



Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA

FOR OFFICE USE ONLY

Data Relative to Subject Property:

Date:

FOR OFFICE USE ONLY

Location address: 2726 Grafton Ave

Zoning District: R 75

Lot No.: 2 Block No.: 9-3857 Acreage: 7,050 sq ft
0.16

Census Tract: 86.24

Street Frontage (in Feet): 1) 50' 2) _____ 3) _____ 4) _____ 5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Santhaga Pineda + Jose Pineda

Applicant: Juan Pineda

Telephone: 817/308-0953

Mailing Address: 516 Sims Dr

Zip Code: 75104

E-mail Address: Juan.pineda ~ B @ yahoo.com

Represented by: _____

Telephone: _____

Mailing Address: _____

Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance ☒ or Special Exception ☐ of 3' to front yard
Setback

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me the undersigned on this day personally appeared Juan Pineda

(Affiant/Applicant's name printed)

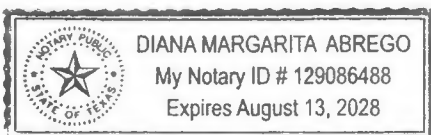
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: [Signature]

(Affiant/Applicant's signature)

Subscribed and sworn to before me this 12th day of March, 2025

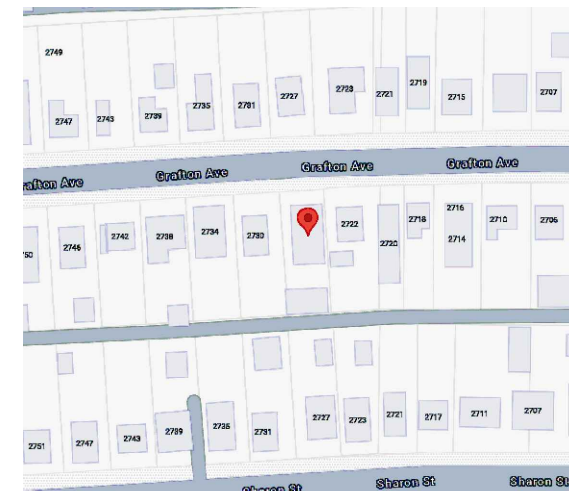
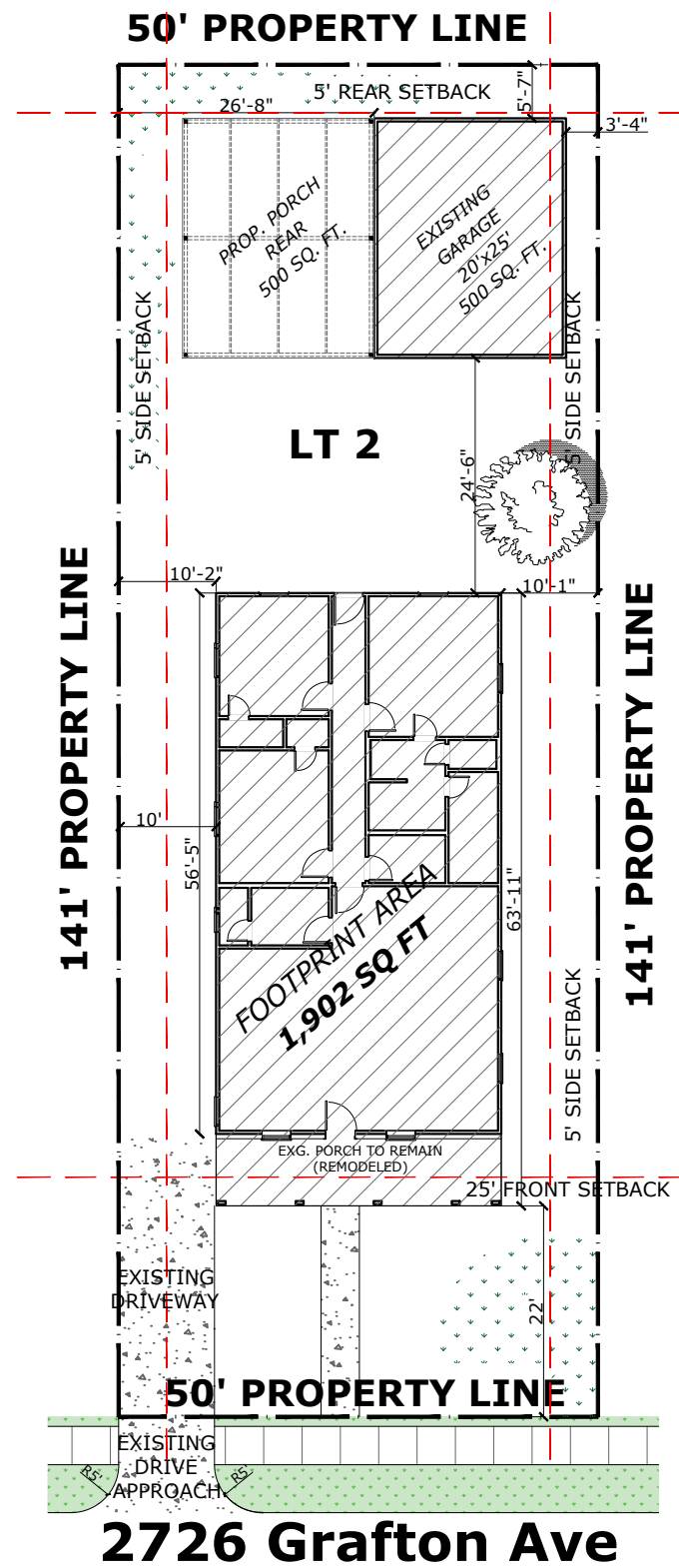
[Signature]
Notary Public in and for Dallas County, Texas





