



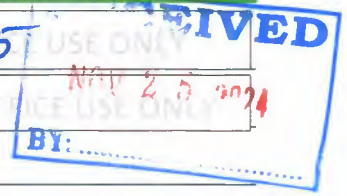
Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

234-155



Data Relative to Subject Property: _____

Date: _____

Location address: 429 Brookwood Dr Dallas, TX 75204 Zoning District: _____

Lot No.: 23 Block No.: 3/5982 Acreage: 0.237 Census Tract: 60.02

Street Frontage (in Feet): 1) _____ 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Mamba 23 Realty LLC

Applicant: Benjamin Lartey Telephone: 469-888-3384

Mailing Address: 6010 W Spring Creek Pkwy Suite 159 Zip Code: 75024

E-mail Address: bllartey@yahoo.com

Represented by: N/A Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception of for a 8.5 foot retaining wall max, topped by a 6 feet iron fence in the front yard and in the visibility triangle

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

A variance for a 8.5 foot retaining wall max, topped by a 6 feet iron fence in the front yard and in the visibility triangle. In order to make it a buildable lot by raising the grade on the hillside.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared

Benjamin Lartey

(Affiant/Applicant's name printed)

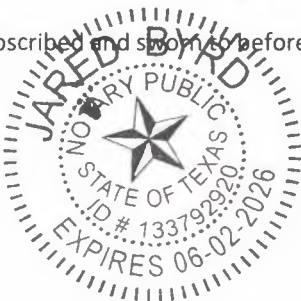
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted:

Benjamin Lartey
(Affiant/Applicant's signature)

Subscribed and sworn to before me this

25 day of November, 2024



Notary Public in and for Dallas County, Texas

PLAN REVIEW CHECK LIST - BDA

LOCATION ADDRESS: 929 Brookwood Dr CASE NO. BDA: _____

APPLICANT: Benjamin Iartey INTAKE DATE: _____

REVIEWER: Sara PANEL: _____ HEARING DATE: _____

ACREAGE: 0.2 LOT: 23 BLOCK: 3/5982 STAFF REFERRAL: YES NO

LAND USE: Single Family DEED RESTRICTIONS: YES # _____ NO _____ ZONING DISTRICT: R-7.5(A)

REQUIRED PLATTING: YES S# _____ NO _____ SHARED ACCESS YES _____ NO _____

COUNTY PLAT: YES _____ NO _____ CONSERVATION DISTRICT YES _____ NO

TYPE OF DEVELOPMENT S.E to Fence/Retaining wall ARTICLE XII FORM DISTRICTS YES _____ NO _____

