.4%)</b>
Projected Peak Parking Demand Based (All Uses)	379

Based upon the analyses performed herein, the requested Special Exception to the City of Dallas Parking requirements is supported.

END



**DALLAS COUNTY BSL-3 LAB**  
1420 W. MOCKINGBIRD LN, LOT 2A  
DALLAS, TEXAS 75247

**DEMO SITE PLAN NOTES**

1. NOTE

**KEYED NOTES**

NUMBER	DESCRIPTION
AD.01	EXISTING PARKING STRIPPING TO BE REMOVED
AD.02	DEMOLITION SITE WORK. RE: CIVIL
AD.03	DEMO EXISTING CURBS AND REMOVE PARKING STRIPPING FOR NEW CURB. RE: CIVIL

**SITE LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING GRASS
[Symbol]	CONCRETE TYPE A - [COLOR]
[Symbol]	CONCRETE TYPE B - [COLOR]
[Symbol]	CONCRETE TYPE C - [COLOR]
[Symbol]	NEW GRASS - REF LANDSCAPE
[Symbol]	EXISTING STRIPPING
[Symbol]	NEW STRIPPING
[Symbol]	PROPERTY LOT 1
[Symbol]	PROPERTY LOT 2
[Symbol]	EXISTING CAR PARKING
[Symbol]	NEW CAR PARKING

**REVISION HISTORY**

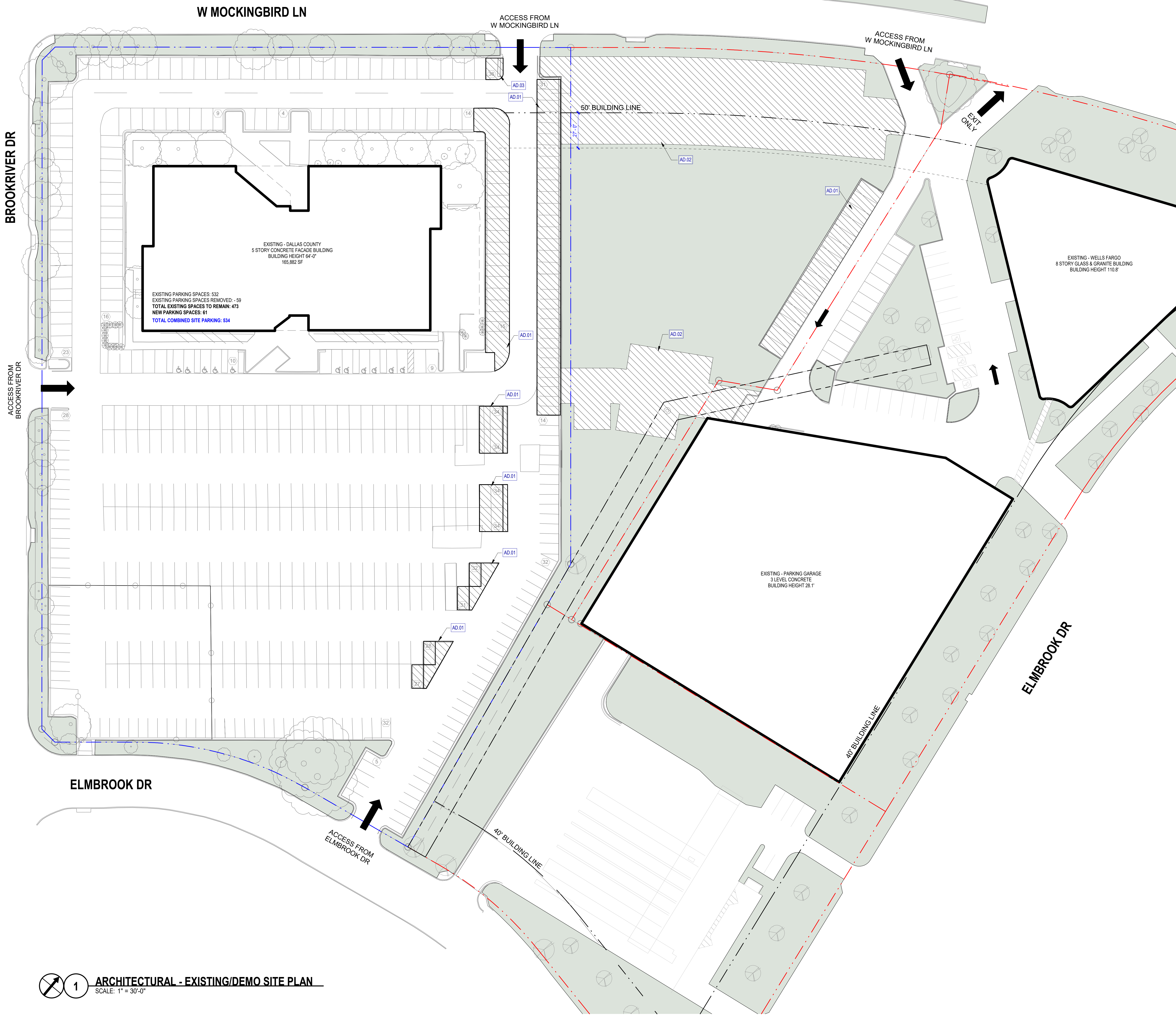
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**ARCHITECTURAL - EXISTING/DEMO SITE PLAN**

DRAWN BY G.F.	CHECKED BY R.D.
PROJECT NUMBER 322017	PROJECT ABBREVIATION BSL-3 LAB
ORIGINAL ISSUE SCHEMATIC DESIGN	DATE 03 MAR 2023

**AS-101**  
SHEET NUMBER



**1 ARCHITECTURAL - EXISTING/DEMO SITE PLAN**  
SCALE: 1" = 30'-0"

FILE PATH: Autodesks Docs://3/2023/Dallas County BSL-3 Lab/3/2023/17-A-R22-CENTRAL.rvt  
 USER NAME: G.F.  
 DATE/TIME: 3/3/2023 3:02:26 PM

DALLAS COUNTY BSL-3 LAB  
1420 W. MOCKINGBIRD LN, LOT 2A  
DALLAS, TEXAS 75247

SITE PLAN NOTES

1. NOTE

KEYED NOTES

NUMBER	DESCRIPTION
AS.01	EXISTING TRANSFORMER
AS.02	EXISTING ELECTRIC GENERATOR
AS.03	EXISTING 15.5' EASEMENT AND RIGHT OF WAY
AS.04	EXISTING MANHOLE. CONNECTION TO EXISTING ONCOR LINES.
AS.05	EXISTING OVERHEAD WALKWAY
AS.06	EXISTING BUILDING SPRINKLER HOOK-UP
AS.07	EXISTING UNDERGROUND TELEPHONE MARKER
AS.08	EXISTING KV15 SWITCH
AS.09	EXISTING WATER VAULT
AS.10	EXISTING DALLAS COUNTY FENCED PARKING AREA
AS.11	BACK-UP GENERATOR YARD
AS.13	ADA ACCESSIBLE ROUTE. RE: CIVIL
AS.14	6'H SECURITY FENCE
AS.15	AUTOMATIC SLIDING DOUBLE GATES. RE: SECURITY
AS.18	PAINTED CROSS WALK STRIPPING
AS.19	PEDESTRIAN ACCESS TO STREET FRONTAGE.
AS.20	RE:12 BICYCLE PARKING SPACES
AS.22	ROW OF SHRUBS FOR PARKING SCREENING. RE: LANDSCAPE
AS.23	STREET TREES 1/70' MAX. RE: LANDSCAPE
AS.24	PEDESTRIAN SWING GATE
AS.25	EXISTING FIRE HYDRANT
AS.26	CONNECTION ACROSS MOCKINGBIRD STREET TO TIE IN FOR EXISTING WATER, SANITARY SEWER AND FIRE HYDRANT. RE: CIVIL
AS.27	UPDATE EXISTING PARKING STRIPES FOR CONTINUOUS VEHICULAR CIRCULATION
AS.28	NEW 5'W' PAVED WALKWAY
AS.29	NEW ELECTRICAL EASEMENT. RE: CIVIL & ELECTRICAL
AS.30	NEW TRANSFORMERS RE: ELECTRICAL

SITE LEGEND

SYMBOL	DESCRIPTION
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING GRASS
[Symbol]	CONCRETE TYPE A - [COLOR]
[Symbol]	CONCRETE TYPE B - [COLOR]
[Symbol]	CONCRETE TYPE C - [COLOR]
[Symbol]	NEW GRASS - REF LANDSCAPE
[Symbol]	EXISTING STRIPPING
[Symbol]	NEW STRIPPING
[Symbol]	PROPERTY LOT 1
[Symbol]	PROPERTY LOT 2
[Symbol]	EXISTING CAR PARKING
[Symbol]	NEW CAR PARKING

REVISION HISTORY

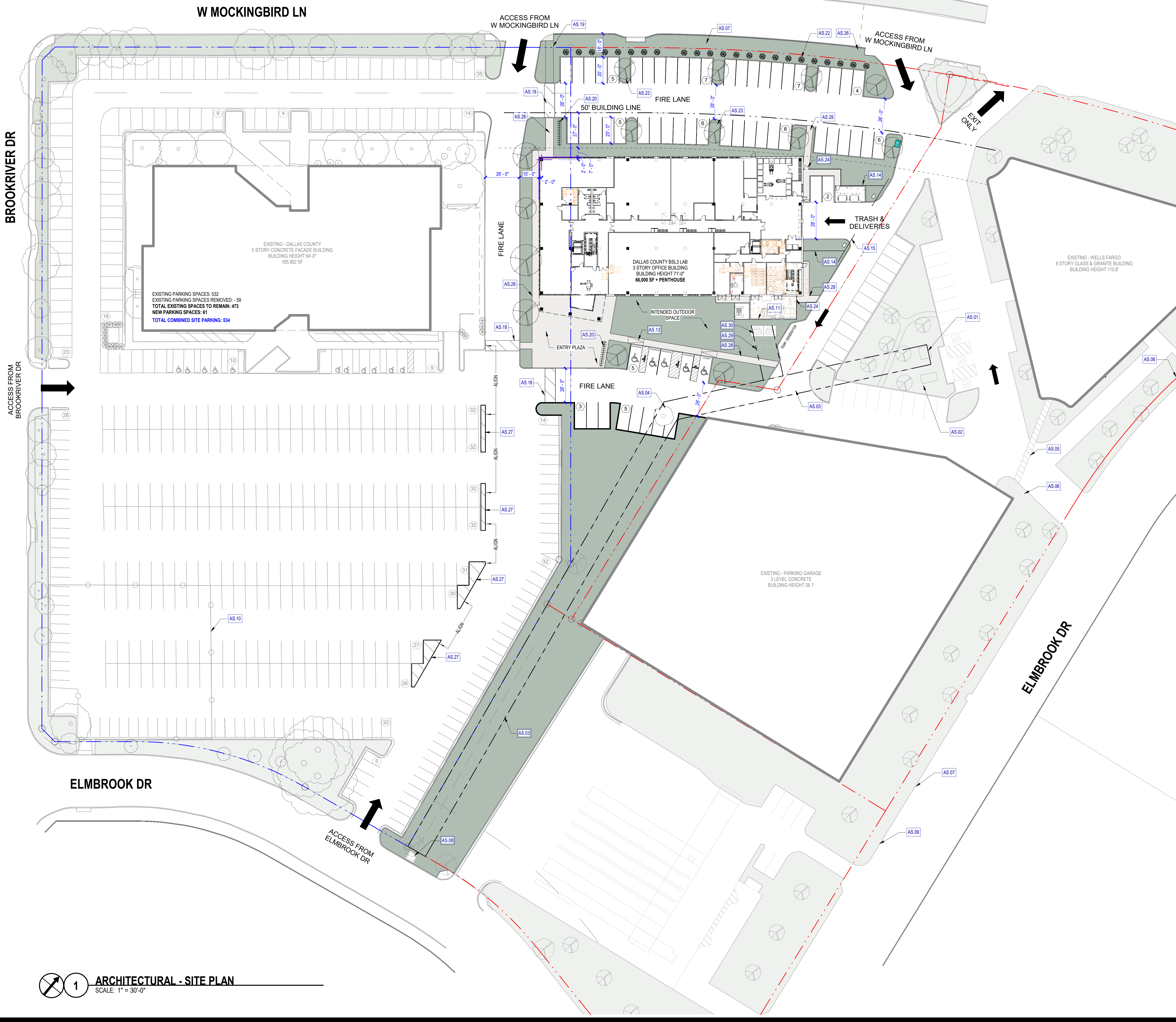
REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	

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ARCHITECTURAL - SITE PLAN

DRAWN BY G.F.	CHECKED BY R.D.
PROJECT NUMBER 322017	PROJECT ABBREVIATION BSL-3 LAB
ORIGINAL ISSUE SCHEMATIC DESIGN	DATE 03 MAR 2023

AS-102  
SHEET NUMBER



EXISTING - DALLAS COUNTY  
5 STORY CONCRETE FACADE BUILDING  
BUILDING HEIGHT 64'-0"  
165,882 SF

EXISTING PARKING SPACES: 532  
EXISTING PARKING SPACES REMOVED - 59  
TOTAL EXISTING SPACES TO REMAIN: 473  
NEW PARKING SPACES: 61  
TOTAL COMBINED SITE PARKING: 534

DALLAS COUNTY BSL-3 LAB  
3 STORY OFFICE BUILDING  
BUILDING HEIGHT 71'-0"  
66,000 SF + PENTHOUSE

EXISTING - WELLS FARGO  
8 STORY GLASS & GRANITE BUILDING  
BUILDING HEIGHT 110.8'

EXISTING - PARKING GARAGE  
3 LEVEL CONCRETE  
BUILDING HEIGHT 28.1'

1 ARCHITECTURAL - SITE PLAN  
SCALE: 1" = 30'-0"

FILE PATH: Autodesk Docs://322017-Dallas County BSL-3 Lab/322017-A-R22-CENTRAL.rvt  
 USER NAME: 3/3/2023 3:05:11 PM  
 DATE/TIME: 3/3/2023 3:05:11 PM



**PARKING DEMAND ANALYSIS**  
**1300 and 1420 W Mockingbird Lane**  
Dallas, Texas

**TABLE OF CONTENTS**

EXECUTIVE SUMMARY ..... i

INTRODUCTION ..... 1

*Purpose* ..... 1

*Project Description*..... 1

BASE CODE PARKING REQUIREMENT ..... 2

PARKING DEMAND ANALYSIS..... 3

*Approach* ..... 3

*Observed Parking Demand—Existing Uses* ..... 3

*Projected Parking Demand—Proposed or Existing-Unoccupied Uses*..... 4

SUMMARY OF FINDINGS ..... 5

LIST OF EXHIBITS:

Site Plans

LIST OF TABLES:

- Table 1. Development Program
- Table 2. Parking Supply Summary
- Table 3. Base Code Parking Requirement
- Table 4. On-Site Parking Accumulation Data
- Table 5. Summary of Parking Data

APPENDICES:

- APPENDIX A. Supporting Data
- APPENDIX B. Parking Special Exception Considerations

## INTRODUCTION

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The services of **Pacheco Koch, a Westwood Company**, (PK) were retained by **Page Southerland Page** on behalf of the **Dallas County & Hunt Companies** (the “Applicant”) to conduct a Parking Demand Analysis (PDA) for the existing and proposed uses located at 1300 and 1420 W Mockingbird Lane in Dallas, Texas (the “Project”). The Project currently consists of an existing, six-story (including basement), multi-tenant office building (1300 W Mockingbird Lane) and a proposed, three-story (plus, mechanical penthouse) medical laboratory (1420 W Mockingbird Lane—new address) to be built for and operated by Dallas County. Tenants and visitors for all uses on site intend to share the surface parking facilities located on the property, which will be slightly expanded. A copy of the survey for the existing site conditions and proposed site plan of the proposed conditions (prepared by **Page Southerland Page**) provided to Pacheco Koch for use in the study are included following the Executive Summary.

**Dallas County & Hunt Companies** is requesting a Special Exception to the parking requirement (the “Request”) to facilitate development of the Project. The Request is subject to the approval of the Board of Adjustments of the City of Dallas (the “Approving Agency”). Submittal of a technical study evaluating the merits of the Request is recommended to aid in the review process. This PDA was prepared by registered professional engineers employed by Pacheco Koch who have technical knowledge on matters related to parking demand that were applied in this evaluation. Pacheco Koch is a licensed engineering firm based in Dallas, Texas, that provides professional services in traffic engineering, transportation planning, parking analysis, and related fields.

