



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

FOR OFFICE USE ONLY

Data Relative to Subject Property:

Date:

FOR OFFICE USE ONLY

Location address: 10806 Camellia Drive

Zoning District: R-16(A)

Lot No.: 3 Block No.: 4/5500 Acreage: 0.38 Census Tract: 48113013300

Street Frontage (in Feet): 1) 111' 2) 160' 3) 4) 5)

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Beechwood Custom Homes, LLC

Applicant: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com / michele@baldwinplanning.com

Represented by: Rob Baldwin, Baldwin Associates Telephone: 214-824-7949

Mailing Address: 3904 Elm Street, Suite B - Dallas Zip Code: 75226

E-mail Address: rob@baldwinplanning.com / michele@baldwinplanning.com

Affirm that an appeal has been made for a Variance , or Special Exception X, of of 15' to the side yard setback to allow a 20' setback, special exception of 4' to allow an 8' fence, special exception to allow the fence to be solid and special exception to allow encroachment into the alley visibility triangle.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The 20' side yard setback was initially approved by the city (#2011041087). The owner submitted a revised plan for review and was advised that the side yard setback was approved in error. The owner has already purchased building materials based on the approved plans. The property is located next to a busy thoroughfare. The proposed fence will provide the homeowner with privacy and security from the traffic and will not negatively affect surrounding homes.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Rob Baldwin

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted:

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 5 day of February, 2025

Notary Public in and for Dallas County, Texas



DALLAS GREEN BUILDING PROGRAM NOTES - NEW CONSTRUCTION

ALL NEW CONSTRUCTION TO COMPLY WITH PHASE-2 OF THE CITY OF DALLAS PRESCRIPTIVE CHECKLIST.

STORM WATER:

- 70% OF THE NON-ROOF AREA TO HAVE VEGETATIVE LANDSCAPING OR PERMEABLE PAVING.

WATER USAGE:

UTILIZE DRIP IRRIGATION IN ALL PLANTING BEDS.

MUST COMPLY WITH 3 OF THE FOLLOWING 5 CATEGORIES:

- LAVATORY FAUCETS TO HAVE A FLOW RATE OF 2.0 GPM MAX.
- SHOWER HEADS TO HAVE A FLOW RATE OF 2.0 GPM MAX.
- TOILETS TO HAVE AN AVERAGE FLUSH RATE OF 1.3 GPF MAX.
- DISHWASHER TO BE ENERGY STAR LABELED AND USE 6 GAL. MAX PER CYCLE
- CLOTHES WASHERS TO BE ENERGY STAR LABELED AND HAVE A MODIFIED ENERGY FACTOR OF 2.0 MIN. AND WATER FACTOR OF 5 MAX.

ENERGY EFFICIENCY:

THE HOUSE MUST ACHIEVE ENERGY EFFICIENCY 15% BETTER THAN THE DALLAS ENERGY CONSERVATION CODE USING THE IC3 CALCULATOR.

HEAT ISLAND MITIGATION:

- ROOFING MATERIALS SHALL BE ENERGY STAR QUALIFIED WITH A LIGHT REFLECTANCE VALUE OF ≥ 0.25 . A PROPERLY INSTALLED RADIANT BARRIER OR A FOAM ENCAPSULATED ATTIC IS AN ACCEPTABLE ALTERNATIVE.

INDOOR AIR QUALITY:

- HVAC AND DUCT WORK TO BE LOCATED OUTSIDE OF THE FIRE RATED GARAGE ENVELOPE.
- MINIMIZE POLLUTANTS IN CONDITIONED SPACE ABOVE GARAGE.

a) PENETRATIONS SEALED.

b) FLOOR AND CEILING JOIST BAYS SEALED.

c) PAINTED WALLS AND CEILING OF CONDITIONED SPACE.