DEMO PERMIT YES # _____ NO _____ CORNER LOT YES _____ NO _____

FLOOD PLAIN AREA YES _____ NO DOUBLE FRONTAGE YES _____ NO _____

VISIBILITY TRIANGLE 20' x 20' _____ 45' x 45' _____ THOROUGHFARE PLAN YES _____ NO

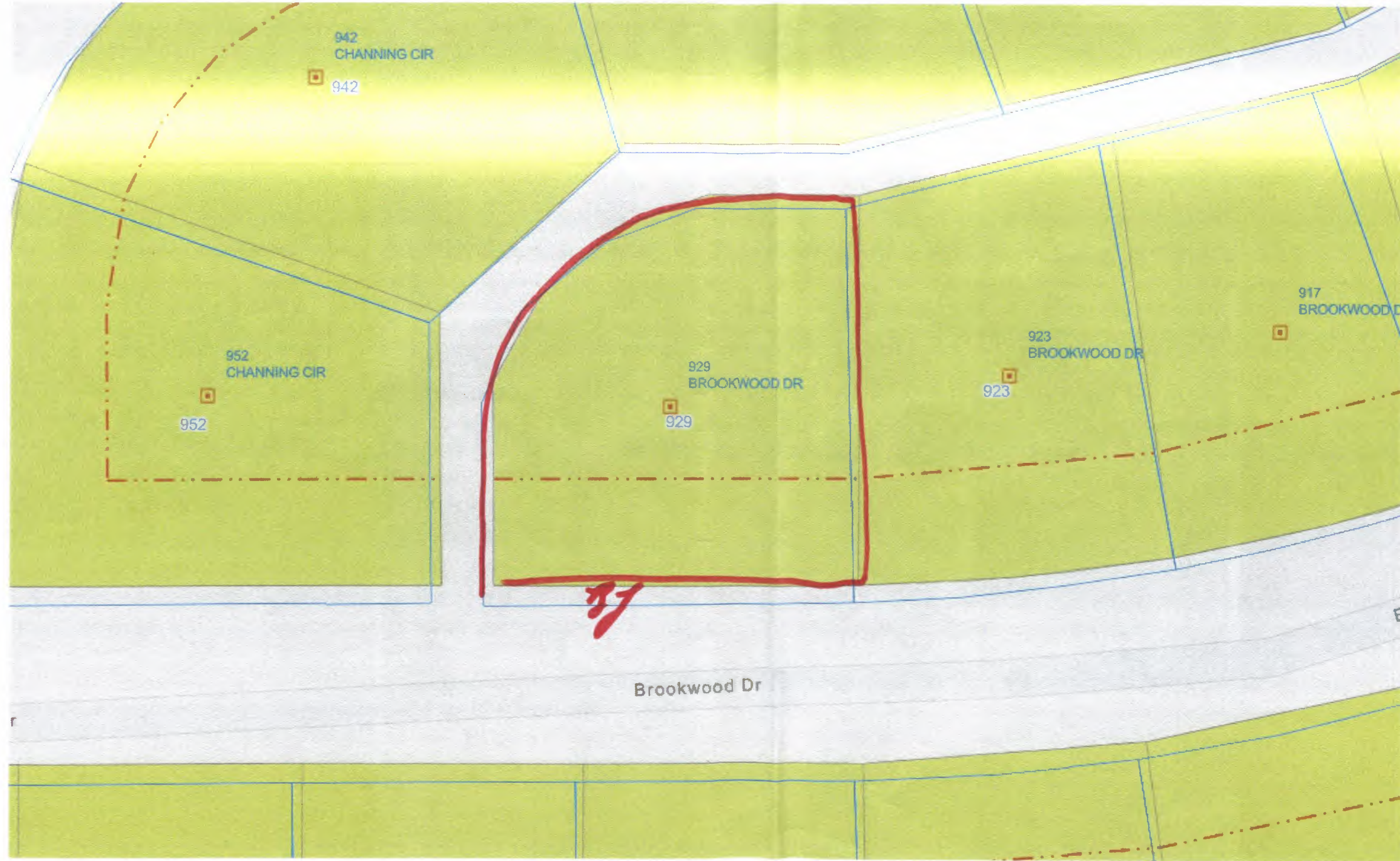
MAIN STRUCTURE		REQUIRED	PROPOSED			REQUIRED	PROPOSED
FRONT YARD SETBACK/51A-4.401		<u>25'</u> MIN	_____	SWIMMING POOL	YES	FRONT/SIDE/REAR	NO
SIDE YARD SETBACK/51A-4.402		<u>5'</u> MIN	_____	STORIES	_____	MAX	_____
REAR YARD SETBACK/51A-4.403		<u>5'</u> MIN	_____	FENCE HEIGHT/51A-4.602	_____	MAX	_____
SFD MAIN > 7,500 SQ. FT (TOTAL)		YES	NO	BUILDING HEIGHT	_____	MAX	_____
BUILDING FOOTPRINT		_____	_____	RPS/HT. PLANE REQUIRED	YES	RATIO	NO
LOT COVERAGE/51A-4.407		_____	MAX _____	LOT SIZE	_____	MIN	_____
ENCLOSED PARKING (MIN 20')	YES	FRONT/SIDE/REAR	NO	PARKING	_____	MIN	_____
				PARKING REDUCTION	_____	MIN	_____
ACCESSORY STRUCTURE		REQUIRED	PROPOSED			REQUIRED	PROPOSED
SQ. FT		_____	MAX _____	SIDE YARD SETBACK	_____	MIN	_____
HEIGHT		_____	MAX _____	REAR YARD SETBACK	_____	MIN	_____
25% OR LESS	YES NO	50% TOTAL OR LESS	YES NO	REAR 30%	YES NO	ADU	YES NO