Building codes **Dallas:**

- * 2015 INTERNATIONAL BUILDING CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL PLUMBING CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL MECHANICAL CODE WITH DALLAS AMENDMENTS.
- * 2020 NATIONAL ELECTRICAL CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL RESIDENTIAL CODE WITH DALLAS AMENDMENTS.
- * 2021 INTERNATIONAL EXISTING BUILDING CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL FUEL & GAS CODE WITH DALLAS AMENDMENTS.
- * 2015 INTERNATIONAL GREEN CONSTRUCTION CODE WITH DALLAS AMENDMENTS.
- * 2021 INTERNATIONAL SWIMMING POOL AND SPA CODE WITH DALLAS AMENDMENTS.



VICINITY PLAN

FOR REFERENCE ONLINE

LEGAL DESCRIPTION:

- 1: SUNSET CREST
- 2: BLK 9/3857 LT 2

SQUARE FOOTAGE

EXISTING. LIVING AREA	1,584 SQ FT
EXISTING. COVERED PORCH	179 SQ FT
EXISTING. GARAGE	500 SQ FT
ADDITION PORCH REAR	500 SQ FT
ADDITION LIVING AREA	110 SQ FT
ADDITION PORCH FRONT	29 SQ FT
TOTAL EXISTING & PROP. LIVING AREA	1,694 SQ FT
TOTAL EXISTING & PROP. PORCH AREA -PORCH REAR	208 SQ FT 500 SQ FT
TOTAL FOOTPRINT AREA	2,902 SQ FT
LOT SIZE	7,050 SQ FT
TOTAL COVERED AREA	2,902 SQ FT
% COVERAGE	41 %

CITY STAMP

ENGINEER STAMP

DATE: 04-08-25

SCALE: 1 TO 20

DATE: 10-31-24

SQ.FT:

DRAWING No.

