

# Record Summary for Board of Adjustments

## Record

| Record #      | Status    | Opened Date |
|---------------|-----------|-------------|
| BOA-26-000009 | In Review | 02/17/2026  |

### Application Name

### Detailed Description

FILE NUMBER:

BOA-26-000009

BUILDING OFFICIAL'S REPORT: Application of TRAVIS E RIPLEY for (1) a special exception to the visibility obstruction regulations, and for (2) a special exception to the visibility obstruction regulations at 5003 WORTH STREET. This property is more fully described as Block H/686 SW 70FT Lot 1, and is zoned PD-97 (MF-2(A)(H/11), which requires a 20-foot visibility triangle at the drive approach, and a 20-foot visibility triangle at the intersection of the street and alley. The applicant proposes to construct and/or maintain a fence structure in a required visibility obstruction triangle along N Collett Avenue, which will require (1) a special exception to the visibility obstruction regulation, and to construct and/or maintain a fence structure in a required visibility obstruction triangle at the intersection of the street and alley along N Collett Avenue, which will require (2) a special exception to the visibility obstruction regulation.

LOCATION:

5003 WORTH ST

APPLICANT:

TRAVIS E RIPLEY

REQUEST:

- (1) A request for a special exception to the visibility obstruction regulations at the drive approach
- (2) A request for a special exception to the visibility obstruction regulations at the intersection of a street and alley

Assigned To Department

Assigned to Staff

### Record Type

Board of Adjustments

## Custom Fields

### INTERNAL USE ONLY

|                          |                         |
|--------------------------|-------------------------|
| Source of Request        | In Review - Residential |
| Fee Waiver Granted       | -                       |
| Number of Parking Spaces | -                       |
| Lot Acreage              | 0.1461                  |

### PDOX INFORMATION

|             |   |
|-------------|---|
| PDox Number | - |
|-------------|---|

### PROPERTY INFORMATION

|                                      |             |
|--------------------------------------|-------------|
| Existing Zoning                      | PD          |
| Lot Number                           | 1           |
| Lot Size (Acres)                     | 0.1461      |
| Block Number                         | H/686       |
| Lot Size (Sq. Ft)                    | 8540        |
| How many streets about the property? | 2           |
| Land Use                             | residential |

|  |                |
|--|----------------|
| Is the property platted?   | Yes            |
| Status of Project  | Proposed       |
| Status of Property   | Owner Occupied |
| Previous Board of Adjustment case filed on this property                 | -              |
| Accommodation for someone with disabilities                              | No             |
| File Date  | -              |
| Seleccione si necesitara un interprete                                   | -              |
| Case Number  | -              |
| Are you applying for a fee waiver?                                       | No             |
| Have the standards for variance and or special exception been discussed? | No             |
| Has the Notification Sign Acknowledgement Form been discussed?           | No             |
| Referred by  | Sergio Velasco |

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### Custom Lists

#### Board of Adjustment Request

1

|  |  |
|--|--|
| Type of Request  | Special Exception  |
| Request Description                                      | Visual obstruction (20-foot visibility triangle)   |
| Application Type   | Single Family/Duplex Variance or Special Exception   |
| Other  | drive  |
| Affirm that an appeal has been made for                  | An 8-foot-tall fence and gate within the required 20-foot visibility triangle at the alley and street intersection.  |
| Application is made to BOA to grant the described appeal | <ul style="list-style-type: none"> <li>• The requested variance will allow the installation of an 8-foot fence and gate in substantially the same location as an existing noncompliant fence, and therefore will not materially alter current visibility conditions.</li> <li>• The alley does not provide vehicular access to the properties it abuts, and vehicular traffic is minimal, reducing any potential impact on public safety or sight lines.</li> <li>• The variance is not self-created; the need arises from the property's configuration and location at the alley/street intersection.</li> <li>• Granting the variance will not be contrary to the public interest, as the proposal maintains neighborhood compatibility and is consistent with similar fence and gate configurations in the surrounding area.</li> <li>• The spirit and intent of the ordinance will be observed, and substantial justice will be done, as the requested relief does not create a new condition or intensify any existing impact.</li> </ul> |