- o Landscape - Chapter 51A - 10.125 (a) (1)
- o Fireplace may project up to 2' in setback - 12 SF MAX.
- o Cantilevered roof eaves & Balconies - 5' MAX in front yard setback
- o Cantilevered roof eaves - 3' MAX in S&R setback.
- o BALCONIES may not project in S&R setback.
- o Visibility triangle 20' x 20' (Alley&Driveway) _____
- o Visibility triangle 45' x 45' (Corner lots) _____
- o Sidewalks, drive approach & curbs required on ALL site plans
- o Fence height measured from
 - SFD FYSB - top of fence to grade inside and outside (greater controls)
 - SFD S/RSB - top of fence to grade inside
 - ALL OTHERS - top of fence to grade inside
- o Drive approach radius MIN. 5' from P.L. - ALL NSFD
- o Driveway width MIN 10' - MAX 30'
- o No structure within 3' of alley
- o Structures < 5' from property line require 1 HR rating walls
- o N.I.C Pools, Fence & Gate
- o Wing wall & bldg foundation separation required to be located in setback
- o Accessory Buildings located in the Rear 30% of the lot
 - < 15' HT (or main midpoint if < than 15' in height)
 - 0' side yard
 - 0' rear yard (EXCEPTION - alley MIN 3' from r.o.w)

NOTES/COMMENTS: 1) put the name of owner of the property in the parentheses - 2) show the the document who is the owner of nam ba 23 Realty LLC
3) site plan 4) Elevation of The Fence 10/30/24

929 BROOKWOOD

R-7.5 BUC 3/5982 LT 23



BOA23A-155

Global Land Surveying, Inc.

SERVING COLLIN, DALLAS AND DENTON COUNTIES SINCE 2002

"FLOOD INSURANCE RATE MAP"

JOB NO.: 21-09-035

ADDRESS: 929 BROOKWOOD DRIVE

LEGEND



SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100 YEAR FLOOD

ZONE A No base flood elevations determined

ZONE AE Base flood elevations determined

ZONE AH Flood depths of 1 to 3 feet usually areas of ponding; base flood elevations determined

ZONE AO Flood depths of 1 to 3 feet usually sheet flow on sloping terrain; average depths determined. For areas of advection flooding, velocities also determined

ZONE A99 To be protected from 100 year flood by Federal flood protection system under construction; no base flood elevations determined

ZONE V Coastal flood with velocity hazard wave action; no base flood elevations determined

ZONE VE Coastal flood with velocity hazard wave action; base flood elevations determined



FLOODWAY AREAS IN ZONE AE



OTHER FLOOD AREAS

ZONE X Areas of 500 year flood areas of 100 year flood with average depths of less than 1 foot or with damage areas less than 1 square mile, and areas protected by levees from 100-year flood



OTHER AREAS

ZONE X Areas determined to be outside 500 year floodplain

ZONE D Areas in which flood hazards are undetermined

UNDEVELOPED COASTAL BARRIERS



Identified 1983



Identified 1981



Otherwise Protected Areas

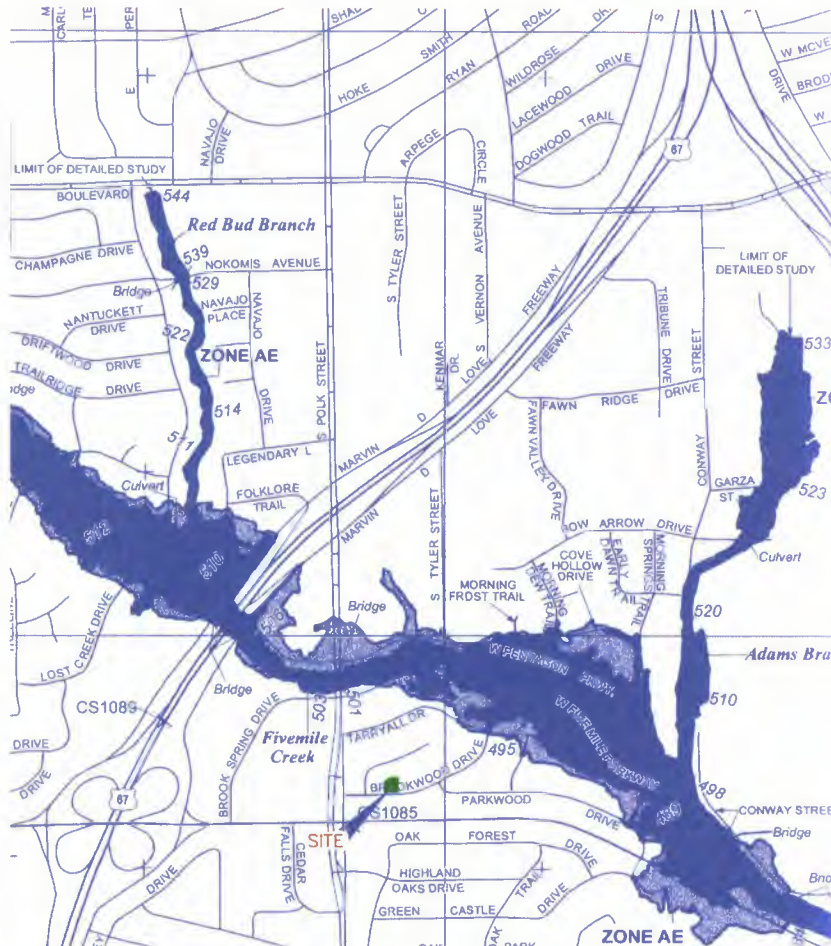
Coastal barrier areas are normally located within or adjacent to Special Flood Hazard Areas.

