



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA BDA 234-154

Data Relative to Subject Property: 6529 VICTORIA AVE Date: 11/20/24

Location address: 6529 VICTORIA AVE Zoning District: PD 67

Lot No. B Block No. P 2602 Acreage 0.14 Census Tract \_\_\_\_\_

Year of Construction: 59

To the Honorable Board of Adjustment.

Owner of Property (per Warranty Deed): 6529 VICTORIA LLC

Applicant: DANIEL LE Telephone: 339-674-8008

Mailing Address: 108 N BERNICE DRIVE, GARLAND Zip Code: 75042

E-mail Address: DANNY@FB0CAPITAL.COM

Represented by: DANIEL LE Telephone: 339-674-8008

Mailing Address: 108 N BERNICE DRIVE, GARLAND Zip Code: 75042

E-mail Address: DANNY@FB0CAPITAL.COM

Affirm that an appeal has been made for a Variance  or Special Exception  of \_\_\_\_\_

VARIANCE TO HEIGHT REGULATIONS IN PD-67 TRACT 5

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

WE WERE ISSUED A BUILDING PERMIT. ZONING WAS PD67 TRACT 3/D(A) BUT CHANGED TO SINGLE FAMILY. WE HAVE ALREADY FRAMED.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

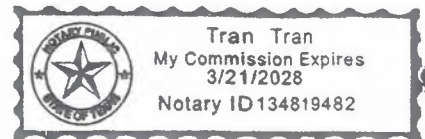
### Affidavit

Before me the undersigned on this day personally appeared Daniel Le.

(Affiant/Applicant's name printed)

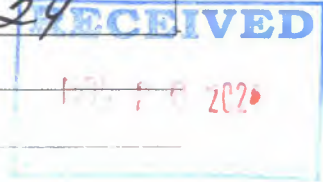
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: [Signature]  
(Affiant/Applicant's signature)



Subscribed and sworn to before me this 28 day of July 2024

[Signature]  
Notary Public in and for Dallas County, Texas





CITY OF DALLAS

August 7, 2024

DANIEL LE  
F80 CONSTRUCTION, INC  
4804 PIER NINE DRIVE  
FARMINGTON, TX 78015

Via Email

**RE: Project/Permit # 2301031121 and 2301041101**

This letter serves as official notification that project 2301031121 and master permit 2301041101, for the construction of a new duplex at 6529 Victoria Ave, Texas 75209, were issued in error by the Planning and Development Department (PDV) and are hereby revoked for the following reasons:

- Structure exceeds the maximum allowed height for the district per Dallas Development Code § 51P-67.107(c)(1).
- Structure exceeds the maximum allowed lot coverage of 40 percent for the district per Dallas Development code § 51P-67.107(c)(2).
- Non-compliant roof type per the design standards for Planned Development No. 67 per Dallas Development Code § 51P-67.107(c)(3).

**Next Steps:**

Please reach out to Planning and Development to discuss any of the following options:

- **Option 1 – Board of Adjustment Administrative Official Appeal:** The Board of Adjustment is charged with the duty to hear and decide appeals from decisions of administrative officials made in the enforcement of the zoning ordinance of the city as listed in 51A-3.102(d)(1) & 51A-4.703(a)(2).
- **Option 2 – Submit New Permit:** Submit new plans and permit application for a structure compliant with all Planned Development No. 67 standards and conditions.



CITY OF DALLAS

Please note, these options are provided as a means toward potential compliance and are not intended to constitute legal advice. Please do not hesitate to reach out to Jason Pool, Assistant Director (I), should you have any questions or require additional information.

Should the property owner choose not to take any of the above actions, this matter will be referred to the City's Department of Code Enforcement for enforcement.

This decision is final unless appealed to the Board of Adjustment in accordance with Section 51A-4 703(a)(2) of the Dallas City Code within 20 days after written notice of the above action.

Thank you for your prompt attention to this matter.

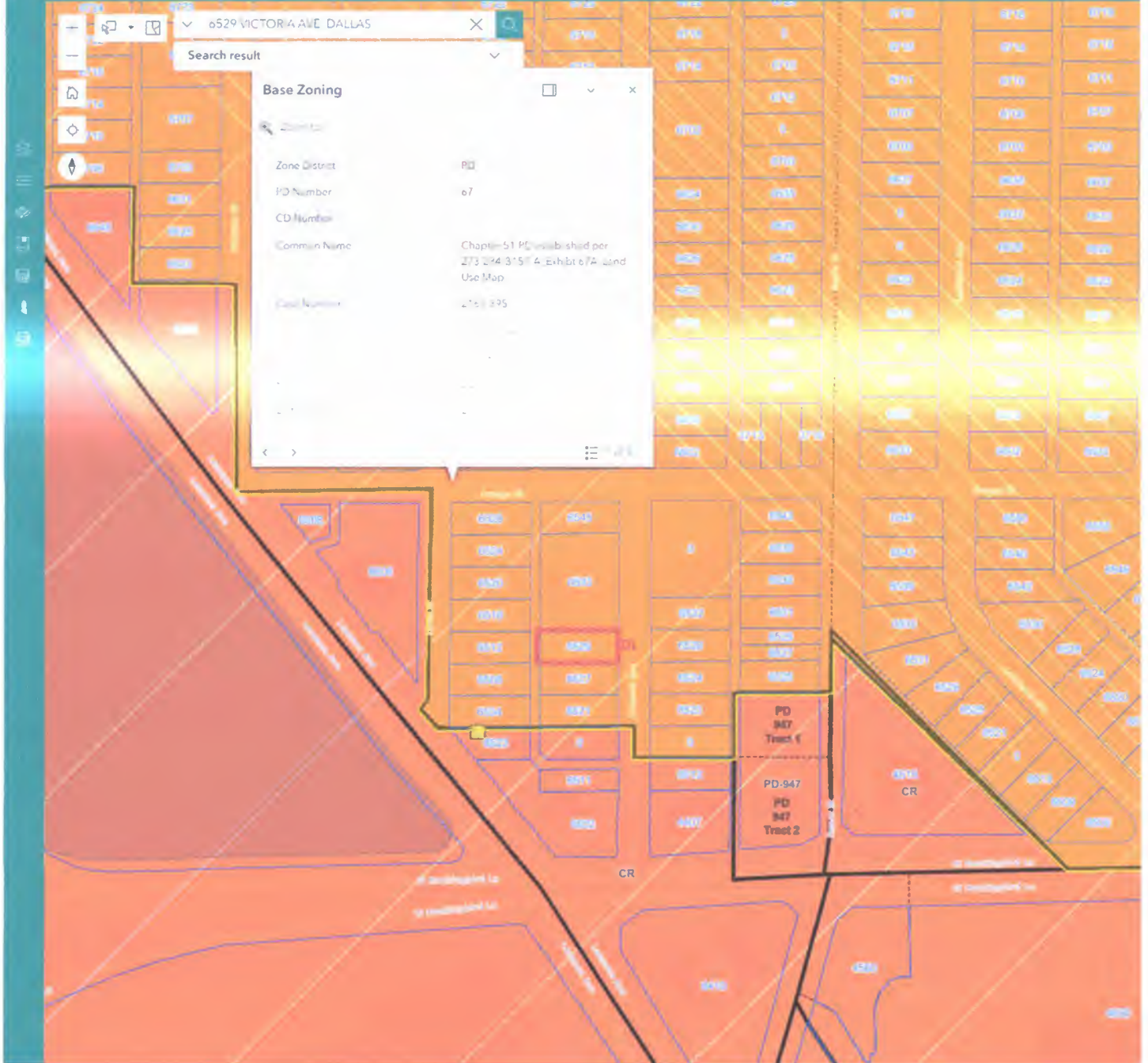
A handwritten signature in black ink, appearing to read 'Jason Pool'.