01 of 12

ADDRESS:
2726 Grafton Ave, Dallas, TX 75211

SCOPE OF WORK: REMODEL & ADDITION

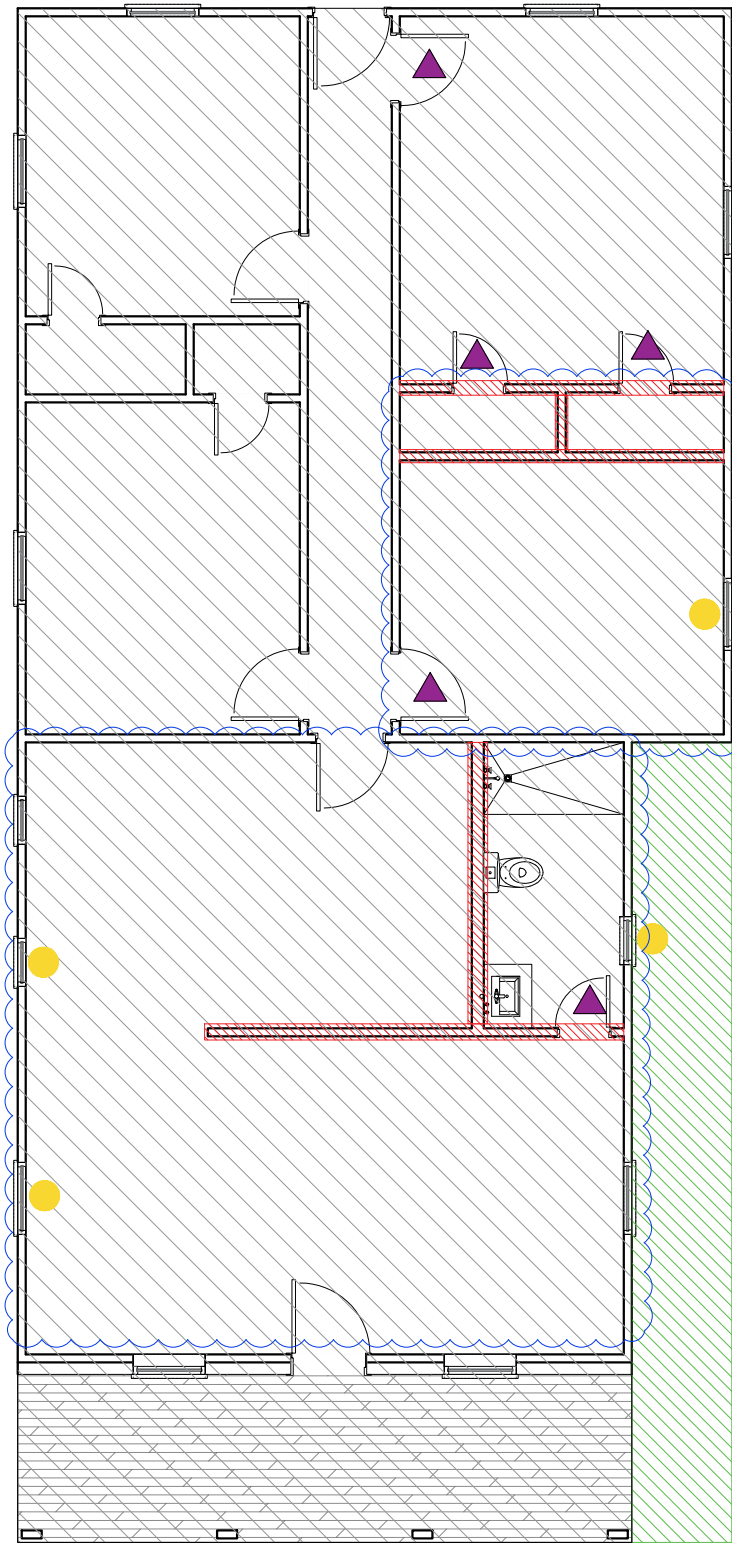
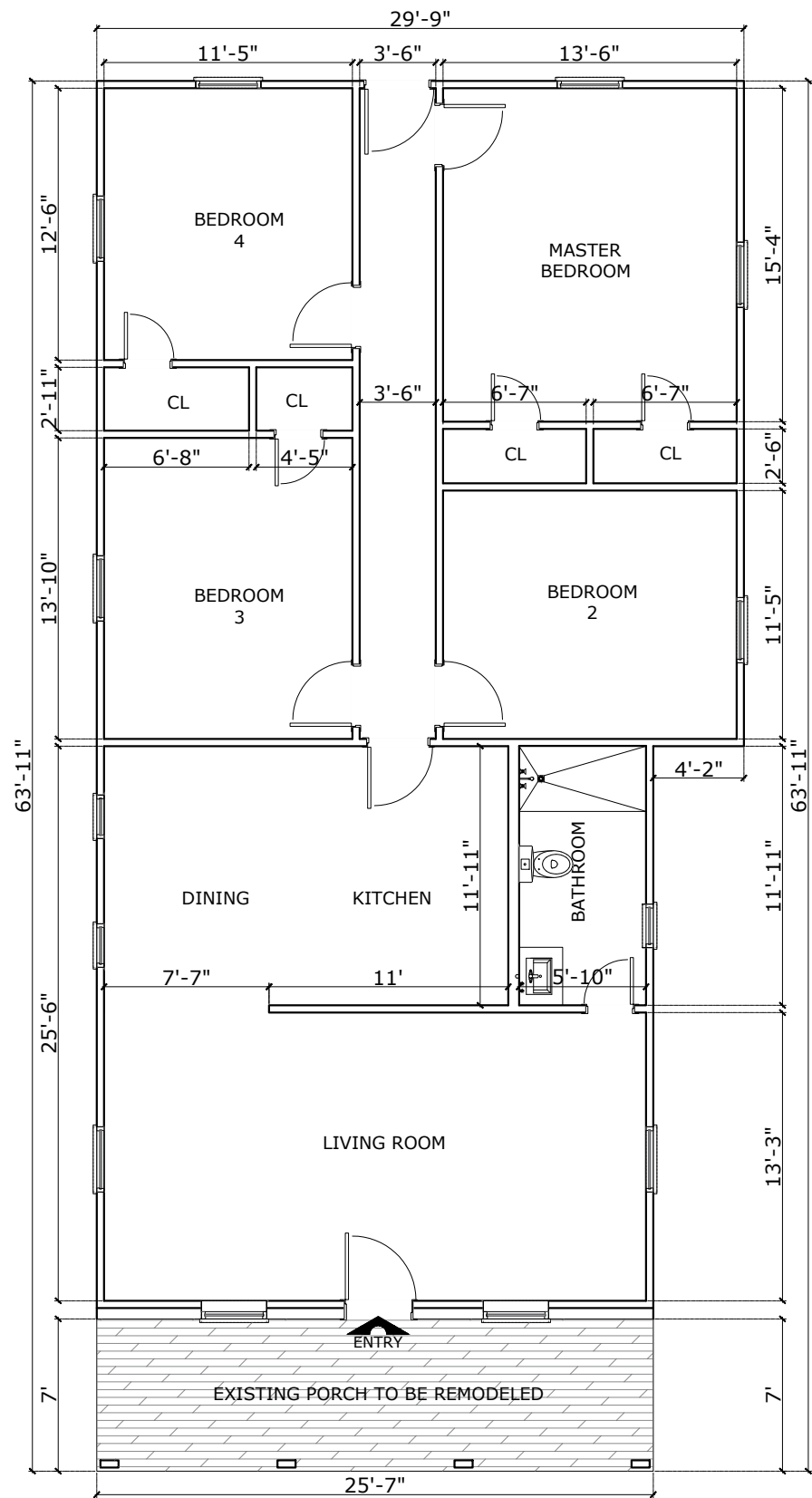
DRAWN:
FM