2

|                     |  |
|---------------------|--|
| Type of Request     | Special Exception                                  |
| Request Description | Visual obstruction (20-foot visibility triangle)   |
| Application Type    | Single Family/Duplex Variance or Special Exception |
| Other               | alley  |

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#### Case Information

1

|                     |  |
|---------------------|--|
| Full Request        | to construct and/or maintain a fence structure in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation. |
| Brief Request       | a special exception to the visibility obstruction regulations  |
| Zoning Requirements | requires a 20-foot visibility triangle at the drive approach   |
| Relevant History    | na   |
| BOA History         | No   |

2

|                     |  |
|---------------------|--|
| Full Request        | to construct and/or maintain a fence structure in a required visibility obstruction triangle, which will require a special exception to the visibility obstruction regulation. |
| Brief Request       | a special exception to the visibility obstruction regulations  |
| Zoning Requirements | requires a 20-foot visibility triangle at the street an alley  |
| Relevant History    | na   |
| BOA History         | No   |

**Street Frontage Information**

1

|                      |       |
|----------------------|-------|
| Street Frontage      | Front |
| Linear Feet (Sq. Ft) | 70    |

2

|                      |      |
|----------------------|------|
| Street Frontage      | Side |
| Linear Feet (Sq. Ft) | 122  |

**Contact Information**

| <b>Name</b>                                | <b>Organization Name</b> | <b>Contact Type</b> | <b>Phone</b> |
|--|--------------------------|---------------------|--------------|
| TRAVIS E RIPLEY                            | RIPLEY RENOVATIONS LLC   | Applicant           | 9724138443   |
| Email: traviseripley@ripleyrenovations.com |                          |                     |              |
| 800 S Haskell Ave, DALLAS, TX 75223        |                          |                     |              |

| <b>Name</b>   | <b>Organization Name</b> | <b>Contact Type</b> | <b>Phone</b> |
|---|--------------------------|---------------------|--------------|
| Katherine Perry   |                          | Property Owner      | 2142939685   |
| Email: michelleroberson@ripleyrenovations.com                 |                          |                     |              |
| 5003 WORTH ST, MCKINNEY GARRETT BYCE, DALLAS, TEXAS 752145346 |                          |                     |              |

**Address**

5003 WORTH ST, Dallas, TX 75214

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**Parcel Information**

| Parcel No:            | Land Value | Legal Description | Book | Page | Lot | Block | Subdivision |
|-----------------------|------------|-------------------|------|------|-----|-------|-------------|
| 0000012064000000<br>0 |            |                   |      |      |     |       |             |

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**Owner Information**

| Primary | Owner Name          | Owner Address                          | Owner Phone |
|---------|---------------------|--|-------------|
| Y       | PERRY KATHERINE G & | 5003 WORTH ST, DALLAS, TEXAS 752145346 |             |

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**Status History**

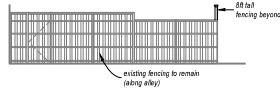
| Status                      | Comment  | Assigned Name        | Status Date |
|-----------------------------|--|----------------------|-------------|
| Application About to Expire | Updated via: BATCH_BUILDING_ABOUT_TO_EXPIRE  | Accela Administrator | 03/04/2026  |
| In Review                   |  | Diana Barkume        | 03/04/2026  |
| Additional Info Required    | To proceed, please provide the following:<br>Authorization Documentation:<br>Provide an affidavit from Katherine G Perry, authorizing you to represent them in this matter.<br>Revised Site Plan:<br>Upload a PDF version of the site plan, pictures are not allowed.<br>Remove the review notes on the site plan<br>Requires 2 request:<br>1. Special exception to the visibility triangle at the drive approach<br>2. Special exception to the visibility triangle at the alley<br>Additional Plans:<br>Provide elevations of the proposed fence; front, left, right and gate. | Diana Barkume        | 03/20/2026  |
| Document Received           | ACA document upload  | Accela Administrator | 03/24/2026  |
| Payment Due                 |  | Diana Barkume        | 04/01/2026  |
| In Review                   | Updated By Script  | Accela Administrator | 04/01/2026  |

**LEGEND**

- existing to remain
- - - new construction
- - - property line
- - - setback or easement
- ▬ wood privacy fence
- decorative metal fence

