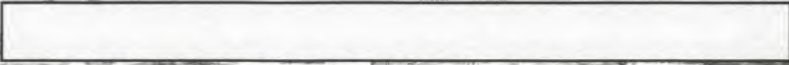


Development Services



Case No.: BDA 245-014 **RECEIVED**
Date: DEC 02 REC'D
BY: _____

Data Relative to Subject Property: _____ Date: _____

Location address: 3146 Clydesdale Zoning District: R-7.5

Lot No.: 2 Block No.: 6/3774 Acreage: 0.156 Census Tract: _____

Street Frontage (in Feet): 1) 58' 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Juan C Mendez

Applicant: Blanca Cardenas Telephone: 469 9961545

Mailing Address: 1801 N. Hampton Rd. Desoto TX Zip Code: 75115

E-mail Address: susancardenas20@gmail.com

Represented by: _____ Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception of requesting a variance for special set backs for an addition at 0 Ft. BC

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:
requesting a variance for special set back due to an addition

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Blanca Cardenas
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

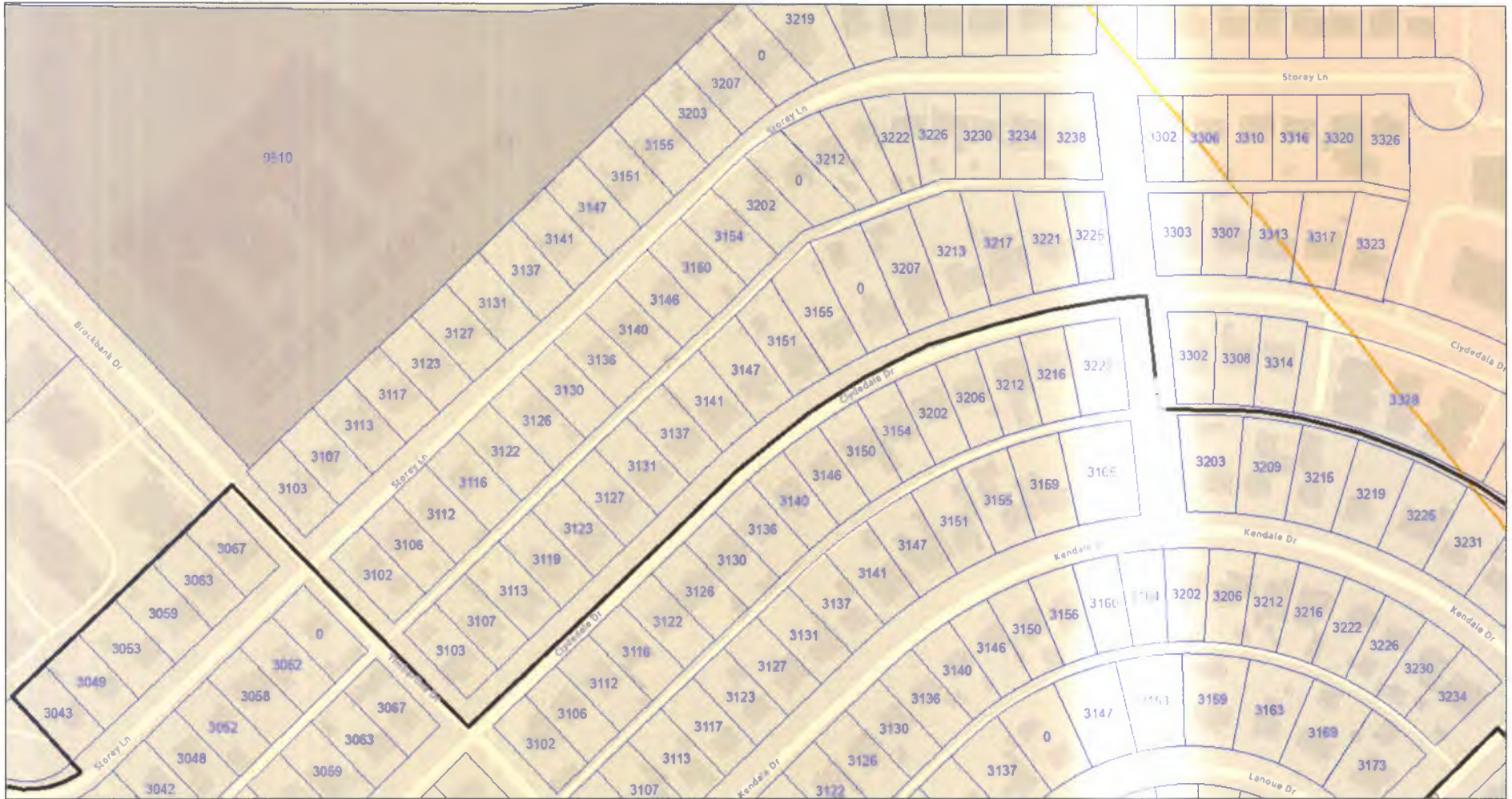
Respectfully submitted: Blanca Cardenas
(Affiant/Applicant's signature)