Jason Pool  
Assistant Director (I)  
Customer Experience  
214-948-4392  
[Jason.Pool@Dallas.gov](mailto:Jason.Pool@Dallas.gov)

c

Emily Liu, Director  
M. Samuel Eskander, Deputy Director/Building Official (I)  
Vernon Young, Deputy Director  
Michael Herron, Zoning Inspections Supervisor  
Jill Haning, Assistant City Attorney

Christopher Christian, Director  
Jeremy Reed, Assistant Director  
Alfred Beecham, Manager  
Stormy Gonzalez, Manager  
Charlotta Riley, Assistant City Attorney

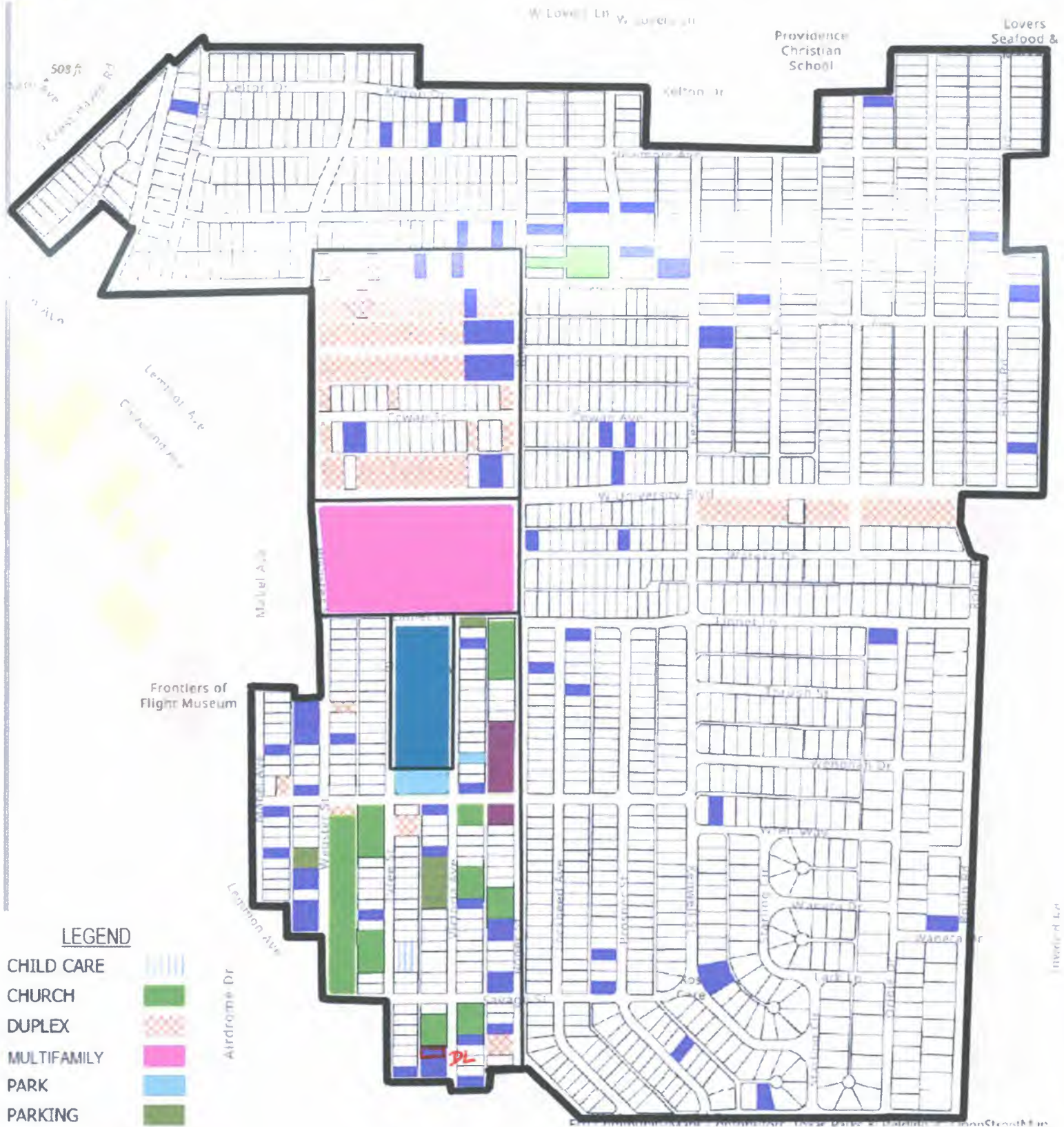




32324

# Exhibit 67A – Land Use Map

22 1 5 6 6



- LEGEND**
- CHILD CARE 
  - CHURCH 
  - DUPLEX 
  - MULTIFAMILY 
  - PARK 
  - PARKING 
  - REC CTR 
  - SCHOOL 
  - SINGLE FAMILY 
  - VACANT 

\* New uses reflect current land use as of 7/27/2022, prior to adoption by City Council (Ord 32324). Previous existing land use data has been superseded by this exhibit.

(E) The issuance of a right-of-way landscape permit under this subsection does not excuse the property owner, his agents, or employees, from liability for the installation or maintenance of trees or other amenities in the public right-of-way.

(e) Skybridges. Skybridges as defined in Chapter 51A are prohibited on Tract II.

(f) Signs. Signs located on the Property must comply with the provisions for non-business zoning districts contained in Article VII. (Ord. Nos. 23873; 25219; 25423; 32324)

SEC. 51P-67.107. TRACT III USES AND DEVELOPMENT STANDARDS.

(a) In general. Except as provided in this section, land use must remain as indicated on the "Existing Land Use" map with single-family uses and other permitted uses regulated by the requirements of the R-5(A) Single[-]Family District and with duplex uses and other permitted uses regulated by the requirements of the D(A) Duplex District and with the development of vacant property and the redevelopment of property governed by the provisions of Section 51P-67.110 below. Lots 27 through 31 of City Block M/2603 may be used for P(A) Parking District uses subject to the approved Tract III parking district site plan (Exhibit 67C).

(b) Duplex uses. Duplex use is permitted on property fronting Roper Street and Mabel Avenue.

(c) Single family and duplex structures.

(1) Height. Maximum structure height is 25 feet. No portion of the structure may be greater than 30 feet above grade.

(2) Lot coverage. Maximum lot coverage is 40 percent for residential structures.