Headwater boundary

Floodway Boundary

Zone D Boundary

Boundary Dividing Special Flood Hazard Zones, and Boundary Dividing Areas of Different Coastal Base Flood Elevations Within Special Flood Hazard Zones



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0480K

FIRM FLOOD INSURANCE RATE MAP DALLAS COUNTY, TEXAS AND INCORPORATED AREAS

PANEL 480 OF 725
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
DALLAS CITY OF	480171	0480	K

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
48113C0480K
MAP REVISED
JULY 7, 2014

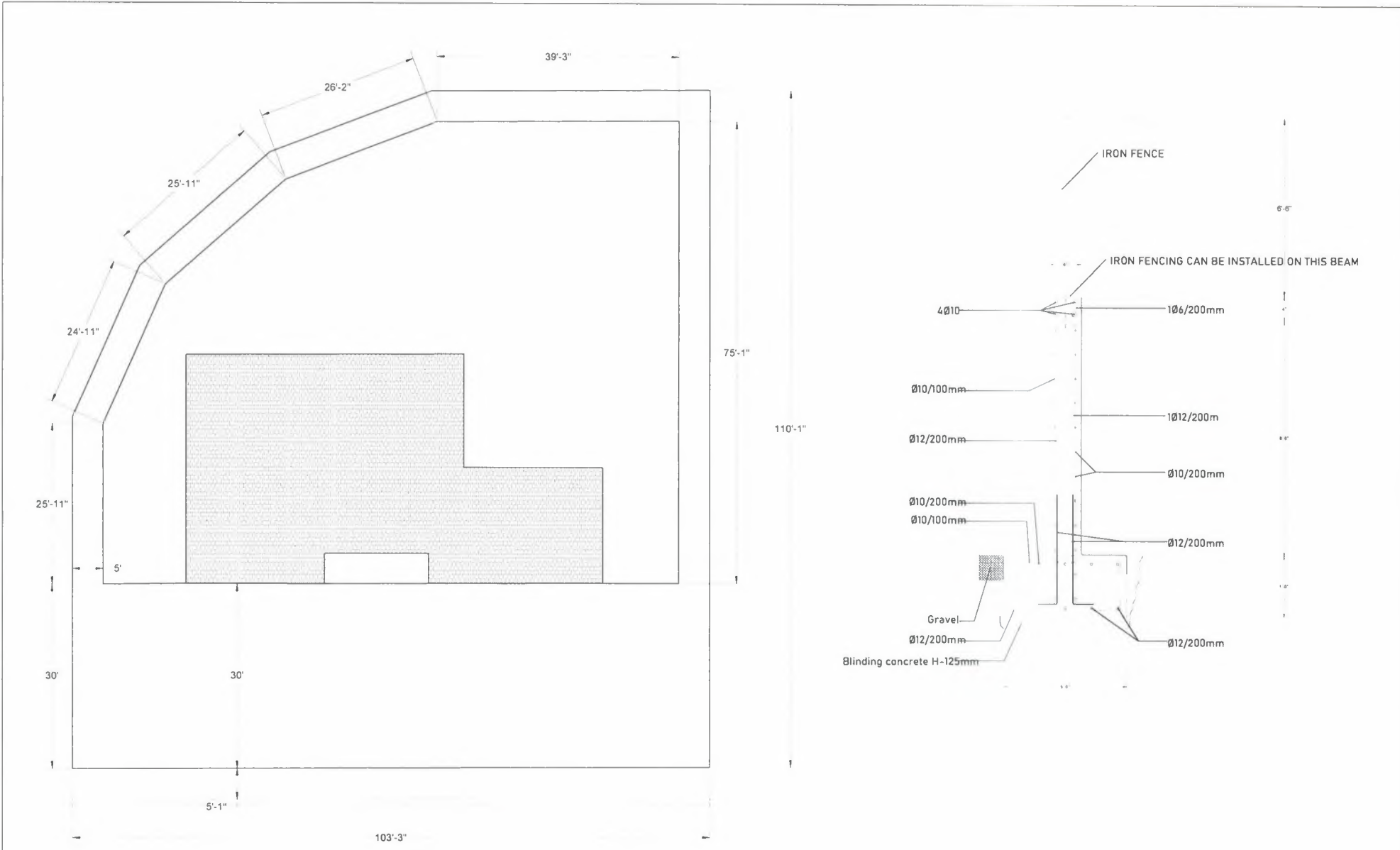
Federal Emergency Management Agency

BDA234-155

RETAINING WALL PROJECT

PROPOSED RESIDENCE AT 929,
BROOKWOOD DRIVE DALLAS,
TX 75224

BDA234-155



PROJECT:
RETAINING WALL PROJECT
 929 BROOKWOOD DRIVE DALLAS, TX 75224

CLIENT'S NAME
 CLIENT'S SEAL
 DATE

NOTES
 *THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
 NO DIMENSIONAL OR ANY OTHER CHANGE ALLOW WITHOUT ARCHITECT'S CONSENT.
