



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 245-039

RECEIVED

Date: JAN 30 2025

Data Relative to Subject Property: _____

Location address: 4343 Travis Street Dallas TX 75205

Zoning District: PD-193, MF-2

BY: _____

Lot No.: 22-24

Block No.: 1529

Acreage: 0.489

Census Tract: 48113000702

Street Frontage (in Feet): 1) 142

2) 150

3) _____

4) _____

5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Giambrone Design District

Applicant: Mark Giambrone

Telephone: 214-665-1972

Mailing Address: 2200 Ross Avenue, 31st Floor Dallas TX

Zip Code: 75201

E-mail Address: mgiambrone@barrowhanley.com

Represented by: Brian Court

Telephone: 206-254-2016

Mailing Address: 71 Columbia Street, 6th Floor Seattle WA

Zip Code: 98104

E-mail Address: briancourt@millerhull.com

Affirm that an appeal has been made for a Variance , or Special Exception , of SEC.51P-193.118.b.1

Corner lot front yard setback designation: this lot appears to be unfairly subject to (2) front yard setbacks. SEC.51P-193.119.8, side yard setback reduce to zero to face another parcel with similar reduced setback.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Corner parcel is unfairly subject to two front yard setbacks since frontage facing Travis St. must maintain nearby parcel continuity, requesting reduced setback facing Oliver St. Secondly, the adjacent parcel to the south has a reduced side yard setback facing this property and request similar variance.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared

Mark Giambrone

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted:

Mark Giambrone

(Affiant/Applicant's signature)

Subscribed and sworn to before me this

4th day of

February

2025



Dawn Gochinas

Notary Public in and for Dallas County, Texas



AFFIDAVIT

Appeal number: BDA 245-039

I, Mark Giambrone, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 4343 & 4345 Travis Street Dallas TX 75205
(Address of property as stated on application)

Authorize: Brian Court
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: The site is a corner lot subject to two front setbacks and are seeking the following variances:
Request #1: Oliver Street front yard setback reduced by 5'. Regulation requires 15'; proposing 10'.
Request #2: south lot line side yard setback reduced by 10'. The regulation requires 10'; proposing 0'.

Mark Giambrone Mark Giambrone
 Print name of property owner or registered agent Signature of property owner or registered agent

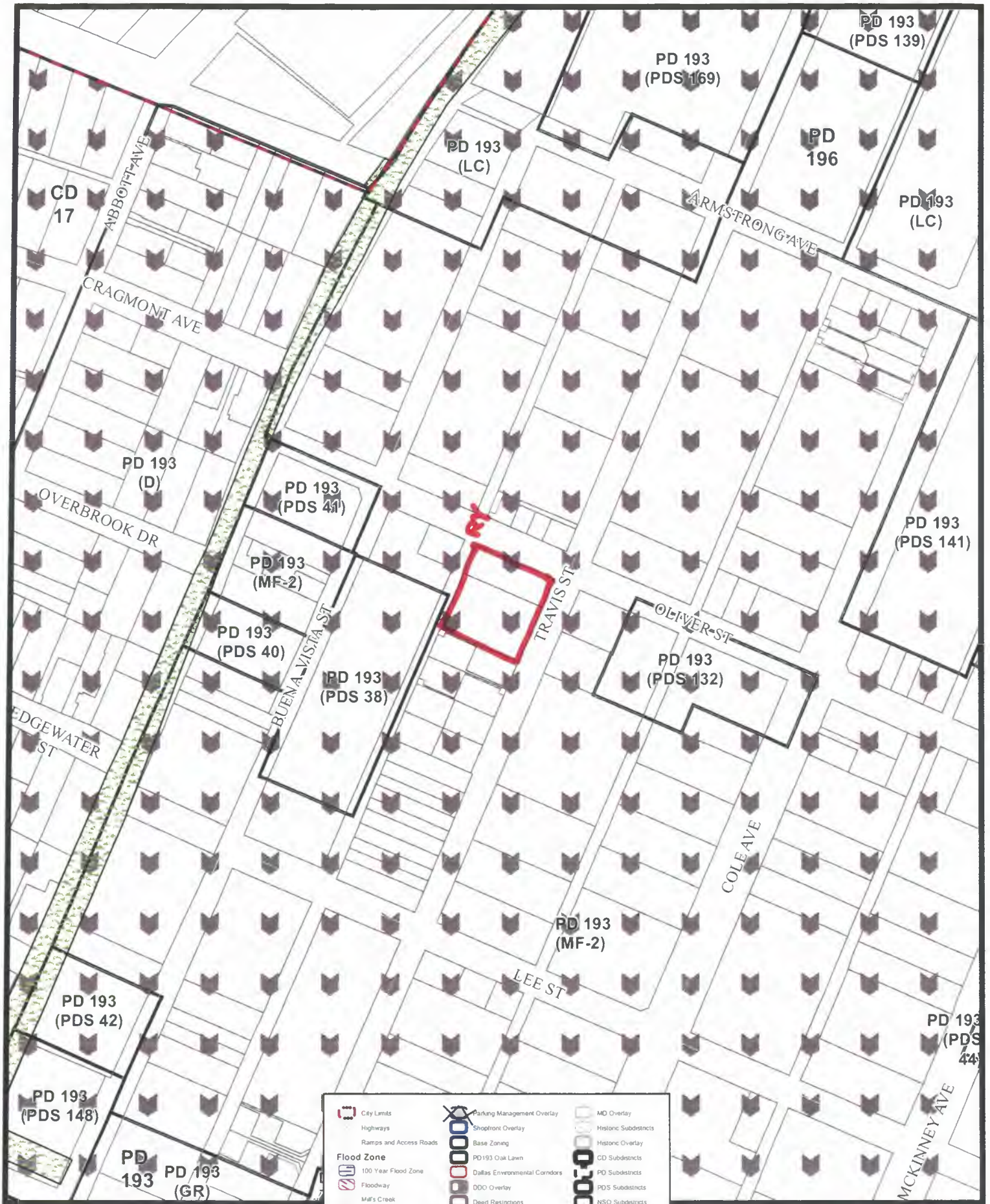
agent Date 2/4/2025

Before me, the undersigned, on this day personally appeared _____

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge. Subscribed and sworn to before me this _____ day of _____



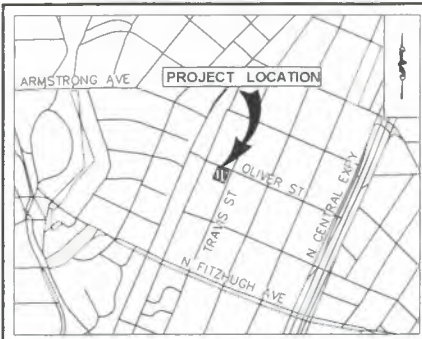
Dawn Gochinas
Commission expires on _____



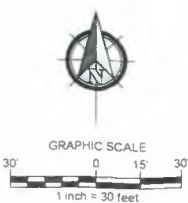
↑ 1:2,400

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Case ID: 245-039
 Printed: 2/4/2025



VICINITY MAP
(NOT TO SCALE)