(3) Roofs. When the height of a roof is above 20 feet, 90 percent of the roof of the main structure must be hip and gable. (Ord. Nos. 25219; 25423; 29890; 32324)

SEC. 51P-67.108. TRACT IV USES AND DEVELOPMENT STANDARDS.

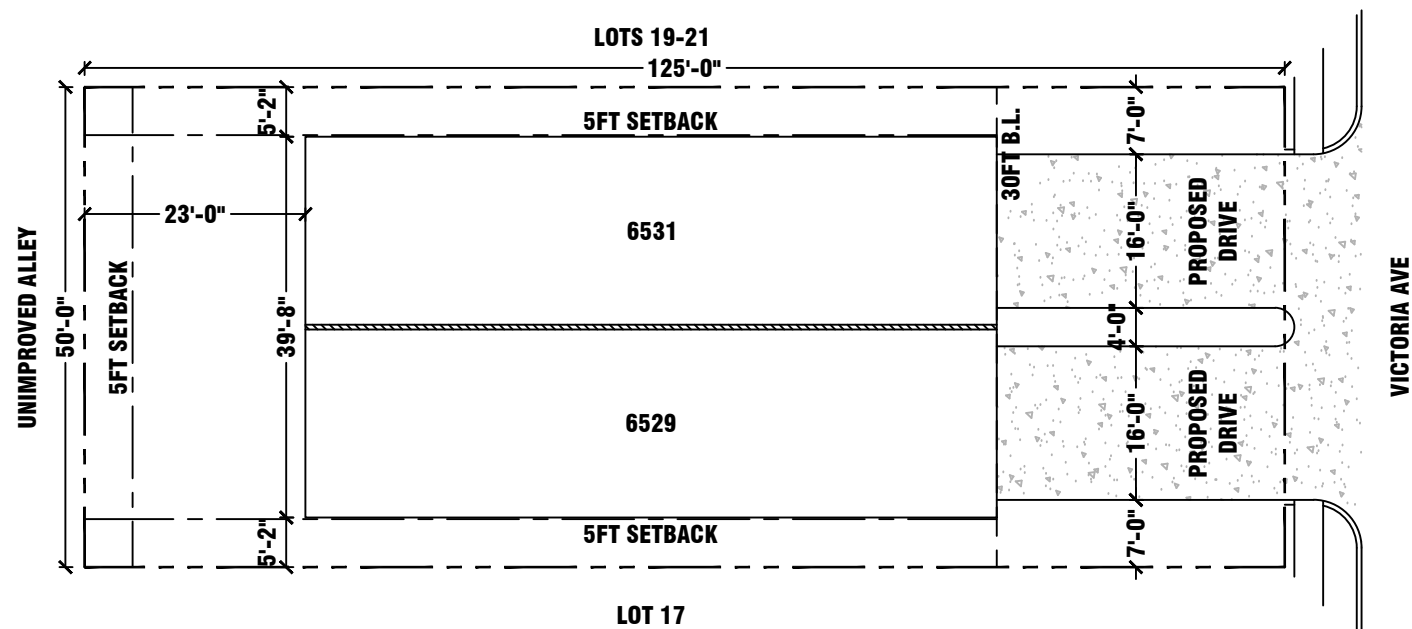
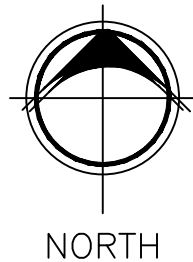
(a) In general. Except as provided in this section, land use must remain as indicated on the "Existing Land Use" map with single family uses and other permitted uses regulated by the requirements of the R-7.5(A) Single Family District and with duplex uses and other permitted uses regulated by the requirements of the D(A) Duplex District, with the development of vacant property and the redevelopment of property governed by the provisions of Section 51P-67.110 below.

(b) Single family and duplex structures.

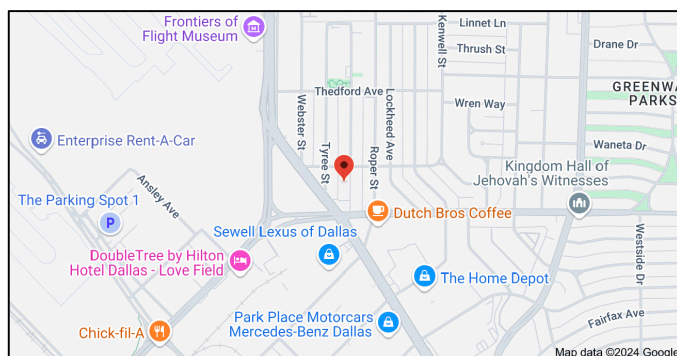
(1) Height. Maximum structure height is 25 feet. No portion of the structure may be greater than 30 feet above grade.

(2) Maximum lot coverage. Maximum lot coverage is 40 percent for residential structures.

(3) Roofs. When the height of a roof is above 20 feet, 90 percent of the roof of the main structure must be hip and gable. (Ord. Nos. 23873; 25219; 25423; 32324)



1 SITE PLAN  
C1.0 SCALE: 1" = 20'-0"



2 VICINITY MAP  
C1.0 FOR REFERENCE ONLY

**LEGAL DESCRIPTION**  
**WEBSTER & WOOD NORTH PARK**  
**BLOCK P / 2606 LOT 18**

LOT DESCRIPTION	
LIVING AREA (PER UNIT)	2,120 S.F.
GARAGE (PER UNIT)	406 S.F.
TOTAL AREA	5,052 S.F.
FOOTPRINT	2,500 S.F.
LOT SIZE	6,115 S.F.
% OF LOT COVERAGE	40.9%



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**CONSTRUCTION CONCEPTS INC.**

"Planning and Designing a Better Tomorrow"

317 E. Jefferson Blvd.  
Dallas, TX. 75203  
Tel. : (214) 946-4300

Fax : (214) 948-9544

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CONSTRUCTION CONCEPTS, INC. WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address 6529-31 VICTORIA AVE DALLAS, TX 75209	Project SITE PLAN	Scale 1"=20'-0"
Sheet <b>C1.0</b>	Date 11/20/24	Drawn By AC





# DANNY LE

6529/6531 VICTORIA AVE  
DALLAS, TEXAS 75209  
OCTOBER 17TH, 2024

## NEW CONSTRUCTION

### PROJECT INFORMATION

ZONING	PD 67 - TRACT 3 - D(A)
LEGAL DESCRIPTION	WEBSTER & WOODS NORTH PARK BLK P/2606 LT 18
CONSTR TYPE	V-B
CLIMATE ZONE	ZONE 3A (MOIST)
HOUSE DESCRIPTION	THREE STORY DUPLEX RESIDENCE 4 BEDROOMS, 3.5 BATHROOMS TWO CAR ATTACHED GARAGE

### SHEET INDEX

G0.00	COVER SHEET
A1.05	ROOF PLAN
A1.01	1ST LEVEL - FLOOR PLAN
A1.02	2ND LEVEL - FLOOR PLAN
A1.03	3RD LEVEL - FLOOR PLAN
A2.01	ELEVATIONS
A2.02	ELEVATIONS