### ***Purpose***

A PDA is an investigation of actual and/or anticipated parking demand characteristics for a specific land use(s). Where available, site-, project-, or use-specific factors affecting parking demand can also be considered. Therefore, the results presented in this analysis may not apply to other similar projects.

Parking demand is theoretically represented by local zoning ordinances, which provide a good baseline point of reference. However, in many cases, these ordinances can be overly simplified, over generalized, or simply out of date and do not sufficiently reflect actual parking needs of a project. The purpose of this PDA is to provide a more focused evaluation of the parking needs of the Project relative to the corresponding code requirements to illustrate the differences. The results may then validate a potential reduction in the code parking requirement. Formal approval of a deviation from the standard parking code requirements is subject to the ordinances and procedures established by the City of Dallas.

### ***Project Description***

Based upon development program data provided to PK, the Project consists of the uses summarized in the following table. [NOTE: All Project data contained in this study was provided to PK and was current at the time of study publication.]

**Table 1. Development Program**

Information provided by Page Southerland Page.

USE	LOCATION/ EXISTING TENANT(S)	FLOOR AREA
Office (existing) [1300 W Mockingbird Lane]	Floors B-1: Verizon Communications* Floors 2-3: Dallas County Community Supervision and Corrections Floor 4: Dallas County Health & Human Services Floor 5: vacant (27,764 SF)	165,882 SF
Medical Lab (new) [1420 W Mockingbird Lane]	Floors 1-3: Dallas County BSL-3 Lab	66,025 SF**

\* Used to house communications equipment (55,294 SF).

\*\* Does not include mechanical spaces.

The following table summarizes the property's parking supply.

**Table 2. Parking Supply Summary**

FACILITY (LOCATION)	EXISTING PARKING SPACES PROVIDED	PROPOSED PARKING SPACES PROVIDED
Surface Lots (various)	463*	534*

\* NOTE: Includes 51 segregated spaces for fleet vehicles.

## BASE CODE PARKING REQUIREMENT

The study site is currently zoned **MU-3**. The applicable parking codes are outlined in Chapter 51A of the City of Dallas City Code.

As determined by City Staff, the parking requirement for the property with the existing and proposed uses is 547 spaces as summarized in the following table. [NOTE: Correspondence summarizing the code calculations is provided in the Appendix.]

**Table 3. Base Code Parking Requirement**

Information Provided by Applicant per communication with City staff.

LAND USE	PARKING SPACES REQUIRED
1300 W Mockingbird Lane (Existing Uses)	429
1420 W Mockingbird Lane (Proposed Uses)	118
<b>Total</b>	<b>547</b>

## PARKING DEMAND ANALYSIS

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### **Approach**

To validate the parking demand for the subject site, information was compiled from two sources: (1) actual parking demand data collected on site for existing uses; (2) modelled parking demand based on usage characteristics for the proposed or existing-unoccupied uses. These resulting data points were then compared to the base code parking requirement to provide the basis for the proposed for Special Exception to the parking requirement.

### **Observed Parking Demand—Existing Uses**

Actual, observed parking utilization counts are considered to be the best representation of site-specific parking demand characteristics. Factors affecting parking demand such as travel mode, tenant occupancy, etc. can be accounted for in this approach. For this reason, Pacheco Koch conducted on-site parking accumulation counts on Tuesday, February 28, 2023 and Wednesday, March 1, 2023. The existing uses on site includes (information provided by Dallas County and their consultants):

- Verizon Data Center
  - General hours of operation: 24 hours x 7 days
  - Approximate number of staff: 5
  - Approximate number of visitors per day: 0
- Dallas County Community Supervision and Corrections (i.e., Adult Probation)
  - General hours of operation: 7:00 AM-5:00 PM, M-F
  - Approximate number of staff: 145
  - Approximate number of visitors per day: 690/week (by appointment)
- Dallas County Health and Human Services
  - General hours of operation: 8:00 AM-5:00 PM, M-F (most); (some: 7 days, some 24-hours)
  - Approximate number of staff: 182 (max capacity...not all present at same time)
  - Approximate number of visitors per day: 35/day (by appointment)

The parking occupancy data for existing uses as collected on site by PK are summarized **Table 4**.

Table 4. On-Site Parking Accumulation Data

HOUR OF COUNTS	NUMBER OF PARKED VEHICLES	PROPOSED PARKING SPACES PROVIDED
	DAY 1 (Tuesday, February 28)	DAY 2 (Wednesday, March 1)
9:00 AM	177	151
10:00 AM	188	156
11:00 AM	198	162
12:00 PM	183	150
1:00 PM	189	156
2:00 PM	180	161
3:00 PM	185	164
4:00 PM	162	150

\* NOTE: Includes 51 segregated spaces for fleet vehicles.

**Projected Parking Demand—Proposed or Existing-Unoccupied Uses**

The projected model was necessary for two components of the site parking demand: (1) the vacant floor in the existing office building and (2) proposed Dallas County BSL-3 Lab.

For the vacant floor in the office building, parking demand for a general office use was assumed. The parking demand for the office use was calculated per City Code of 1.0 space per 333 SF for the full floor area (27,764 SF), or 83 parked vehicles.

For the proposed medical lab, the following anticipated use characteristics were provided by Dallas County representatives:

- General hours of operation: 8:00 AM-5:00 PM, M-F
- Approximate number of staff: 98 (at full occupancy)
- Approximate number of visitors per day: negligible

Assuming each employee generates parking demand of 1.0 vehicle, a total of 98 parked vehicles were calculated.

For the existing uses on site, the peak parking demand of 198 vehicles was observed during the 11:00 AM hour on Day 1 of the observations. The projected parking demand for the vacant floor of general office within the existing building is projected to add a demand of 83 vehicles. And, the proposed Dallas County BSL-3 Lab is projected to increase the overall site parking demand of 98 vehicles. In total, the cumulative projected peak parking demand for the subject site is expected to reach 379 parked vehicles. A graphical summary of the parking demand is provided in **Exhibit 1**.

March 6, 2023

## SUMMARY OF FINDINGS

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The following findings are based upon information provided to Pacheco Koch with regard to the existing and proposed uses and Pacheco Koch's analysis of parking demand characteristics for those uses. The Project includes an existing office building located at 1300 W Mockingbird Lane and the addition of a new medical laboratory at 1420 W Mockingbird Lane, which would share surface parking on the subject site.

**FINDING:** The existing office building located on the subject site is partially occupied by Dallas County services. Per the base City of Dallas code requirements, the property currently requires 429 parking spaces. The site currently provides approximately 463 on-site parking spaces in surface parking lots. During a two-day on-site parking study conducted by PK, a peak demand of 198 parked vehicles was observed during the 11:00 AM hour on Tuesday, February 28, 2023. With the projected addition of a general office tenant in the currently vacancy, the projected demand is estimated to increase to 281 parked vehicles.

**FINDING:** The proposed BSL-3 laboratory to be constructed for and operated by Dallas County is projected to generate 98 employees and negligible visitors at full buildout. Hence, the proposed use is estimated to generate a parking demand of approximately 98 vehicles. Per the base City of Dallas code requirements, the facility will require 118 additional parking spaces. With the addition of the new development on the subject site, the on-site parking supply would increase to 534 surface parking spaces.

**FINDING:** Both the existing and proposed uses on the site generate a projected peak parking demand for all uses is 379 vehicles. A total of 534 surface parking spaces will be provided on the subject site and shared among all uses. According to City staff calculations, all uses on site collectively require 547 parking spaces. Therefore, a reduction of 13 spaces (2.4% of the total requirement) is being requested by the Applicant.

Based on the findings of this analysis, a request for a Special Exception to the code parking requirement of 13 spaces for the subject property located at 1300/1420 W Mockingbird Lane is supported. A summary of the values is provided in the following table.

Table 5. Summary of Parking Data

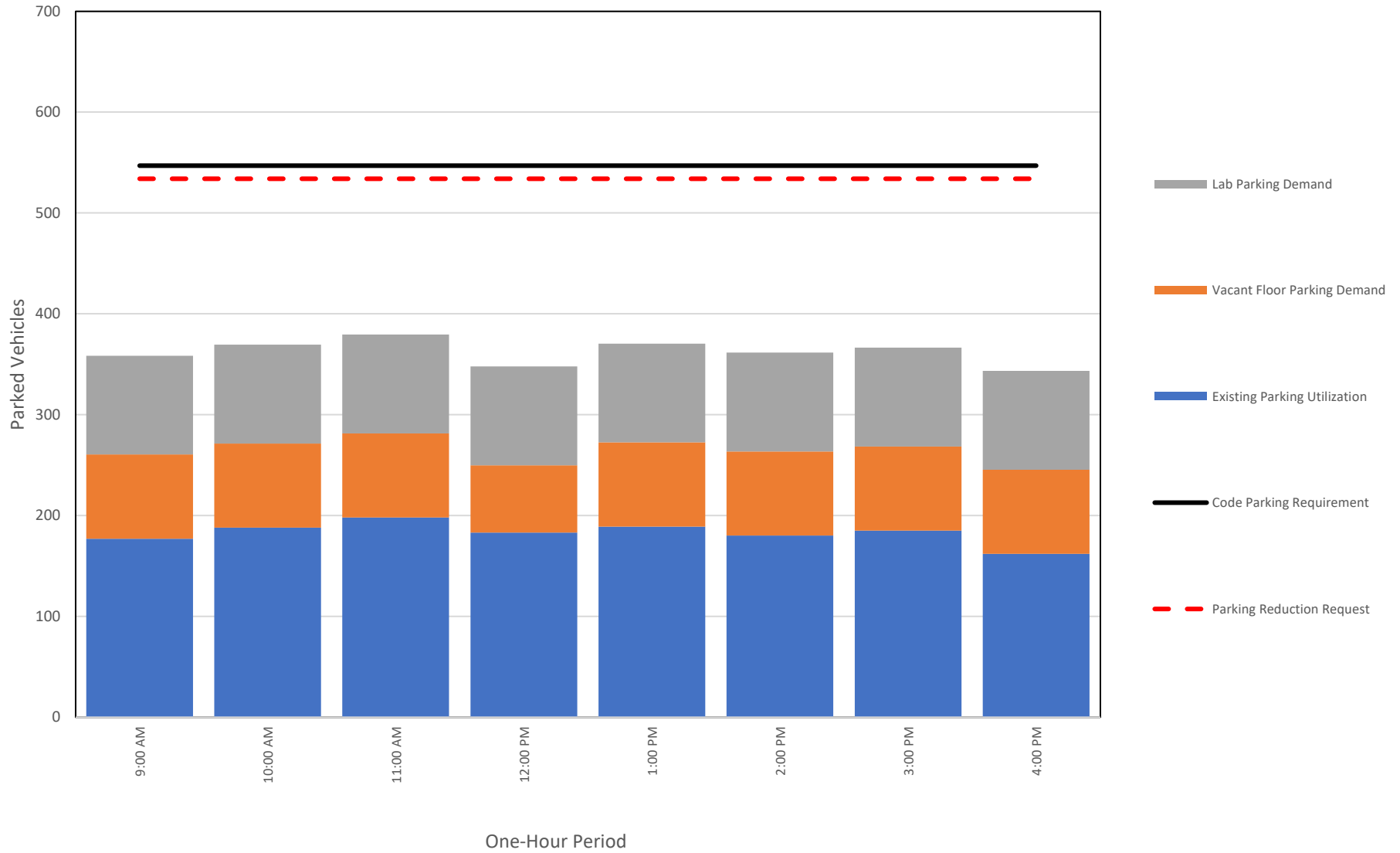
<b>QUANTITY</b>	<b>PARKING SPACES (SUPPLY) / PARKED VEHICLES (DEMAND)</b>
Cumulative Parking Requirement Per Base Code	547
Proposed Parking Spaces Provided	534
<b>Requested Reduction (Special Exception)</b>	<b>13 (2.4%)</b>
Projected Peak Parking Demand Based (All Uses)	379

**APPENDIX A** provides supporting information used in this analysis.

**APPENDIX B** provides a list of requisite considerations for a Special Exception as outlined in the Dallas Development Code.

END OF MEMO

### Exhibit 1. Projected Hourly Parking Demand (All Uses)





## **APPENDIX A. Supporting Data**

## Steve Stoner

---

**From:** Rodney Moss <rodney.moss@amberinfrastructure.com>  
**Sent:** Friday, March 3, 2023 1:00 PM  
**To:** Robert Doane; Gabriella Fonseca; Steve Stoner; Jim Koch  
**Subject:** Fwd: [EXTERNAL]Parking reduction

Sorry forgot to send this one as well

Sent from my iPhone

Begin forwarded message:

**From:** "Barkume, Diana" <diana.barkume@dallas.gov>  
**Date:** December 28, 2022 at 11:20:25 AM CST  
**Subject:** [EXTERNAL]Parking reduction

Hello,

I have not heard back regarding the availability of the Chief Planner nor the Board Administrator. I have included all parties in this email to confirm availability tomorrow at 11am for a meeting. It can be in person or via teams. Please reply if you are available and I will send an invite.

This meeting is to discuss the required parking for 1300 Mockingbird -existing structure and 1420 Mockingbird-proposed structure. The floor area calcs provided to the applicant are shown below; applicant would like to discuss his project and verify parking requirements with administration. Unfortunately, the only options for the applicant is to request a parking reduction to the board or a parking agreement.

Administrative parking reduction and MUD charts are not available. This has been discussed with traffic engineer

**TOTAL FLOOR AREA AND PARKING CALCS: 230,007 (to be parked) 1300/1420 W Mockingbird**

OFFICE: 139,278SF @ 1:333 = 418

MEDICAL LABORATORY: 35,435SF @ 1:300 = 118

COMMUNICATION EXCHANGE FACILITY: 55,294SF @ 1:5000 = 11

PARKING PROVIDED = 454

PARKING REQUIRED = 547

DEFICIENT = 93 SPACES

SPECIAL EXCEPTION 93 SPACES

17% REDUCTION

Thank you,



**Diana Y. Barkume**  
Senior Plans Examiner  
City of Dallas | [DallasCityNews.net](http://DallasCityNews.net)  
Development Services  
Building Inspection Permit Center  
320 E. Jefferson Blvd.  
Dallas, TX 75203  
O: (214) 948-4364  
[Diana.barkume@dallas.gov](mailto:Diana.barkume@dallas.gov)



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## Steve Stoner

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**From:** Rodney Moss <rodney.moss@huntcompanies.com>  
**Sent:** Friday, March 3, 2023 12:33 PM  
**To:** gfonseca@pagethink.com; Robert Doane; Jim Koch; Steve Stoner  
**Cc:** Brian Burns; Joed Perez  
**Subject:** FW: [EXTERNAL]Parking reduction (1300/1420 W Mockingbird)

**From:** "Barkume, Diana" <[diana.barkume@dallas.gov](mailto:diana.barkume@dallas.gov)>  
**Date:** December 28, 2022 at 8:41:22 PM CST  
**Subject:** Re: [EXTERNAL]Parking reduction (1300/1420 W Mockingbird)

Good evening,  
Apologies for the late reply. Unfortunately, neither the Chief planner or the board administrator are available to meet tomorrow.

If you agree with my numbers, I don't see that a meeting is necessary for you to submit the application for the special exception, but I understand if you prefer going over the project with administration prior to submitting.

If a meeting with them is not necessary but you would like to go over the floor areas and the parking calculations with me again, we can definitely discuss them or we can wait to schedule a meeting when everyone is available next week.

Again, I am sorry for the late follow up, but I was just informed not too long ago myself.

Thank you

Diana Barkume

On Dec 28, 2022, at 11:07 AM, Barkume, Diana <[diana.barkume@dallas.gov](mailto:diana.barkume@dallas.gov)> wrote:

I am in the process of writing an email to all involved. Will either of you be available tomorrow around the same time?

Thank you,



**Diana Y. Barkume**  
Senior Plans Examiner  
City of Dallas | [DallasCityNews.net](http://DallasCityNews.net)  
Development Services  
Building Inspection Permit Center  
320 E. Jefferson Blvd.  
Dallas, TX 75203  
O: (214) 948-4364  
[Diana.barkume@dallas.gov](mailto:Diana.barkume@dallas.gov)



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**From:** Barkume, Diana  
**Sent:** Tuesday, December 20, 2022 4:59 PM  
**To:** Rodney Moss <[rodney.moss@amberinfrastructure.com](mailto:rodney.moss@amberinfrastructure.com)>  
**Cc:** Jansen, Peter @ Austin <[Peter.Jansen@cbre.com](mailto:Peter.Jansen@cbre.com)>  
**Subject:** RE: [EXTERNAL]Parking reduction (1300/1420 W Mockingbird)

Good afternoon,

Below is the information regarding the Administrative parking reduction that I previously mentioned. If you apply for this reduction, you can get a 20% reduction on your required parking for the **office** use. Since the Chief Planner is going to allow you to not include some of the space in each building to count as floor area, this will allow you to comply with the parking regulations using other options. By using the administrative parking reduction and adding some bicycle spaces, you should be able to bypass going to the board.