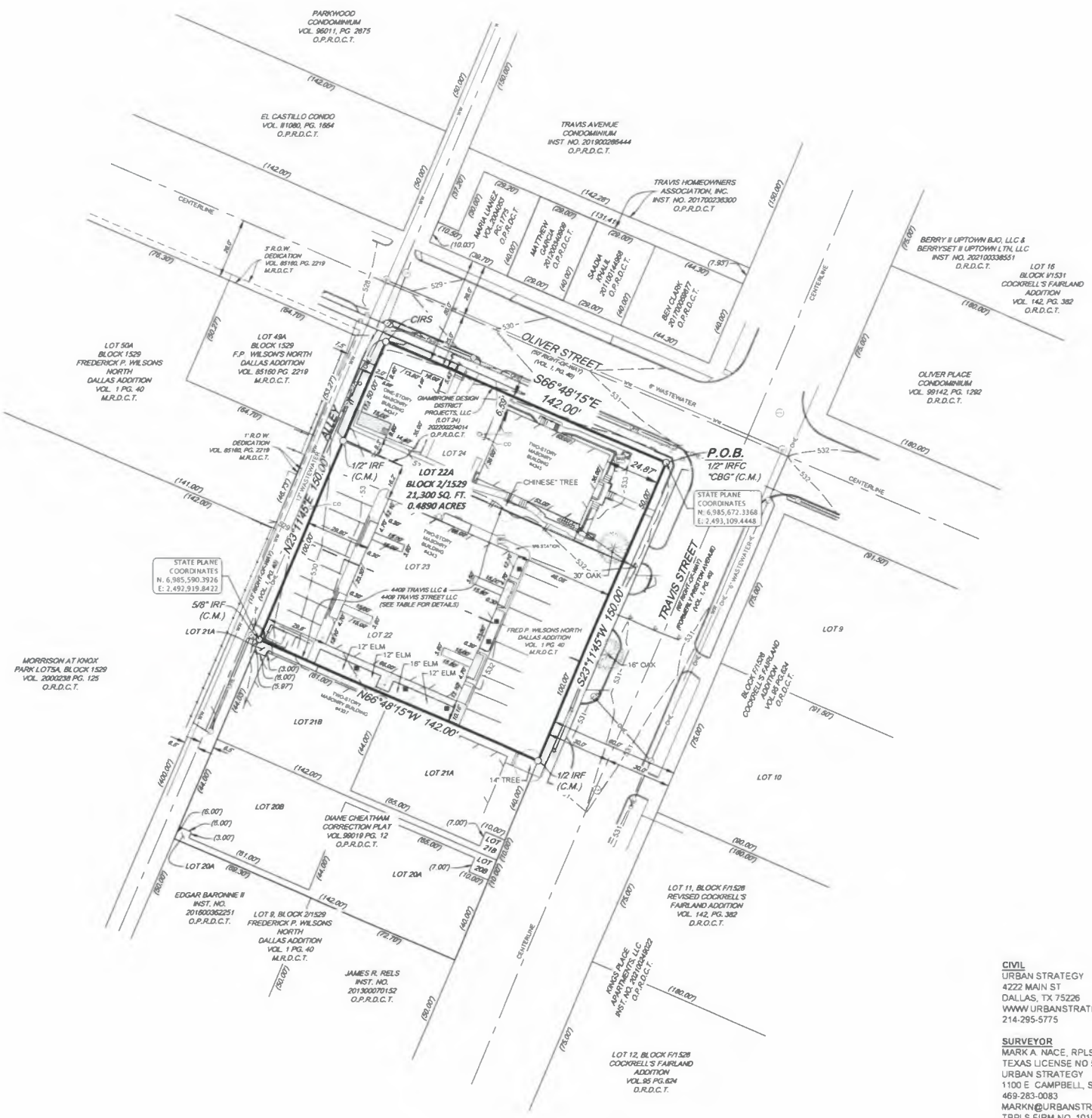


- ABBREVIATIONS**
- INST. NO. INSTRUMENT NUMBER
 - M.R.D.C.T. MAP RECORDS, DALLAS COUNTY, TEXAS
 - D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS
 - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
 - VOL. VOLUME
 - PG. PAGE
 - (XX° XX' XX") RECORD BEARING
 - (XX.XX) RECORD DISTANCE
 - P.O.B. POINT OF BEGINNING
 - (C.M.) CONTROLLING MONUMENT
 - CIRS IRON ROD SET w/ ORANGE CAP STAMPED "URBAN STRATEGY"
 - IRF IRON ROD FOUND
 - IRFC IRON ROD FOUND CAPPEO
 - ESMT EASEMENT

- LINETYPES**
- STREET CENTERLINE
 - ASPHALT
 - OVERHEAD ELECTRIC LINE
 - WASTEWATER LINE
 - (SANITARY SEWER)
 - WATER LINE
 - GAS LINE
 - WROUGHT-IRON FENCE
 - WOOD FENCE
 - BUILDING

- LEGEND**
- BOUNDARY/LOT CORNER
 - EASEMENT CORNER
 - LIGHT POLE
 - POWER POLE
 - GUY WIRE
 - ELECTRIC TRANSFORMER
 - GAS METER
 - GAS VALVE
 - GAS MARKER
 - WASTEWATER MANHOLE
 - WASTEWATER CLEANOUT
 - INLET
 - STORM DRAIN MANHOLE
 - WATER METER
 - WATER VALVE
 - MAIL BOX
 - SIGN
 - UNKNOWN MANHOLE
 - TREE

OWNERSHIP INFORMATION		
NAME	INSTRUMENT NO VOLUME/PAGE	RECORDING INFORMATION
4409 TRAVIS LLC	INST. NO. 202000353418	O.P.R.D.C.T.
	INST. NO. 201900069945	O.P.R.D.C.T.
	INST. NO. 201800056050	O.P.R.D.C.T.
	INST. NO. 202000256536	O.P.R.D.C.T.
	INST. NO. 201700018185	O.P.R.D.C.T.
	INST. NO. 202000353421	O.P.R.D.C.T.
	INST. NO. 202000353420	O.P.R.D.C.T.
	INST. NO. 201800176978	O.P.R.D.C.T.
	INST. NO. 201700137717	O.P.R.D.C.T.
	INST. NO. 202000353419	O.P.R.D.C.T.
4409 TRAVIS STREET LLC	INST. NO. 201900045569	O.P.R.D.C.T.
	INST. NO. 201900045547	O.P.R.D.C.T.



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS Giambrone Design District Projects, LLC, 4409 Travis Street LLC, and 4409 Travis LLC, are the owners of a 21,300 square foot or 0.4890 of an acre tract of land situated in the W.B. Coats Survey, Abstract No. 237, City of Dallas, Dallas County, Texas, being that tract of land described to said Giambrone Design District Projects, LLC by Warranty Deed with Vendor's Lien recorded in Instrument No. 202200224014, Official Public Records, Dallas County, Texas (O.P.R.D.C.T.), that tract of land described to said 4409 Travis Street LLC by General Warranty Deed recorded in Instrument No. 201900045569 and 201900045547, O.P.R.D.C.T., said 4409 Travis LLC by General Warranty Deed with vendors lien recorded in Instrument No. 202000256537, 202000353418, 202000256536, 202000353421, 202000353420, and 202000353419, O.P.R.D.C.T., and said 4409 Travis LLC, by General Warranty Deed recorded in Instrument No. 201900069945, 201800056050, 201700018185, 201800176978, and 201700137717, O.P.R.D.C.T., same being Lots 22, 23, and 24, Block 2/1529, Fredrick P. Wilsons North Dallas Addition, an addition to the City of Dallas, Dallas County, Texas, according to the Map thereof recorded in Volume 1, Page 40, Map Records, Dallas County, Texas (M.R.D.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with cap stamped "CBG Surveying" found for the intersection of the southwest Right-of-Way (R.O.W.) line of Oliver Street, a 50 foot R.O.W. according to Volume 1, Page 40, M.R.D.C.T., and the northwest R.O.W. line of Travis Street, a 60 foot R.O.W., formerly known as Preston Avenue according to Volume 1, Page 40, M.R.D.C.T.;

THENCE South 23 degrees 11 minutes 45 seconds West, with the northwest R.O.W. line of said Travis Street, a distance of 150.00 feet to a 1/2 inch iron rod found for the east corner of Lot 21A, Block 2/1529, Diane Cheatham Correction Plat, an addition to the City of Dallas, Dallas County, Texas, according to the map thereof recorded in Volume 99019, Page 12, D.R.D.C.T.;

THENCE North 66 degrees 48 minutes 15 seconds West, with the northeast line of said Lot 21A, and departing the northwest R.O.W. line of said Travis Street, a distance of 142.00 feet to a 5/8 inch iron rod found for the north corner of said Lot 21A, and being in the southeast R.O.W. line of a 13 foot Alley, according to Volume 1, Page 40, M.R.D.C.T.;

THENCE North 23 degrees 11 minutes 45 seconds East, with the southeast R.O.W. line of said Alley, passing a 1/2 inch iron rod found for reference for the north corner of said 4343 Travis Avenue Condominium tract, and the west corner of said Giambrone Design District Projects, LLC tract, a distance of 100.00 feet, and continuing a total distance of 150.00 feet to a 1/2 inch iron rod with plastic orange cap stamped "Urban Strategy" set for the intersection of the southeast R.O.W. line of said Alley, and the southwest R.O.W. of said Oliver Street;

THENCE South 66 degrees 48 minutes 15 seconds East, with the southwest R.O.W. line of said Oliver Street, a distance of 142.00 feet to the POINT OF BEGINNING, and containing 21,300 square feet or 0.4890 of an acre tract of land.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

GENERAL NOTES:

Bearings are based on State Plane Coordinate System, North Texas Central Zone 4202, North American datum of 1983. Adjustment realization 2011.