PROJECT AREA CALCULATIONS			
PRPSD. LIVING AREA - UNIT 1 (AC)		PRPSD. LIVING AREA - UNIT 2 (AC)	
1ST LEVEL FLOOR PLAN	916 S.F.	1ST LEVEL FLOOR PLAN	916 S.F.
2ND LVL FLOOR PLAN	1,210 S.F.	2ND LVL FLOOR PLAN	1,210 S.F.
3RD LVL FLOOR PLAN	233 S.F.	3RD LVL FLOOR PLAN	233 S.F.
TOTAL LIVING AREA (AC)	2359 S.F.	TOTAL LIVING AREA (AC)	2359 S.F.
PRPSD. NON CONDITIONED AREA - UNIT 1		PRPSD. NON CONDITIONED AREA - UNIT 2	
GARAGE	403 S.F.	GARAGE	403 S.F.
LOT USAGE			
TTL CONDITIONED AREA (AC)	4,718 S.F.	LOT SIZE	6,250 S.F.
PERIMETER (AC)	132 F.	NON ROOF AREA	3,612 S.F.
TTL UNDER ROOF	5,524 S.F.	% OF LOT	42.21 %
FOOTPRINT	2,638 S.F.		

#### DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.  
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#### DISCLAIMER

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### BUILDING CODE

01 IRC 2021 INTERNATIONAL RESIDENTIAL CODE

SEAL

SEAL

REVISIONS	
DRAFTER	SENT DATE

ADDRESS  
6529/6531 VICTORIA AVE  
DALLAS, TEXAS  
75209

DATE  
**10/17/24**

DRAWN BY  
**FB**

CHECKED BY  
**ER**

DESCRIPTION  
THREE STORY  
DUPLEX  
4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
TWO CAR ATTACHED GARAGE (PER UNIT)

SCALE  
**NTS**

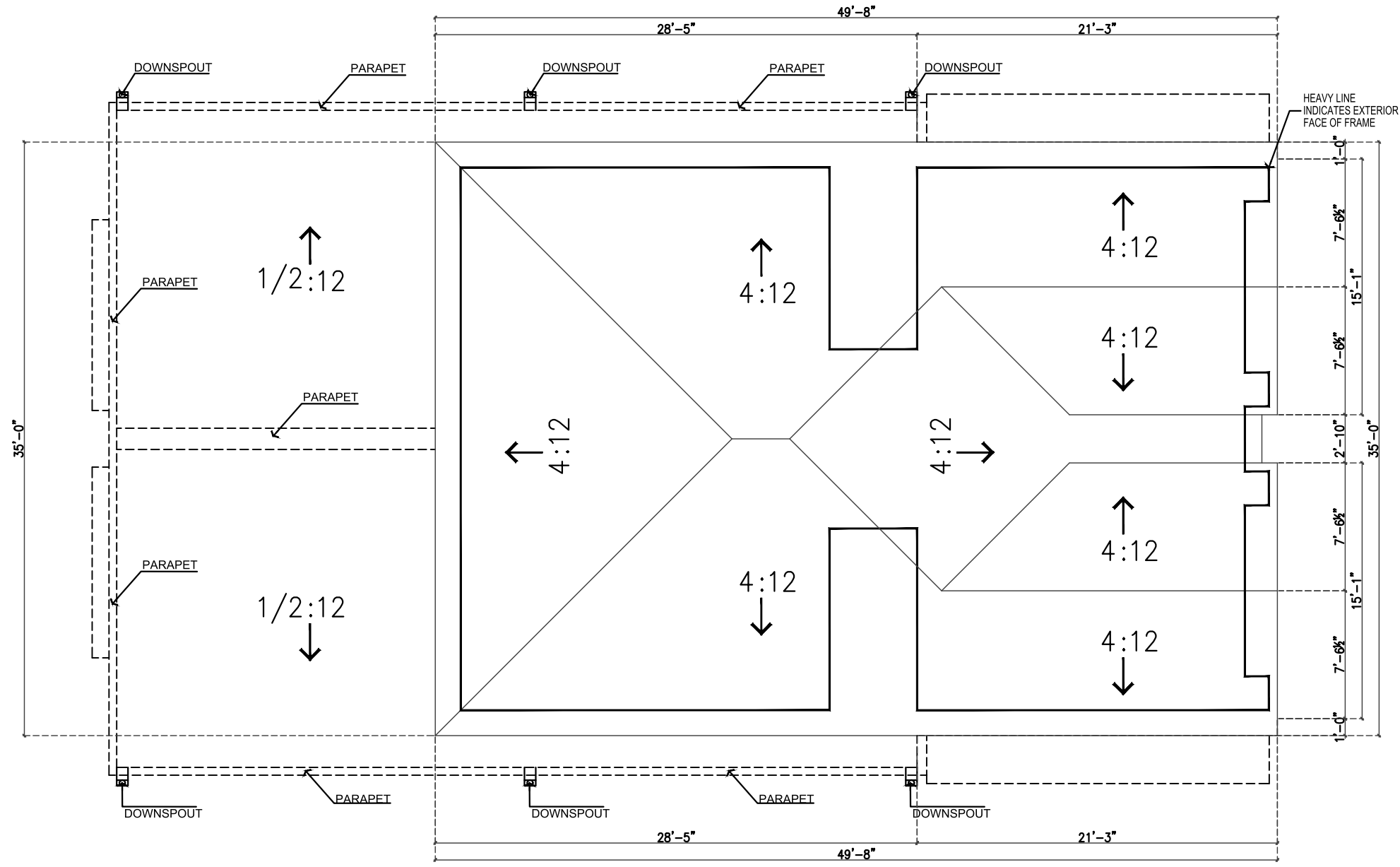
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**COVER PAGE**

SHEET #  
**G0.00**

FILE NAME  
**G0.00\_COVER\_SHEET**



SEAL



REVISIONS	
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ADDRESS  
 6529/6531 VICTORIA AVE  
 DALLAS, TEXAS  
 75209

DATE  
**10/17/24**

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**FB**

CHECKED BY  
**ER**

DESCRIPTION  
 THREE STORY  
 DUPLEX  
 4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
 TWO CAR ATTACHED GARAGE (PER UNIT)