Please read over the documents. Once you get all the items together, please send them over to me and I will forward them to the engineer. I am not sure if you can get the reduction prior to submitting for review, but at least you know that you have this option.

We can go over the numbers if you are wanting to move forward with this reduction. I will give you the floor areas, required parking as well as proposed bicycle spaces needed.

Please let me know if this option is something you would like to move forward with and feel free to follow up with any questions or concerns.

Thank you,

<image001.png> **Diana Y. Barkume**  
Senior Plans Examiner  
City of Dallas | [DallasCityNews.net](http://DallasCityNews.net)  
Development Services  
Building Inspection Permit Center  
320 E. Jefferson Blvd.  
Dallas, TX 75203  
O: (214) 948-4364  
[Diana.barkume@dallas.gov](mailto:Diana.barkume@dallas.gov)

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<image005.png> [Please Take a Moment to Tell Us How We Are Doing](#)

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On Dec 16, 2022, at 4:53 PM, Barkume, Diana  
<[diana.barkume@dallas.gov](mailto:diana.barkume@dallas.gov)> wrote:

Hello,

I have not forgotten about you. I did meet with the Chief Planner and she is going to allow us to deduct a good amount of unoccupied floor area. I still need to see how much of a deduction you can get with the MUD chart. I will follow up with you on Monday.

Thank you and have a great weekend.

**Diana Y. Barkume**  
Senior Plans Examiner  
City of Dallas | [DallasCityNews.net](http://DallasCityNews.net)  
Development Services  
Building Inspection Permit Center  
320 E. Jefferson Blvd.  
Dallas, TX 75203  
O: (214) 948-4364  
[Diana.barkume@dallas.gov](mailto:Diana.barkume@dallas.gov)

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**From:** Rodney Moss  
<[rodney.moss@amberinfrastructure.com](mailto:rodney.moss@amberinfrastructure.com)>  
**Sent:** Friday, December 16, 2022 12:42 PM  
**To:** Barkume, Diana <[diana.barkume@dallas.gov](mailto:diana.barkume@dallas.gov)>;  
Jansen, Peter @ Austin <[Peter.Jansen@cbre.com](mailto:Peter.Jansen@cbre.com)>  
**Subject:** RE: [EXTERNAL]Parking reduction (1300/1420 W Mockingbird)

**External Email!**

Diana, below is your breakdown with the responses. I await your direction on any further information or documentation you need to finalize the fee calculation and application completion.

[1300 W Mockingbird:](#)

Basement: **(Confirm use and floor area – Confirmed by Dallas County)**

Total floor area: 27764sf

7167sf (communications exchange facility)

20597sf (office)

1<sup>st</sup> floor:

Total floor area: 27530sf (communications exchange facility) **(Confirm – Confirmed by Dallas County)**

2<sup>nd</sup> floor:

Total floor area: 27530sf (office)

3<sup>rd</sup> floor:

Total floor area: 27530sf (office)

4<sup>th</sup> floor:

Total floor area: 27764sf (office)

5<sup>th</sup> floor:

Total floor area: 27764sf (office)

1420 W Mockingbird:

Total floor area: 75,000sf (minus 1,900 GSF loading dock)

Office: 38,490 sf with penthouse and 28,690 w/o penthouse sf **(Confirm – Confirmed with Page)**

Medical Lab: 35,435 sf **(Confirm – Confirmed with Page)**

---

**From:** Jansen, Peter @ Austin

<[Peter.Jansen@cbre.com](mailto:Peter.Jansen@cbre.com)>

**Sent:** Friday, December 16, 2022 10:46 AM

**To:** Rodney Moss

<[rodney.moss@amberinfrastructure.com](mailto:rodney.moss@amberinfrastructure.com)>; Barkume,

Diana <[diana.barkume@dallas.gov](mailto:diana.barkume@dallas.gov)>

**Subject:** Re: [EXTERNAL]Parking reduction (1300/1420 W Mockingbird)



**External Email!**

Diana,

The County has confirmed just now that no one has offices or occupies the basement at 1300 and it is only storage and the data center. Other than that, your calculations at 1300 appear correct. I do believe Rodney will be providing more accurate calculations on the new Lab however as about 10k of the 75k is a mechanical penthouse on the roof and should be excluded, plus a few other spaces that are lab/docking related that push the "office" calculation down further.

They are also willing to rep and warranty a maximum occupancy at the future Lab facility.

Is there a good time we may reach you?

Thank you,

Peter

Peter Jansen | Executive Vice President  
**CBRE Public Institutions & Education Solutions**  
500 West 2nd St., Suite 1700 | Austin, TX 78701  
D +1 512.499.4902 | C +1 301.252.5021  
[peter.jansen@cbre.com](mailto:peter.jansen@cbre.com) | [www.cbre.com/pies](http://www.cbre.com/pies)

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1300 W Mockingbird Lane

Parking Demand Analysis "Existing Scenario"

Existing Parking Utilization

Per PK Observations Day 1 (02/28/2023)

	Parking Lot	Gated Area	Total
9:00 AM	158	19	177
10:00 AM	169	19	188
11:00 AM	179	19	198
12:00 PM	162	21	183
1:00 PM	169	20	189
2:00 PM	158	22	180
3:00 PM	164	21	185
4:00 PM	141	21	162

Parking Demand Analysis "Vacant Floor Scenario"

Vacant Floor Parking Demand

Vacant Floor SF: 27764  
 Parking Ratio: 333  
 Standard Parking Requirement: 83.4

9:00 AM	100%	83.4	from MUD Chart
10:00 AM	100%	83.4	PK estimated
11:00 AM	100%	83.4	PK estimated
12:00 PM	80%	66.72	from MUD Chart
1:00 PM	100%	83.4	PK estimated
2:00 PM	100%	83.4	PK estimated
3:00 PM	100%	83.4	from MUD Chart
4:00 PM	100%	83.4	PK estimated

Parking Demand Analysis "Medical Lab Scenario"

Lab Parking Demand

Est. Total Employees: 98  
 Assumed Work Hours: 8:00 AM-5:00 PM  
 Assumed Person/Vehicle: 1.0  
 Assumed Visitors: 0

9:00 AM	100%	98
10:00 AM	100%	98
11:00 AM	100%	98
12:00 PM	100%	98
1:00 PM	100%	98
2:00 PM	100%	98
3:00 PM	100%	98
4:00 PM	100%	98

Per PK Observations Day 2 (03/01/2023)

	Parking Lot	Gated Area	Total
9:00 AM	129	22	151
10:00 AM	136	20	156
11:00 AM	143	19	162
12:00 PM	131	19	150
1:00 PM	137	19	156
2:00 PM	142	19	161
3:00 PM	145	19	164
4:00 PM	130	20	150

1300 W Mockingbird Lane  
 Parking Demand Analysis "Projected Scenario"

## Day 1 (02/28/2023)

	Existing Parking Utilization	Vacant Floor Parking Demand	Lab Parking Demand	Total Demand
9:00 AM	177	83.4	98	358.4
10:00 AM	188	83.4	98	369.4
11:00 AM	198	83.4	98	379.4
12:00 PM	183	66.72	98	347.72
1:00 PM	189	83.4	98	370.4
2:00 PM	180	83.4	98	361.4
3:00 PM	185	83.4	98	366.4
4:00 PM	162	83.4	98	343.4

## Day 2 (03/01/2023)

	Existing Parking Utilization	Vacant Floor Parking Demand	Lab Parking Demand	Total Demand
9:00 AM	151	83.4	98	332.4
10:00 AM	156	83.4	98	337.4
11:00 AM	162	83.4	98	343.4
12:00 PM	150	66.72	98	314.72
1:00 PM	156	83.4	98	337.4
2:00 PM	161	83.4	98	342.4
3:00 PM	164	83.4	98	345.4
4:00 PM	150	83.4	98	331.4

## **APPENDIX B. Parking Special Exception Considerations**

A Parking Special Exception is requested from the City of Dallas Board of Adjustments for the existing and proposed office, medical laboratory, and other uses on the property located at 1300 and 1420 W Mockingbird Lane. Based upon the findings of this analysis, parking needs would easily be served the proposed parking supply of 534 spaces. The requested reduction of 13 required spaces is warranted based upon the preceding study.

Based upon §51A-4.311(a)(2) of the Dallas Development Code, granting a Special Exception shall take into account the following considerations:

(A) *The extent to which the parking spaces provided will be remote, shared, or packed parking.*

The proposed parking supply does not rely on remote or packed parking. The on-site parking will be shared by all tenants and visitors on the site.

(B) *The parking demand and trip generation characteristics of all uses for which the special exception is requested.*

The anticipated parking demand and trip generation characteristics of the proposed use are expected to be typical and consistent with similar uses.

(C) *Whether or not the subject property or any property in the general area is part of a modified delta overlay district.*

The subject site is not part of a modified delta overlay district.

(D) *The current and probable future capacities of adjacent and nearby streets based upon the city's thoroughfare plan.*

The surrounding street system is mature and is generally constructed to the anticipated ultimate plans. The site provides sufficient access to the surrounding roadway network and will not have a significant impact on the current volumes.

(E) *The availability of public transit and the likelihood of its use.*

The site is located immediately adjacent to an existing DART public stops for Bus Route 57. It is anticipated that tenants of the hotel will have a moderate likelihood of using transit.

(F) *The feasibility of parking mitigation measures and the likelihood of their effectiveness.*

The current and proposed uses on the site generate very low parking demand relative to the code requirements, and parking mitigation measures are not anticipated to be required. However, if necessary, many tenants are affiliated with Dallas County, so the feasibility of a coordinated strategy to mitigate parking overflow would be likely and effective.

It is our opinion that the requested parking reduction will not create a traffic hazard nor result in increased traffic congestion on adjacent or nearby streets.

END

**FILE NUMBER:** BDA223-027(OA)

**BUILDING OFFICIAL'S REPORT:** Application of Kevin Alaimo for a variance to the height regulations at 5608 Live Oak Street. This property is more fully described as Block 16/1872, Lot 25 and is zoned MF-2(A), which limits the building height to 26 feet due to a residential proximity slope. The applicant proposes to construct and/or maintain structure with a building height of 35 feet 9 inches, which will require a 9 foot 9 inch variance to the height regulations.

**LOCATION:** 5608 Live Oak Street

**APPLICANT:** Kevin Alaimo

**REQUEST:**

- A request for a variance to the height regulations (specifically to the residential proximity slope) of 9' 9" is made to transition an existing structure from what was originally planned to be a 3-unit, 2-3-story, multifamily structure to a 2-3- story single family structure. More specifically, the proposal is to complete/modify and maintain the structure to 35' 9" in height which exceeds the maximum 26' in height permitted by the residential proximity slope that begins at the PD 63 H/1 Area B single family residentially-zoned property immediately southeast of the subject site.

**STANDARD FOR A VARIANCE:**

Section 51(A)-3.102(d)(10) of the Dallas Development Code specifies that the board has the power to grant variances from the front yard, side yard, rear yard, lot width, lot depth, lot coverage, floor area for structures accessory to single-family uses, height, minimum sidewalks, off-street parking or off-street loading, or landscape regulations provided that the variance is:

- (A) not contrary to the public interest when owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.
- (B) necessary to permit development of a specific parcel of land that differs from other parcels of land by being of such a restrictive area, shape, or slope, that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning; and

- (C) not granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing a parcel of land not permitted by this chapter to other parcels of land with the same zoning.

**State Law/HB 1475 effective 9-1-21**

- the board may consider the following as grounds to determine whether compliance with the ordinance as applied to a structure that is the subject of the appeal would result in unnecessary hardship:
- (a) the financial cost of compliance is greater than 50 percent of the appraised value of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.
  - (b) compliance would result in a loss to the lot on which the structure is located of at least 25 percent of the area on which development is authorized to physically occur.
  - (c) compliance would result in the structure not being in compliance with a requirement of a municipal ordinance, building code, or other requirement.
  - (d) compliance would result in the unreasonable encroachment on an adjacent property or easement; or the municipality consider the structure to be a nonconforming structure

**STAFF RECOMMENDATION:**

Approval, subject to the following condition:

- Compliance with the submitted site plan is required.

Rationale:

- Staff concluded the variance should be granted given that the subject site is unique and different from most lots in MF-2(A) considering its restrictive lot area of 7,100 square feet so that it cannot be developed in a manner commensurate with the development upon other parcels of land with the same zoning classification. Furthermore, the financial cost of compliance is greater than 50 percent of the appraised value of \$545,010 of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code.
- The applicant submitted a document (Attachment A) indicating that the proposed structure on the site is commensurate to 14 other lots located in the same zoning district.

## **BACKGROUND INFORMATION:**

### **Zoning:**

Site: MF-2(A) (Multifamily district)  
North: MF-2(A) (Multifamily district)  
South: MF-2(A) (Multifamily district)  
East: PD 63 H/1 Area B (Planned Development district)  
West: MF-2(A) (Multifamily district)

### **Land Use:**

The subject site is currently developed with an unfinished multifamily structure/use. The areas to the north, south, and west are developed with single family uses; and the area to the east is developed with single family uses.

### **Zoning/BDA History:**

1. BDA156-040, Property at 5608 Live Oak Street (the subject site)  
On April 17, 2017, the Board of Adjustment Panel C approved the requests for variances to the side yard setback, building height, and off-street parking regulations without prejudice.  
The case report stated the a variance to the side yard setback regulations of 2' was made to complete and maintain part of the structure that is located 8' from the site's southwest side property line or 2' into the site's 10' side yard setback\*; a variance to the height regulations (specifically to the residential proximity slope) of 8' was made to complete/modify and maintain the 34" high structure that exceeded the maximum 26' in height permitted by the residential proximity slope that begins at the PD 63 H/1 Area B single family residentially-zoned property immediately southeast of the subject site; a variance to the off-street parking regulations was made to locate and maintain required and/or excess parking for the multifamily use/structure in the required front yard.
2. BDA156-040, Property at 5608 Live Oak Street (the subject site)  
On April 20, 2016, the Board of Adjustment Panel C denied requests for variances to the



side yard setback, building height, and off-street parking regulations without prejudice.

The case report stated the a variance to the side yard setback regulations of 2' was made to complete and maintain part of the structure that is located 8' from the site's southwest side property line or 2' into the site's 10' side yard setback\*; a variance to the height regulations (specifically to the residential proximity slope) of 9' 2" was made to complete/modify and maintain the 35' 2" high structure that exceeded the maximum 26' in height permitted by the residential proximity slope that begins at the PD 63 H/1 Area B single family residentially-zoned property immediately southeast of the subject site; a variance to the off-street parking regulations was made to locate and maintain required and/or excess parking for the multifamily use/structure in the required front yard.

**GENERAL FACTS /STAFF ANALYSIS (height variance):**

- The request for a variance to the height regulations (specifically to the residential proximity slope) of 9' 9" is requested to complete/modify and maintain the structure to 35' 9" in height. This height exceeds the maximum 26' in height permitted by the residential proximity slope that begins at the PD 63 H/1 Area B single family residentially zoned property immediately southeast of the subject site by 9' 9".
- The maximum height for a structure in a MF-2(A) zoning district is 36', however, any portion of a structure over 26' in height cannot be located above a residential proximity slope.
- In this case, given that the subject site is immediately adjacent to single family residentially-zoned property PD 63 H/1 Area B (Planned Development district) to the southeast (with a land use as a single family uses), the height of a structure must comply with a 1:3-slope (or 1 foot in height for every 3 foot away from property in an R, R(A), D, D(A), TH, TH(A) residential zoning district). The RPS slope on the subject site begins at the PD 63 H/1 Area B (Planned Development district) zoned property southeast of the site. (PD 63 Area B states that uses are limited to single-family uses, and that except at otherwise provided in the ordinance, the development standards applicable to an R-7.5(A) Single-Family District apply to all property in Area B).
- The Building Official's Report states that a variance to the height regulations of 9' 9" is requested since there is a structure proposed to reach 35' 9" in height or 9' 9" higher/beyond than the 26' height allowed for the structure as it is located on this subject site.