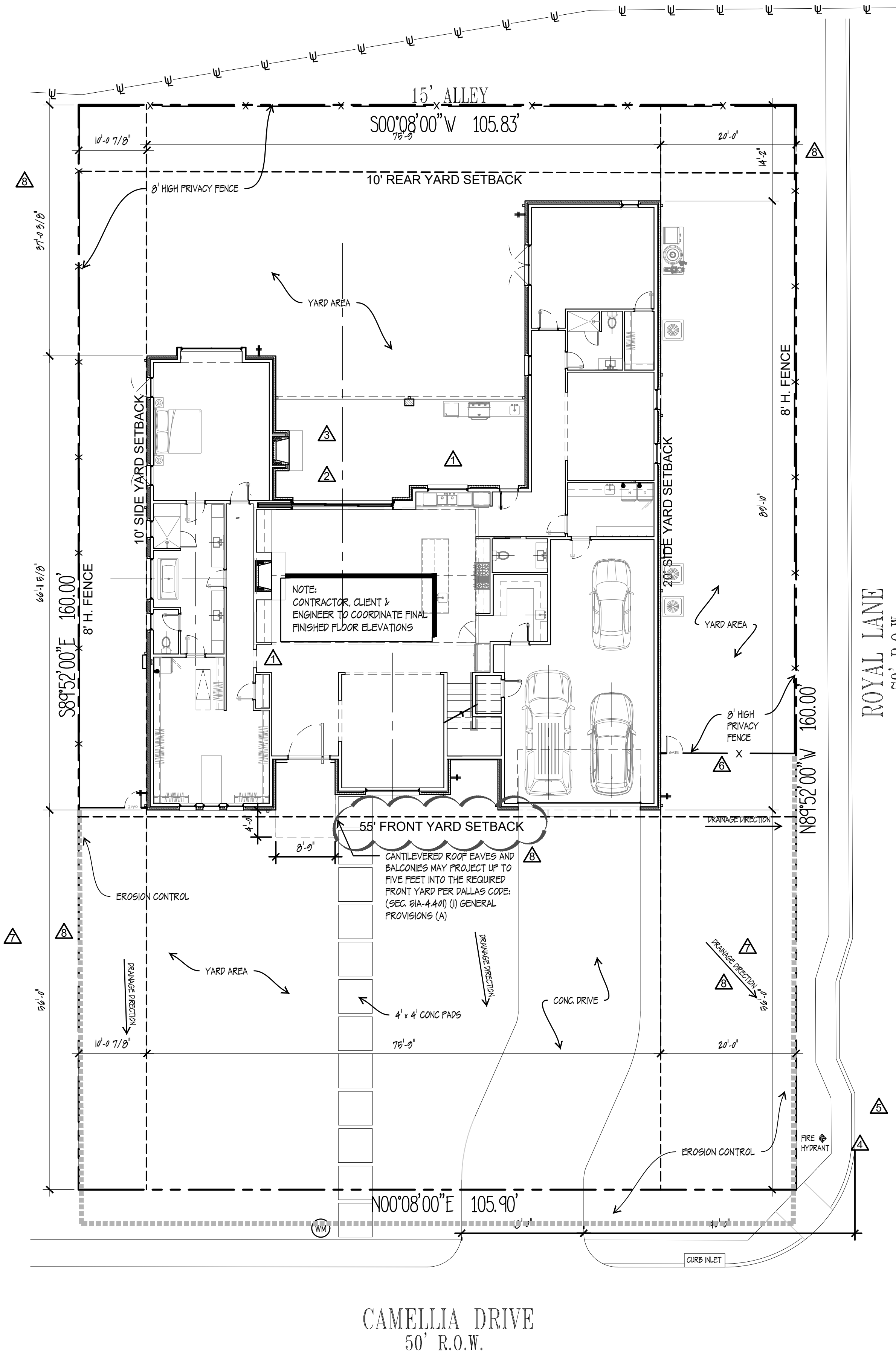
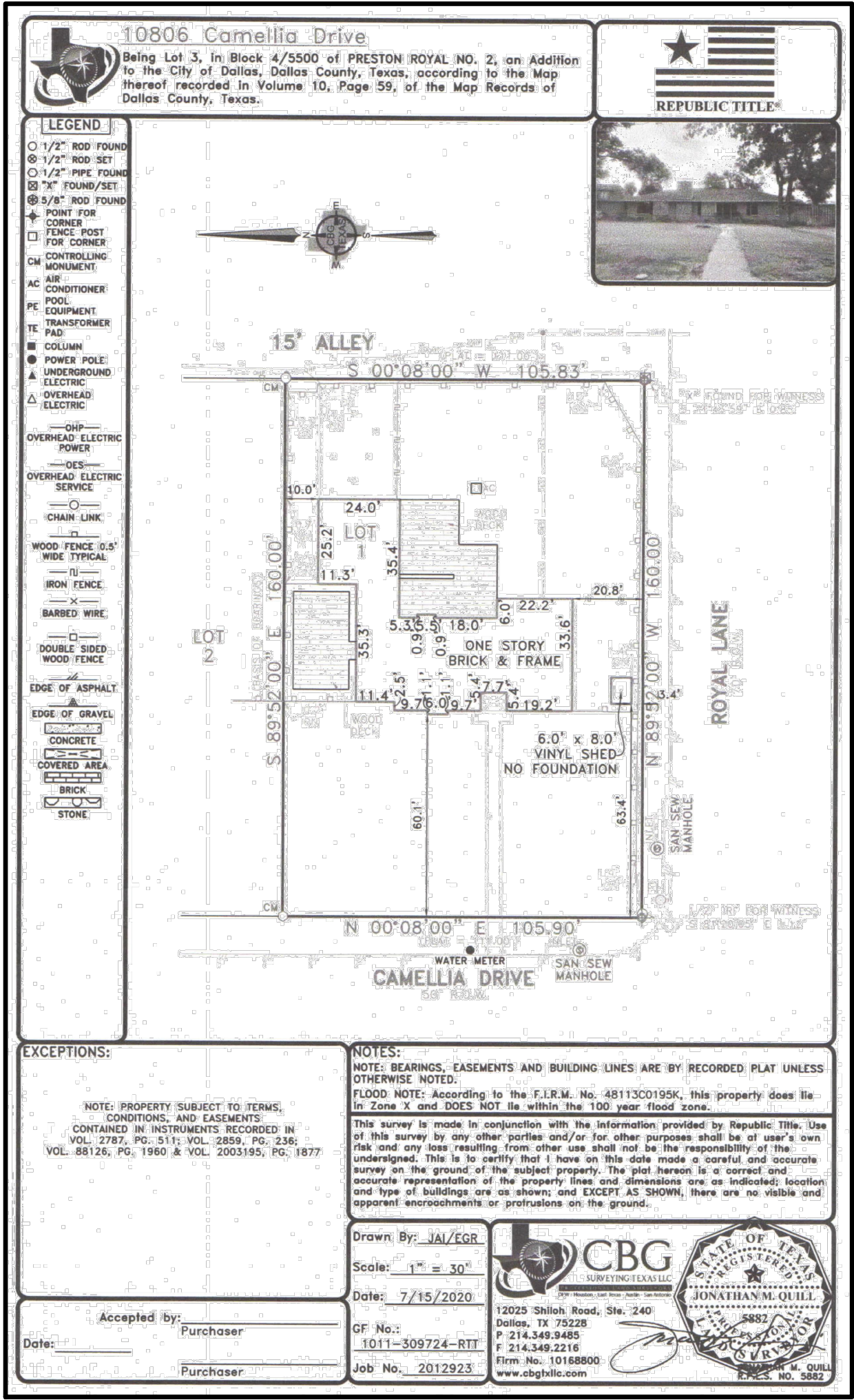
- MINIMIZE POLLUTANTS IN CONDITIONED SPACE ADJACENT TO GARAGE.