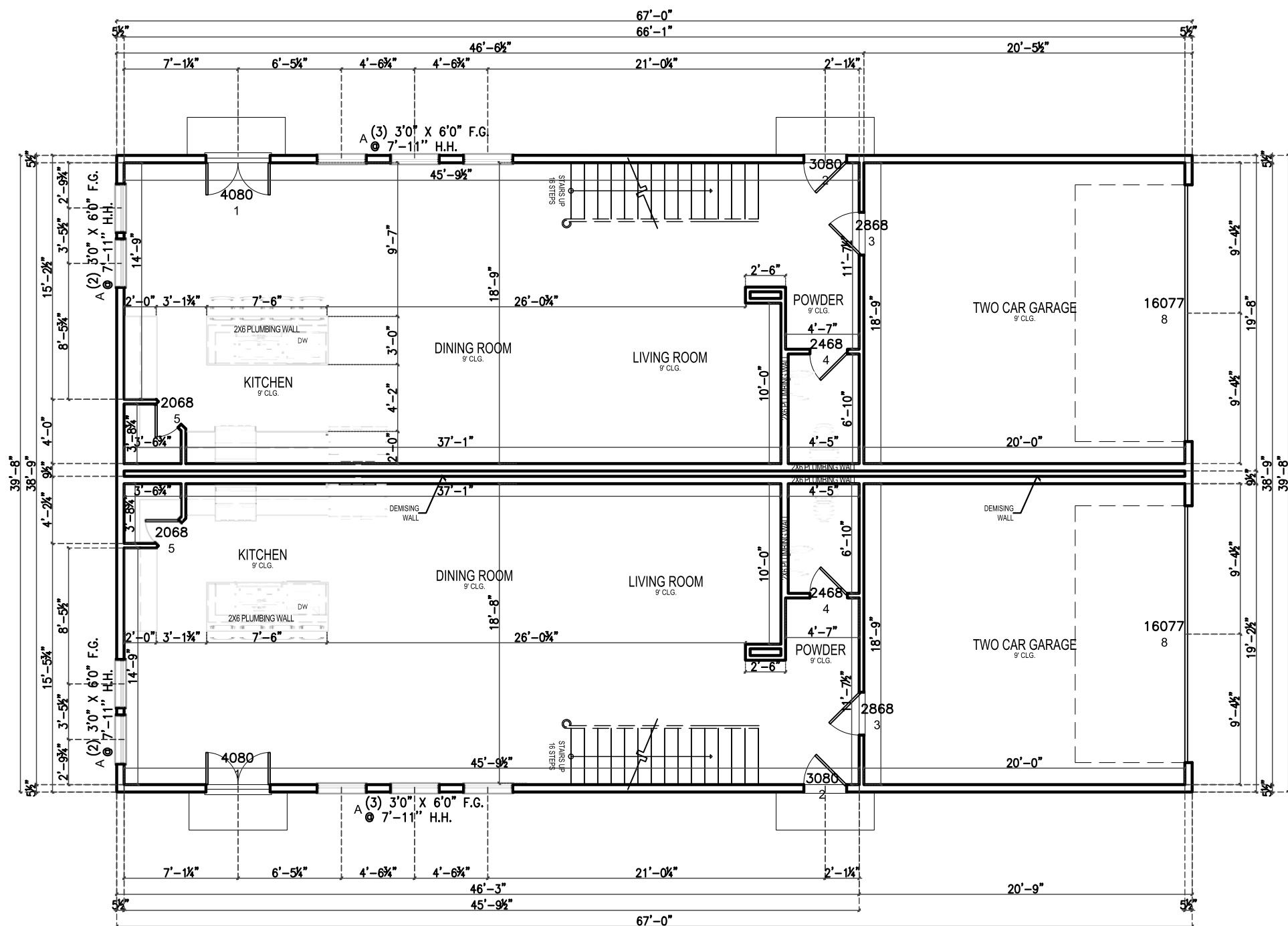
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**1/8" = 1'-0"**

SHEET TITLE  
**ROOF PLAN**

SHEET #  
**A1.05**

FILE NAME  
**A1.05\_ROOF\_PLAN**

**1** ROOF PLAN  
 A1.05 1/8" = 1'-0"



**1** 1ST LEVEL - FLOOR PLAN  
 A1.01 1/8" = 1'-0"

SEAL

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ADDRESS  
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 DALLAS, TEXAS  
 75209

DATE  
**10/17/24**

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**ER**

DESCRIPTION  
 THREE STORY  
 DUPLEX  
 4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
 TWO CAR ATTACHED GARAGE (PER UNIT)

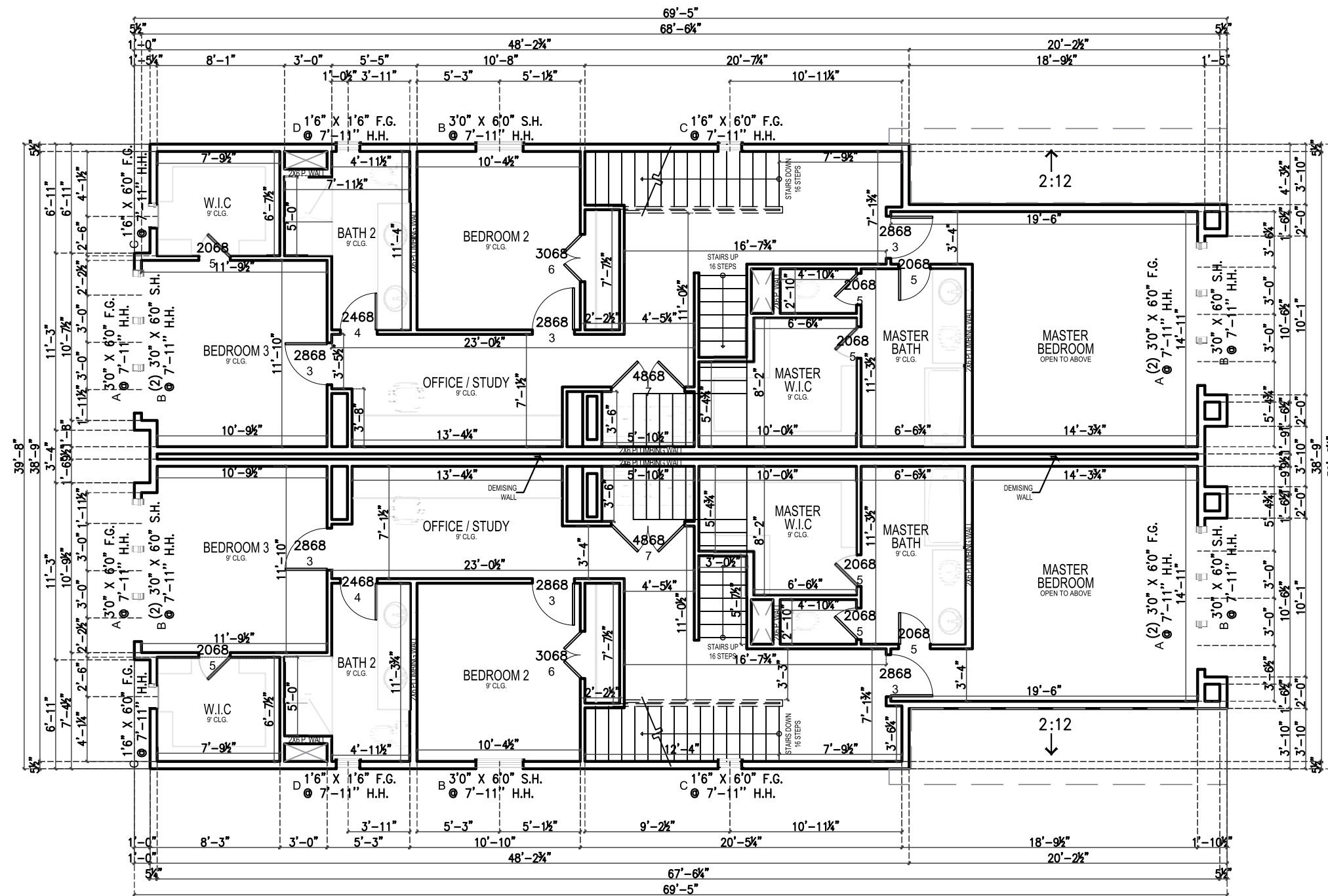
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**1/8" = 1'-0"**