- The applicant has submitted an elevation that represents a 1:3-slope (or 1 foot in height for every 3 foot away from property in a CH, MF-1, MF-1(A), MF-2, and MF-2(A) residential zoning district) on the structure seeking variance.
- According to DCAD records, the “main improvement” at 5608 Live Oak Street is a structure built in 2015 with 5,595 square feet of living/total area; and with “additional improvements” listed as three, 2 square foot decks, and three, 322 square foot attached garages.
- The site is flat, rectangular in shape (130’ x 56’), and according to the application is 7, 280 square feet in area smaller than the adjacent.
- The applicant has submitted a document comparing the lot sizes and improvement of the subject site with 14 other properties in the same zoning. The average lot is 9,156 square feet with an average 8,983 square foot building.
- Furthermore, applicant submitted a document representing that the financial cost of compliance is greater than 50 percent of the appraised value of \$545,010 of the structure as shown on the most recent appraisal roll certified to the assessor for the municipality under Section 26.01 (Submission of Rolls to Taxing Units), Tax Code on the site that is commensurate to 14 other lots located within the same MF-2(A) zoning district.
  - The applicant has the burden of proof in establishing the following:
    - That granting the variance to the height regulations will not be contrary to the public interest when, owing to special conditions, a literal enforcement of this chapter would result in unnecessary hardship, and so that the spirit of the ordinance will be observed, and substantial justice done.
    - The variance to height regulations is necessary to permit development of the subject site that differs from other parcels of land by being of such a restrictive area, shape, or slope, that the subject site cannot be developed in a manner commensurate with the development upon other parcels of land in districts with the same MF-2(A) zoning classification.
    - The variance to height setback regulations would not be granted to relieve a self-created or personal hardship, nor for financial reasons only, nor to permit any person a privilege in developing this parcel of land (the subject site) not permitted by this chapter to other parcels of land in districts with the same MF-2(A) zoning classification.
- If the Board were to grant the request, and impose the submitted elevation as a condition, the structure in the exceeding the height limit or the RPS would be limited to what is shown on this document– which, in this case, is a structure that would be exceed the height limit/RPS by 9’ 9”.

**Timeline:**

- January 19, 2023: The applicant submitted an “Application/Appeal to the Board of Adjustment” and related documents which have been included as part of this case report.
- February 8, 2023: The Board of Adjustment Administrator assigned this case to Board of Adjustment Panel A.

February 13, 2023: The Sustainable Development and Construction Department Senior Planner emailed the applicant the following information:

- an attachment that provided the public hearing date and panel that will consider the application; the February 27, 2023, deadline to submit additional evidence for staff to factor into their analysis; and March 10, 2023, deadline to submit additional evidence to be incorporated into the board's docket materials.
- the criteria/standard that the board will use in their decision to approve or deny the request; and
- the Board of Adjustment Working Rules of Procedure pertaining to documentary evidence.

February 28, 2023: The Board of Adjustment staff review team meeting was held regarding this request and other requests scheduled for the January public hearings. Review team members in attendance included: the Board of Adjustment Chief Planner/Board Administrator, the Development Services Senior Plans Examiner, the Assistant City Attorneys to the Board, and the Senior Planners.

February 28, 2023: The applicant provided additional evidence (**Attachment A**).

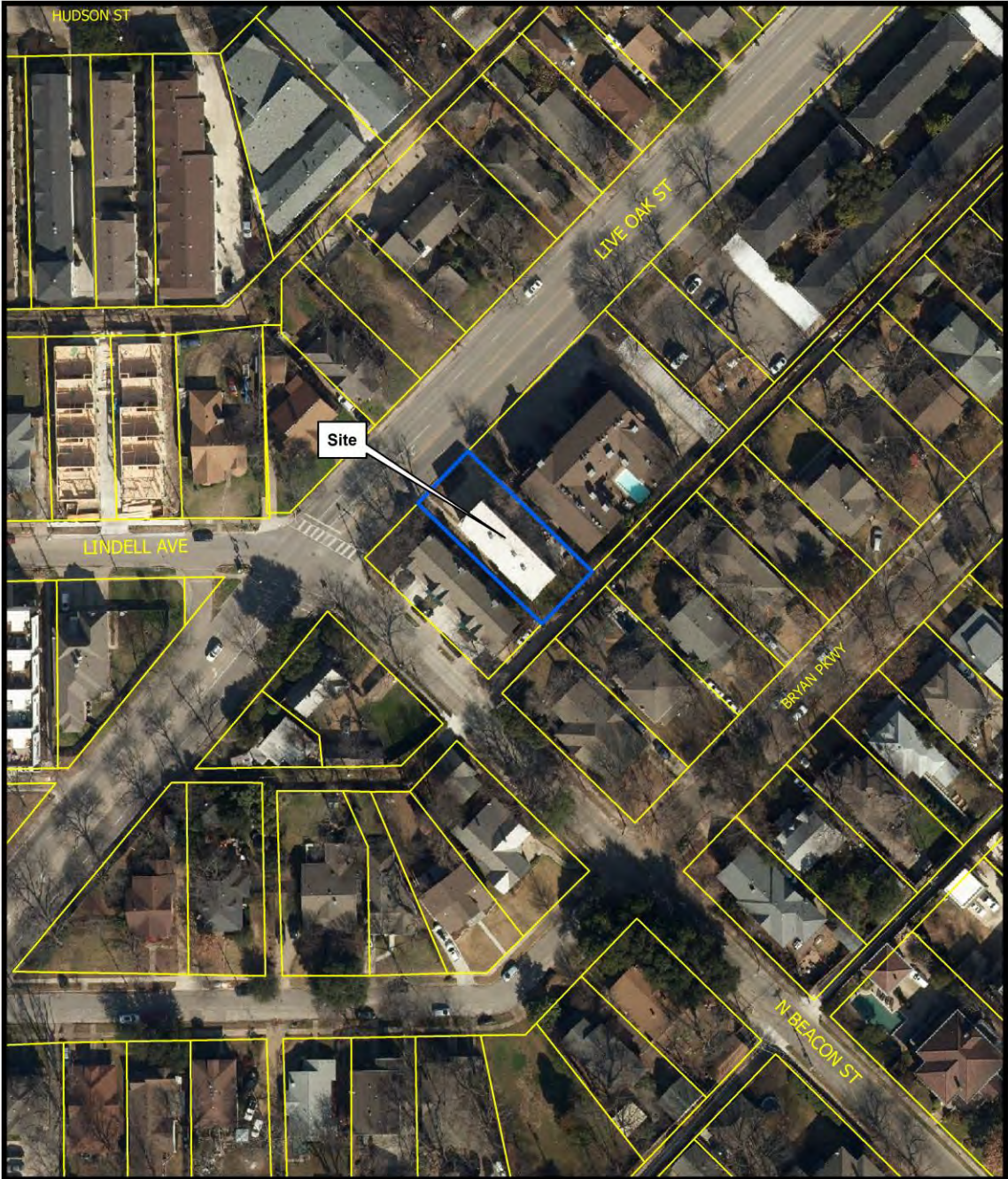


1:1,200

# ZONING MAP

Case no: BDA223-027

Date: 2/23/2023



1:1,200

# AERIAL MAP

Case no: BDA223-027

Date: 2/23/2023



 1:1,200	<b>NOTIFICATION</b>		Case no: <b>BDA223-027</b>
	<div style="border: 1px solid black; padding: 2px; display: inline-block;">200'</div> AREA OF NOTIFICATION <div style="border: 1px solid black; padding: 2px; display: inline-block;">43</div> NUMBER OF PROPERTY OWNERS NOTIFIED	Date: <b>2/23/2023</b>	

02/23/2023

## ***Notification List of Property Owners***

***BDA223-027***

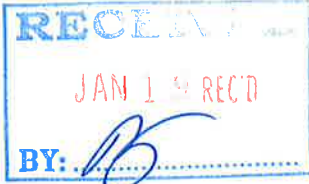
***43 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	5608 LIVE OAK ST	ALAIMO KEVIN C
2	5931 LINDELL AVE	HORRI MEHRDAD & RANA
3	5922 LINDELL AVE	SANCHEZ CHRISTIAN
4	5935 BRYAN PKWY	LEBER ANTHONY M
5	5941 BRYAN PKWY	DEWEY RONALD STEVEN &
6	5943 BRYAN PKWY	RIDDLE CHRISTOPHER
7	5953 BRYAN PKWY	WILLIAMS JOE E &
8	1215 N BEACON ST	GANDARAMORGAN ALEXANDER P &
9	5522 LIVE OAK ST	MEANY DANIEL ROCH
10	6003 BRYAN PKWY	KILLIAN JOSHUA F & KELLY
11	6005 BRYAN PKWY	SIMS JAMES MATTHEW &
12	6009 BRYAN PKWY	FREELAND LAURA C &
13	6015 BRYAN PKWY	WORTLEY MACKENZIE &
14	6019 BRYAN PKWY	TRIPTOW RICHARD & JENNIFER
15	6023 BRYAN PKWY	Taxpayer at
16	5624 LIVE OAK ST	GLENDALE OAKS DALLAS LLC
17	5609 LIVE OAK ST	AHC LIVE OAK LP
18	5603 LIVE OAK ST	LOPEZ MARIA ANTONIETA
19	5611 LIVE OAK ST	AHC LIVE OAK LP
20	5619 LIVE OAK ST	AHC LIVE OAK LP
21	5625 LIVE OAK ST	AHC LIVE OAK LP
22	5927 LINDELL AVE	AHC LINDELL LP
23	1212 N BEACON ST	SHIER CHARMAINE C
24	1212 N BEACON ST	CHILDERS WILLIAM BRENT
25	5620 LIVE OAK ST	PIERCE IAN DOUGLAS
26	5620 LIVE OAK ST	MAGEE JUNE

02/23/2023

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	5620 LIVE OAK ST	A S DEVELOPMENT &
28	5620 LIVE OAK ST	CONTRERAS JOSE
29	5620 LIVE OAK ST	HARTLAXSON MONA LISA
30	5620 LIVE OAK ST	SEPU HOMES INVESTMENTS INC
31	5620 LIVE OAK ST	BLODGETT JILL
32	5620 LIVE OAK ST	LAWLER GARY
33	5620 LIVE OAK ST	HICKS DONALD W SR FAMILY TRUST
34	5620 LIVE OAK ST	REZABEK RACHEL &
35	5620 LIVE OAK ST	MYRE DAVID
36	5620 LIVE OAK ST	COCHRAN AARON
37	5620 LIVE OAK ST	BERRY LISA ELIZABETH
38	5620 LIVE OAK ST	GOODSON STEPHEN
39	5620 LIVE OAK ST	BARAJAS CYNTHIA CRYSTAL &
40	5620 LIVE OAK ST	WALKER KAREN A
41	5620 LIVE OAK ST	LOCKE PROPERTIES
42	5620 LIVE OAK ST	PARAMOUNT PROPERTIES
43	5620 LIVE OAK ST	APODACA ADRIAN I & MYRNA APODACA





APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 223-027 <sup>DR</sup>

Data Relative to Subject Property:

Date: 1-19-2023

Location address: 5608 Live Oak St, Dallas, TX <sup>75206</sup> Zoning District: \_\_\_\_\_

Lot No.: 25 Block No.: 16/1872 Acreage: \_\_\_\_\_ Census Tract: \_\_\_\_\_

Street Frontage (in Feet): 1) 56.10 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Kevin C Alarcon

Applicant: Kevin Alarcon Telephone: 214-549-1467

Mailing Address: 1203 Silversbrook Ct, Frisco, TX Zip Code: 75036

E-mail Address: Kalarcon@starcrossrealty.com

Represented by: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Affirm that an appeal has been made for a Variance , or Special Exception \_\_\_\_\_, of Variance to the RS height requirement. Requesting a variance of 3 feet 9 inches over a span of 41 1/2 feet.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

With the change in property use from MF2 to SFD, I am proposing site plans and elevations for new use approved in BDA/167-042. The proposed will not be contrary to public interest and would result in a unnecessary hardship. Roof modifications are to comply with approved BDA case with some changes to reflect SFD use.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Kevin C Alarcon (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature] (Affiant/Applicant's signature)

Subscribed and sworn to before me this 19 day of January, 2023

[Signature]  
Notary Public in and for Dallas County, Texas

(Rev. 08-01-11)



MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that KEVIN ALAIMO

did submit a request for a variance to the building height regulations

at 5608 LIVE OAK STREET

BDA223-027. Application of KEVIN ALAIMO for a variance to the building height regulatic at 5608 LIVE OAK ST. This property is more fully described as Block 16/1872, Lot 25 and is zoned MF-2(A), which limits the maximum building height to 26 feet due to a residential proximity slope. The applicant proposes to construct and maintain single-family residential structure with a building height of 35 feet 9 inches, which will require a 9 foot 9 inch variance to the maximum building height regulations.

Sincerely,

  
Andrew Espinoza, CBO, MCP, CFM, CCEA



- City Limits
- Dallas Tax Parcels
- Base Zoning
- PD Subdistricts
- Addition Boundaries**
  - Preliminary
  - Final
- Plat Parcels**
  - Preliminary
  - Final
- Platted Block**
  - Final
- Major Streets
- Streets

- Zoning Grid**
- City Limits
- Floodplain
- Peak's Branch
- Certified Parcels
- Base Zoning
- Historic Overlay
- PD Subdistricts
- PDS Subdistricts

This data is to be used for graphical representation only. The accuracy is not to be taken/used as data produced by a Registered Professional Land Surveyor (RPLS) for the State of Texas. 'This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.' (Texas Government Code § 2051.102)