Not all lot lines outside of the boundary of the subject property show hereon have been surveyed and are shown as graphical depiction based on recorded information and tax maps.

Lot to lot drainage will not be allowed without City of Dallas paving & drainage engineering section approval.

All existing underground utilities shown are approximate location and/or scaled in graphically according to existing as-builts.

Existing structures to be removed.

PURPOSE NOTE:
The purpose of this plat is to create one (1) lot, from three (3) existing lots of record.

UDA245-039

1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
Firm Registration #3294610, 214-396-1339
www.urbanstrategy.us

PRELIMINARY REPLAT

TRAVIS STREET TOWNHOMES
LOT 22A, BLOCK 2/1529
0.4890 ACRES / 21,300 SQUARE FEET
BEING A REPLAT OF
LOTS 22, 23, AND 24, BLOCK 2/1529
FREDERICK P. WILSONS NORTH DALLAS ADDITION
RECORDED IN VOLUME 1, PAGE 40 IN THE
MAP RECORDS OF DALLAS COUNTY, TEXAS
OUT OF THE W.B. COATS SURVEY, ABSTRACT NO. 237
CITY OF DALLAS, DALLAS COUNTY, TEXAS
CITY PLAN FILE NO. **S245-071**
ENGINEERING PLAN FILE NO.

CIVIL
URBAN STRATEGY
4222 MAIN ST
DALLAS, TX 75226
WWW.URBANSTRATEGY.US
214-295-5775

SURVEYOR
MARK A. NACE, RPLS
TEXAS LICENSE NO 5539
URBAN STRATEGY
1100 E. CAMPBELL, STE 210
469-283-0083
MARKN@URBANSTRATEGY.US
TBPLS FIRM NO 10194610

DEVELOPER/ OWNER
GIAMBRONE
CONTACT MIKE GIAMBRONE
3610 EDGEWATER ST
DALLAS, TX 75205
MGIAMBRONE@BARROWHANLEY.COM

FILE NAME: RPT_21088_PRELIMINARY_PLAT_DWG
LAST MODIFIED: 01/08/2025 10:08:08 AM
CUTTED ON: 01/08/2025 11:31:31 AM
CUTTED BY: 186293.37 PM

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Giambrone Design District Projects, LLC, 4409 Travis Street LLC, and 4409 Travis LLC, acting by and through their duly authorized agent, Mike Giambrone, do hereby adopt this plat, designating the herein described property as TRAVIS STREET TOWNHOMES, an addition to the City of Dallas, Dallas County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Dallas, Texas.

WITNESS MY HAND THIS ____ DAY OF _____, 2025.

Giambrone Design District Projects, LLC

Mike Giambrone, Owner

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Mike Giambrone, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2025.

Notary Signature

WITNESS MY HAND THIS ____ DAY OF _____, 2025.

4409 Travis Street LLC
a Texas limited liability company

Mike Giambrone, Owner

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Mike Giambrone, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2025.

Notary Signature

WITNESS MY HAND THIS ____ DAY OF _____, 2025.

4409 Travis LLC

Mike Giambrone, Owner

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Mike Giambrone, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 2025.

Notary Signature

The lien holder or mortgagee concurs with the Owner's Certificate and agrees to subordinate its interests to the provisions of the Owner's Dedication.

Lien holder:
[Bank/mortgagee]

By:
Name:
Title:

STATE OF TEXAS
COUNTY OF _____

This instrument was acknowledged before me on ____ (date of acknowledgment) by ____ (name of person who signed), as ____ (title of officer-usually president or secretary, of ____ (name of business), a ____ (state of business, i.e., LLC, Corp, etc.), on behalf of the ____ (LLC, Corp., etc.).

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE
STATE OF TEXAS §
COUNTY OF DALLAS §

I, Mark A. Nace, registered professional land surveyor, licensed by the state of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the rules and regulations of the Texas board of professional land surveying and the city of Dallas, Texas development codes and ordinances. I further affirm that monumentation shown hereon was either found or set under my direction and supervision.

Dated this the ____ day of _____, 2025.

Mark A. Nace
Registered Professional Land Surveyor no. 5539

STATE OF TEXAS §
COUNTY OF DALLAS §

Before me, the undersigned authority, a notary public in and for the said county and state, on this day personally appeared Mark A. Nace, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this the ____ day of _____, 2025.

Notary Public, in and for the State of Texas

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

PLACE COUNTY RECORDING LABEL HERE

CERTIFICATE OF APPROVAL

I, Tony Shidlo, Chairperson or Brent Rubin, Vice Chairperson of the City Plan Commission of the City of Dallas, State of Texas, hereby certify that the attached plat was duly filed for approval with the City Plan Commission of the City of Dallas on the ____ day of ____ A.D. 20__ and same was duly approved on the ____ day of ____ 20__ by said Commission.

Chairperson or Vice Chairperson
City Plan Commission
Dallas, Texas

Attest:

Secretary



1100 E. Campbell Road, Suite 210, Richardson, Texas 75081
Firm Registration #102294610, 214.396.7399
www.urbanstrategy.us

PRELIMINARY REPLAT

TRAVIS STREET TOWNHOMES

LOT 22A, BLOCK 2/1529

0.4890 ACRES / 21,300 SQUARE FEET

BEING A REPLAT OF

LOTS 22, 23, AND 24, BLOCK 2/1529

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RECORDED IN VOLUME 1, PAGE 40 IN THE

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OUT OF THE W.B. COATS SURVEY, ABSTRACT NO. 237