Subscribed and sworn to before me this 02 day of October, 2024



Jennifer Reyes
Notary Public in and for Dallas County, Texas

ArcGIS Web Map



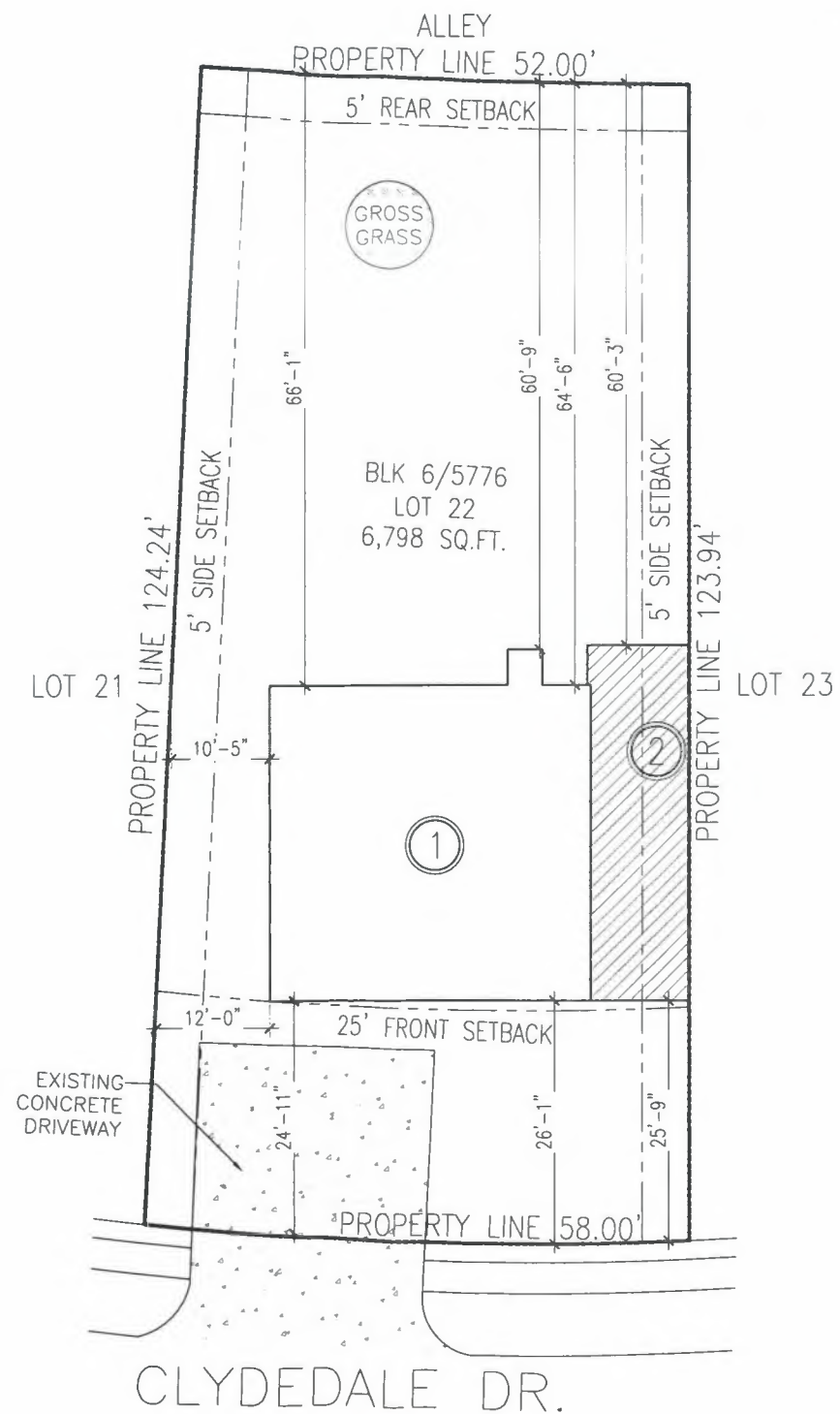
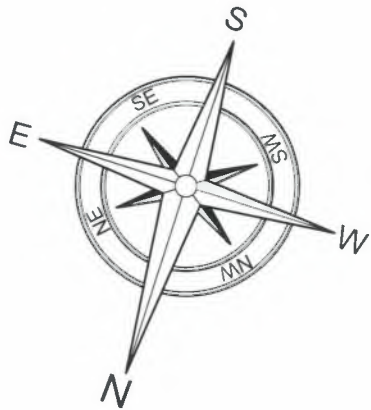
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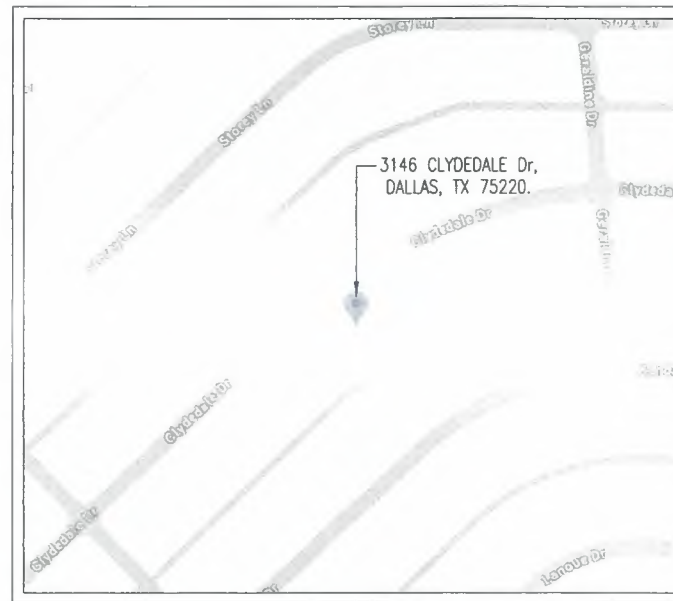
Resources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

BDA 245-OK



SITE PLAN

SCALE 1" = 20'



VICINITY MAP

FOR REFERENCE ONLY

AREA DISTRIBUTION		
1	EXISTING LIVING AREA	1,176 SQ. FT.
2	PROPOSED LIVING AREA (ADDITION)	398 SQ. FT.
	TOTAL COVERAGE	1,574 SQ. FT.
	TOTAL LIVING AREA	1,574 SQ. FT.
	LOT AREA	6,798 SQ.FT.
	% LOT COVERAGE	23.15 %

LEGAL DESCRIPTION	
1:	COMMUNITY PLACE
2:	BLK 6/5776 LOT 22
3:	
4:	INT201500018667 DD01222015 CO-DC
5:	5776 006 02200 1005776 006



rcplans@outlook.com

All the information in these plans is provided by the client and / or builder, the designer only limits himself to draw required plans for building permits and doesn't supervise construction or control of quality of materials, therefore the designer does not assume any type of responsibility derived from this project. The project owner is recommended to have professional supervision of a qualified architect or engineer for the review of plans and building's construction.