Boundaries by Survey



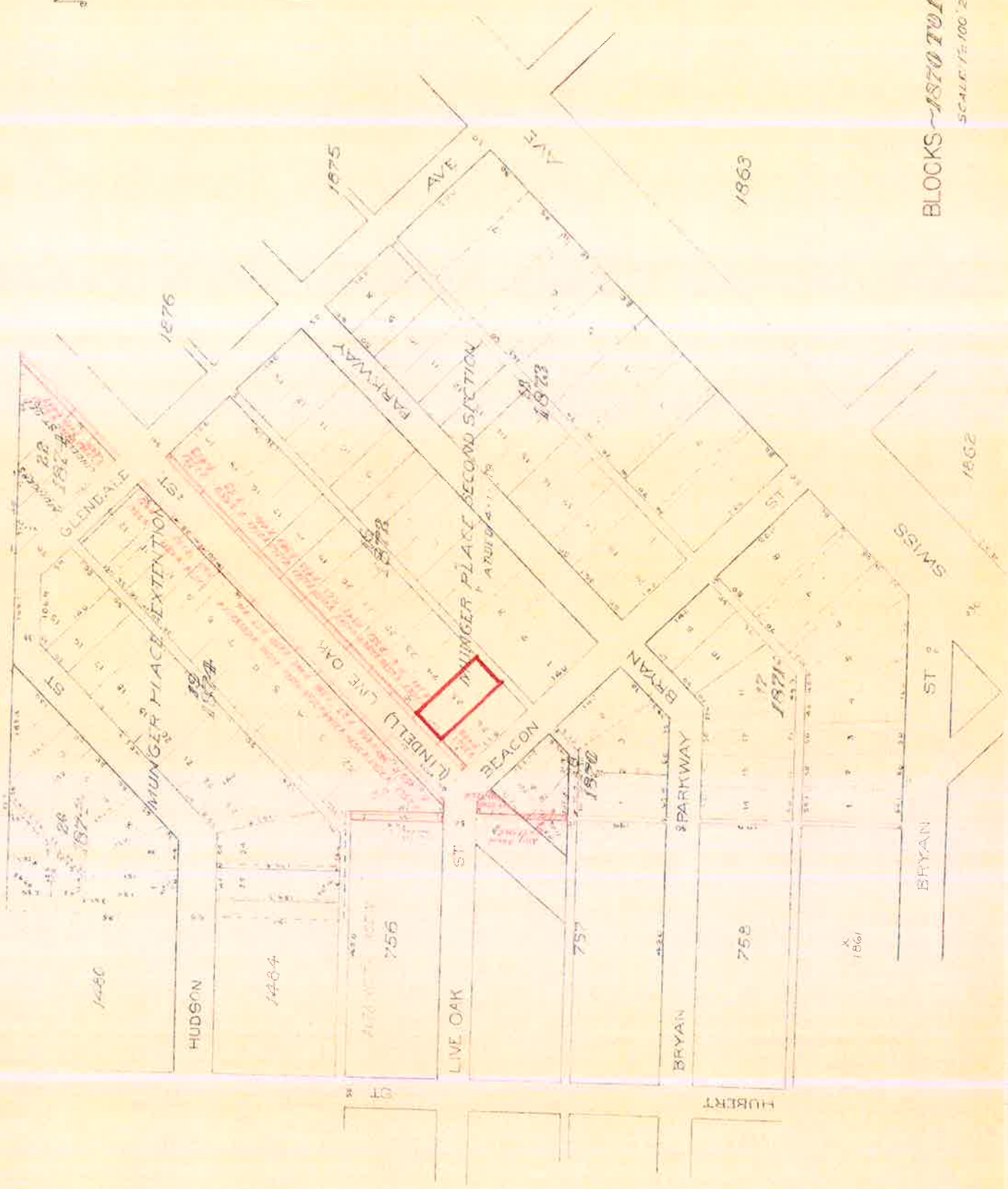
BLOCKS ~1870 TO 1874

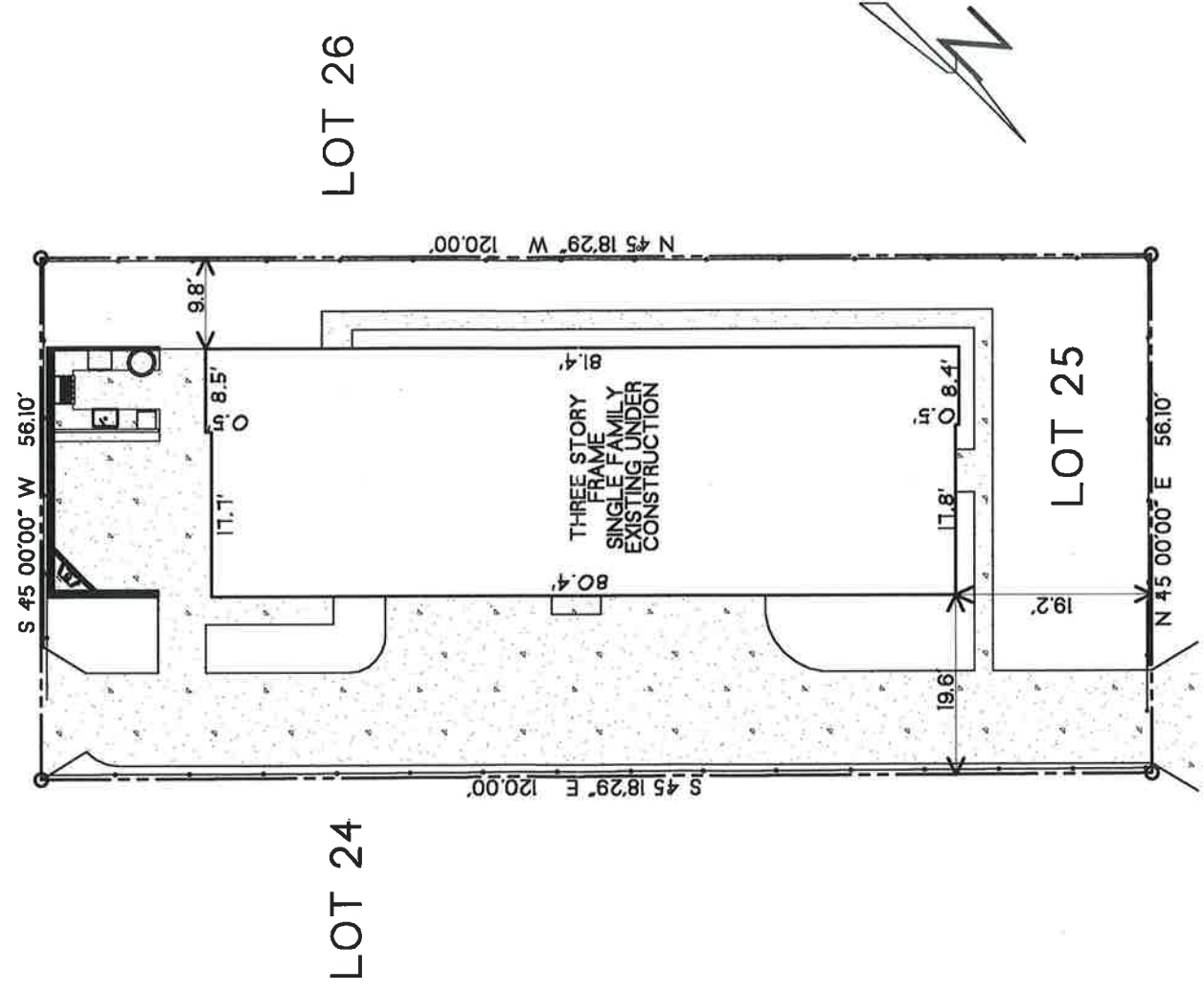
BLOCKS ~1870 TO 1874

SCALE 1/2" = 100' 2" = 35'

ROSS AVE 1877

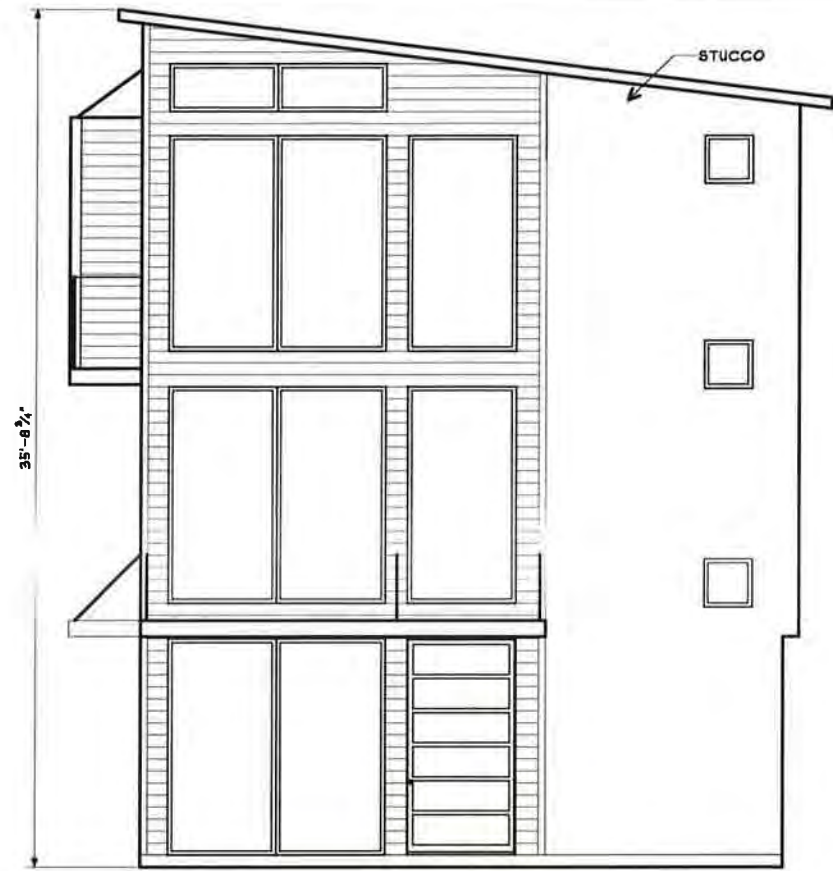
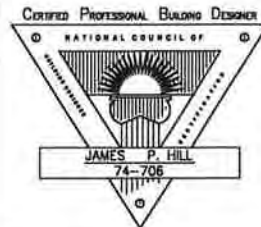
ROSS AVE 1877



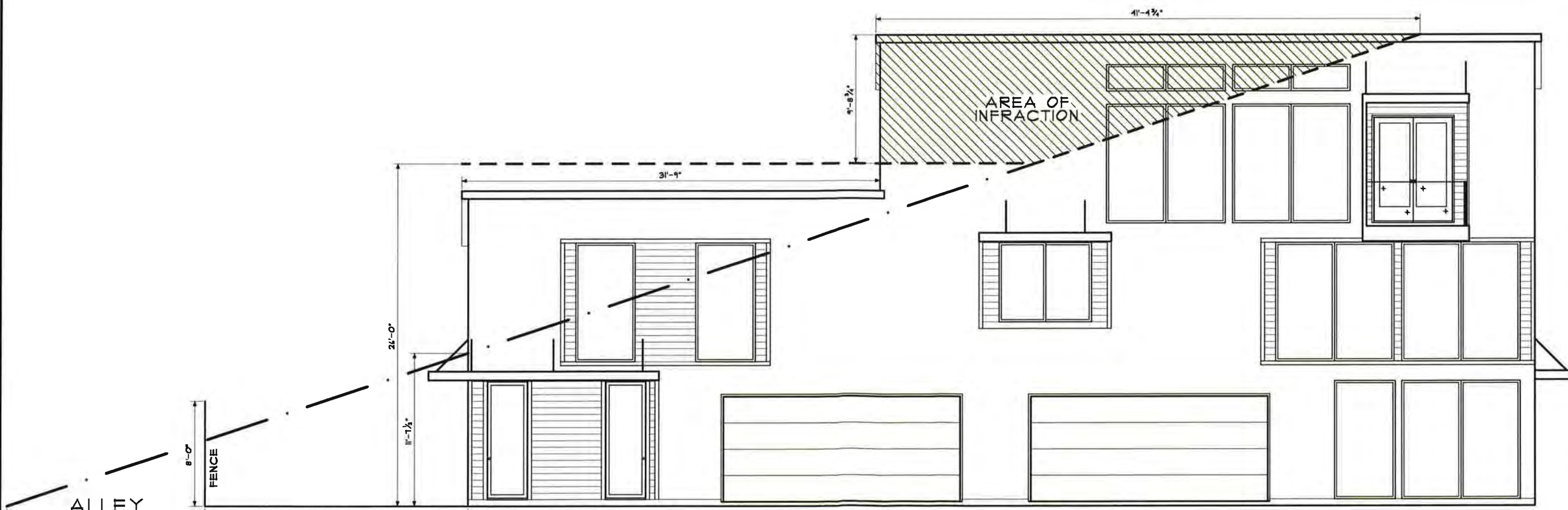


LIVE OAK STREET  
PUBLIC R.O.W.

1:20



NORTH ELEVATION  
NO INFRACTIONS VISABLE  
ON THE FRONT ELEVATION



EAST ELEVATION

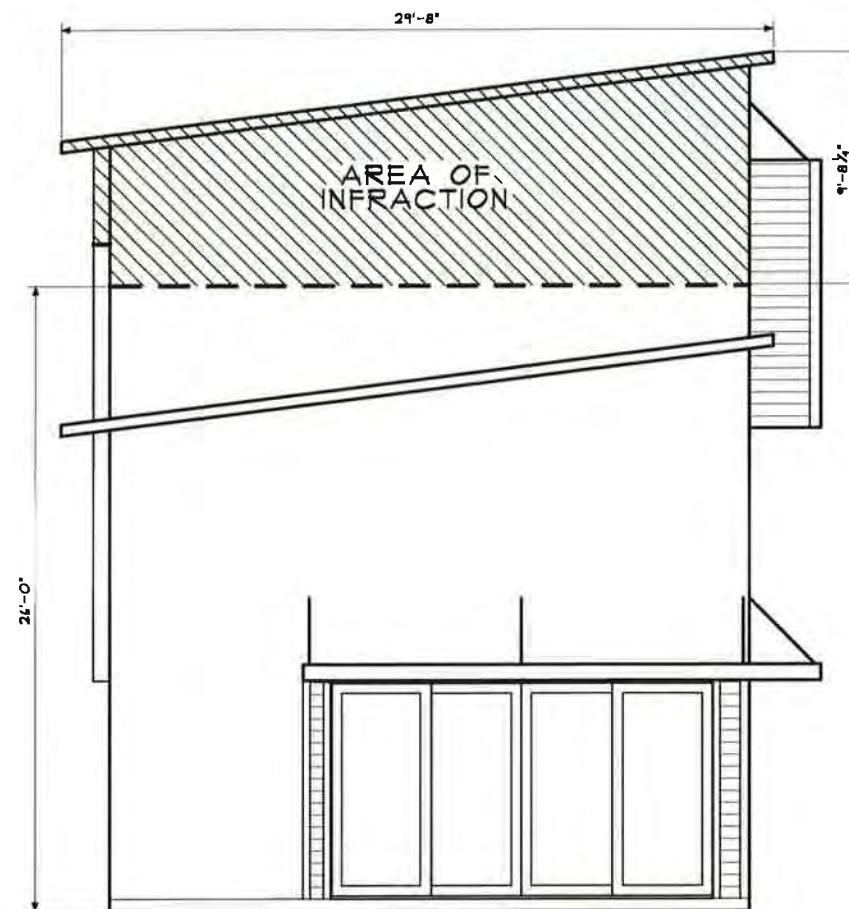
**Alaimo Residence**  
Munger Place  
Lot: 25 // Block: 18/1872  
5808 Live Oak Street  
Dallas, Texas

**JIM HILL DESIGNS**  
8800 Chase Oaks Blvd.  
Suite 150  
Plano, Texas 75023  
214-973-0186  
JIMHILLDESIGNS@GMAIL

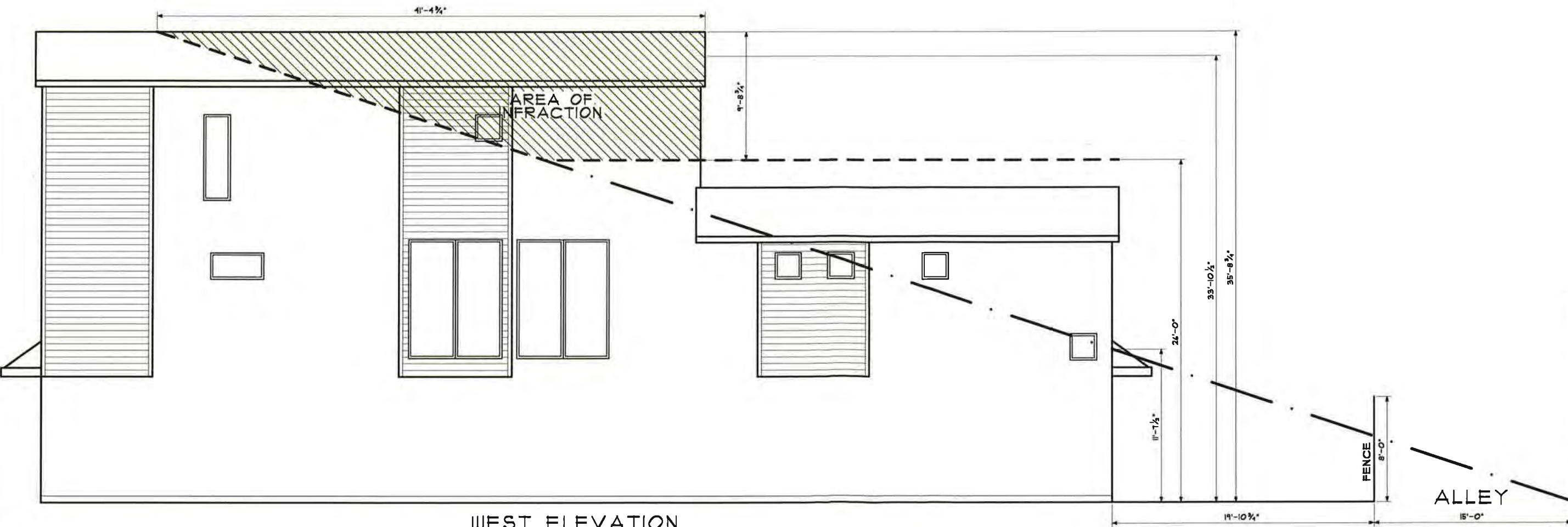
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5808-9D 2023.AEC



SOUTH ELEVATION



WEST ELEVATION

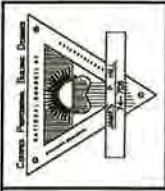
**Alaimo Residence**  
 Munger Place  
 Lot 25 // Block: 18/1872  
 5808 Live Oak Street  
 Dallas, Texas

**JIM HILL DESIGNS**  
 8600 Chase Oaks Blvd.  
 Suite 150  
 Plano, Texas 75023  
 214-973-0186  
 JIMHILLDESIGNS@GMAIL

SCALE:  
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PAGE:      DATE:  
                  1/18/2023