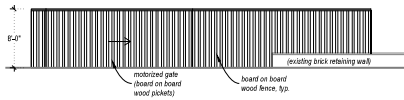
**PROPERTY LEGAL DESCRIPTION**

Lot 1, Block 1886  
Munger Place  
City of Dallas, Dallas County, Texas



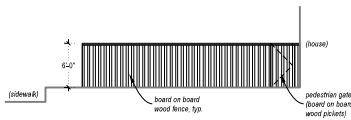
**FENCING (REAR ELEVATION)**

scale: 1/4" = 1'-0"



**FENCING (LEFT SIDE ELEVATION)**

scale: 1/4" = 1'-0"



**FENCING (FRONT ELEVATION)**

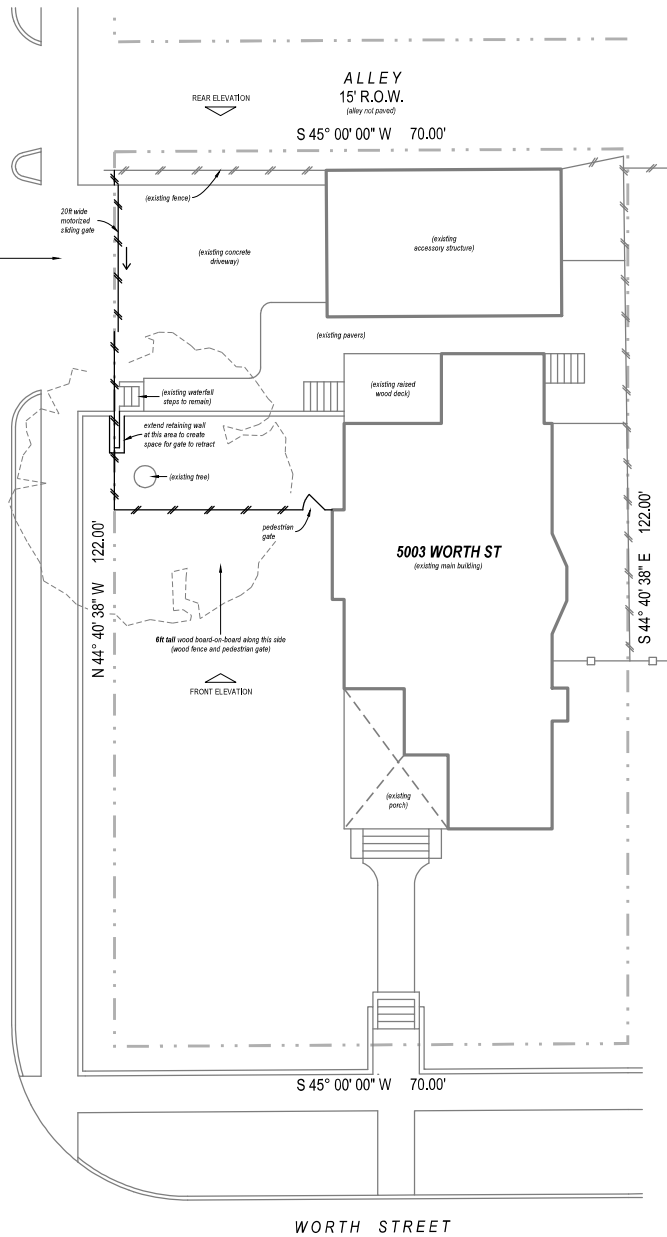
scale: 1/4" = 1'-0"

LEFT SIDE ELEVATION

6ft tall wood board-on-board along this side (wood fence and motorized gate)

20ft wide motorized riding gate

NORTH COLLETT AVENUE



**SITE PLAN**

scale: 1/4" = 1'-0"



Ripley Renovations  
COLLABORATE | CREATE



5003 Worth St.  
Dallas, TX 75214

|            |          |
|------------|----------|
| REVISION   | 03/27/26 |
| REVISION   |          |
| REVISION   |          |
| REVISION   |          |
| FOR PERMIT |          |

03/27/26  
FOR PERMIT

SITE PLAN

**A1.01**