RESIDENTIAL ADDITION	SITE PLAN	RC PLANS	08/10/2024	1" = 20'
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

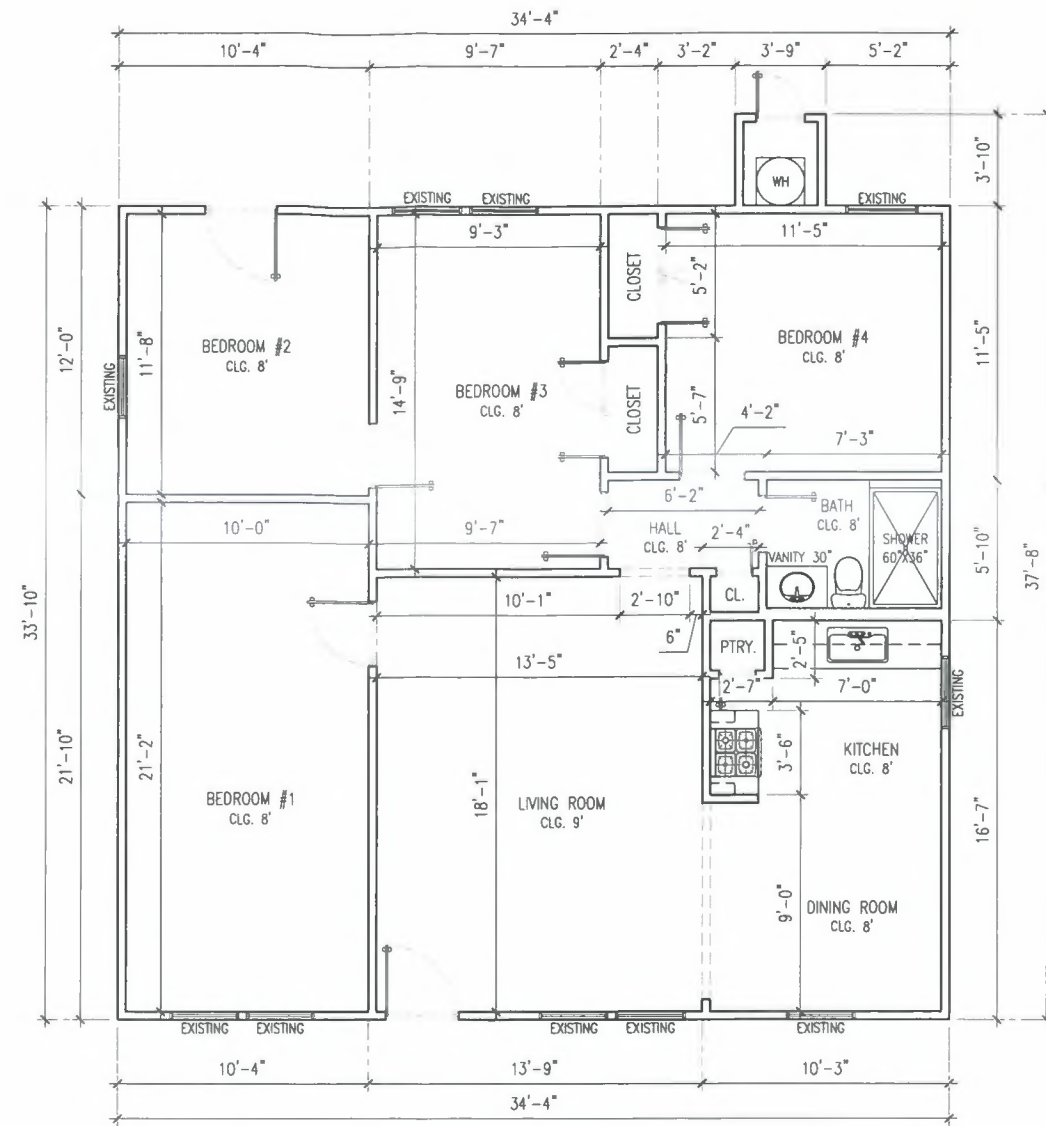
ADDRESS:

3146 CLYDEDALE DR, DALLAS, TX 75220

PAGE NUMBER:

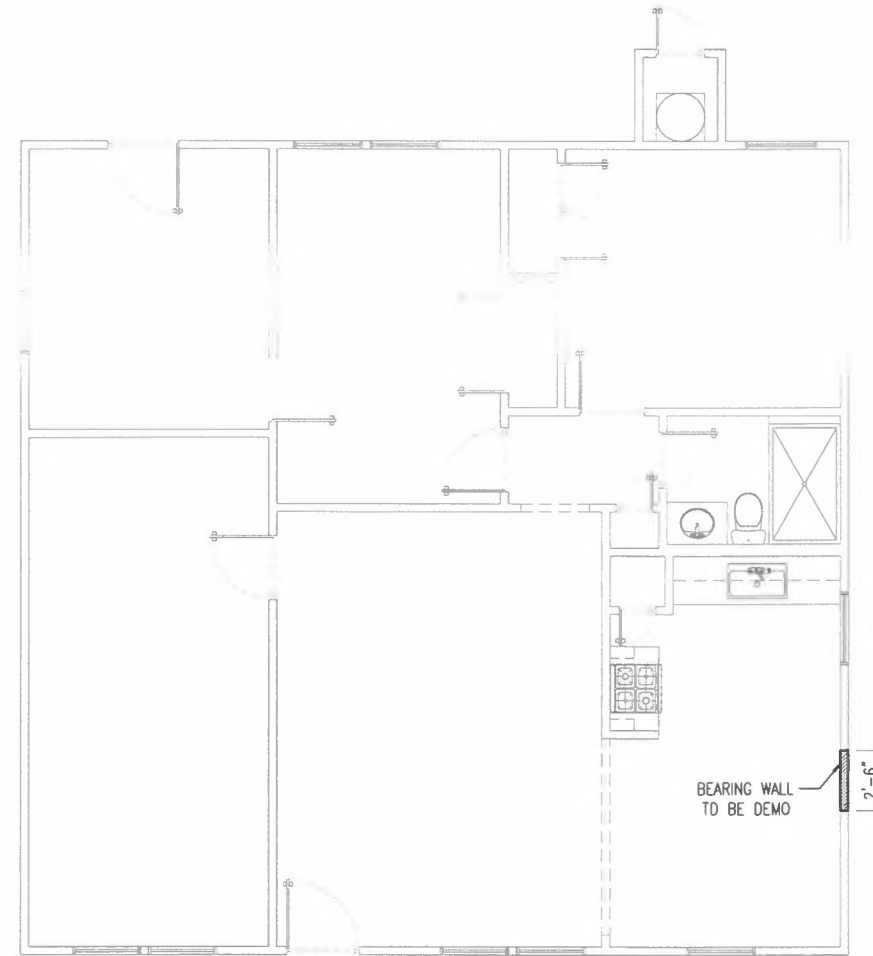
01

BDA 245-014



EXISTING FLOOR PLAN

SCALE 1/8" = 1'-0"



DEMO PLAN

SCALE 1/8" = 1'-0"

SCOPE OF WORK	
ITEM	DESCRIPTION
A	PROPOSED LIVING ADDITION (398 SQ.FT.), MUST MATCH EXISTING MATERIALS IN SHAPE, COLOR, ETC., AND MUST COMPLY WITH RESIDENTIAL BUILDING CODE. THE ROOF AFFECTED BY THE ADDITION MUST BE RESTORED AFTER ASSEMBLY OF NEW FRAMING, ALL SHINGLES MUST BE IN GOOD CONDITION AFTER ROOF FINISHING.
B	WALL FINISH, EXTERIOR SIDING, FLOOR FINISH AND FOUNDATION TO BE REPAIRED AS NECESSARY. ALL WORK MUST COMPLY WITH CURRENT CITY BUILDING CODE
C	GENERAL ELECTRICAL FIXTURES TO BE REPAIRED AND UPDATED ACCORDING TO NEW LAYOUT, REWIRE WORK AND REPLACEMENT OF ELECTRICAL FIXTURES AT REMODELING SPACES. ALL WORKS MUST BE IN COMPLY WITH CURRENT ELECTRICAL CITY CODE
D	GENERAL PLUMBING ACCESSORIES AND LINES TO BE REPAIRED AND UPDATED ACCORDING TO NEW LAYOUT. ALL WORKS MUST BE IN COMPLY WITH CURRENT PLUMBING CITY CODE

ADOPTED CITY CODES:
<ul style="list-style-type: none"> • 2021 International Building Code • 2021 International Residential Code • 2021 International Energy Conversational Code • 2021 International Fuel Gas Code • 2021 International Mechanical Code • 2021 International Plumbing Code • 2021 International Existing Building Code • 2021 International Fire Code • 2020 National Electrical Code

DEMO PLAN LEGEND	
SYMBOL	DESCRIPTION
	WALL TO BE DEMO

BDA245-014



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USE:	RESIDENTIAL ADDITION
PLAN:	EXISTING & DEMO FLOOR PLAN
DRAWN BY:	RC PLANS
DATE:	08/10/2024
SCALE:	1/8" = 1'

ADDRESS:

3146 CLYDEDALE DR, DALLAS, TX 75220

PAGE NUMBER:

02

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IECC 2021 GREEN/ENERGY CODE COMPLIANCE FOR HOME

ALL GREEN/ENERGY SYSTEMS MUST MEET THE REQUIREMENTS FROM THE CHAPTER 4 OF THE INTERNATIONAL ENERGY CONSERVATION CODE, REFERED TO RESIDENTIAL ENERGY EFFICIENCY. IF ANY ITEM IS NOT LISTED BELOW REFER TO THE MENTIONED CHAPTER.

1. STORMWATER:
1.1. 70% OF NON-ROOF AREA HAS VEGETATIVE LANDSCAPE, PERMEABLE PAVING OR SLOPED FOR RUNOFF TO A PERMANENT FILTRATION FEATURE.