a) PENETRATIONS SEALED.

b) DOORS WEATHERSTRIPPED.

c) CRACKS AT WALL BASE SEALED.

- AIR FILTERS TO BE MERV 8 MIN.
- AIR HANDLER(S) TO BE PROPERLY SIZED BY THE MECHANICAL CONTRACTOR.
- AIR FILTER HOUSING TO BE AIRTIGHT.



AREA CALCULATIONS:

LEVEL 1: 3,818 S.F. CONDITIONED SPACE

LEVEL 2: 2,155 S.F. CONDITIONED SPACE

FRONT PORCH: 96 S.F. NON-CONDITIONED SPACE

COVERED PATIO: 503 S.F. NON-CONDITIONED SPACE

GARAGE: 825 S.F. NON-CONDITIONED SPACE

TOTAL: 5,973 S.F. CONDITIONED SPACE

LOT COVERAGE:

LOT AREA: 16,932 S.F.

ALLOWABLE: 40% = 6,773 S.F.

BUILDING FOOTPRINT: 5,242 S.F.

MAX. LOT COVERAGE @ 40% = 6,773 S.F. $\geq 5,242$ S.F.

PROJECT ADDRESS:

10806 CAMELLIA DRIVE

LEGAL DESCRIPTION:

LOT 3 BLOCK 4/5500 PRESTON ROYAL NO. 2 ADDITION

DALLAS COUNTY

DALLAS, TEXAS 75230

CODE REQUIREMENTS:

2021 IRC WITH DALLAS AMENDMENTS

2021 IBC WITH DALLAS AMENDMENTS

2020 NEC WITH DALLAS AMENDMENTS

2021 INTERNATIONAL PLUMBING CODE WITH DALLAS AMENDMENTS

2021 INTERNATIONAL MECHANICAL CODE WITH DALLAS AMENDMENTS

ZONING:

ZONED R16 (A)

35' FRONT YARD SETBACK

10' SIDE YARD SETBACK

10' REAR YARD SETBACK

30' MAX HEIGHT

TABLE 302.6 DWELLING GARAGE SEPARATION

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE THE GARAGE	NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/ CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

SHEET INDEX

SHT No.	SHEET DESCRIPTION	DWG VERSION	FILE NAME
A0.01	SITE PLAN, SURVEY, SHEET INDEX	VERSION 4	000001_A0.01_INDEX_SITE PLAN.ppt
A1.00	GROUND FLOOR PLAN	VERSION 2	000002_A1.00_GRND FLR 1.ppt
A1.01	SECOND FLOOR PLAN	VERSION 3	000003_A1.01_2ND FLR 2.ppt
A1.02	ROOF PLAN	VERSION 2	000004_A1.02_ROOF PLAN.ppt
A2.00	NORTH AND EAST ELEVATIONS	VERSION 3	000005_A2.00_NORTH-EAST ELEVATIONS.ppt
A2.01	SOUTH AND WEST ELEVATIONS	VERSION 3	000006_A2.01_SOUTH-WEST ELEVATIONS.ppt
A3.00	BUILDING SECTIONS	VERSION 3	000007_A3.00_BUILDING SECTIONS.ppt
A3.01	WALL SECTIONS	VERSION 2	000008_A3.01_WALL SECTIONS.ppt
A4.00	DOOR AND WINDOW SCHEDULE	VERSION 2	000009_A4.00_DOOR WINDOW SCHEDULE.ppt
E1.00	GROUND FLOOR POWER PLAN	VERSION 2	000010_E1.00_GRND FLR PWR PLAN.ppt
E1.01	SECOND FLOOR POWER PLAN	VERSION 2	000011_E1.01_2ND FLR PWR PLAN.ppt
P1.00	SLAB PLUMBING LAYOUT PLAN	VERSION 2	000012_P1.00_SLAB PLUMB PLAN.ppt
P1.01	2ND LEVEL PLUMBING PLAN	VERSION 1	000013_P1.01_2ND LVL PLUMB PLAN.ppt

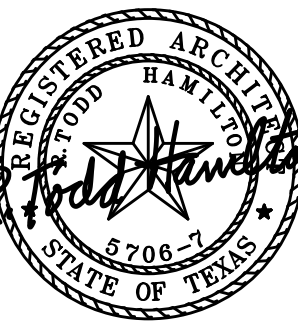
REVISION LOG

REVISION No.	REVISION DESCRIPTION		
1	EXTEND PATIO ROOF		CITY COMMENTS
2	PATIO DOOR REVISION		CITY COMMENTS
3	EXTEND PATIO ADD PATIO SCREEN		CITY COMMENTS