 IF ANY DISCREPANCY OR MEASUREMENTS OR DETAILS TO BE RECTIFIED BEFORE ANY SITE OPERATION.
 YES! COPYRIGHT RESERVED

NOTE	REVISION	INITIALS	DATE

DWG TITLE: SITE PLAN
 DWG NO: LARD1
 DWG SCALE: NOT TO SCALE
 DRAWN BY:
 DATE: 2024 08 17

CHECKED BY: ARCHITECT'S / ENGINEER SIGNATURE
 ARCHITECT'S SEAL
 DATE: 2024 09 17

BDA234-155

Wall Height Adjustments:

The height of the retaining wall is designed to be flexible and can be adjusted on-site to accommodate varying elevations. The maximum height of the retaining wall is as shown in the detailed drawing and should be used as a reference for installation.

Site-Specific Considerations:

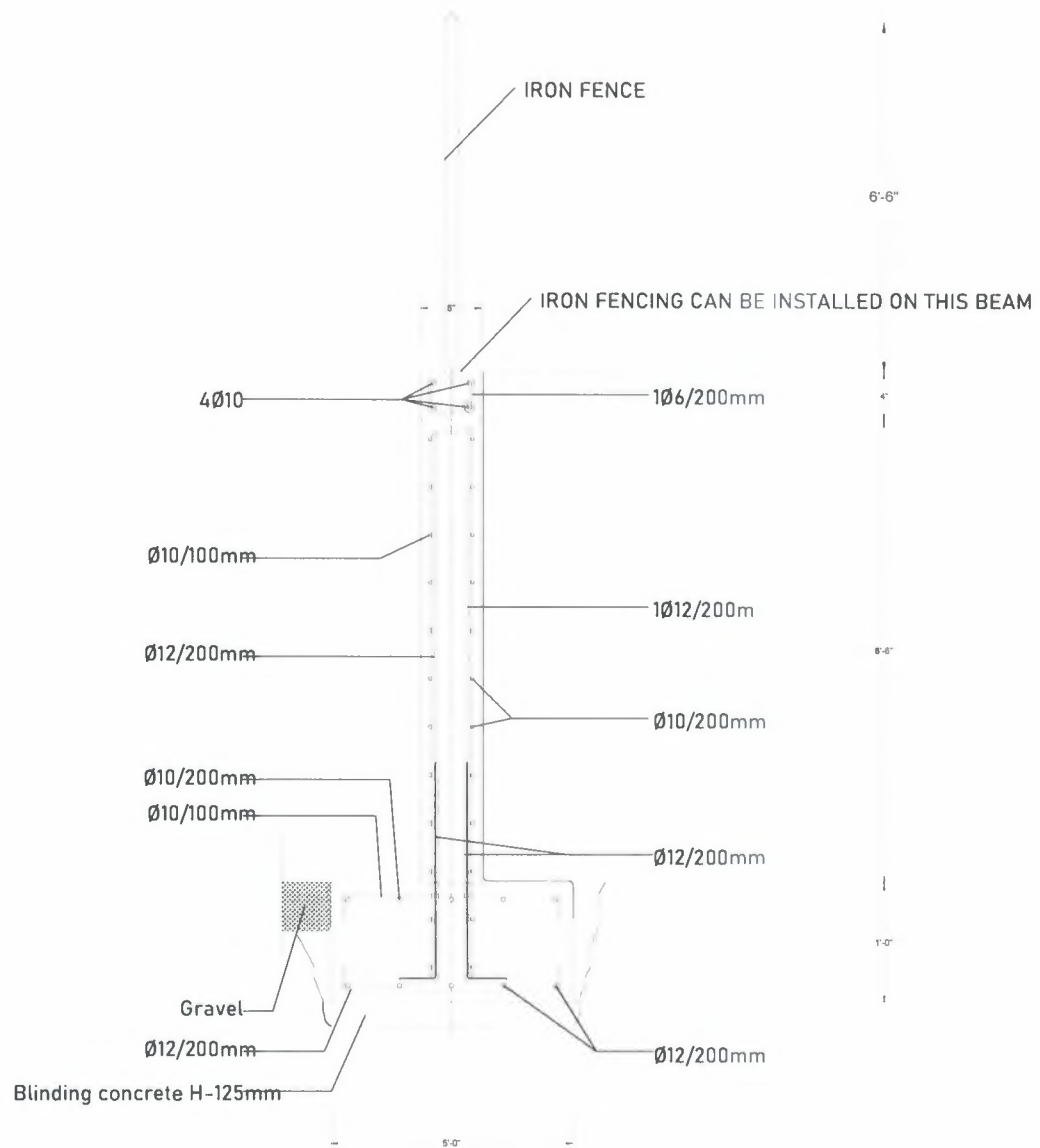
Any changes in wall height must be evaluated based on the site's topography and drainage requirements. Ensure that the structural integrity and design intent are maintained when modifying the height according to the site elevations.