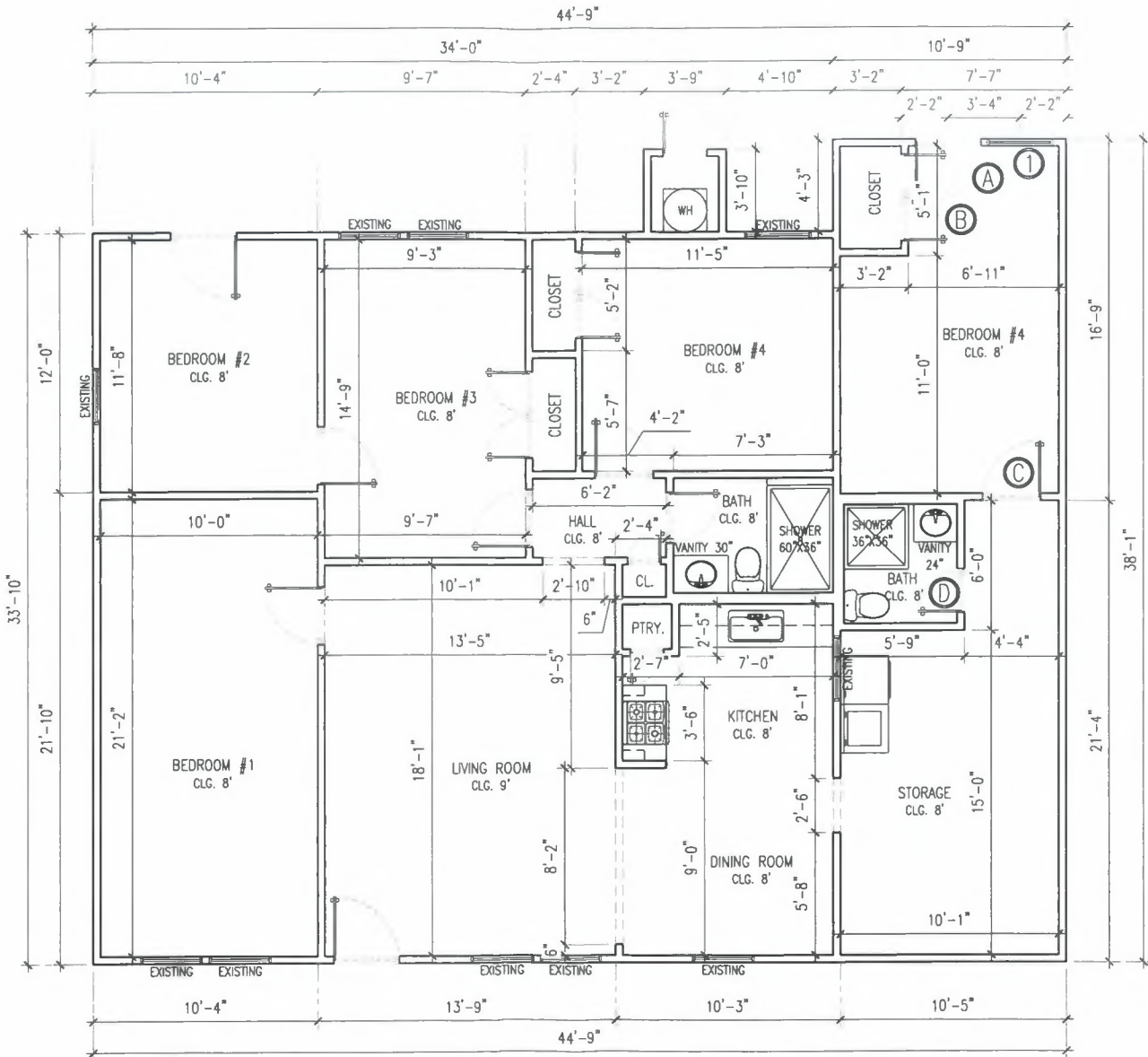
2. WATER EFFICIENCY:
2.1. LAVATORY FAUCETS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
2.2. SHOWERS HEADS MUST HAVE AN AVERAGE FLOW RATE OF 2.0 GALLONS PER MINUTE OR LESS.
2.3. TOILETS MUST HAVE AN AVERAGE FLOW RATE OF:
2.3.1. LESS THAN OR EQUAL TO 1.3 GALLONS PER FLUSH.
2.3.2. DUAL FLUSH COMPLYING WITH ASME A 112.19.14.
2.3.3. COMPLY WITH US EPA WATER SENSE.
2.4. ENERGY STAR DISHWASHER.
2.5. ENERGY STAR CLOTHES WASHER.

3. HEAT ISLAND MITIGATION:
3.1. ENERGY STAR QUALIFIED ROOF SYSTEM FOR ROOF WITH SLOPE OF 2:12 OR GREATER.
3.2. RADIANT BARRIER IN ATTIC WITH CONVENTIONAL SHINGLES.
3.3. ENCAPSULATED FOAM INSULATION BETWEEN THE ROOF RAFTERS (R-22 OR GREATER)
3.4. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
3.5. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
3.6. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
3.7. BLOWER DOOR TESTING IS MANDATORY NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS

4. DUCTS AND AIR SEALING
4.1. DUCTS MUST BE TESTED AND VERIFIED TO HAVE TOTAL LEAKAGE OF NO MORE THAN 4 FT³/MIN PER 100 SQUARE FOOT (OR 3 CFM IF AIR HANDLER IS NOT INSTALLED), EXCEPT WHERE AIR HANDLER AND ALL DUCTS ARE LOCATED INSIDE CONDITIONED SPACE. AIR HANDLERS AND FILTER BOXES MUST ALSO BE PROPERLY SEALED.
4.2. HVAC AND DUCTWORK LOCATED OUTSIDE OF FIRE RATED ENVELOPE OF GARAGE.
4.3. THE BUILDING ENVELOPE IS REQUIRED TO BE PROPERLY SEALED AND TESTED, AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NO HIGHER THAN 3 ACH AT 0.20 INCH W.G. (50 PASCALS).
4.4. SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE SEALD AND INSULATED WITH R-8 WHEN DUCTS IS 3' OR GREATER, R-6 WHEN 3' OR LESS AND EXEMPT WHEN COMPLETELY INSIDE CONDITIONED SPACE.

5. INSULATION:
5.1. ALL WINDOWS FENESTRATION U-FACTOR FOR CITY MUST BE 0.35, SKYLIGHT U-FACTOR 0.55 AND GLAZED FENESTRATION SHGC 0.25.
5.2. CEILINGS MUST BE INSULATED WITH R-38, IF NO ATTIC SPACE R-30, THIS REDUCTION IS LIMITED TO 500 SQUARE FEET (46 M²) OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.
5.3. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL.
5.4. ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CANITY OR R-13 CANITY WITH R-5 CONTINUOUS INSULATION OR HIGHER.
5.5. CRAWL SPACE WALLS MUST BE INSULATED WITH T-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH.
5.6. PIER AND BEAM OR ANY OTHER RAISED FLOOR SYSTEM MUST BE INSULATED WITH R-19 INSULATION OR HIGHER.

6. HVAC SYSTEMS
6.1. TEMPERATURE CONTROLS MUST BE INSTALLED, INCLUDING A PROGRAMMABLE THERMOSTAT CONTROLLING THE PRIMARY HEATING AOD COOLING SYSTEM.
MECHANICAL SYSTEM PIPING MUST BE INSULATED TO A MINIMUM OF R-3. HOT WATER PIPING ½" IN DIAMETER OR LARGER AND ALL HOT WATER PIPING IN CERTAIN APPLICATIONS MUST BE INSULATED TO R-3.
6.2. PIPES CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13.
6.3. LIGHTNING:
6.4. A MINIMUM OF 75% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES MUST BE HIGH-EFFICACY AS DEFINED IN THE IECC.