Todd Hamilton Architects

11909 PRESTON RD.
SUITE 292
DALLAS, TX 75230
214 770 4649

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11/05/2024

A NEW RESIDENCE
BEECHWOOD HOMES
10806 CAMELLIA DRIVE
DALLAS, TEXAS 75230

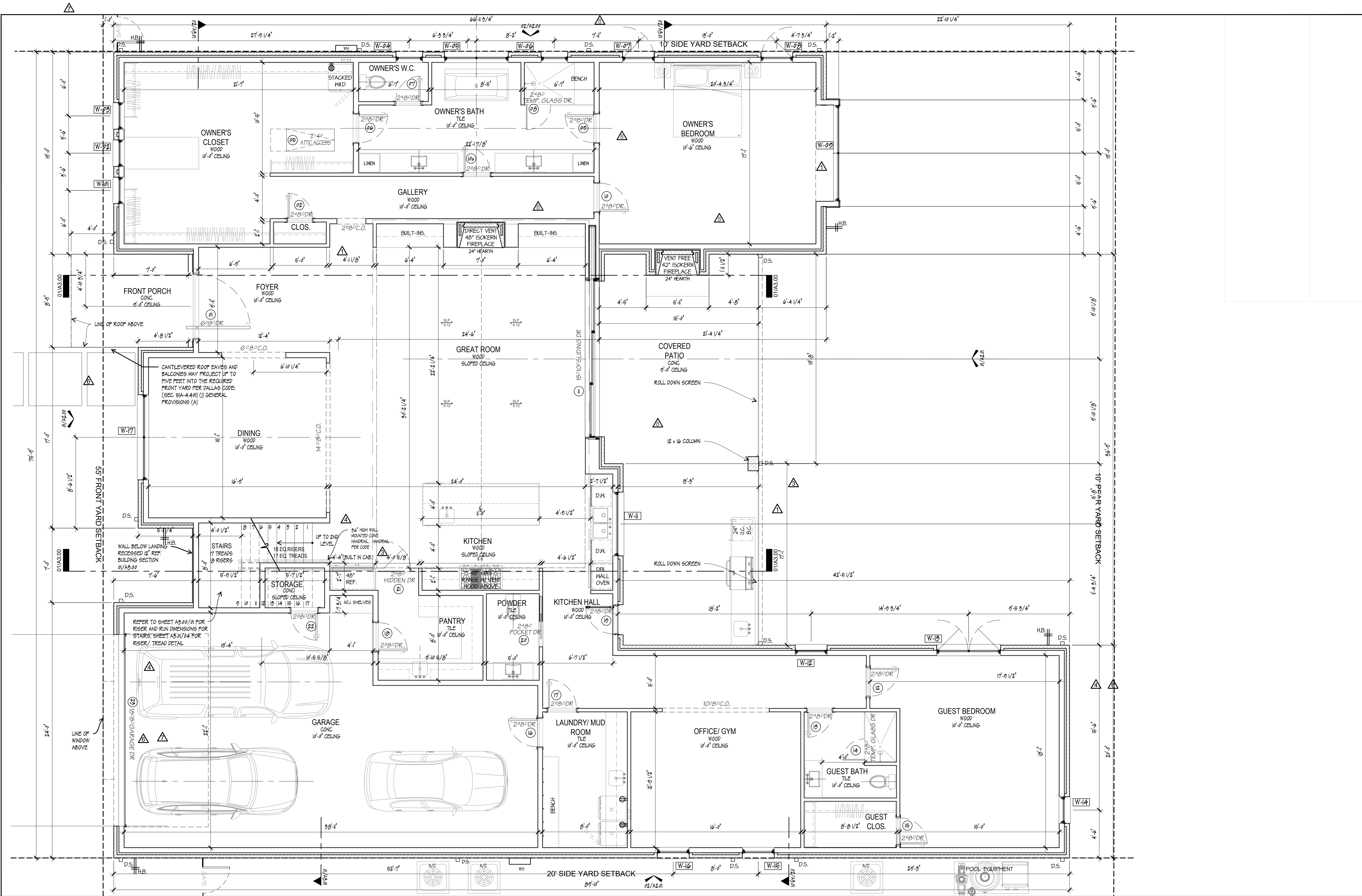
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NO.	CLIENT REVISIONS	07/15/21
1	PATIO DOOR REVISION	07/27/21
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3	CITY COMMENTS	08/26/21
4	CITY COMMENTS	11/24/21
5	CITY COMMENTS	02/10/22
6	CITY COMMENTS	02/25/22
7	CITY REVISIONS	11/25/24