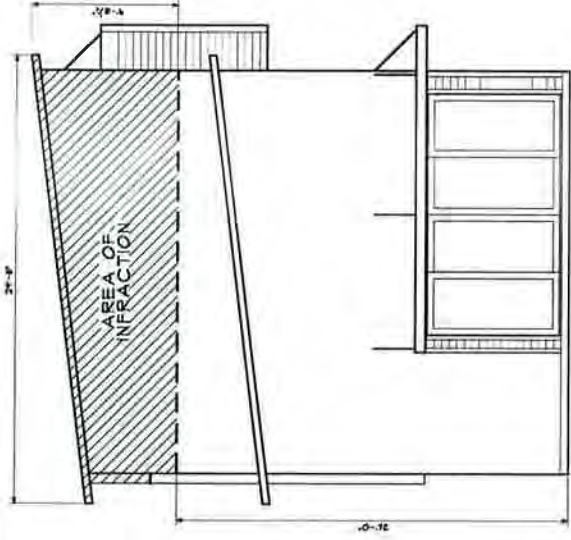
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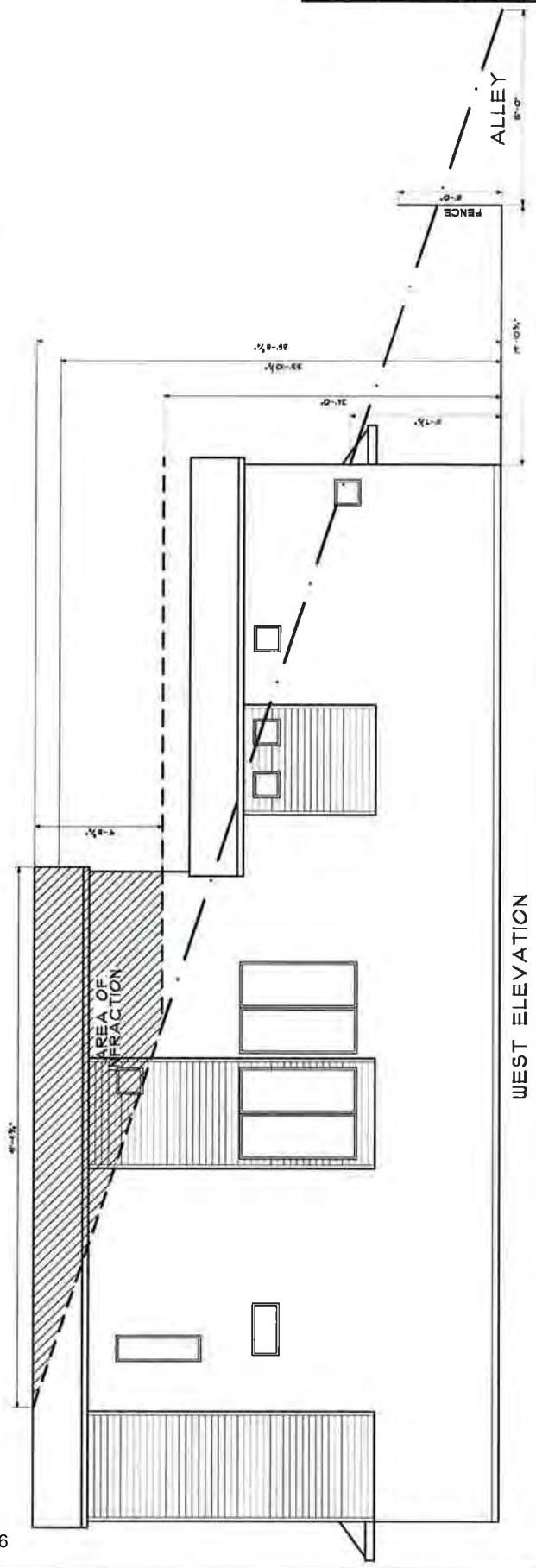
Alaimo Residence  
 Manager Plans  
 Lot 25 // Block 1B/1B72  
 5008 Live Oak Street  
 Dallas, Texas

JIM HILL DESIGNS  
 6900 Chase Oaks Blvd.  
 Suite 150  
 Plano, Texas 75023  
 214-973-0189  
 JIMHILLDESIGNS@GMAIL.COM

SCALE: 1/8" = 1'-0" U.O.N.  
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 FILE NAME: 5608-10 2023.AEC



SOUTH ELEVATION



WEST ELEVATION

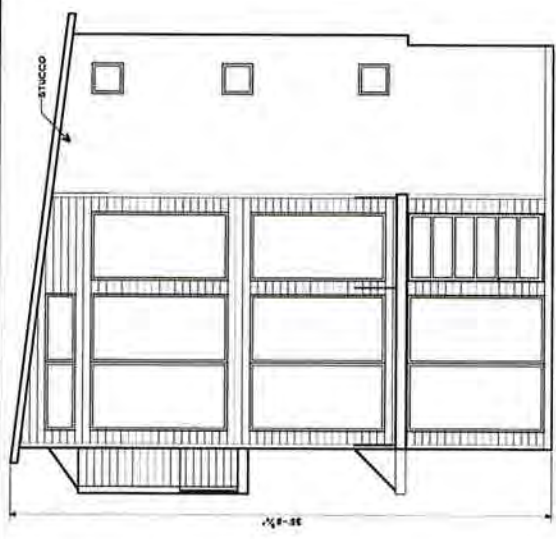




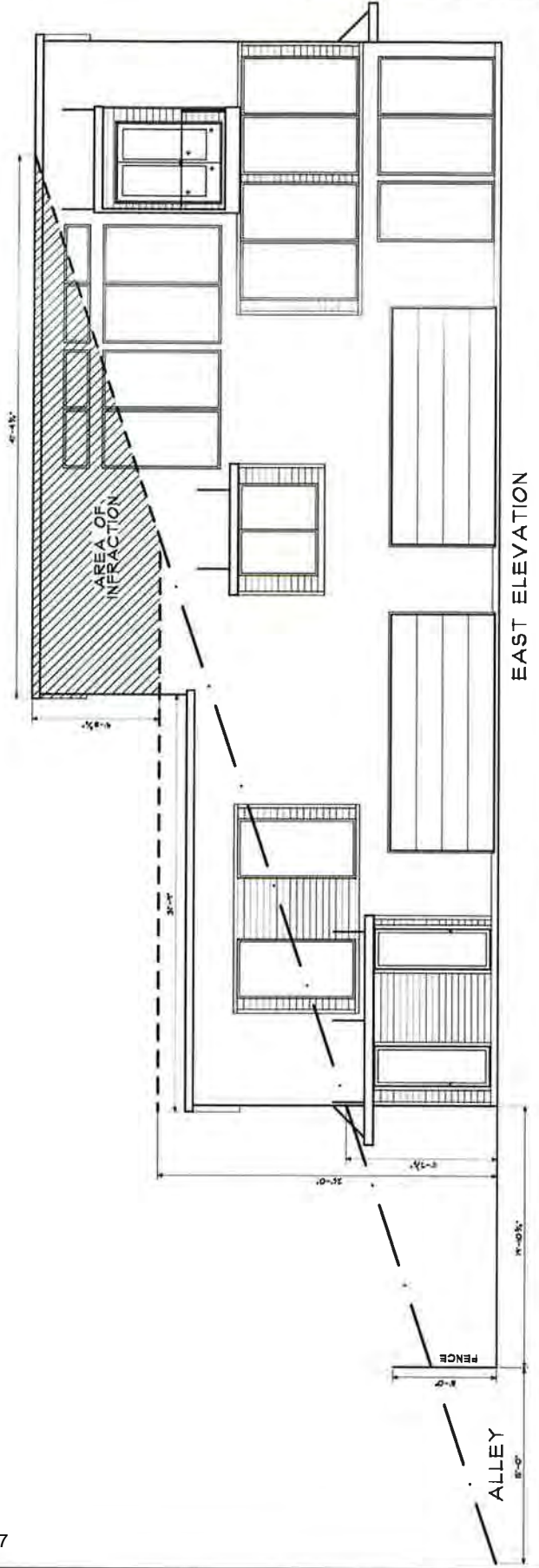
**Alaimo Residence**  
 Manager Place  
 Lot 25 // Block 7B/1972  
 5008 Live Oak Street  
 Dallas, Texas

**JIM HILL DESIGNS**  
 8000 Chase Oaks Blvd  
 Suite 150  
 Plano, Texas 75023  
 214-973-0980  
 JIMHILLDESIGNS@GMAIL

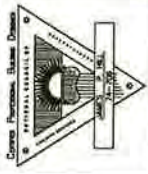
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 DATE: 1/18/2023  
 PAGE: 5606-BD 2023.AEC  
 FILE NAME:



**NORTH ELEVATION**  
 NO INFRACTIONS VISIBLE  
 ON THE FRONT ELEVATION



**EAST ELEVATION**



AREA SCHEDULE	
1ST FLOOR A/C	150.00
2ND FLOOR A/C	200.00
TOTAL A/C	350.00
CHANGE - NEW A/C	14.00
PAINT LINEN ROOF	140.00
TOTAL LINEN ROOF	154.00

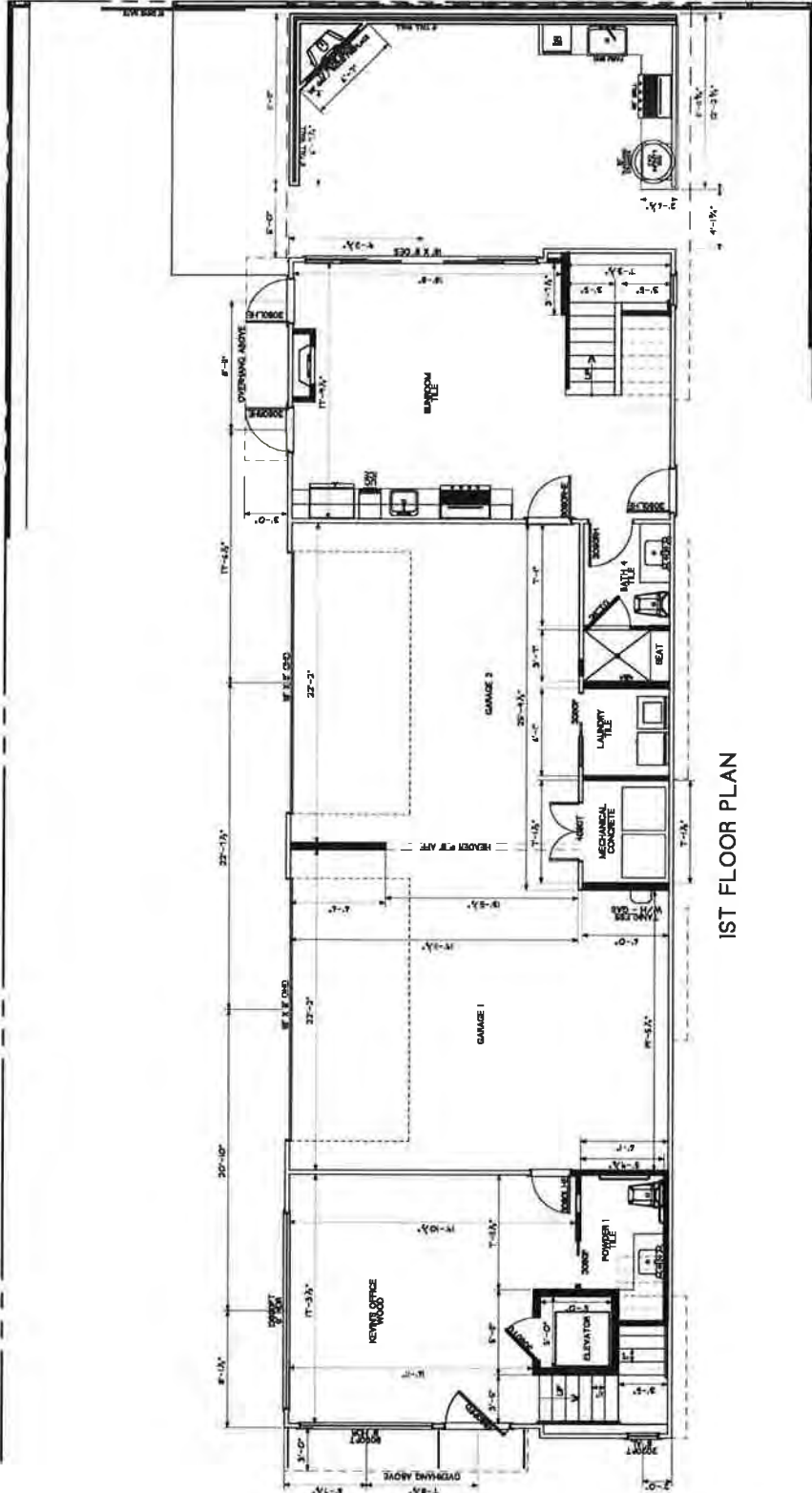
DOOR & WINDOW SCHEDULE	
1. 10' x 10' GLASS	10.00
2. 10' x 10' GLASS	10.00
3. 10' x 10' GLASS	10.00
4. 10' x 10' GLASS	10.00
5. 10' x 10' GLASS	10.00
6. 10' x 10' GLASS	10.00
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44. 10' x 10' GLASS	10.00
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47. 10' x 10' GLASS	10.00
48. 10' x 10' GLASS	10.00
49. 10' x 10' GLASS	10.00
50. 10' x 10' GLASS	10.00
51. 10' x 10' GLASS	10.00
52. 10' x 10' GLASS	10.00
53. 10' x 10' GLASS	10.00
54. 10' x 10' GLASS	10.00
55. 10' x 10' GLASS	10.00
56. 10' x 10' GLASS	10.00
57. 10' x 10' GLASS	10.00
58. 10' x 10' GLASS	10.00
59. 10' x 10' GLASS	10.00
60. 10' x 10' GLASS	10.00
61. 10' x 10' GLASS	10.00
62. 10' x 10' GLASS	10.00
63. 10' x 10' GLASS	10.00
64. 10' x 10' GLASS	10.00
65. 10' x 10' GLASS	10.00
66. 10' x 10' GLASS	10.00
67. 10' x 10' GLASS	10.00
68. 10' x 10' GLASS	10.00
69. 10' x 10' GLASS	10.00
70. 10' x 10' GLASS	10.00
71. 10' x 10' GLASS	10.00
72. 10' x 10' GLASS	10.00
73. 10' x 10' GLASS	10.00
74. 10' x 10' GLASS	10.00
75. 10' x 10' GLASS	10.00
76. 10' x 10' GLASS	10.00
77. 10' x 10' GLASS	10.00
78. 10' x 10' GLASS	10.00
79. 10' x 10' GLASS	10.00
80. 10' x 10' GLASS	10.00
81. 10' x 10' GLASS	10.00
82. 10' x 10' GLASS	10.00
83. 10' x 10' GLASS	10.00
84. 10' x 10' GLASS	10.00
85. 10' x 10' GLASS	10.00
86. 10' x 10' GLASS	10.00
87. 10' x 10' GLASS	10.00
88. 10' x 10' GLASS	10.00
89. 10' x 10' GLASS	10.00
90. 10' x 10' GLASS	10.00
91. 10' x 10' GLASS	10.00
92. 10' x 10' GLASS	10.00
93. 10' x 10' GLASS	10.00
94. 10' x 10' GLASS	10.00
95. 10' x 10' GLASS	10.00
96. 10' x 10' GLASS	10.00
97. 10' x 10' GLASS	10.00
98. 10' x 10' GLASS	10.00
99. 10' x 10' GLASS	10.00
100. 10' x 10' GLASS	10.00

ARCHITECTURAL LEGEND	
NEW EXTERIOR BRICK / 2 X 4 WALL	---
NEW 2 X 4 WALL	---
NEW EXTERIOR BRICK / 2 X 4 WALL	---
NEW 2 X 4 WALL	---
EXISTING EXTERIOR BRICK / 2 X 4 WALL	---
EXISTING 2 X 4 WALL	---
EXISTING 2 X 4 WALL	---
EXISTING 2 X 4 WALL W/ NEW SHEETROCK	---

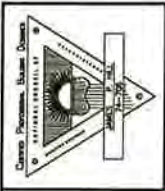
**Alamo Residence**  
 Manager Plans  
 Lot 25 // Block 18/1872  
 5006 Live Oak Street  
 Dallas, Texas

**JIM HILL DESIGNS**  
 6600 Chase Oaks Blvd  
 Suite 150  
 Plano, Texas 75023  
 214-872-0186  
 JIM.HILL.DESIGNS@GMAIL.COM