PROPOSED FLOOR PLAN
SCALE 1/8" = 1'-0"

WINDOW SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
1	3'-0" X 4'-0"	1	SH

SH = SINGLE HUNG

DOORS SCHEDULE			
ITEM	SIZE	QUANTITY	TYPE
A	3'-0" X 6'-8"	1	SHS/GLSS
B	5'-0" X 6'-8"	1	FR
C	2'-8" X 6'-8"	1	SHH
D	2'-0" X 6'-8"	1	SHH

SHH = SINGLE HINGED HOLLOW CORE
SHS = SINGLE HINGED SOLID CORE
FR = FRENCH DOOR
GLSS = GLASS PANEL

ADOPTED CITY CODES:

- 2021 International Building Code
- 2021 International Residential Code
- 2021 International Energy Conversational Code
- 2021 International Fuel Gas Code
- 2021 International Mechanical Code
- 2021 International Plumbing Code
- 2021 International Existing Building Code
- 2021 International Fire Code
- 2020 National Electrical Code

RESIDENTIAL ADDITION	FLOOR PLAN	RC PLANS	08/10/2024	1/8" = 1'
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

3146 CLYDEDALE DR, DALLAS, TX 75220

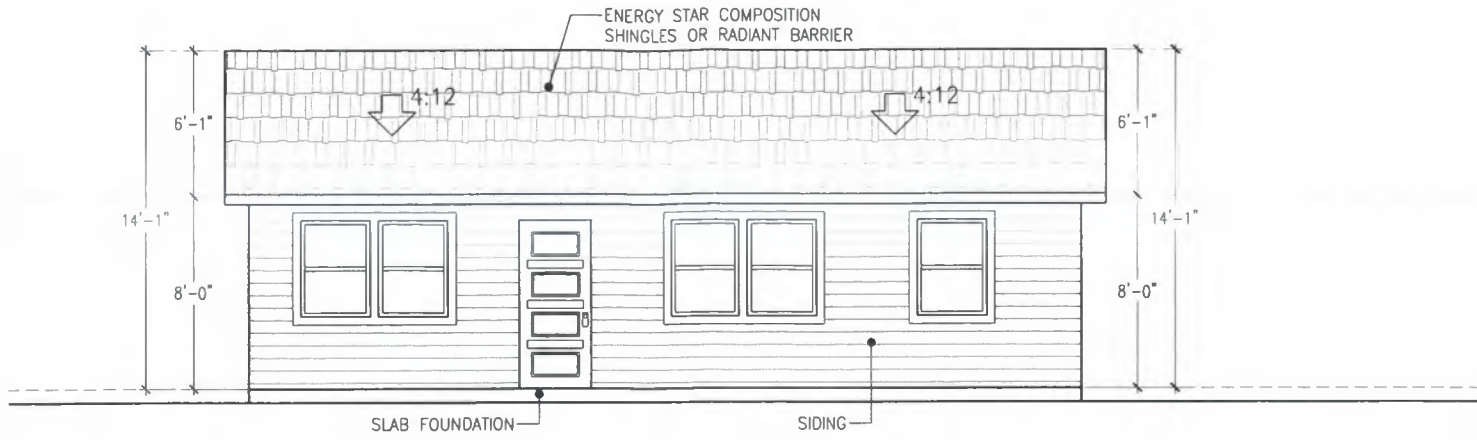
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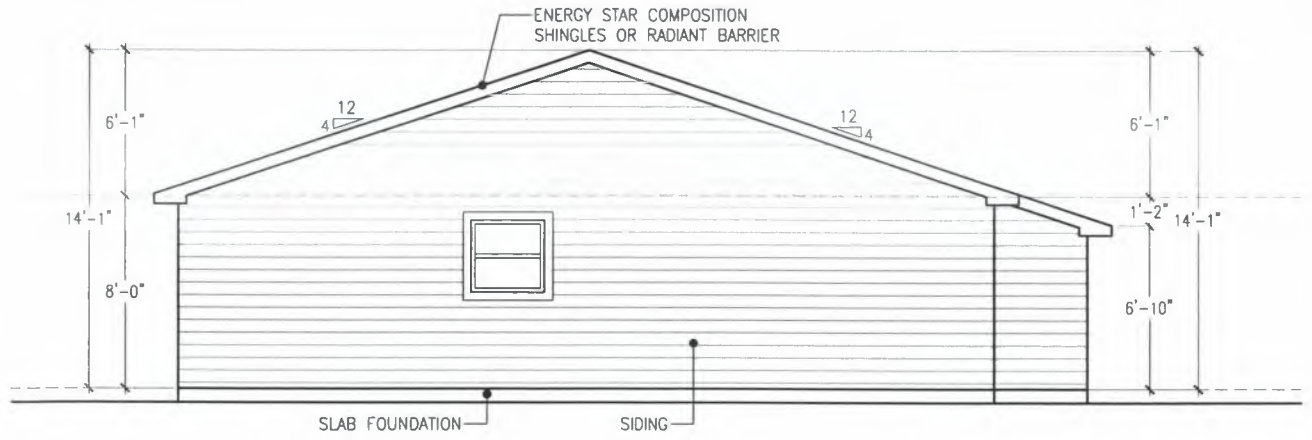
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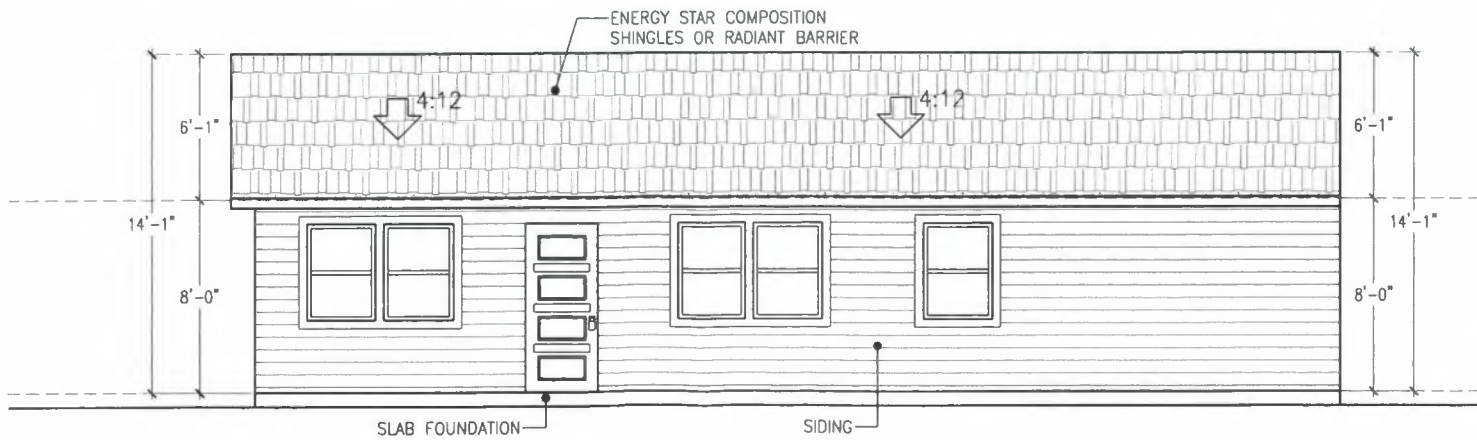
EXISTING FRONT ELEVATION