CITY OF DALLAS, DALLAS COUNTY, TEXAS

CITY PLAN FILE NO. S245-071

ENGINEERING PLAN FILE NO. _____

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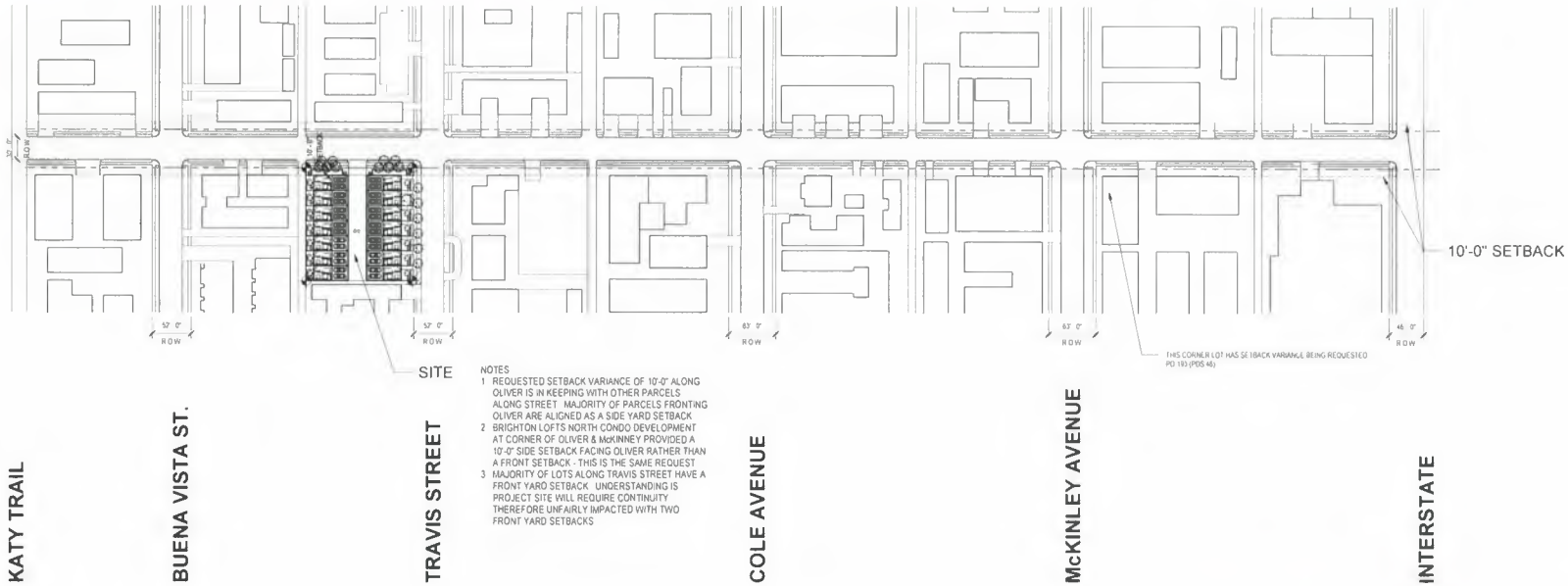
CIVIL
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MARKN@URBANSTRATEGY.US
TBPLS FIRM NO. 10194610

DEVELOPER/OWNER
GIAMBRONE DESIGN DISTRICT PROJECTS, LLC
CONTACT: MIKE GIAMBRONE
3610 EDGEWATER ST
DALLAS, TX 75205
MGIAMBRONE@BARROW-IANLEY.COM



OLIVER STREET



NOTES
 1. REQUESTED SETBACK VARIANCE OF 10'-0" ALONG OLIVER IS IN KEEPING WITH OTHER PARCELS ALONG STREET. MAJORITY OF PARCELS FRONTING OLIVER ARE ALIGNED AS A SIDE YARD SETBACK.
 2. BRIGHTON LOFTS NORTH CONDO DEVELOPMENT AT CORNER OF OLIVER & MCKINNEY PROVIDED A 10'-0" SIDE SETBACK FACING OLIVER RATHER THAN A FRONT SETBACK. THIS IS THE SAME REQUEST.
 3. MAJORITY OF LOTS ALONG TRAVIS STREET HAVE A FRONT YARD SETBACK. UNDERSTANDING IS PROJECT SITE WILL REQUIRE CONTINUITY THEREFORE UNFAIRLY IMPACTED WITH TWO FRONT YARD SETBACKS.

THIS CORNER LOT HAS SETBACK VARIANCE BEING REQUESTED PD 193 (PDS 43)

1 OLIVER STREET DIAGRAM
 G002 1" = 80' 0"

BDA245-039

MILLER HULL
 The Miller Hull Partnership, LLP
 Architecture and Planning
 Polson Building
 71 Columbia Street
 Seattle, WA 98104
 Phone: 206.682.8837
 Contact: Brian Court

STAMP
 NOT FOR CONSTRUCTION

TRAVIS STREET TOWNHOMES

4343 Travis Street
 Dallas TX 75205
 SUBMITTAL

Concept Design

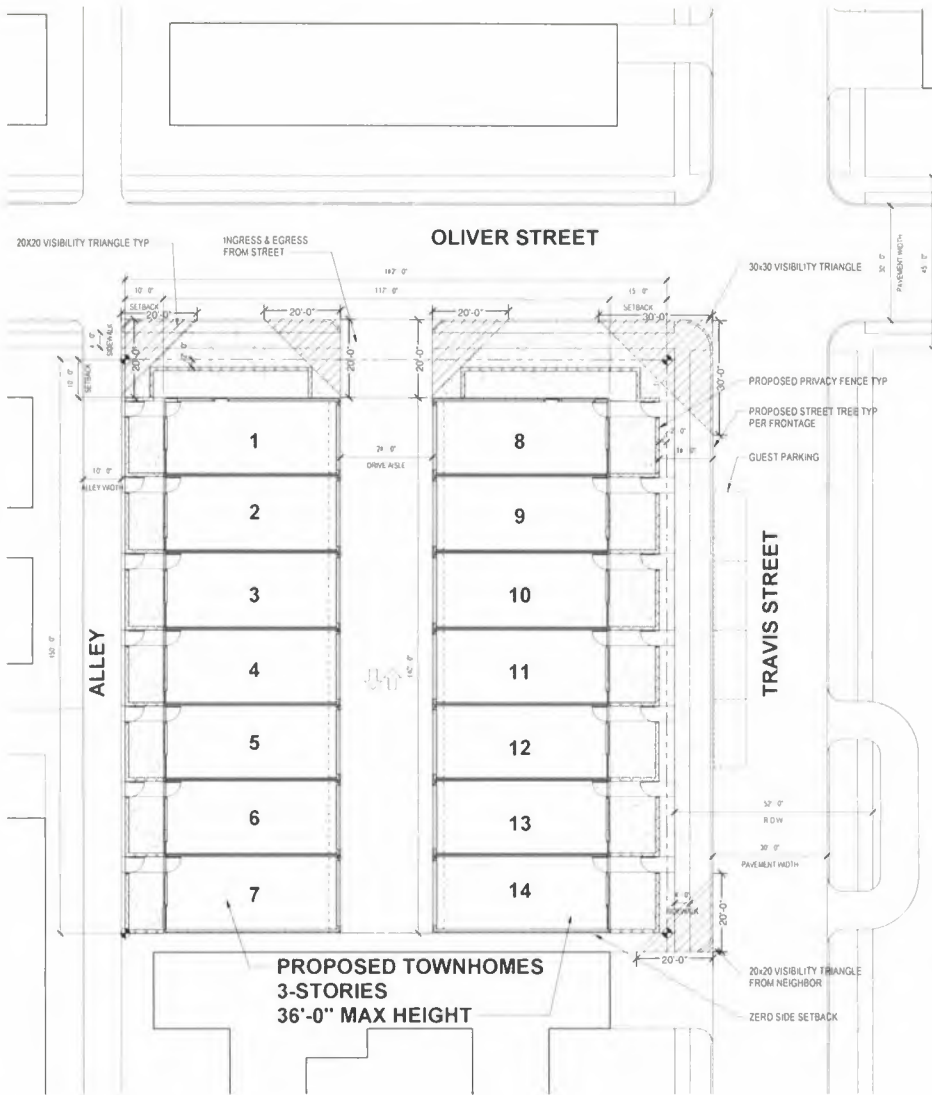
DECEMBER 10, 2024

REVISIONS

No.	Description	Date

Drawn	Author
Checked	Checker
M/H Proj No	A21-0026-00
Issue Date	DECEMBER 10, 2024