Iron Fence Installation:

An iron fence can be securely installed on a small beam at the top of the retaining wall. This beam is positioned to provide support for the fence and will be placed during the wall's construction. However, the fence itself should only be installed after the retaining wall has been completed and cured to ensure stability and structural performance.

Construction Phases:

Construction of the retaining wall must follow the sequence outlined in the project specifications. The wall must be built first, allowing for any necessary adjustments on-site. The installation of the iron fence should occur once the wall has achieved its full strength.



PROJECT:
RETAINING WALL
PROJECT

929 BROOKWOOD DRIVE DALLAS, TX 75224

CLIENT'S NAME

CLIENT'S SEAL

DATE

NOTES

* THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
* NO DIMENSIONAL OR ANY OTHER CHANGE ALLOW WITHOUT ARCHITECT'S CONSENT.
* IF ANY DISCREPANCY ON MEASUREMENTS OR DETAILS TO BE RECTIFIED BEFORE ANY SITE OPERATION.
* (C) COPYRIGHT RESERVED

NO.	REVISION	REMARKS	DATE

DWG TITLE

DWG NO

DWG SCALE

DRAWN BY

DATE

RETAINING WALL SECTION

LAW02

NOT TO SCALE

2024 09 17

DATE

CHECKED BY

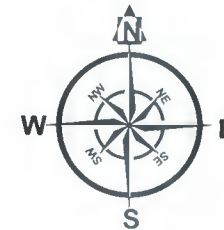
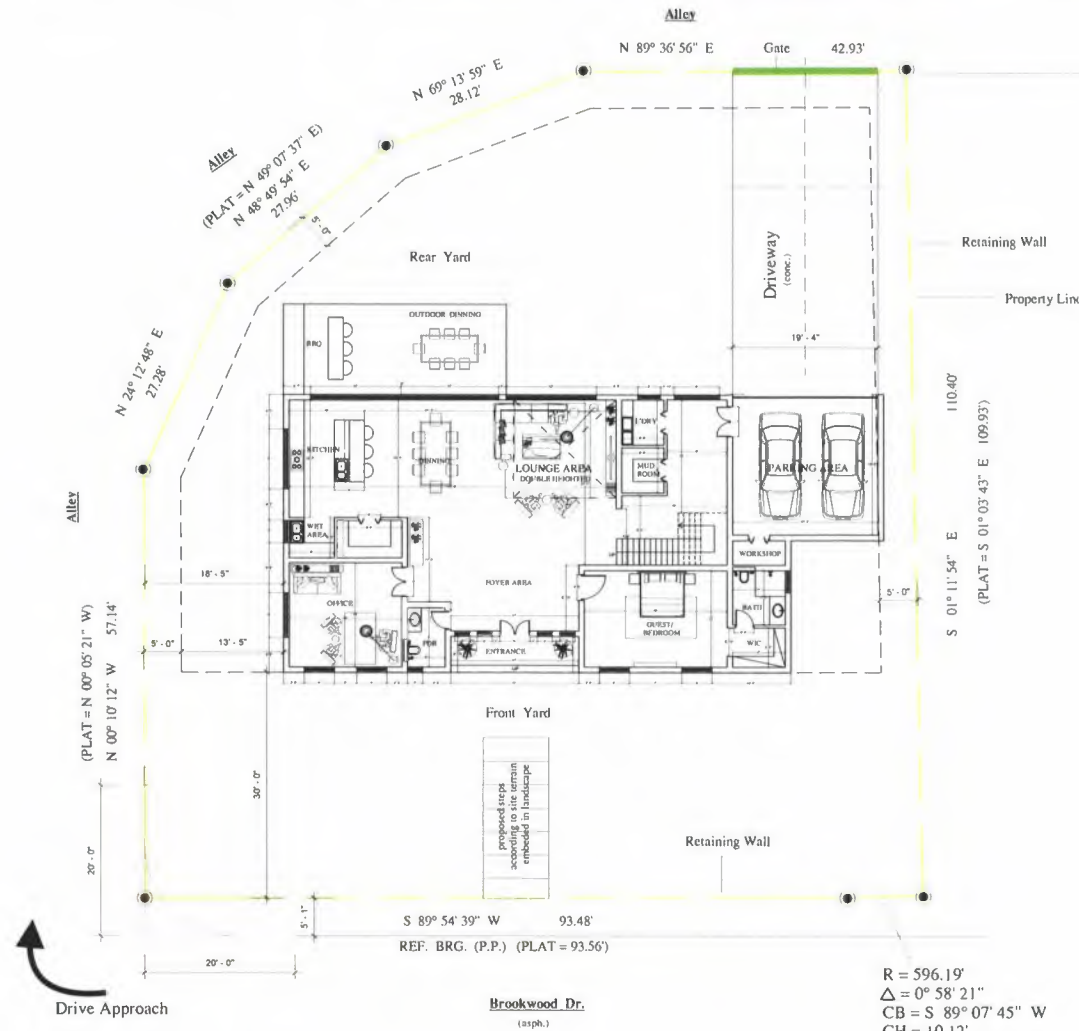
ARCHITECT'S / ENGINEER SIGNATURE

ARCHITECT'S SEAL

DATE 2024 09 17

BDA234-155

ADDRESS: 929 BROOKWOOD DRIVE DALLAS, TX 75224



CLIENT :
MAMBA 23 REALTY LLC

PROJECT :
BUILDING DEVELOPMENT

SHEET TITLE:
SITE PLAN

LOCATION :
929 BROOKWOOD DRIVE DALLAS, TX 75224

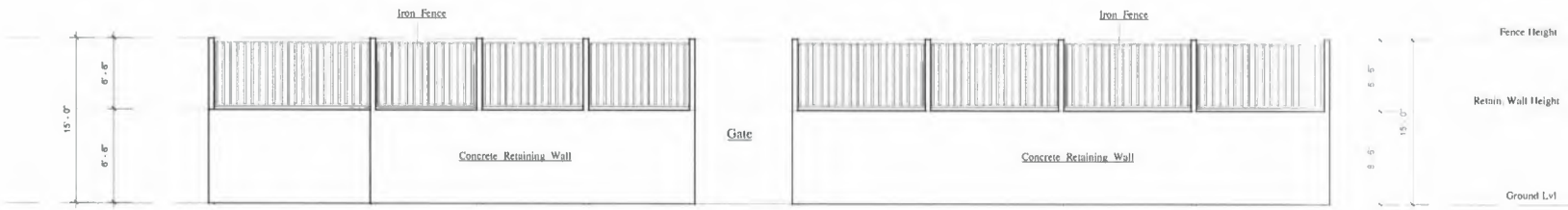
ARCHITECT:
Manix-arc
 manixarc01@gmail.com