DATE: 02/24/21
SCALE: 3/32" = 1'-0"

A0.01

SURVEY (BY OTHERS) 01

SITE PLAN NORTH 02



GROUND FLOOR PLAN NORTH 01

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REGISTERED ARCHITECT
TODD HAMILTON
STATE OF TEXAS
87003

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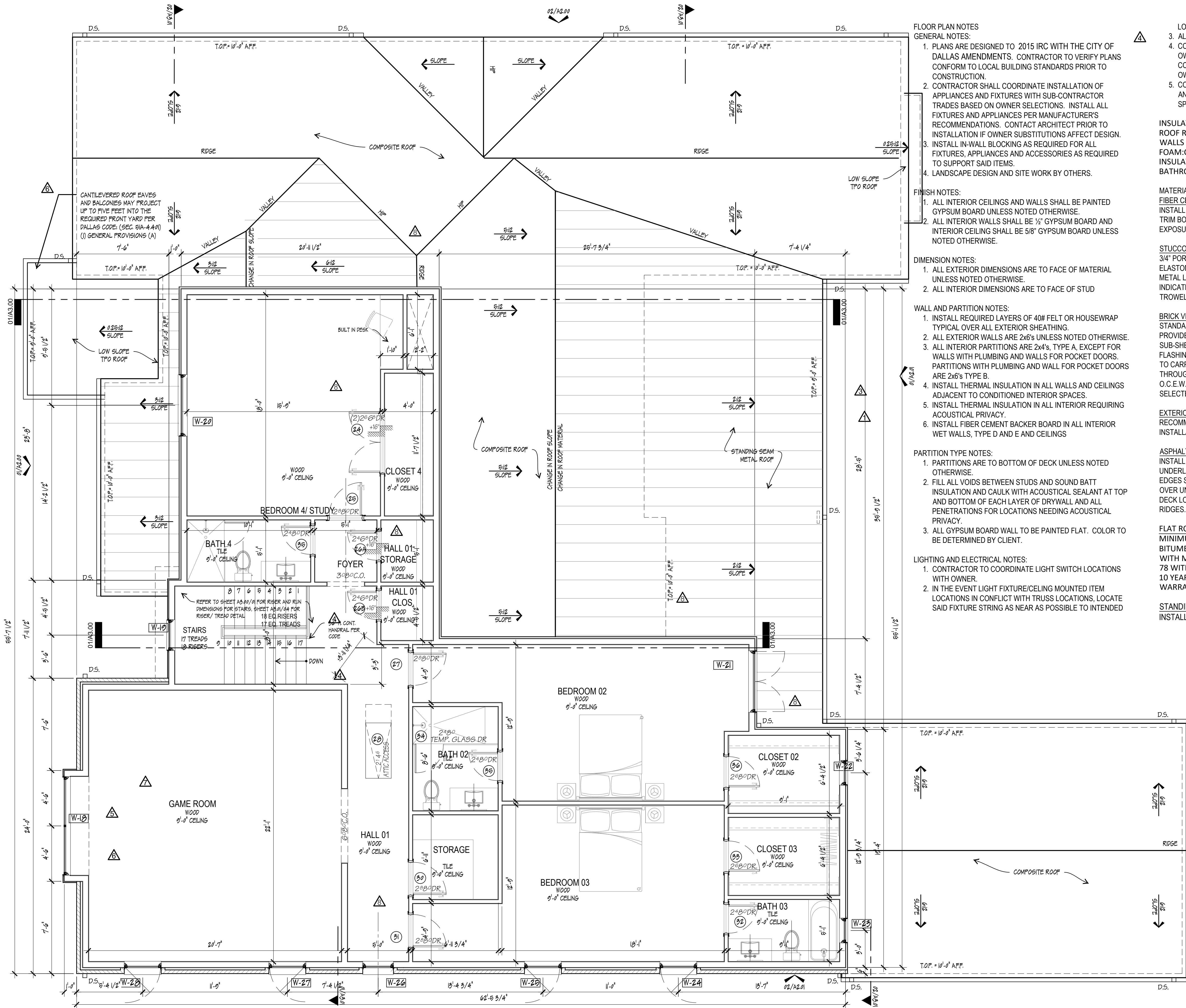
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SCALE: 1/4" = 1'-0"