SHEET
OLIVER STREET DIAGRAM G002



SITE INFORMATION	
Owner	Customize Design District
Project Address	#343 & #345 Travis Street, Dallas, TX 75205 (preliminary plat forthcoming)
Site Location	The proposed townhomes are located at the intersection of Travis Street and Oliver Street in the Five Handcuffs neighborhood.
General Project Description	Project includes new construction of 14 townhomes with a common vehicular access to the site. Project will combine existing lots and demolish existing structures on site.
Parcel Numbers	80000586000000 & CONDD000320070000
Total Lot Area	21,375 square feet (0.48 acres)
Existing Legal Description	F.R. Wakelee North Dallas Addition, Block #529, Lots 22, 23, 24
ZONING ANALYSIS	
Zoning	PD 103 (MUT-2)
Overlay Zoning	Old, Low and Late Dallas Demolition Delay (Vehicular Access) Height Overlay, Zone 1 (MUT)
Lot Area	21,375 square feet (0.48 acres)
Lot Coverage	60% Maximum SIP 193.122.4.9
Floor Area Ratio	30 Maximum SIP 193.124.4.3
Front Setback	15' 0" (late SIP 193.125) SIP 193.118.5 3' 0" projections allowed for balcony or sunshade awning
Side Setback	10' 0" (late SIP 193.125) SIP 193.118.5 3' 0" projections allowed for sunshade awning
Side Setback Reduction	SEC 51P.193.118.5.1 In the lot: 1. A side set of setback of either zero or five feet (but not between zero and five feet) may be provided for a side or rear building wall if: A. The building is 35 feet or less in height; B. The wall faces to the line of the same building side that is perpendicular contiguous to or perpendicular across an adjoining alley that is nonresidential in character; C. The wall has no openings; and D. The requirements of the building and fire codes and all other applicable ordinances and laws are met. South lot line to provide no setback, see Site Plan
Rear Setback	10' 0" SIP 193.120.3 3' 0" projections allowed for sunshade awning
Internal Setback	SEC 51P.193.107.3.1 10' 0" space between buildings if wall includes window for light and air 20' 0" space between buildings if wall includes window for light and air
Corner Lot	SEC 51P.193.118.1 If a corner lot in a single family, duplex, multiple family, or agricultural subdivision of lots has street frontages of unequal length, the setback is governed by the lot area regulations of this section, and the other setback is governed by the side yard regulations in Section 51P.193.119. If the corner lot has two street frontages of unequal distance, the corner setback is governed by the setback and the longer frontage is governed by the side yard regulations in Section 51P.193.119. Acknowledging this provision, the continuity of the established setback along street frontage must be maintained.
Lot has two street frontages of unequal length. Variance is requested as follows: Travis Street to be 30' rear yard and 0' side yard. Setback to be side yard. Travis Street has a demonstrated front yard setback noncompliance and Oliver Street has a demonstrated side yard setback noncompliance.	
Maximum Height	36' 0" SIP 193.123.5 Parade 4' 0" Permitted above maximum 12' 0"
See Elevations for Compliance	

AREA CALCULATIONS	
L01 AREA	21,375 SF
GROSS FLOOR AREA	APPROX. ## 000 SF
L01 CURB/RACE	APPROX. 13,000 SF (60%) Comply
PARKING DEMONSTRATION	
Parking	SEC 51P.193.113.1.3 Standard 9' 6" x 19' 0" Compact 7' 6" x 16' 0" (Max 35% of total) Private garages per townhome, will provide standard parking spaces
Garage Parking	SEC 51P.193.113.1.3 Unless as provided in the paragraph, a parking space in an enclosed structure must be at least 70 feet from the right of way line adjacent to a street or alley if the space below open or can be entered directly from the street or alley. This provision controls over any building line setback to a rear setback and any other provision of Sections 51P.193.107 through 51P.193.125. A parking space in an enclosed structure must be within 70 feet of the right of way line adjacent to a street or alley if: A. The parking space can be entered directly only from a street or alley that is not designated as a throughway in the city's thoroughfare plan; B. The parking space is in a side or rear yard of a lot in a residential subdivision; C. The garage door has a remote automatic control installed that is maintained in working condition; and D. No portion of the garage door encroaches into the public right of way when it opens or closes. This paragraph does not authorize the provision of a garage within a required side or rear yard setback. (See L. Code 193.011)
Off Street Loading	SEC 51P.193.115 2' access per dwelling
Guest Parking	SEC 51P.193.107.3.1 75% spaces per dwelling. Spaces adjacent to the lot and on a public street may be counted toward the guest parking requirement if one additional two-inch culvert pipe is installed for each on-street guest parking space. 14 dwelling units proposed, therefore a guest space is required. Guest spaces will be lot and adjacent to lot on public street and (4) four additional areas provided. 8,500 GSF None Required
Visibility Triangles	SEC 51P.193.124.4.0 (1) where two streets are designated on the city's thoroughfare plan intersect, the portion of a lot used for other than a triangular area formed by connecting together the points of intersection of adjacent street lines (or, if there are no street curbs, what would be the normal street curb lines) and points on each of the street curb lines 30 feet from the intersection and (2) where an alley or driveway intersects with a street, the portion of a lot within a triangular area formed by connecting together the points of intersection at the edge of a driveway or alley and adjacent street curb lines (or, if there is no street curb, what would be the normal street curb line) and points on the driveway or alley edge and the street curb line 20 feet from the intersection. 30' x 30' intersection 20' x 20' alley & driveway
Privacy Fencing	SEC 51P.193.120.15 In M-2, a fence or wall with an average height of seven feet and a maximum height of nine feet above the top of the nearest street curb may be located in the required front yard if: A. The main building does not encroach 20 feet in height; B. There are no front street curb cuts, front and driveway, or front alleyways to garages or parking; C. A minimum setback of 12 feet is provided between the fence and the projected street curb; and D. All portions of the fence exceeding four feet in height are set back at least two feet from the lot line. 14) Side fence. One tree must be provided for every 4,000 square feet within the lot. A minimum of 50 percent of these side trees must be planted within the rear 50 percent of the lot. Every side tree must have a planting area of at least 75 square feet. The trunk of any side tree must be located more than two feet and one half feet from any pavement. 18) Street trees. One large canopy tree must be provided for every 25 feet of frontage with a minimum of two trees required. These trees must be located within the parking.

1 ARCHITECTURAL SITE PLAN
1/16" = 1' 0"

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TRAVIS STREET TOWNHOMES

4343 Travis Street
Dallas, TX 75205
SUBMIT FINAL

Concept Design

DECEMBER 10, 2024

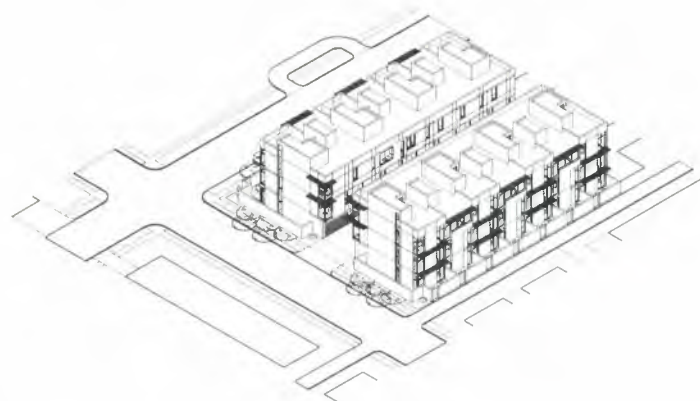
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Checked: MIH
MJIH Proj No: A21 0026 00
Issue Date: DECEMBER 10, 2024