DRAWN :	Manix
CHECKED :	Manix
DATE :	Nov., 2024
SCALE :	STATED

DRAW NO :
A101

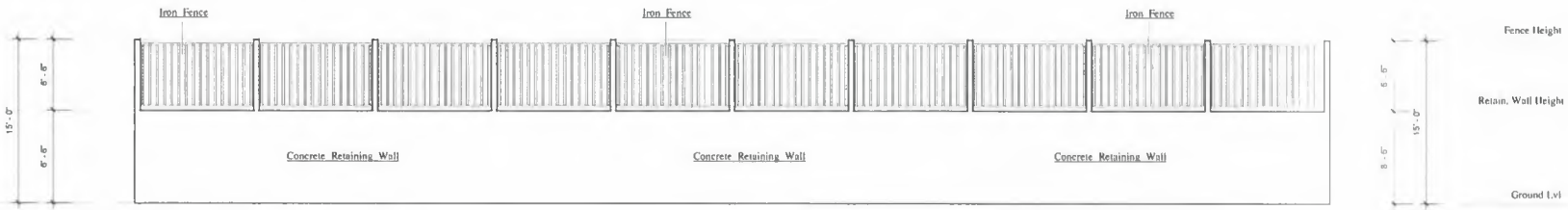
1 Site Plan
 1/16" = 1'-0"

BDA234-155



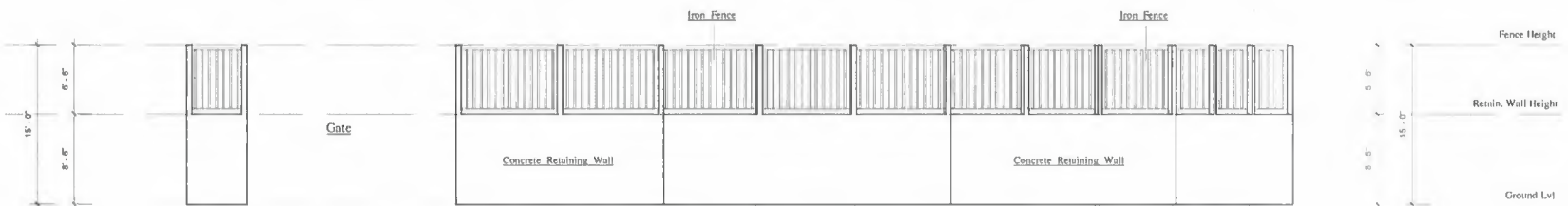
1 South side property fence elevation

3/32" = 1'-0"



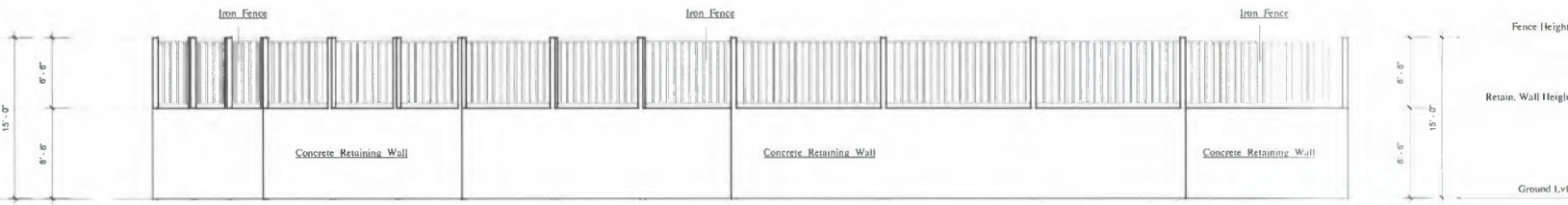
2 East side property fence elevation

3/32" = 1'-0"



3 North side property fence elevation

3/32" = 1'-0"



4 West side property fence elevation

3/32" = 1'-0"

CLIENT :

MAMBA 23 REALTY LLC

PROJECT :

BUILDING DEVELOPMENT

SHEET TITLE :

RETAINING WALL AND FENCE ELEVATION

LOCATION :

929 BROOKWOOD DRIVE DALLAS, TX 75224

ARCHITECT :

Manix-arc

manixarc01@gmail.com

DRAWN : Manix

CHECKED : Manix

DATE : Nov., 2024

SCALE : STATED

DRAW NO :

A102

BDA234-15S