SCALE: 1/8" = 1'-0" L.O.N.  
 PAGE: 1/18/2023  
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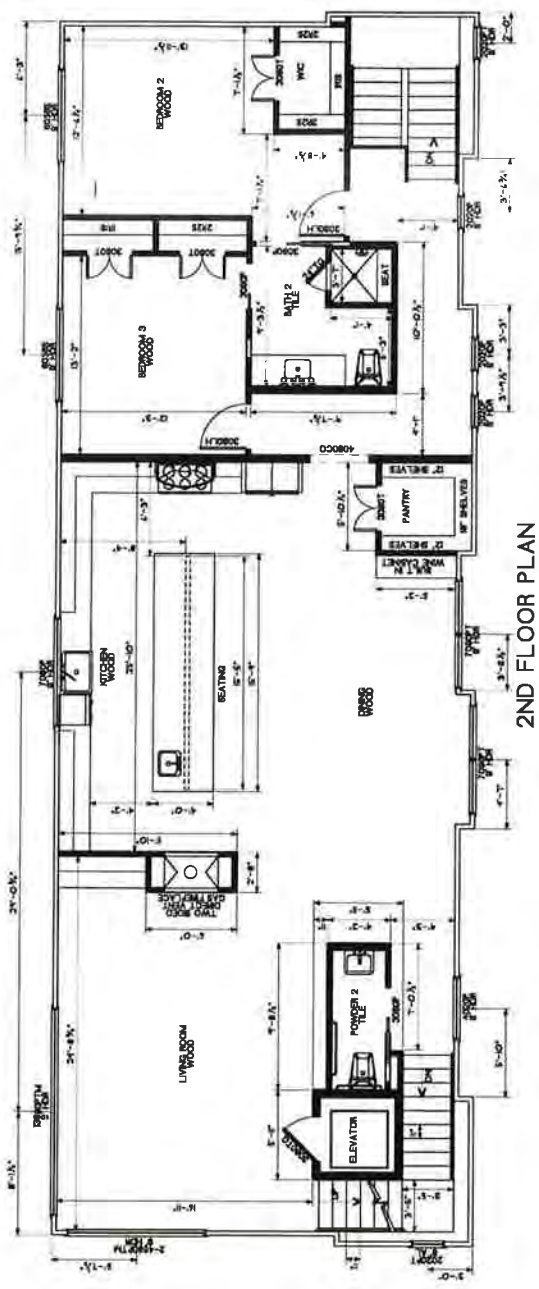
1ST FLOOR PLAN



AREA SCHEDULE	
1ST FLOOR A/C	200
2ND FLOOR A/C	200
TOTAL A/C	400
1ST FLOOR ROOF	100
2ND FLOOR ROOF	100
TOTAL ROOF	200
TOTAL LINEN/ROOF	200

DOOR & WINDOW SCHEDULE	
1	NEW GLASS
2	NEW GLASS
3	NEW GLASS
4	NEW GLASS
5	NEW GLASS
6	NEW GLASS
7	NEW GLASS
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100	NEW GLASS



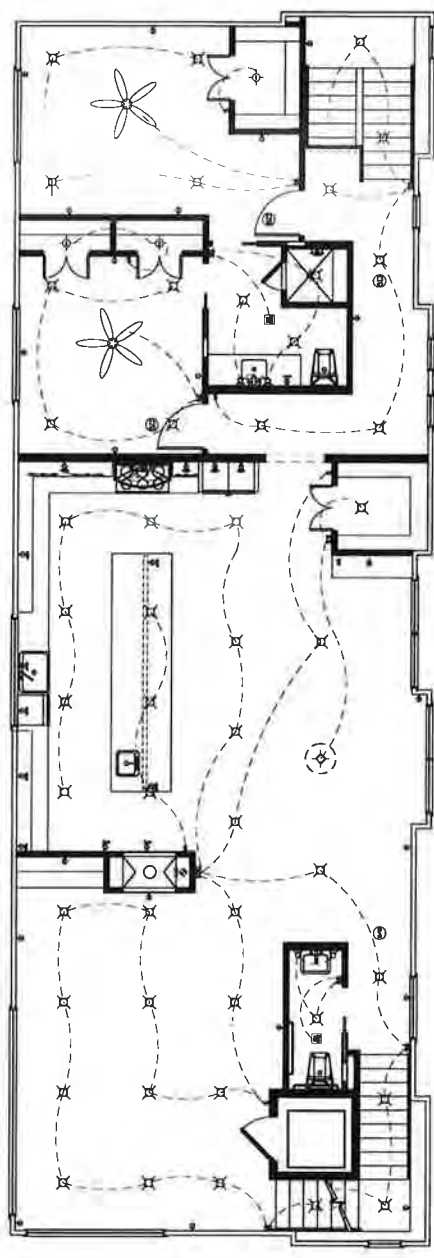
2ND FLOOR PLAN

ARCHITECTURAL LEGEND	
NEW EXTERIOR BRICK / 2 X 4 WALL	
NEW 2 X 4 WALL	
NEW EXTERIOR BRICK / 2 X 4 WALL	
NEW 2 X 4 WALL	
EXISTING EXTERIOR BRICK / 2 X 4 WALL	
EXISTING 2 X 4 WALL	
EXISTING 2 X 4 WALL	
EXISTING 2 X 4 WALL / NEW SHEETROCK	

**Alaimo Residence**  
 Manager Plans  
 Lot 25 // Block B/1872  
 5608 Live Oak Street  
 Dallas, Texas

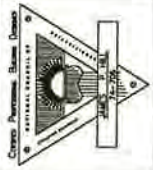
**JIM HILL DESIGNS**  
 8500 Chase Oaks Blvd  
 Suite 150  
 Plano, Texas 75023  
 214-873-0888  
 JIMHILLDESIGNS@GMAIL

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 PAGE: DATE: 1/18/2023  
 FILE NAME: 5608-00\_2023AEC



2ND FLOOR PLAN

ELECTRICAL SYMBOLS	
	CEILING FAN
	6" CAN LIGHT
	WALL SCONCE
	CEILING LIGHT
	VANITY LIGHT
	MOTION LIGHT
	UVC LIGHTING
	CHANDLER
	BALL FLUORESCENT
	SWITCH
	RECEPTICAL
	200V RECEPTICAL
	FLUORESCENT RECEPT.
	BREAKER PANEL
	SMOKE / CARBON
	ELECTRICAL CITYOPP
	NEW PANEL BOX
	NEW METER
	GARAGE DOOR OPENER



AREA SCHEDULE	
1ST FLOOR A/C	2ND FLOOR A/C
3RD FLOOR A/C	4TH FLOOR A/C
5TH FLOOR A/C	6TH FLOOR A/C
7TH FLOOR A/C	8TH FLOOR A/C
9TH FLOOR A/C	10TH FLOOR A/C
11TH FLOOR A/C	12TH FLOOR A/C
13TH FLOOR A/C	14TH FLOOR A/C
15TH FLOOR A/C	16TH FLOOR A/C
17TH FLOOR A/C	18TH FLOOR A/C
19TH FLOOR A/C	20TH FLOOR A/C
21ST FLOOR A/C	22ND FLOOR A/C
23RD FLOOR A/C	24TH FLOOR A/C
25TH FLOOR A/C	26TH FLOOR A/C
27TH FLOOR A/C	28TH FLOOR A/C
29TH FLOOR A/C	30TH FLOOR A/C
31ST FLOOR A/C	32ND FLOOR A/C
33RD FLOOR A/C	34TH FLOOR A/C
35TH FLOOR A/C	36TH FLOOR A/C
37TH FLOOR A/C	38TH FLOOR A/C
39TH FLOOR A/C	40TH FLOOR A/C
41ST FLOOR A/C	42ND FLOOR A/C
43RD FLOOR A/C	44TH FLOOR A/C
45TH FLOOR A/C	46TH FLOOR A/C
47TH FLOOR A/C	48TH FLOOR A/C
49TH FLOOR A/C	50TH FLOOR A/C
51ST FLOOR A/C	52ND FLOOR A/C
53RD FLOOR A/C	54TH FLOOR A/C
55TH FLOOR A/C	56TH FLOOR A/C
57TH FLOOR A/C	58TH FLOOR A/C
59TH FLOOR A/C	60TH FLOOR A/C
61ST FLOOR A/C	62ND FLOOR A/C
63RD FLOOR A/C	64TH FLOOR A/C
65TH FLOOR A/C	66TH FLOOR A/C
67TH FLOOR A/C	68TH FLOOR A/C
69TH FLOOR A/C	70TH FLOOR A/C
71ST FLOOR A/C	72ND FLOOR A/C
73RD FLOOR A/C	74TH FLOOR A/C
75TH FLOOR A/C	76TH FLOOR A/C
77TH FLOOR A/C	78TH FLOOR A/C
79TH FLOOR A/C	80TH FLOOR A/C
81ST FLOOR A/C	82ND FLOOR A/C
83RD FLOOR A/C	84TH FLOOR A/C
85TH FLOOR A/C	86TH FLOOR A/C
87TH FLOOR A/C	88TH FLOOR A/C
89TH FLOOR A/C	90TH FLOOR A/C
91ST FLOOR A/C	92ND FLOOR A/C
93RD FLOOR A/C	94TH FLOOR A/C
95TH FLOOR A/C	96TH FLOOR A/C
97TH FLOOR A/C	98TH FLOOR A/C
99TH FLOOR A/C	100TH FLOOR A/C
TOTAL UNDER ROOF	

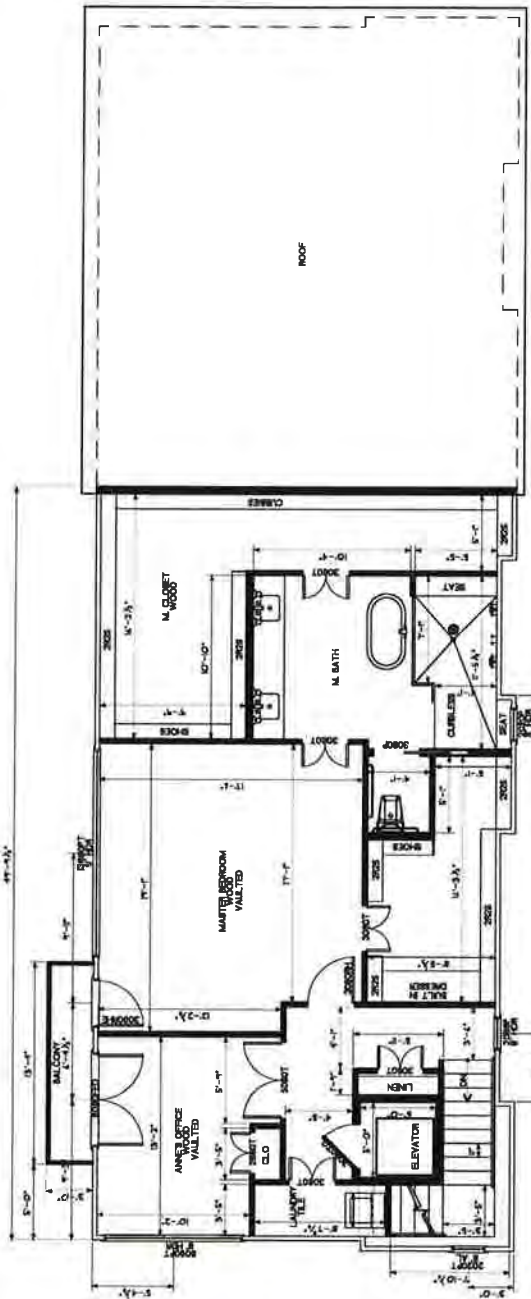
DOOR & WINDOW SCHEDULE	
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2	6'0" x 8'0" GLASS
3	6'0" x 8'0" GLASS
4	6'0" x 8'0" GLASS
5	6'0" x 8'0" GLASS
6	6'0" x 8'0" GLASS
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31	6'0" x 8'0" GLASS
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90	6'0" x 8'0" GLASS
91	6'0" x 8'0" GLASS
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94	6'0" x 8'0" GLASS
95	6'0" x 8'0" GLASS
96	6'0" x 8'0" GLASS
97	6'0" x 8'0" GLASS
98	6'0" x 8'0" GLASS
99	6'0" x 8'0" GLASS
100	6'0" x 8'0" GLASS

ARCHITECTURAL LEGEND	
NEW EXTERIOR BRICK / 3 X 4 BALL	
NEW 2 X 4 BALL	
NEW EXTERIOR BRICK / 3 X 4 BALL	
NEW 2 X 4 BALL	
EXISTING EXTERIOR BRICK / 3 X 4 BALL	
EXISTING 2 X 4 BALL	
EXISTING 2 X 4 BALL	
EXISTING 2 X 4 BALL / NEW BRICKWORK	

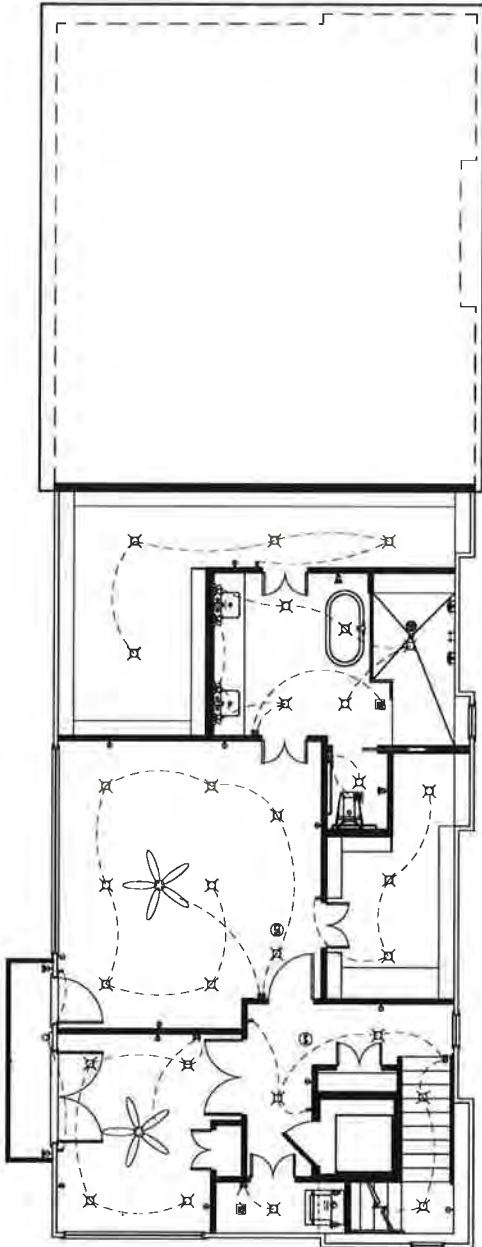
**Alaimo Residence**  
 Manger Plans  
 Lot 25 // Block 1B/1B72  
 9008 Live Oak Street  
 Dallas, Texas

**JIM HILL DESIGNS**  
 6600 Chase Oaks Blvd  
 Suite 150  
 Plano, Texas 75023  
 214-973-0880  
 JIM.HILL@JIMHILLDESIGNS.COM

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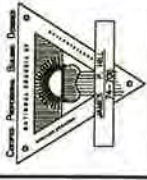
3RD FLOOR PLAN



3RD FLOOR PLAN

ELECTRICAL SYMBOLS	
	CEILING FAN
	1' CAN LIGHT
	WALL SCONCE
	CEILING LIGHT
	VANITY LIGHT
	MOTION LIGHT
	1/3C LIGHTING
	CHANDLIER
	3 BULB FLUORESCENT
	SWITCH
	RECEPTICAL
	200V RECEPTICAL
	FUS/CEL RECEPT.
	EXHAUST FAN
	SMOKE / CARBON
	ELECTRICAL CUTOFF
	NEW PANEL BOX
	NEW METER
	GARAGE DOOR OPENER



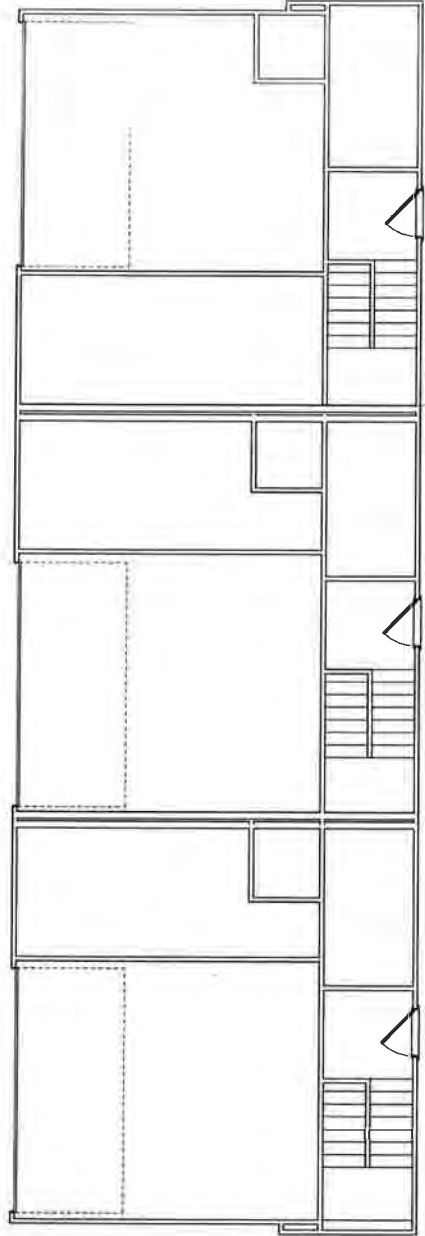


AREA SCHEDULE	
100 SF	1ST FLOOR A/C
100 SF	2ND FLOOR A/C
100 SF	3RD FLOOR A/C
400 SF	CLUB SF
400 SF	BAR SF
400 SF	RESTAURANT SF
400 SF	TOTAL UNDER ROOF
1600 SF	TOTAL UNDER ROOF