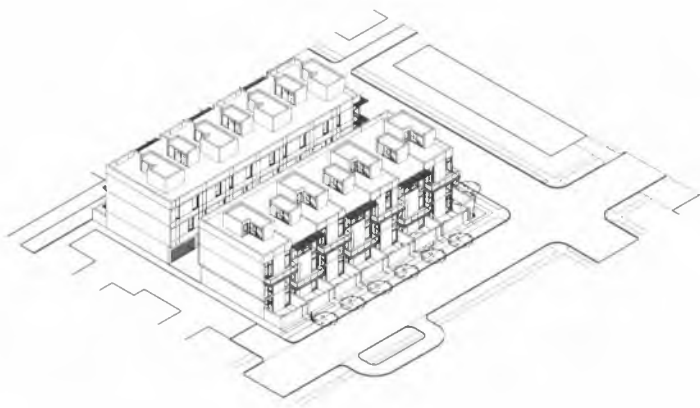
ARCHITECTURAL SITE PLAN G100



1
G120
OVERALL AXON - SE



2
G120
OVERALL AXON - NE



3
G120
OVERALL AXON - SW



4
G120
OVERALL AXON - NW

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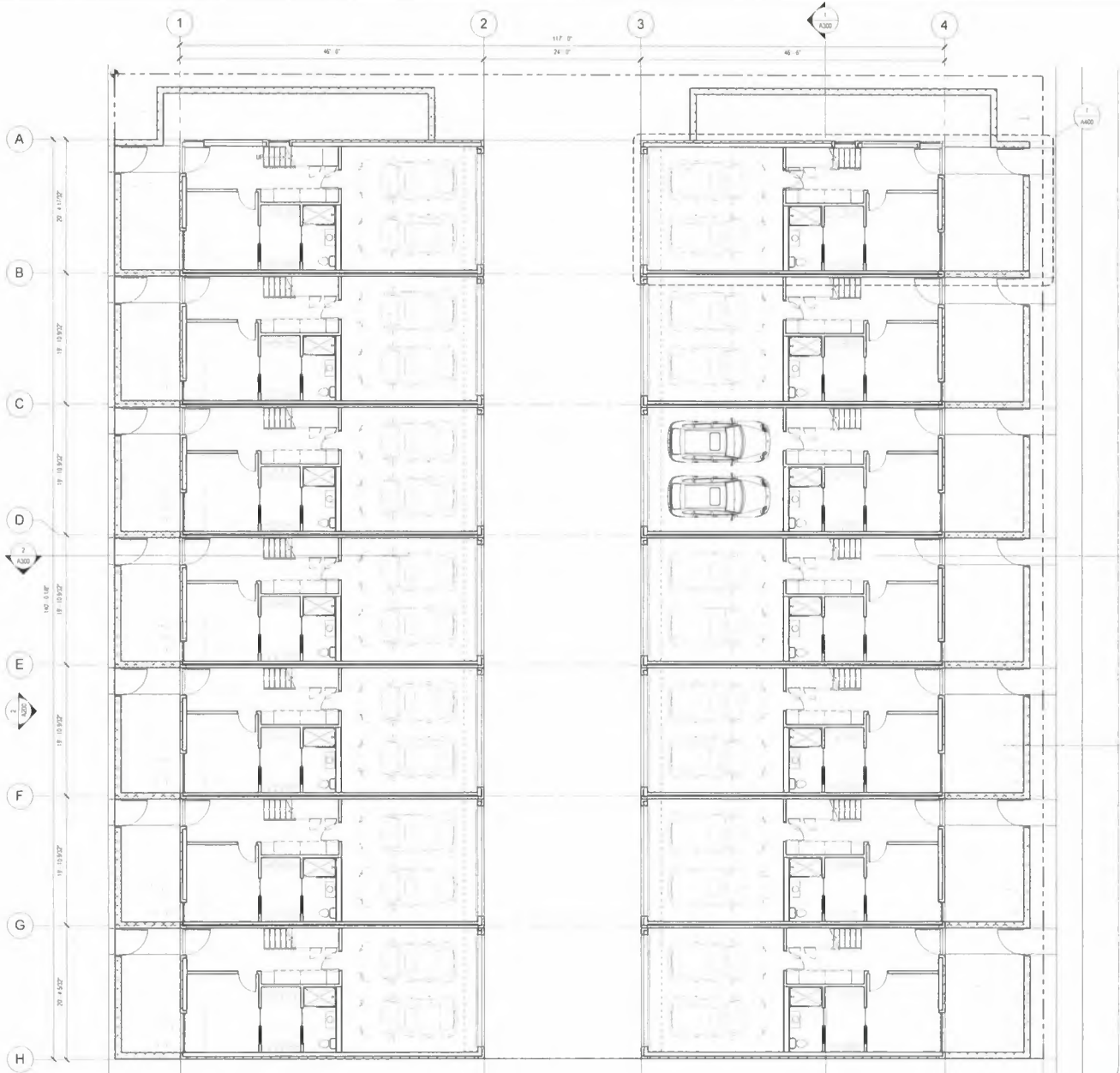
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**AXONOMETRIC VIEWS
 G120**

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GENERAL FLOOR PLAN NOTES

1 PROJECT W/CONCEPT DESIGN FLOOR PLANS SUBJECT TO CHANGE

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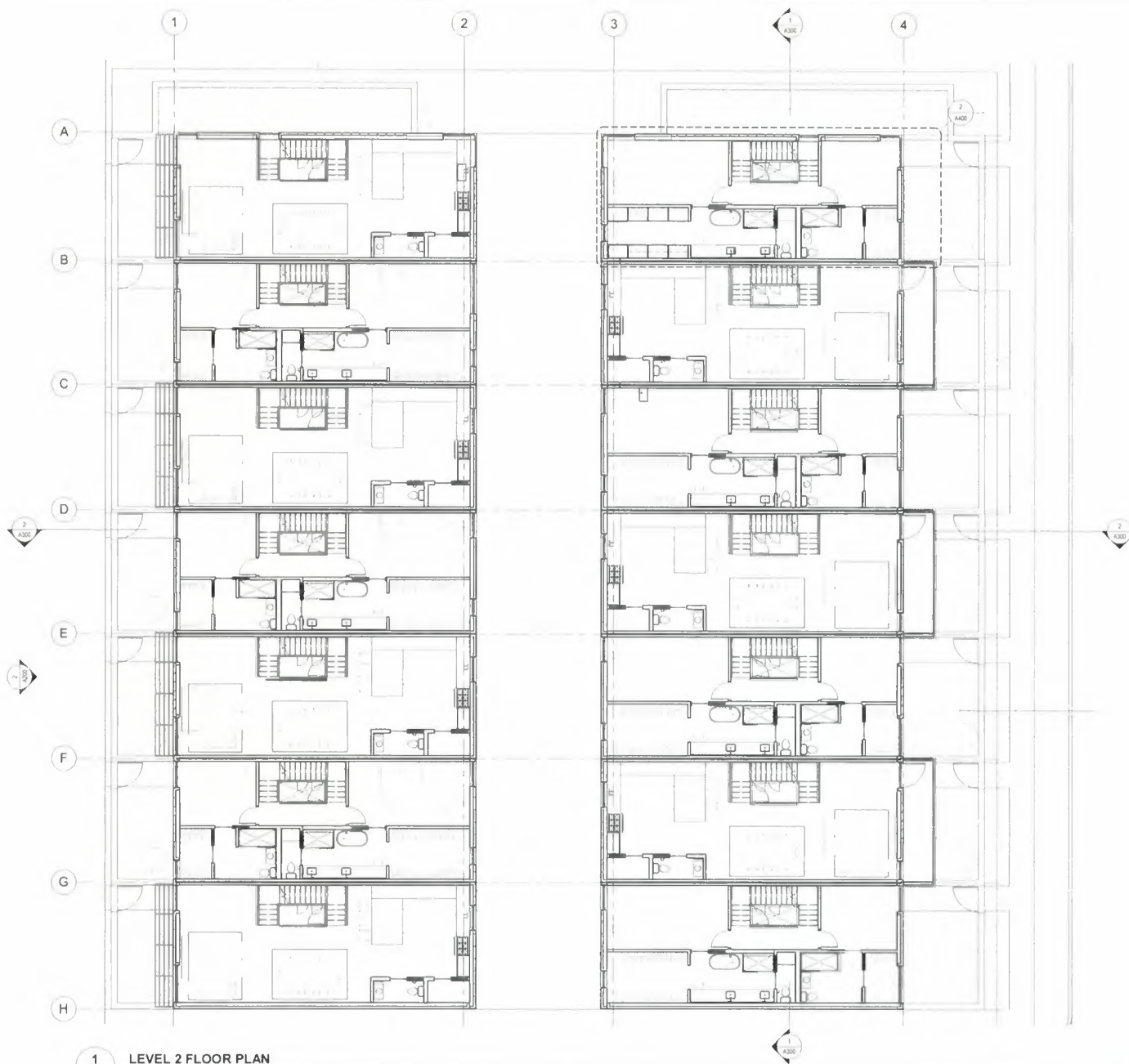
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LEVEL 1 - FLOOR PLAN A111

1 LEVEL 1 FLOOR PLAN
 A111 1/8" = 1'-0"

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GENERAL FLOOR PLAN NOTES
 1. PROJECT IN CONCEPT DESIGN. FLOOR PLANS SUBJECT TO CHANGE.