SCALE 1/8" = 1'-0"



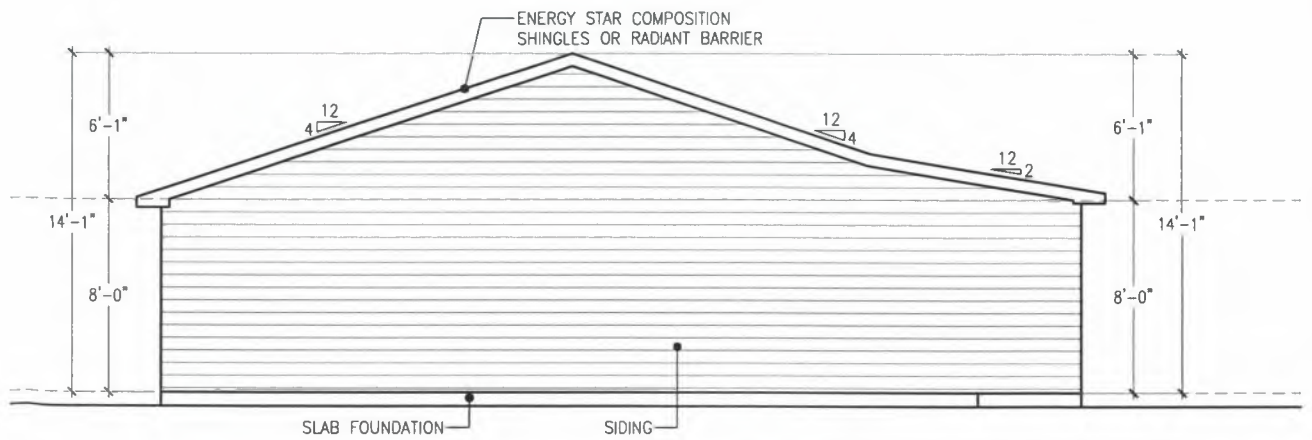
EXISTING RIGHT ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE 1/8" = 1'-0"

RESIDENTIAL ADDITION	ELEVATIONS PLAN		
USE:	PLAN:	DRAWN BY: RC PLANS	DATE: 08/10/2024
			SCALE: 1/8" = 1'

ADDRESS:

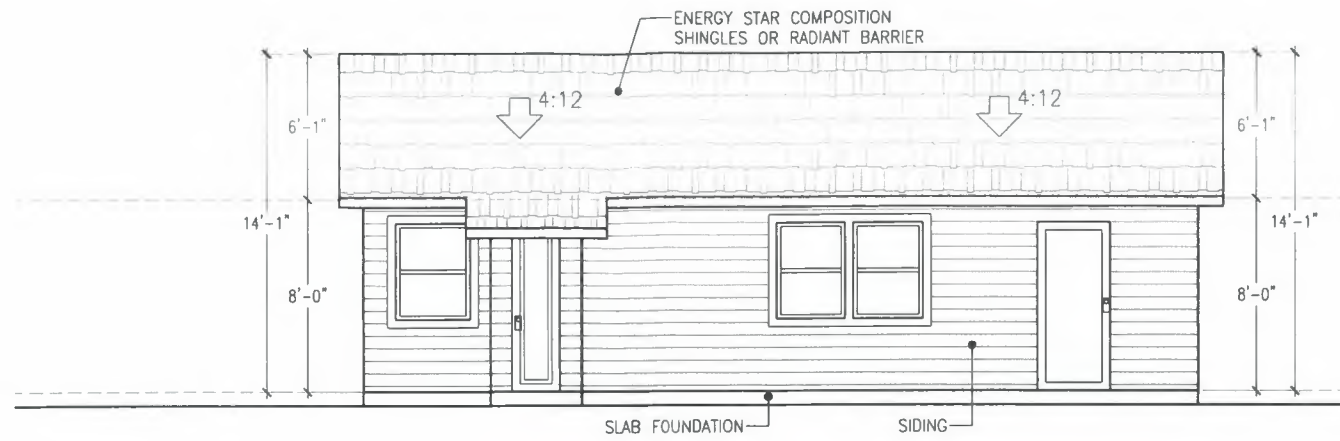
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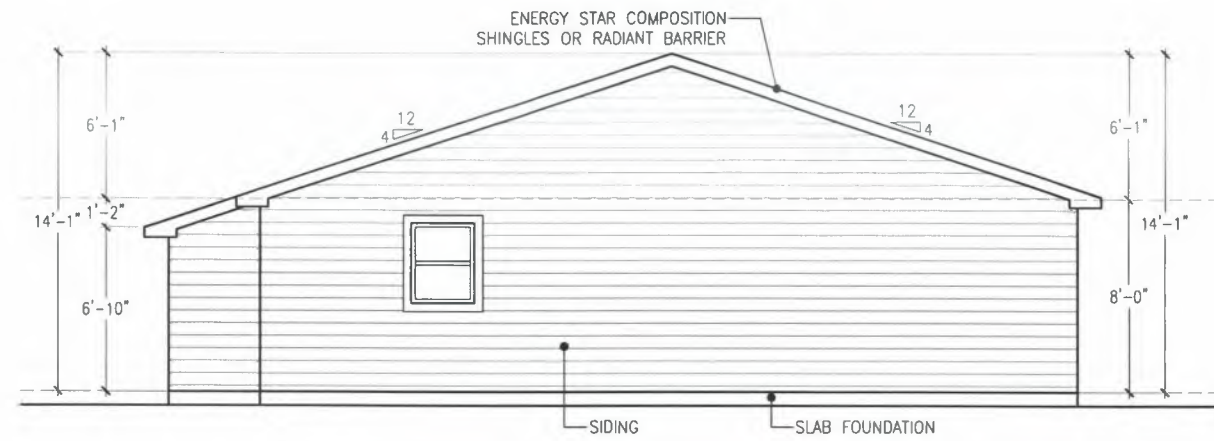
BDA245-014