PLAN:
SITE PLAN



• CREATIVO DESIGNS •

8500 N STEMMONS FWY
SUITE#2045 DALLAS, TX 75247



LEGEND/SYMBOL	
	REMOVE DOOR
	REMOVE WINDOW
	REMOVE WALL
	REMODEL IN SPACE
	EXISTING AREA
	ADDITION AREA

CITY STAMP

ENGINEER STAMP

DATE: 04-08-25

SCALE: 1/8"=1'-0"

DATE: 10-31-24

SQ.FT:

DRAWING No.

02 of 12

ADDRESS:
2726 Grafton Ave, Dallas, TX 75211

SCOPE OF WORK: REMODEL & ADDITION

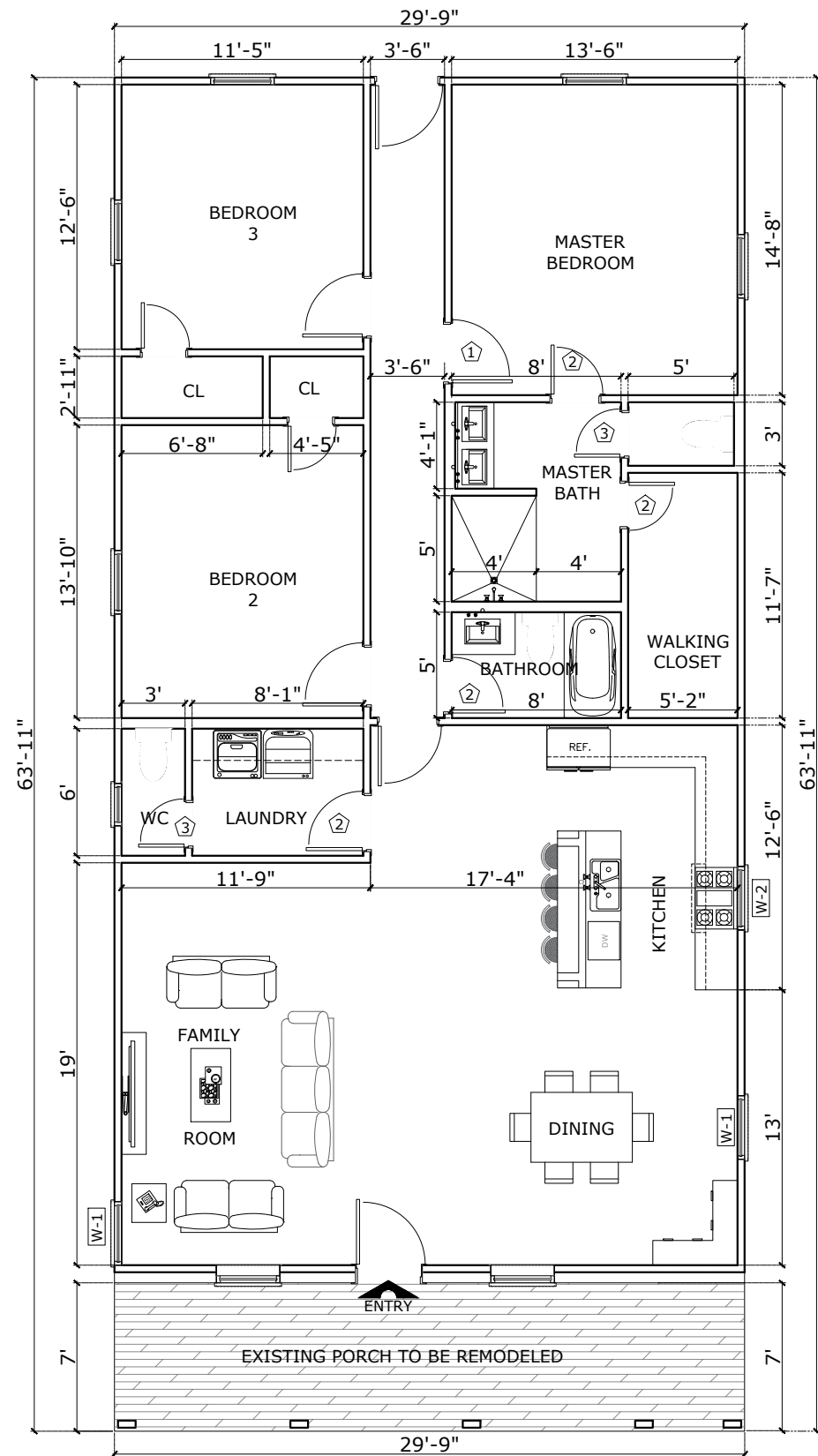
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PLAN: EXISTING FLOOR PLAN & DEMO PLAN



• CREATIVO DESIGNS •

8500 N STEMMONS FWY
SUITE#2045 DALLAS, TX 75247



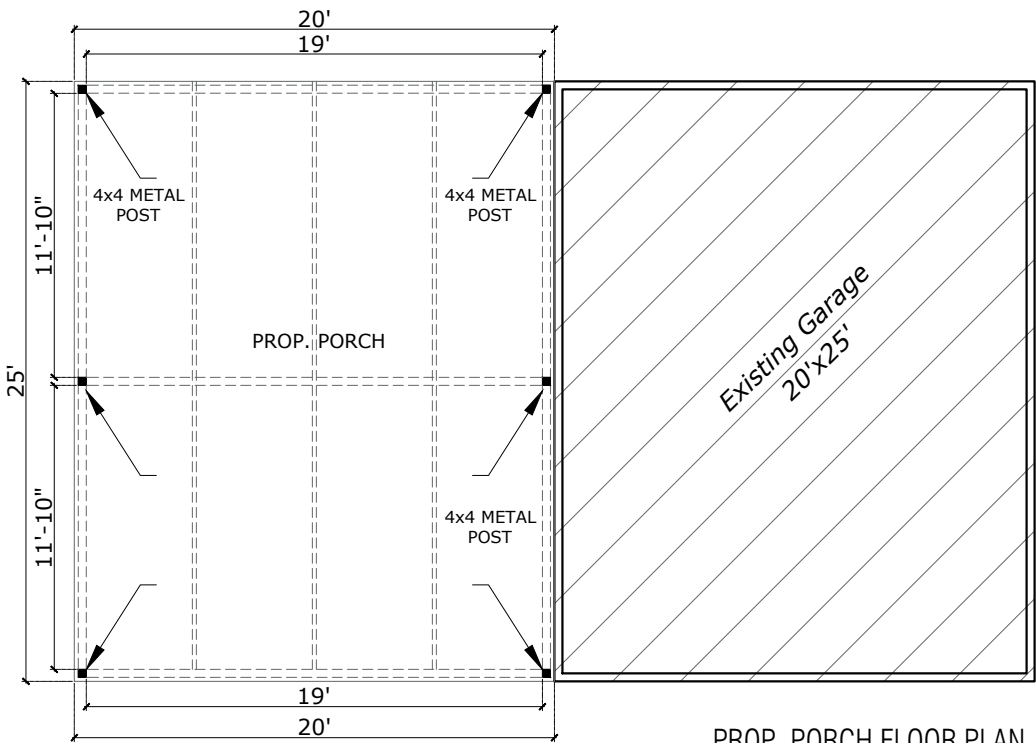
PROP. FLOOR PLAN
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE			
TAG	SIZE	DESC.	QTY.
W-1	3'-0" x 5'-0"	S.H.	2
W-2	3'-0" x 3'-0"	S.H.	1