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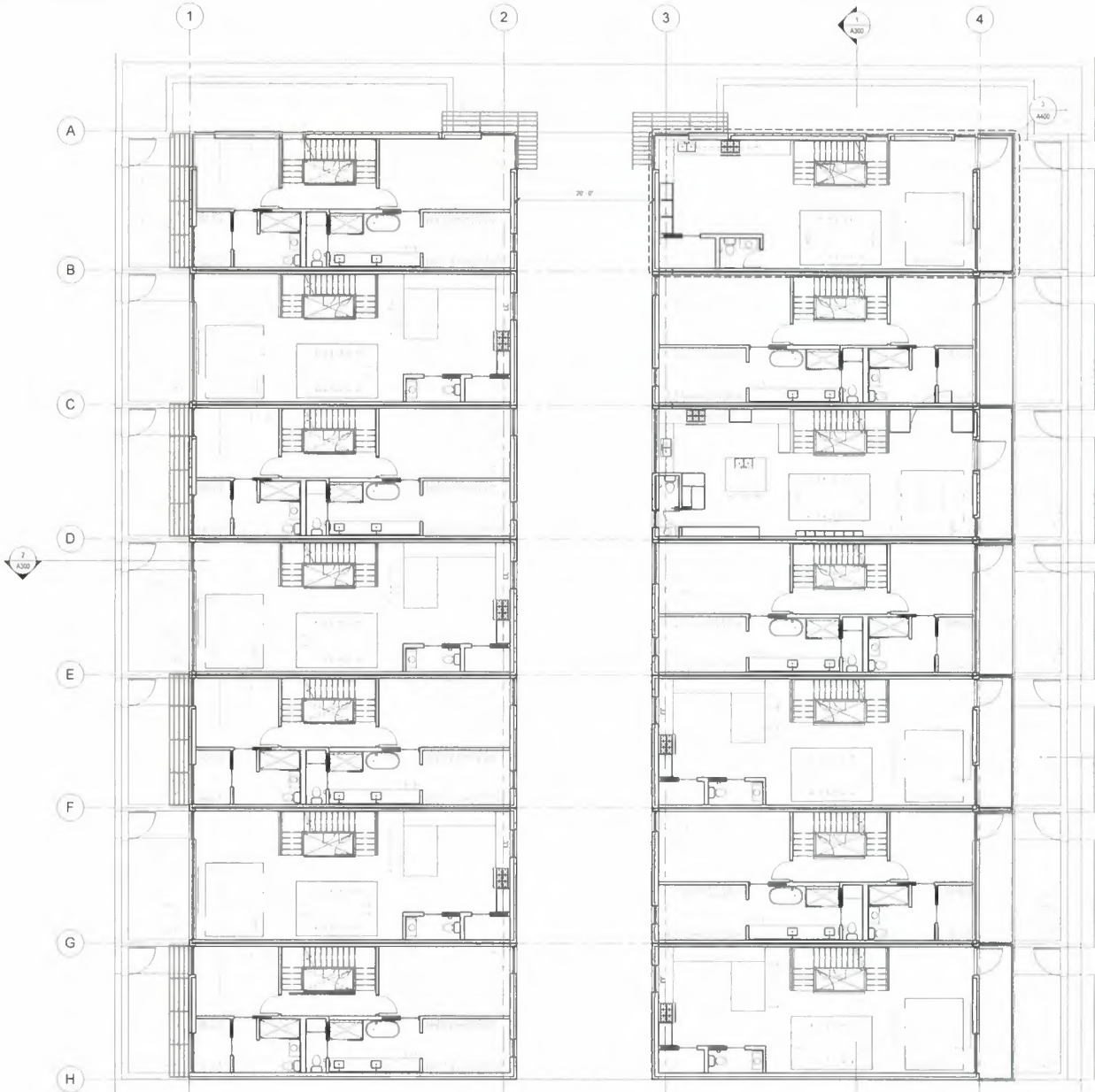
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LEVEL 2 - FLOOR PLAN A121

1 LEVEL 2 FLOOR PLAN
 A121 1/8" = 1'-0"

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GENERAL FLOOR PLAN NOTES

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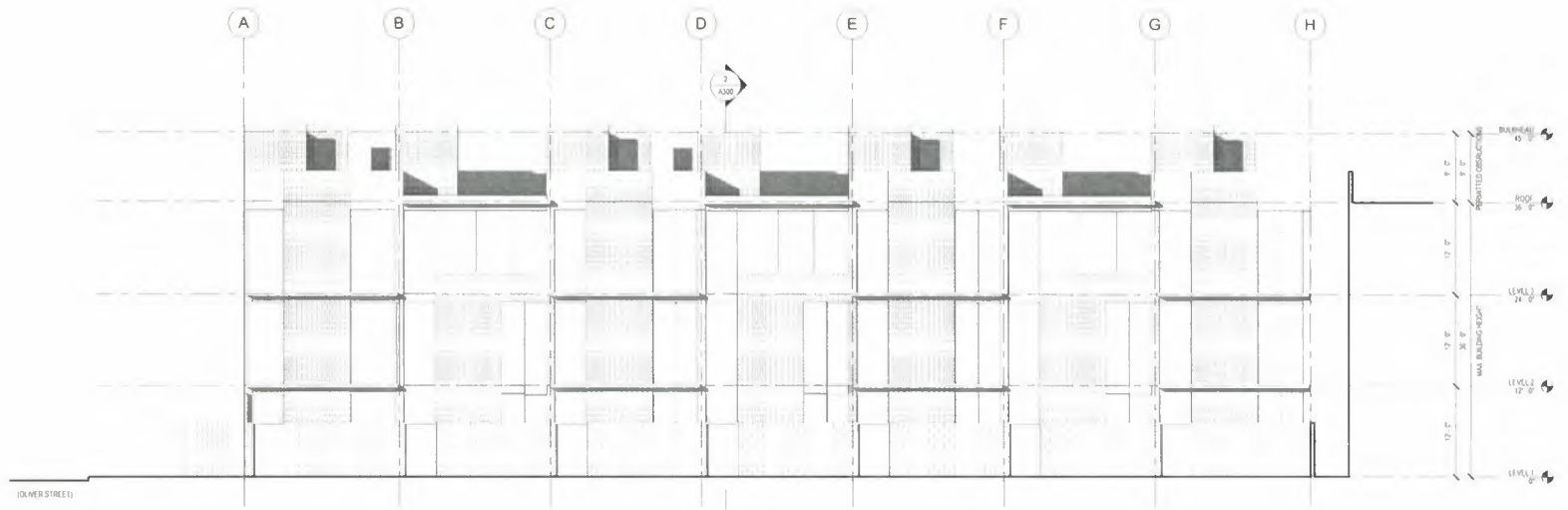
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**LEVEL 3 -
FLOOR PLAN
A131**