SHEET TITLE  
**FLOOR PLAN**

SHEET #  
**A1.01**

FILE NAME  
**A1.01\_FLR1\_PLAN**

PROJECT AREA CALCULATIONS			
PRPSD. LIVING AREA - UNIT 1 (AC)		PRPSD. LIVING AREA - UNIT 2 (AC)	
1ST LEVEL FLOOR PLAN	916 S.F.	1ST LEVEL FLOOR PLAN	916 S.F.
2ND LVL FLOOR PLAN	1,210 S.F.	2ND LVL FLOOR PLAN	1,210 S.F.
3RD LVL FLOOR PLAN	233 S.F.	3RD LVL FLOOR PLAN	233 S.F.
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LOT USAGE			
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PERIMETER (AC)	132 F.	NON ROOF AREA	3,612 S.F.
TTL UNDER ROOF	5,524 S.F.	% OF LOT	42.21 %
FOOTPRINT	2,638 S.F.		



**1** 2ND LEVEL - FLOOR PLAN  
 A1.02 1/8" = 1'-0"

PROJECT AREA CALCULATIONS			
PRPSD. LIVING AREA - UNIT 1 (AC)		PRPSD. LIVING AREA - UNIT 2 (AC)	
1ST LEVEL FLOOR PLAN	916 S.F.	1ST LEVEL FLOOR PLAN	916 S.F.
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SEAL

REVISIONS	
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ADDRESS  
 6529/6531 VICTORIA AVE  
 DALLAS, TEXAS  
 75209

DATE  
**10/17/24**

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CHECKED BY  
**ER**

DESCRIPTION  
 THREE STORY  
 DUPLEX  
 4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
 TWO CAR ATTACHED GARAGE (PER UNIT)

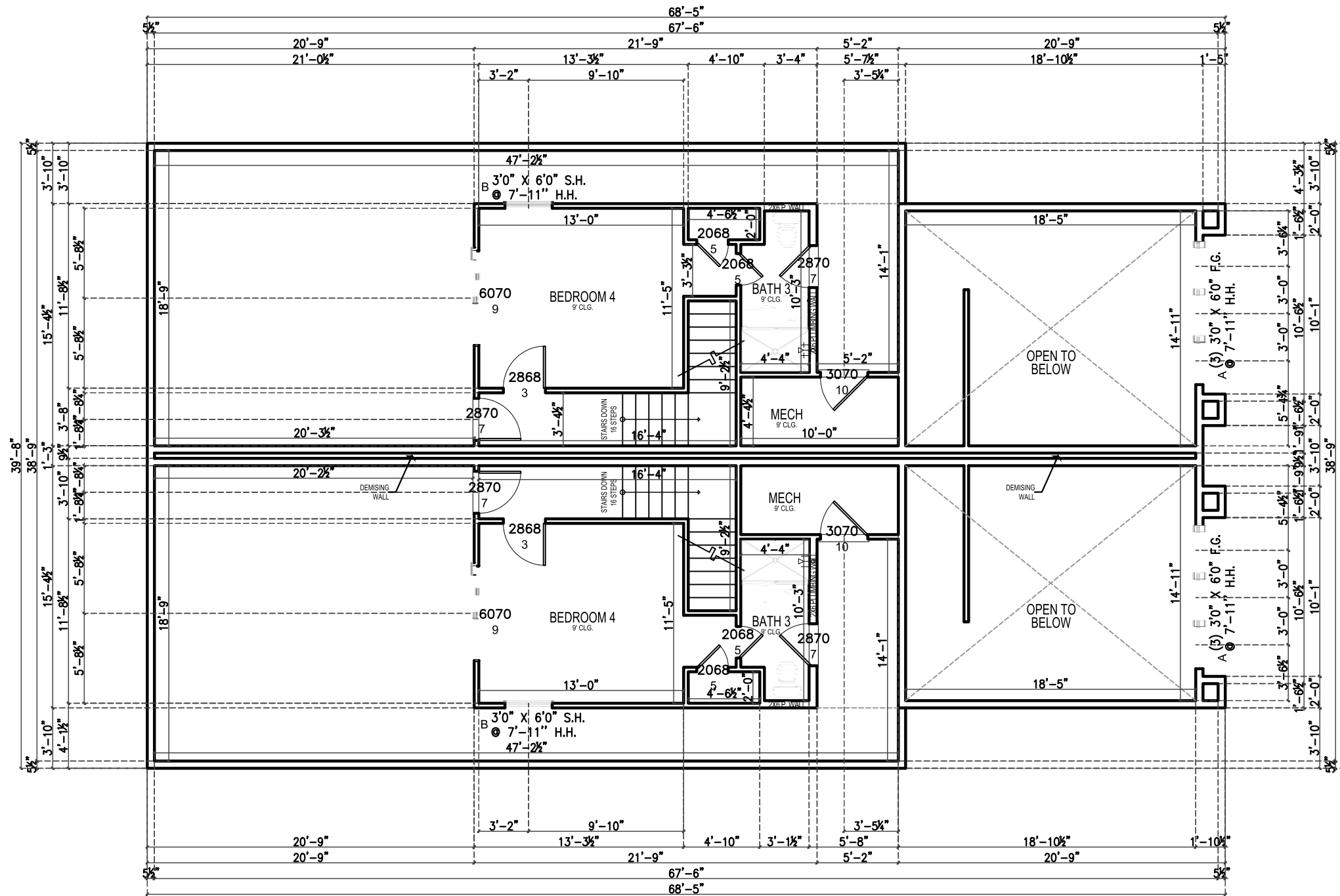
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**1/8" = 1'-0"**

SHEET TITLE  
**FLOOR PLAN**

SHEET #  
**A1.02**

FILE NAME  
**A1.02\_FLR2\_PLAN**





**1** 3RD LEVEL - FLOOR PLAN  
A1.03 1/8" = 1'-0"

PROJECT AREA CALCULATIONS			
PRPSD. LIVING AREA - UNIT 1 (AC)		PRPSD. LIVING AREA - UNIT 2 (AC)	
1ST LEVEL FLOOR PLAN	916 S.F.	1ST LEVEL FLOOR PLAN	916 S.F.
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75209

DATE  
**10/17/24**

DRAWN BY  
**FB**

CHECKED BY  
**ER**

DESCRIPTION  
THREE STORY  
DUPLEX  
4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
TWO CAR ATTACHED GARAGE (PER UNIT)