A1.00



FLOOR PLAN NOTES

GENERAL NOTES:

- 1. PLANS ARE DESIGNED TO 2015 IRC WITH THE CITY OF DALLAS AMENDMENTS. CONTRACTOR TO VERIFY PLANS CONFORM TO LOCAL BUILDING STANDARDS PRIOR TO CONSTRUCTION.
- 2. CONTRACTOR SHALL COORDINATE INSTALLATION OF APPLIANCES AND FIXTURES WITH SUB-CONTRACTOR TRADES BASED ON OWNER SELECTIONS. INSTALL ALL FIXTURES AND APPLIANCES PER MANUFACTURER'S RECOMMENDATIONS. CONTACT ARCHITECT PRIOR TO INSTALLATION IF OWNER SUBSTITUTIONS AFFECT DESIGN.
- 3. INSTALL IN-WALL BLOCKING AS REQUIRED FOR ALL FIXTURES, APPLIANCES AND ACCESSORIES AS REQUIRED TO SUPPORT SAID ITEMS.
- 4. LANDSCAPE DESIGN AND SITE WORK BY OTHERS.

FINISH NOTES:

- 1. ALL INTERIOR CEILINGS AND WALLS SHALL BE PAINTED GYPSUM BOARD UNLESS NOTED OTHERWISE.
- 2. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD AND INTERIOR CEILING SHALL BE 5/8" GYPSUM BOARD UNLESS NOTED OTHERWISE.

DIMENSION NOTES:

- 1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
- 2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD

WALL AND PARTITION NOTES:

- 1. INSTALL REQUIRED LAYERS OF 40# FELT OR HOUSEWRAP TYPICAL OVER ALL EXTERIOR SHEATHING.
- 2. ALL EXTERIOR WALLS ARE 2x6's UNLESS NOTED OTHERWISE.
- 3. ALL INTERIOR PARTITIONS ARE 2x4's, TYPE A, EXCEPT FOR WALLS WITH PLUMBING AND WALLS FOR POCKET DOORS. PARTITIONS WITH PLUMBING AND WALL FOR POCKET DOORS ARE 2x6's TYPE B.
- 4. INSTALL THERMAL INSULATION IN ALL WALLS AND CEILINGS ADJACENT TO CONDITIONED INTERIOR SPACES.
- 5. INSTALL THERMAL INSULATION IN ALL INTERIOR REQUIRING ACOUSTICAL PRIVACY.
- 6. INSTALL FIBER CEMENT BACKER BOARD IN ALL INTERIOR WET WALLS, TYPE D AND E AND CEILINGS

PARTITION TYPE NOTES:

- 1. PARTITIONS ARE TO BOTTOM OF DECK UNLESS NOTED OTHERWISE.
- 2. FILL ALL VOIDS BETWEEN STUDS AND SOUND BATT INSULATION AND CAULK WITH ACOUSTICAL SEALANT AT TOP AND BOTTOM OF EACH LAYER OF DRYWALL AND ALL PENETRATIONS FOR LOCATIONS NEEDING ACOUSTICAL PRIVACY.
- 3. ALL GYPSUM BOARD WALL TO BE PAINTED FLAT. COLOR TO BE DETERMINED BY CLIENT.