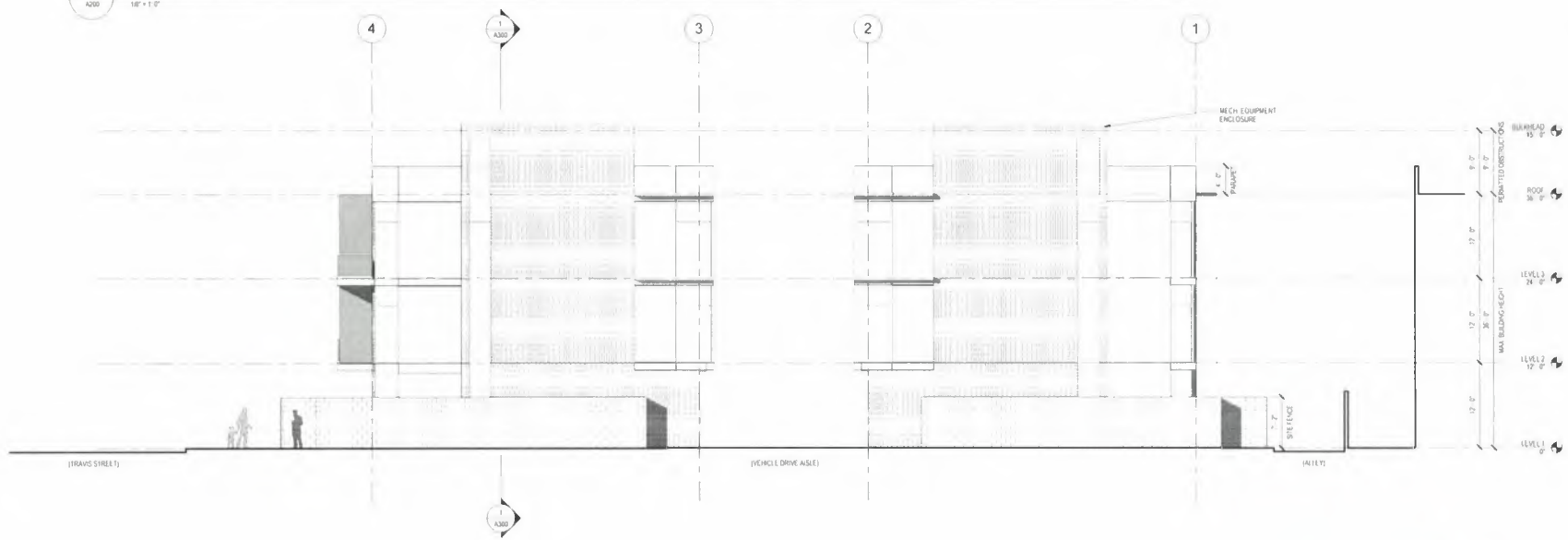
1 LEVEL 3 FLOOR PLAN
 A131 18" x 11"

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2 NORTH ELEVATION
 A200
 1/8" = 1'-0"



1 EAST ELEVATION
 A200
 1/8" = 1'-0"

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**BUILDING ELEVATIONS
 A200**

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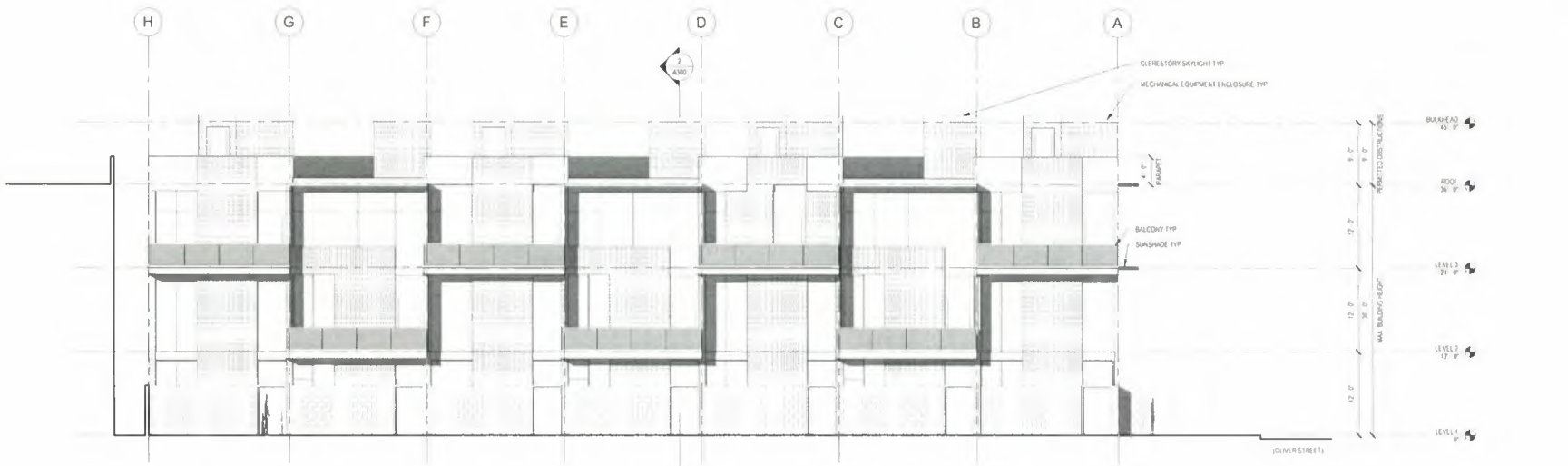
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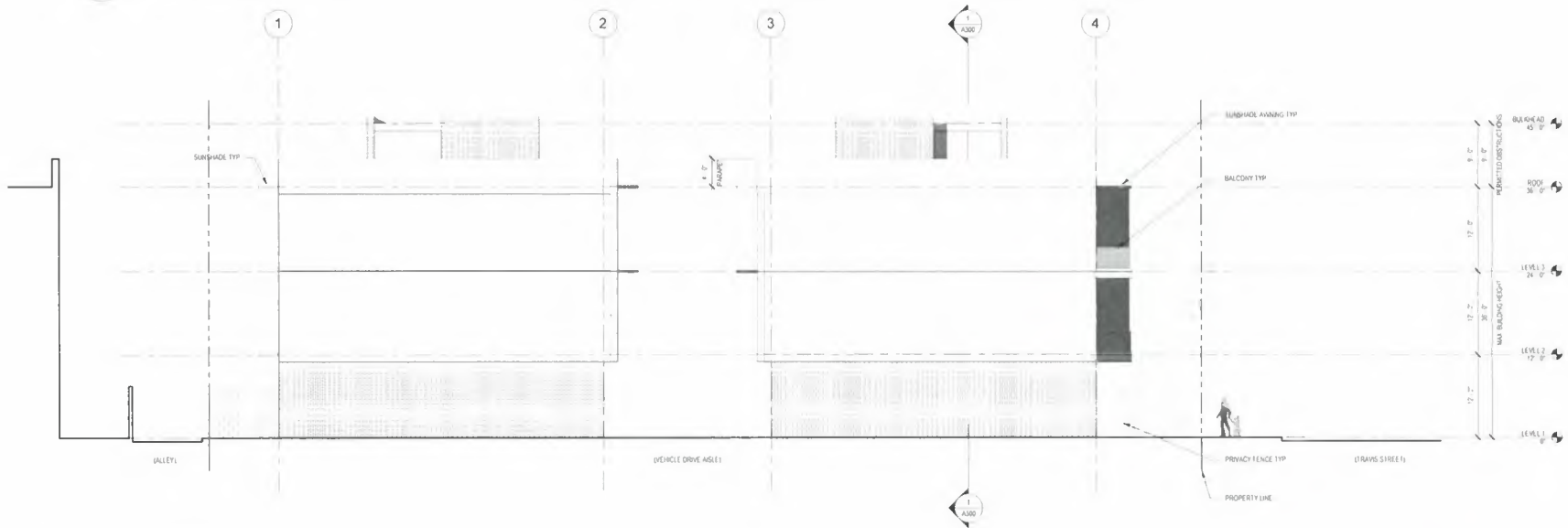
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**BUILDING ELEVATIONS
 A201**



2 SOUTH ELEVATION
 A201 1/8" = 1' 0"



1 WEST ELEVATION
 A201 1/8" = 1' 0"

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