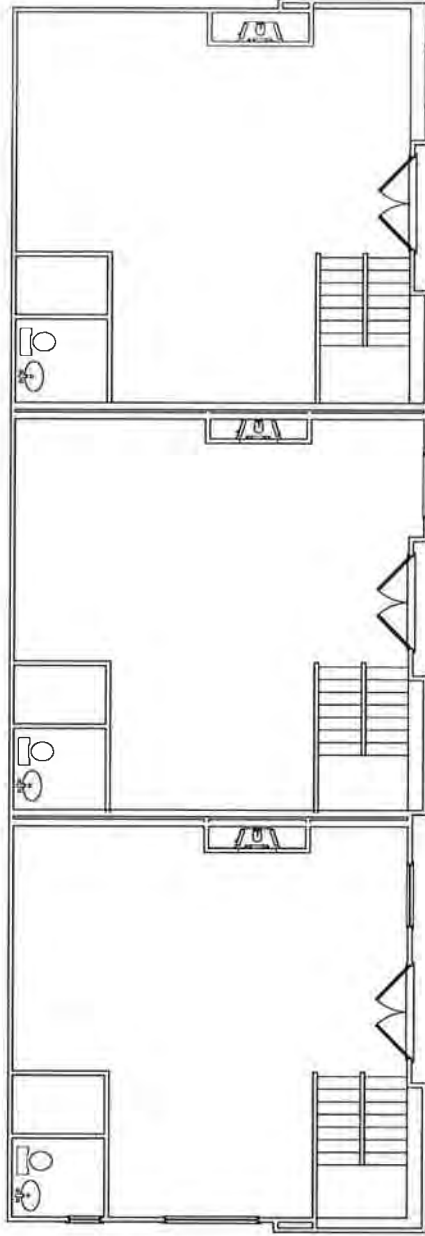
DOOR & WINDOW SCHEDULE	
1	6'0" x 8'0" GLASS
2	6'0" x 8'0" GLASS
3	6'0" x 8'0" GLASS
4	6'0" x 8'0" GLASS
5	6'0" x 8'0" GLASS
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97	6'0" x 8'0" GLASS
98	6'0" x 8'0" GLASS
99	6'0" x 8'0" GLASS
100	6'0" x 8'0" GLASS

ARCHITECTURAL LEGEND	
---	NEW EXTERIOR BRICK / 2 X 4 BALL
---	NEW 2 X 4 BALL
---	NEW EXTERIOR BRICK / 2 X 4 BALL
---	NEW 2 X 4 BALL
---	EXISTING EXTERIOR BRICK / 2 X 4 BALL
---	EXISTING 2 X 4 BALL
---	EXISTING 2 X 4 BALL W/ NEW SUBPETHEROCK

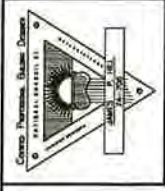
**Alaimo Residence**  
 Manager Plan  
 Lot 25 // Block 18/1872  
 5008 Live Oak Street  
 Dallas, Texas  
**JIM HILL DESIGNS**  
 6600 Chase Oaks Blvd.  
 Suite 175023  
 Plano, TX 75023  
 974-873-0886  
 JHILLDESIGNS@GMAIL.COM  
 SCALE: 1/8" = 1'-0" U.O.N.  
 PAGE: DATE: 1/18/2023  
 FILE NAME: 5608-00 2023AEC



1ST FLOOR AS BUILT



2ND FLOOR AS BUILT



**AREA SCHEDULE**

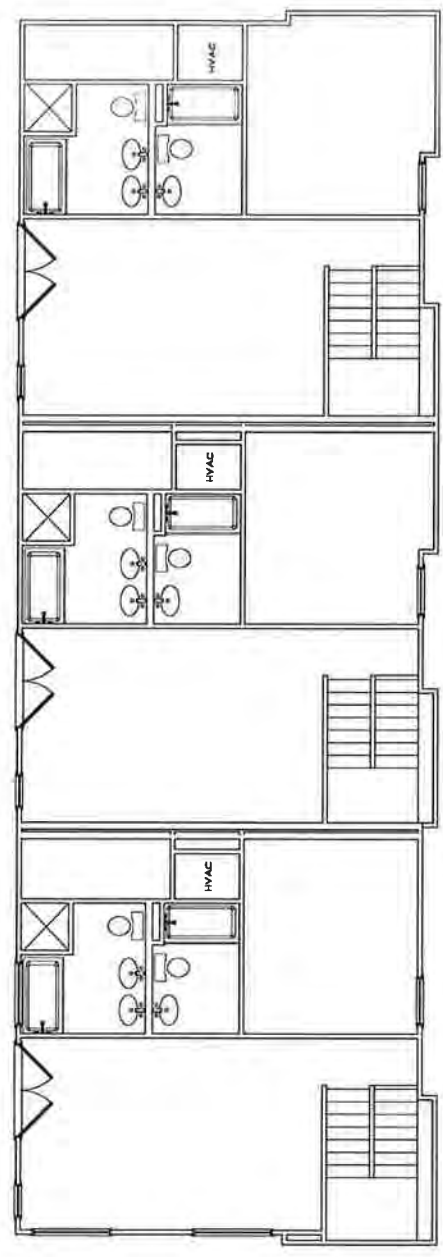
1000	SET FLOOR A/C
2000	2ND FLOOR A/C
3000	TOTAL A/C
4000	PAINT UNDER ROOF
5000	PAINT UNDER ROOF
6000	TOTAL UNDER ROOF

**DOOR & WINDOW SCHEDULE**

1	6'0" x 8'0" DOOR
2	6'0" x 8'0" DOOR WITH GLASS
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96	6'0" x 8'0" DOOR WITH GLASS
97	6'0" x 8'0" DOOR WITH GLASS
98	6'0" x 8'0" DOOR WITH GLASS
99	6'0" x 8'0" DOOR WITH GLASS
100	6'0" x 8'0" DOOR WITH GLASS

**ARCHITECTURAL LEGEND**

NEW EXTERIOR BRICK / 2 X 4 WALL
NEW 2 X 4 WALL
NEW EXTERIOR BRICK / 2 X 4 WALL
NEW 2 X 4 WALL
EXISTING EXTERIOR BRICK / 2 X 4 WALL
EXISTING 2 X 4 WALL
EXISTING 2 X 4 WALL
EXISTING 2 X 4 WALL / NEW SHURTROOK



3RD FLOOR AS BUILT

**Alaimo Residence**  
 Manger Place  
 Lot 25 // Block 18/1872  
 5809 Live Oak Street  
 Dallas, Texas

**JIM HILL DESIGNS**  
 6800 Chase Oaks Blvd  
 Suite 150  
 Plano, Texas 75023  
 214-673-0888  
 JIM.HILLDESIGNS@GMAIL.COM

SCALE: 1/8" = 1'-0" UON  
 PAGE: 1/18/2023  
 FILE NAME: 5608-00 2023.AEC

5608 Live Oak, Dallas, TX 75206

Lot sq. ft.: 7,279

1. Property is zoned as MF2 and we are proposing to reconstruct the use to a 4,539 square foot, single family home on the lot.
2. The lot size was previously reduced in size due to a right of way dedication.
3. Other MF2 lots in the area are larger than 7,100 and do not have the same restraints.
4. There was a deed restriction that were implemented prior to ownership but did not show up in the title work prior closing that eliminated us of the roof top as a balcony.
5. The proposed plans do not have an effect on sunlight as the sun rises from the East which is the rear of the property.
6. The variance requested does not have an effect on the adjoining views.
7. Cost to rebuild structure would far exceed 50% of the current Dallas County appraised value.
8. Permits were approved, issued and fees paid on December 12, 2022. When applying for the permits this round, I visited with several departments due to the high sensitivity related with the property and community.
9. After purchasing the property, the existing permits were transferred to my name and when that occurred I had no notification from the city that there was any issues related with the property.



Address	Lot Size	# of Stories	# of Units	Building Feet	Square Feet	Roof Top
5608 Live Oak	7,100	3	1	6,184	4,539	No

Address	Lot Size	# of Stories	# of Units	Square Feet	Total building Square Feet	Roof Top
5620 Live Oak	19,502	3	Multi			No
5711 Lindell 101	7,200	4	1 of 4	8,242	2,083 of 8,279	Yes
5711 Lindell 102	7,200	4	1 of 4	8,242	2,055 of 8,279	Yes
5711 Lindell 103	7,200	4	1 of 4	8,242	2,055 of 8,279	Yes
5711 Lindell 104	7,200	4	1 of 4	8,242	2,086 of 8,279	Yes
5737 Live Oak 1	8,268	4	1 of 4	8,268	1,821 of 9,924	Yes
5737 Live Oak 2	8,268	4	1 of 4	8,268	1,799 of 9,924	Yes
5737 Live Oak 3	8,268	4	1 of 4	8,268	1,799 of 9,924	Yes
5737 Live Oak 4	8,268	4	1 of 4	8,268	1,937 of 9,924	Yes
5930 Ross	9,113	3	5	9,000		No
5915 Hudson	9,213	3	8	12,960	10,360	No
6012 Hudson	7,000	3	1 of 5	7,070	8,970	No
5931 Ross	13,983	3		15,824	19,624	No
1926 Euclid	7501	3		8,247	9,963	No

**Triple Monreal Construction**  
 600 Quail Hollow Drive, Mesquite TX 75150  
 (469) 348-4023

Address: 5608 Live Oak, Dallas, TX 75206

Date: 3/4/2023

Demolition of plumbing	\$ 3,500
Demolition of electrical	\$ 4,000
Demolition of HVAC: 3 systems condensors, Coils and heaters, ductwork & vents	\$ 3,800
Demolition of roof	\$ 3,200
Demolition of frame: trusses, floor joists, stair cases and walls	\$ 18,000
Rental and disposal of 10 dumpster loads of debris	\$ 9,000
Rental and installation of scaffolding	\$ 7,000
Replace 3 HVAC systems with ductwork and vents	\$ 42,000
New electric service: meter, wiring, switches, can lights and plugs	\$ 42,000
Cut foundation for plumbing modifications and repair	\$ 3,500
Framing material & labor including new floor joists on 3rd level & trusses	\$ 63,000
New roof	\$ 40,000
Removal and replacement windows	\$ 25,000
Replace flooring	\$ 45,000
Replace plumbing supply lines, drains, valves and fixtures	\$ 36,000
Stucco exterior	\$ 68,000
Drywall, tape and bed and texture	\$ 40,000
Exterior paint	\$ 7,500
Interior paint	\$ 25,000
Cabeinetry, baseboards, doors and casing	\$ 44,000
Bathroom tile floors & shower walls	\$ 40,000
Open cell insulation	\$ 21,000
Counter tops	\$ 15,000
Permits	\$ 9,400
	<b>\$ 614,900</b>



Residential Account #00000182209000000

[Location](#) [Owner](#) [Legal Desc](#) [Value](#) [Main Improvement](#) [Additional Improvements](#) [Land](#) [Exemptions](#)  
[Estimated Taxes](#) [History](#)

Property Location (Current 2023)

Address: 5608 LIVE OAK ST  
 Neighborhood: 1DSG09  
 Mapsco: 36-X (DALLAS)

[DCAD Property Map](#)

[2022 Appraisal Notice](#)



[Print Homestead Exemption Form](#)

Owner (Current 2023)

ALAIMO KEVIN C  
 1125 LEGACY DR STE 250  
 FRISCO, TEXAS 750341942

Multi-Owner (Current 2023)

Owner Name	Ownership %
ALAIMO KEVIN C	100%

Legal Desc (Current 2023)

- 1: MUNGER PLACE
  - 2: BLK 16/1872 LOT 25 56.1X130
  - 3: 56.1X130
  - 4: INT201700212903 DD07282017 CO-DC
  - 5: 1872 016 02500 1001872 016
- Deed Transfer Date: 7/31/2017

Value

2022 Certified Values	
Improvement:	\$545,010
Land:	+ \$436,800
Market Value:	= \$981,810
Revaluation Year:	2022
Previous Revaluation Year:	2019

## Main Improvement (Current 2023)

<b>Building Class</b>	21	Construction Type	FRAME	# Baths (Full/Half)	6/ 3
Year Built	2015	Foundation	SLAB	# Kitchens	3
Effective Year Built	2015	Roof Type	FLAT	# Bedrooms	6
Actual Age	8 years	Roof Material	COMP ROLL	# Wet Bars	0
<b>Desirability</b>	MANUALLY ENTER DEPRECIATION	Fence Type	UNASSIGNED	# Fireplaces	3
Living Area	5,595 sqft	Ext. Wall Material	STUCCO	Sprinkler (Y/N)	N
Total Area	5,595 sqft	Basement	NONE	Deck (Y/N)	N
% Complete	50%	Heating	UNASSIGNED	Spa (Y/N)	N
# Stories	THREE STORIES	Air Condition	UNASSIGNED	Pool (Y/N)	N
Depreciation	0%			Sauna (Y/N)	N

Additional Improvements (Current 2023)

#	Improvement Type	Construction	Floor	Exterior Wall	Area (sqft)
1	DECK		UNASSIGNED	UNASSIGNED	2
2	DECK		UNASSIGNED	UNASSIGNED	2
3	DECK		UNASSIGNED	UNASSIGNED	2
4	ATTACHED GARAGE	FR-FRAME	CONCRETE	UNASSIGNED	322
5	ATTACHED GARAGE	FR-FRAME	CONCRETE	UNASSIGNED	322
6	ATTACHED GARAGE	FR-FRAME	CONCRETE	UNASSIGNED	322

Land (2022 Certified Values)

#	State Code	Zoning	Frontage (ft)	Depth (ft)	Area	Pricing Method	Unit Price	Market Adjustment	Adjusted Price	Ag Land
1	SFR - TOWNHOUSES	MULTIFAMILY DISTRICT 2	56	130	7,280.0000 SQUARE FEET	STANDARD	\$60.00	0%	\$436,800	N

\* All Exemption information reflects 2022 Certified Values. \*

Exemptions (2022 Certified Values)

No Exemptions

Estimated Taxes (2022 Certified Values)

	City	School	County and School Equalization	College	Hospital	Special District
Taxing Jurisdiction	DALLAS	DALLAS ISD	DALLAS COUNTY	DALLAS COLLEGE	PARKLAND HOSPITAL	UNASSIGNED
Tax Rate per \$100	\$0.7458	\$1.184935	\$0.227946	\$0.115899	\$0.2358	N/A
Taxable Value	\$981,810	\$981,810	\$981,810	\$981,810	\$981,810	\$0
Estimated Taxes	\$7,322.34	\$11,633.81	\$2,238.00	\$1,137.91	\$2,315.11	N/A
Tax Ceiling					N/A	N/A
Total Estimated Taxes:						\$24,647.16

**DO NOT PAY TAXES BASED ON THESE ESTIMATED TAXES.** You will receive an official tax bill from the appropriate agency when they are prepared. Please note that if there is an Over65 or Disabled Person Tax Ceiling displayed above, it is NOT reflected in the Total Estimated Taxes calculation provided. Taxes are collected by the agency sending you the official tax bill. To see a listing of agencies that collect taxes for your property. [Click Here](#)

The estimated taxes are provided as a courtesy and should not be relied upon in making financial or other decisions. The Dallas Central Appraisal District (DCAD) does not control the tax rate nor the amount of the taxes, as that is the responsibility of each Taxing Jurisdiction. Questions about your taxes should be directed to the appropriate taxing jurisdiction. We cannot assist you in these matters. These tax estimates are calculated by using the most current certified taxable value multiplied by the most current tax rate. **It does not take into account other special or unique tax scenarios, like a tax ceiling, etc..** If you wish to calculate taxes yourself, you may use the [Tax Calculator](#) to assist you.

History

[History](#)

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# EXHIBIT A

## Triple Monreal Construction

600 Quail Hollow Drive, Mesquite TX 75150

(469) 348-4023

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Date: 3/4/2023

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