LIGHTING AND ELECTRICAL NOTES:

- 1. CONTRACTOR TO COORDINATE LIGHT SWITCH LOCATIONS WITH OWNER.
- 2. IN THE EVENT LIGHT FIXTURE/CEILING MOUNTED ITEM LOCATIONS IN CONFLICT WITH TRUSS LOCATIONS, LOCATE SAID FIXTURE STRING AS NEAR AS POSSIBLE TO INTENDED

LOCATION.

- 3. ALL SWITCHED/DIMMERS TO BE WHITE
- 4. CONTRACTOR TO COORDINATE OUTLET LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS. CONTRACTOR TO COORDINATE ALL DATA, TV, AV, ETC. LOCATIONS WITH OWNER AND LOCAL CODE REQUIREMENTS.
- 5. CONTRACTOR TO COORDINATE OUTLET REQUIREMENTS AND LOCATIONS WITH FINAL APPLIANCE SELECTION SPECIFICATIONS.

INSULATION:

ROOF R-38
WALLS R-19
FOAM:CRAWL SPACE FIRST FLOOR R-19
INSULATE WITH SOUND BATTS AROUND ALL INTERIOR BATHROOM WALLS AND LAUNDRY ROOM

MATERIALS:

FIBER CEMENT PLANK SIDING:
INSTALL PER MANUFACTURERS RECOMMENDATIONS. SIDING, TRIM BOARD AND SOFFIT BOARD TO BE SMOOTH FACED. 5" EXPOSURE ON ALL SIDING

STUCCO:

3/4" PORTLAND CEMENT INTEGRAL COLOR PLASTER WITH ELASTOMERIC TOP COAT (3-PART SYSTEM) INSTALLED OVER METAL LATH. INSTALL FRY REGLET "V" STYLE CONTROL JOINTS AS INDICATED ON EXTERIOR ELEVATIONS. FINISH SHALL BE SMOOTH TROWELED TOP COAT.

BRICK VENEER:

STANDARD SIZE BRICK, SPECIES SHALL BE SELECTED BY OWNER. PROVIDE WATERPROOFING AROUND ALL BRICK TIES TO ENSURE SUB-SHEATHING IS WATERPROOF. PROVIDE THROUGH WALL FLASHING AT THE BASE OF ALL BRICK. PROVIDE STEEL LINTELS TO CARRY WEIGHT OF BRICK ABOVE ALL OPENINGS ALONG WITH THROUGH WALL FLASHING. PROVIDE GALV. BRICK TIES AT 24" O.C.E.W. PROVIDE WEEPS AT 24" O.C. MORTAR COLOR TO BE SELECTED BY OWNER.

EXTERIOR WOOD SIDING:

RECOMMENDED SPECIES: IPE (FINAL SELECTION BY OWNER)
INSTALLATION 1 X 4 SHIPLAP BOARDS CLEAR SEALED SATIN FINISH

ASPHALT SHINGLE ROOF:

INSTALL WITH 4" SIDE LAP AND 2" TOP LAP. INSTALL UNDERLAYMENT 6" ON BOTH SIDES OF HIP AND RIDGES. DRIP EDGES SHALL BE CORROSION RESISTANT METAL AND APPLIED OVER UNDERLAYMENT ALONG RAKE AND DIRECTLY TO THE ROOF DECK LONG THE EAVE. PROVIDE RIDGE VENTS AT ALL ROOF RIDGES.

FLAT ROOFS:

MINIMUM ROOF SLOPE 1/4" PER FOOT. SBD MODIFIED BITUMEN ROOF SYSTEM APPLIED WITH HOT ASPHALT WITH MINIMUM CLASS A FIRE RATING. MINIMUM SRI OF 78 WITH WHITE REFLECTIVE SURFACE AP SHEET. PROVIDE 10 YEAR WARRANTY, NDL WITH MANUFACTURERS WARRANTY FOR ROOF.

STANDING SEAM METAL ROOF:

INSTALL PER MANUFACTURERS RECOMMENDATIONS

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