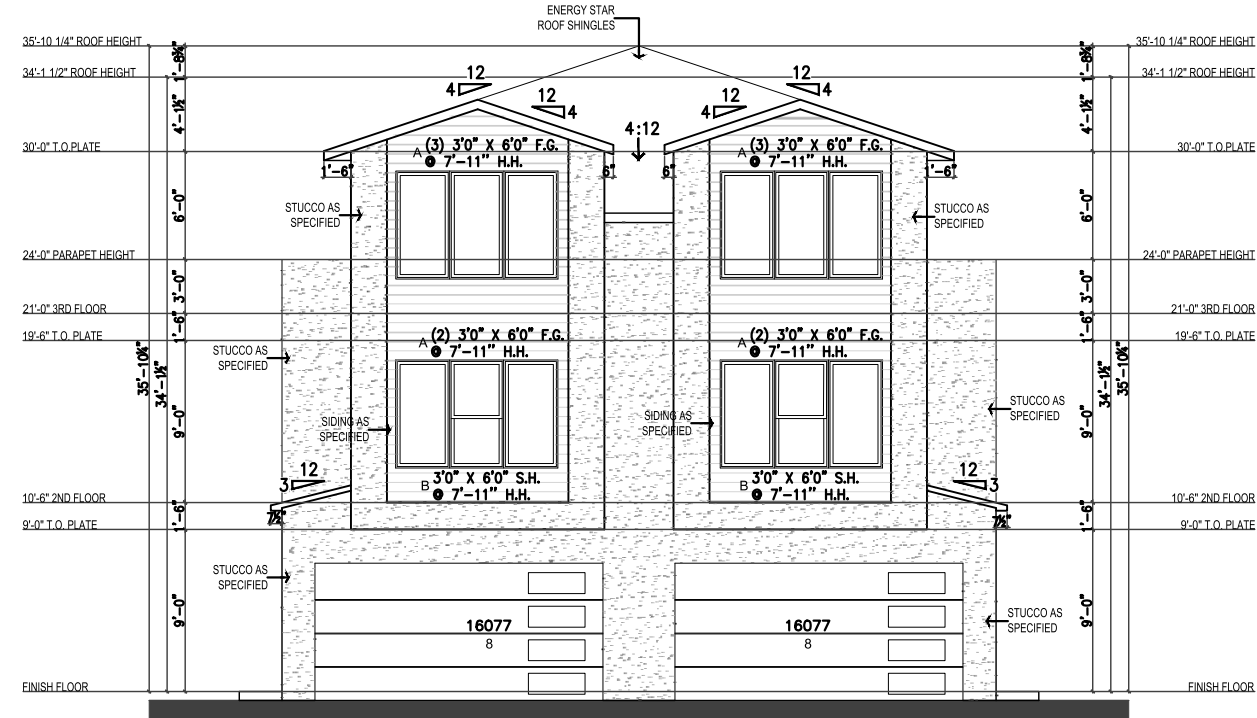
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**1/8" = 1'-0"**