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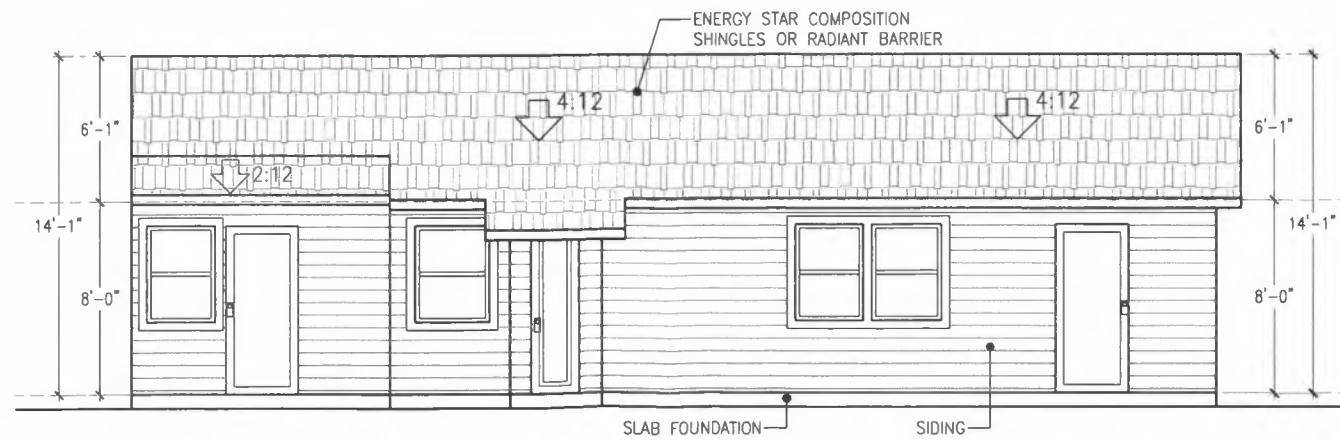
EXISTING REAR ELEVATION

SCALE 1/8" = 1'-0"



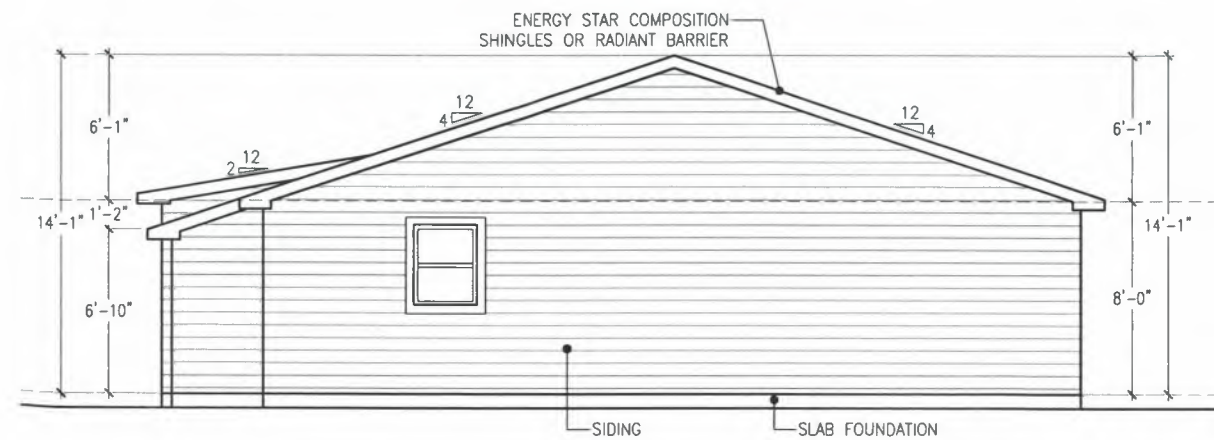
EXISTING LEFT ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED REAR ELEVATION

SCALE 1/8" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/8" = 1'-0"

RESIDENTIAL ADDITION	ELEVATIONS PLAN	RC PLANS	08/10/2024	1/8" = 1'
USE:	PLAN:	DRAWN BY:	DATE:	SCALE:

ADDRESS:

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