SHEET TITLE  
**FLOOR PLAN**

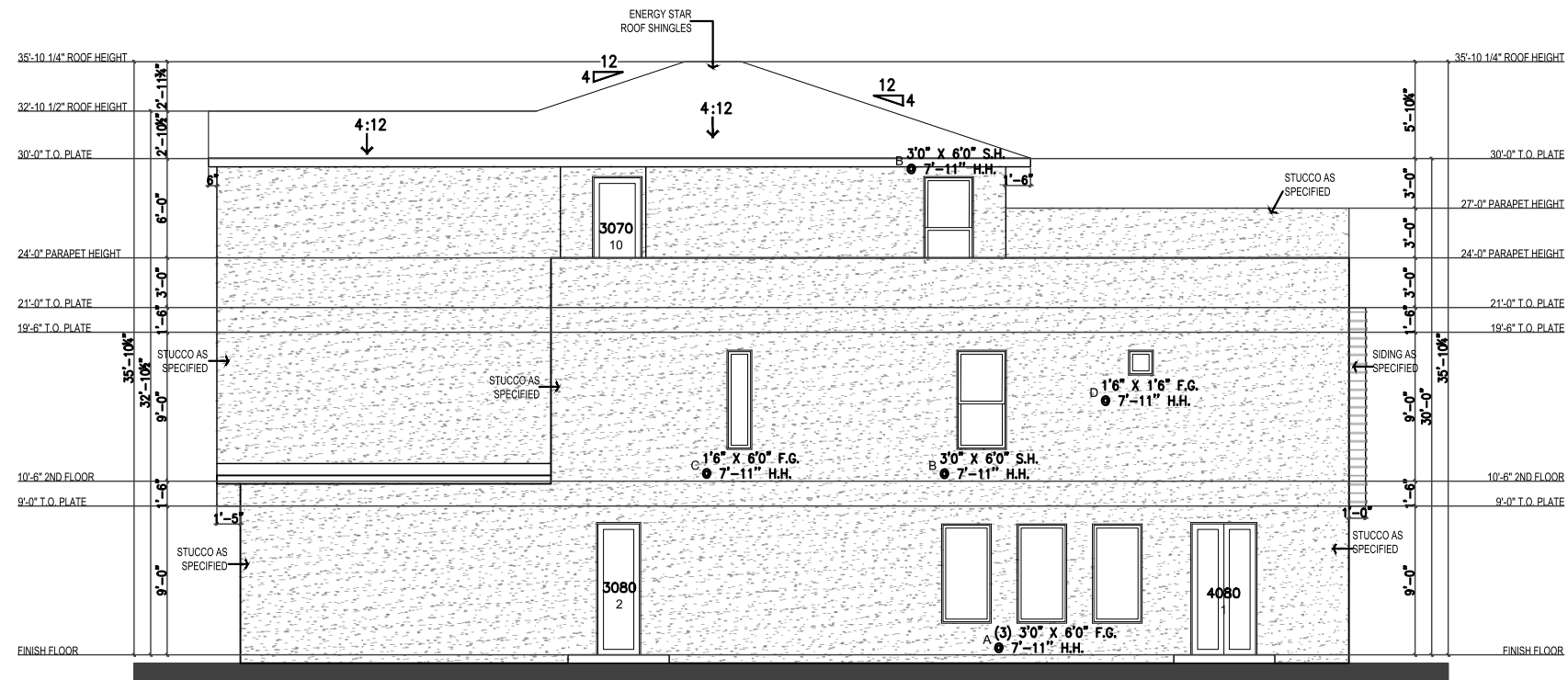
SHEET #  
**A1.03**

FILE NAME  
**A1.03\_FLR3\_PLAN**

SEAL



**1** FRONT ELEVATION  
A2.01 3/32" = 1'-0"

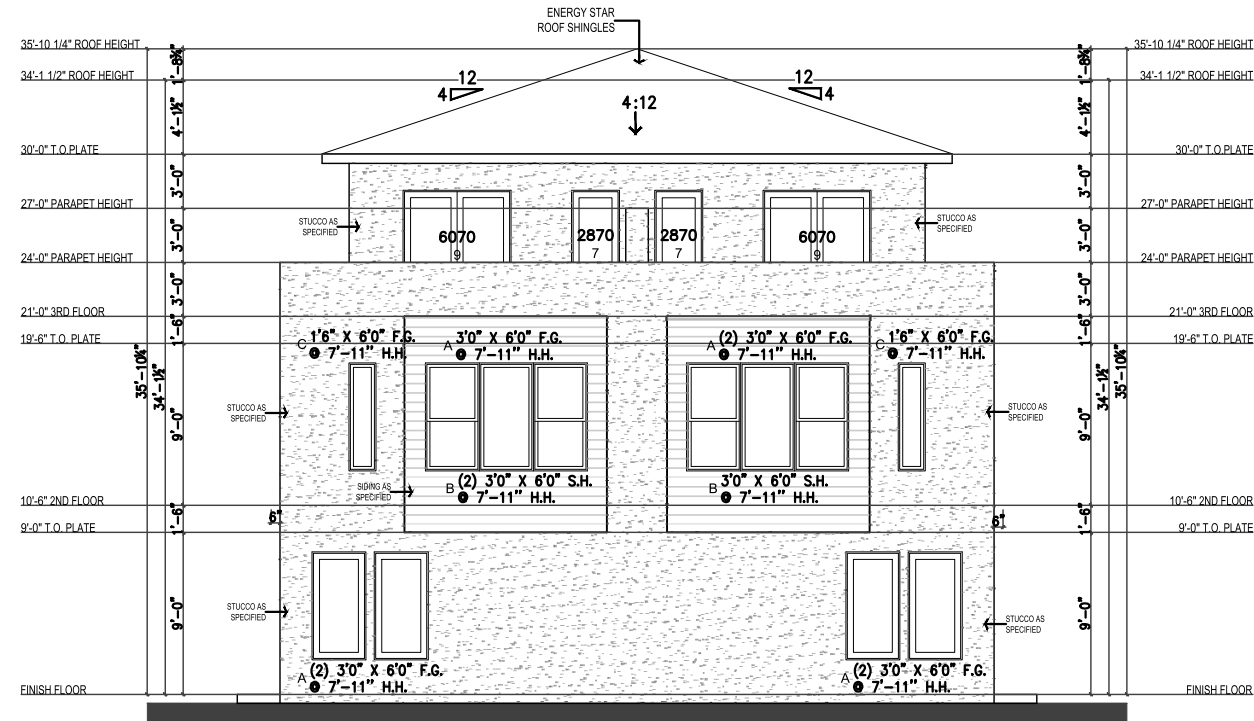


**2** RIGHT ELEVATION  
A2.01 3/32" = 1'-0"

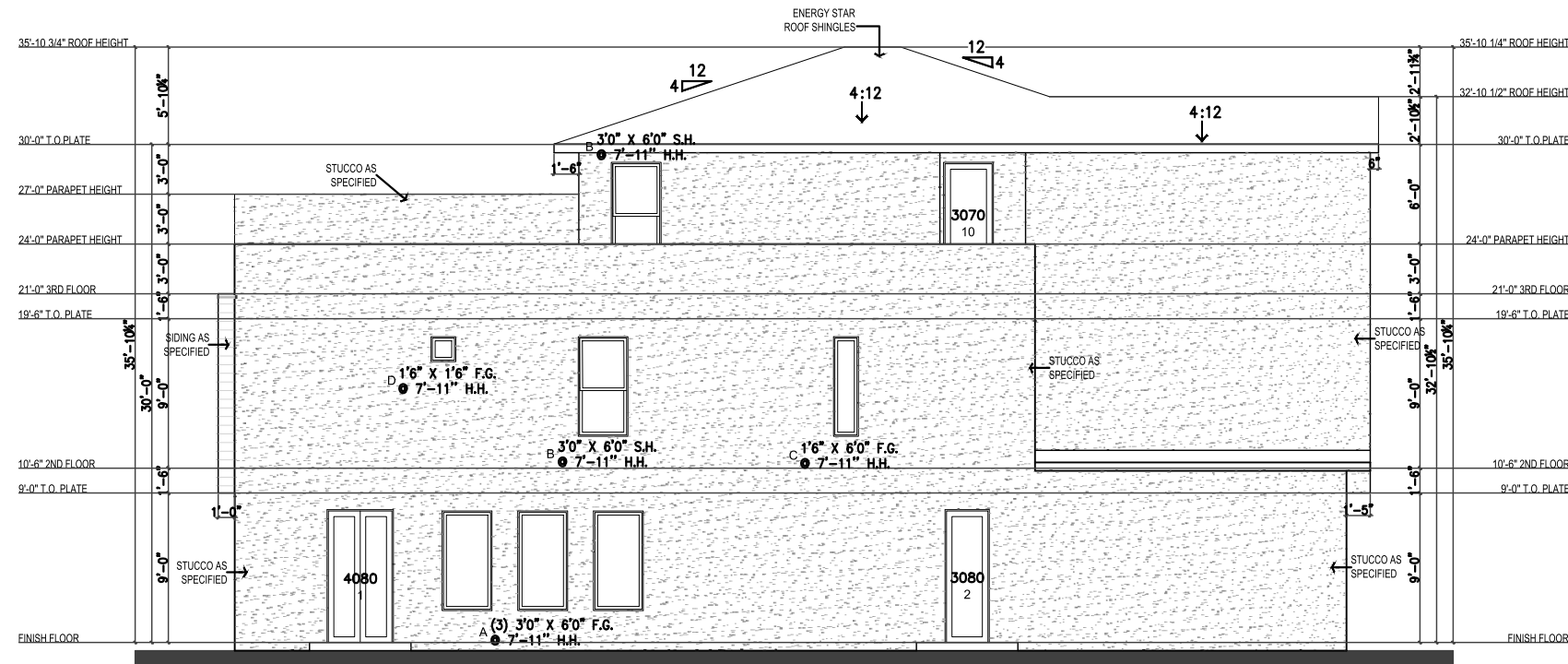
REVISIONS	
DRAFTER	SENT DATE

ADDRESS 6529/6531 VICTORIA AVE DALLAS, TEXAS 75209
DATE <b>10/17/24</b>
DRAWN BY <b>FB</b>
CHECKED BY <b>ER</b>
DESCRIPTION THREE STORY DUPLEX 4 BEDROOMS, 3.5 BATHROOMS (PER UNIT) TWO CAR ATTACHED GARAGE (PER UNIT)
SCALE <b>3/32" = 1'-0"</b>
SHEET TITLE <b>ELEVATIONS</b>
SHEET # <b>A2.01</b>
FILE NAME <b>A2.01_ELEVATIONS</b>

SEAL



**1** REAR ELEVATION  
A2.02 3/32" = 1'-0"



**2** LEFT ELEVATION  
A2.02 3/32" = 1'-0"

REVISIONS	
DRAFTER	SENT DATE

ADDRESS  
6529/6531 VICTORIA AVE  
DALLAS, TEXAS  
75209

DATE  
**10/17/24**

DRAWN BY  
**FB**

CHECKED BY  
**ER**

DESCRIPTION  
THREE STORY  
DUPLEX  
4 BEDROOMS, 3.5 BATHROOMS (PER UNIT)  
TWO CAR ATTACHED GARAGE (PER UNIT)

SCALE  
**3/32" = 1'-0"**

SHEET TITLE  
**ELEVATIONS**

SHEET #  
**A2.02**

FILE NAME  
**A2.02\_ELEVATIONS**