S.H. = SINGLE HUNG
FX = FIXED
SL = SLIDING

DOOR SCHEDULE					
TAG	SIZE	FUNC.	DESC.	CORE	QTY.
1	2'-8" x 6'-8"	H.D.	SSW	H.C.	1
2	2'-6" x 6'-8"	H.D.	SSW	H.C.	4
3	2'-0" x 6'-8"	H.D.	SSW	H.C.	2

H.D. = HINGED DOOR
SL = SLIDING
SSW = SINGLE SWING
FD = FRENCH DOOR
PL = PLYABLE
RB = RUSTIC BARN
PD = POCKET DOOR
H.C. = HOLLOW CORE
S.C. = SOLID CORE
W&G = WOOD AND GLASS
V&G = VINYL AND GLASS
M.H. = METALLIC HERMETIC
M&G = METALLIC AND GLASS
ME = METALLIC
W = WOOD



PROP. PORCH FLOOR PLAN
SCALE: 1/8" = 1'-0"

CITY STAMP

ENGINEER STAMP

DATE: 04-08-25

SCALE: 1/8" = 1'-0"

DATE: 10-31-24

SQ.FT:

DRAWING No.

03 of 12

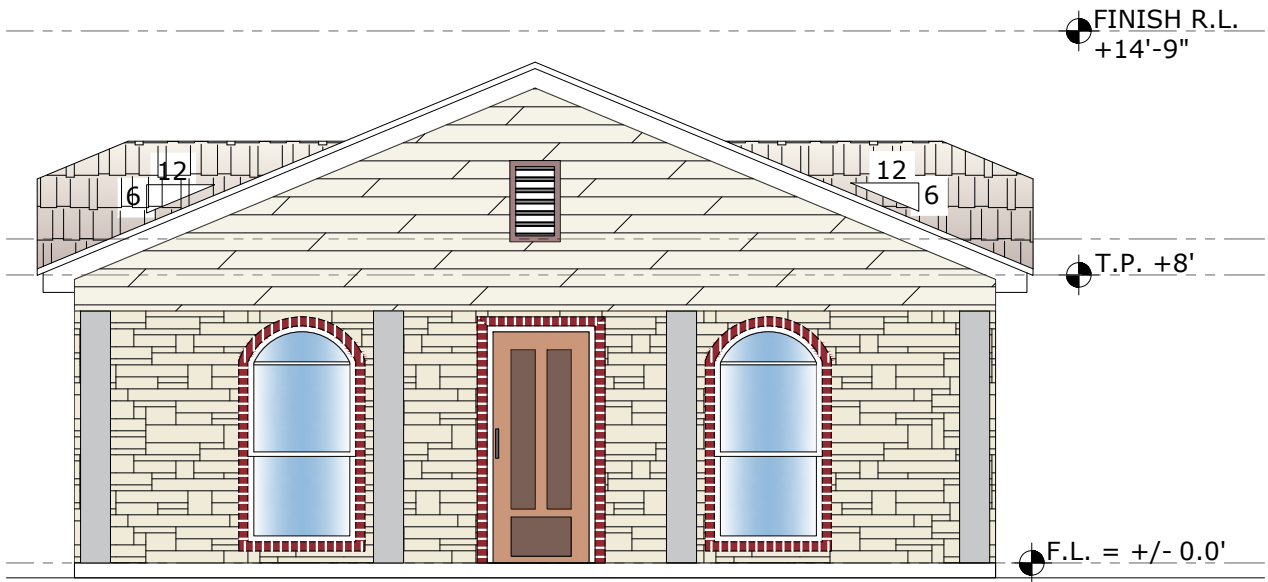
ADDRESS:
2726 Grafton Ave, Dallas, TX 75211

SCOPE OF WORK: REMODEL & ADDITION
FM

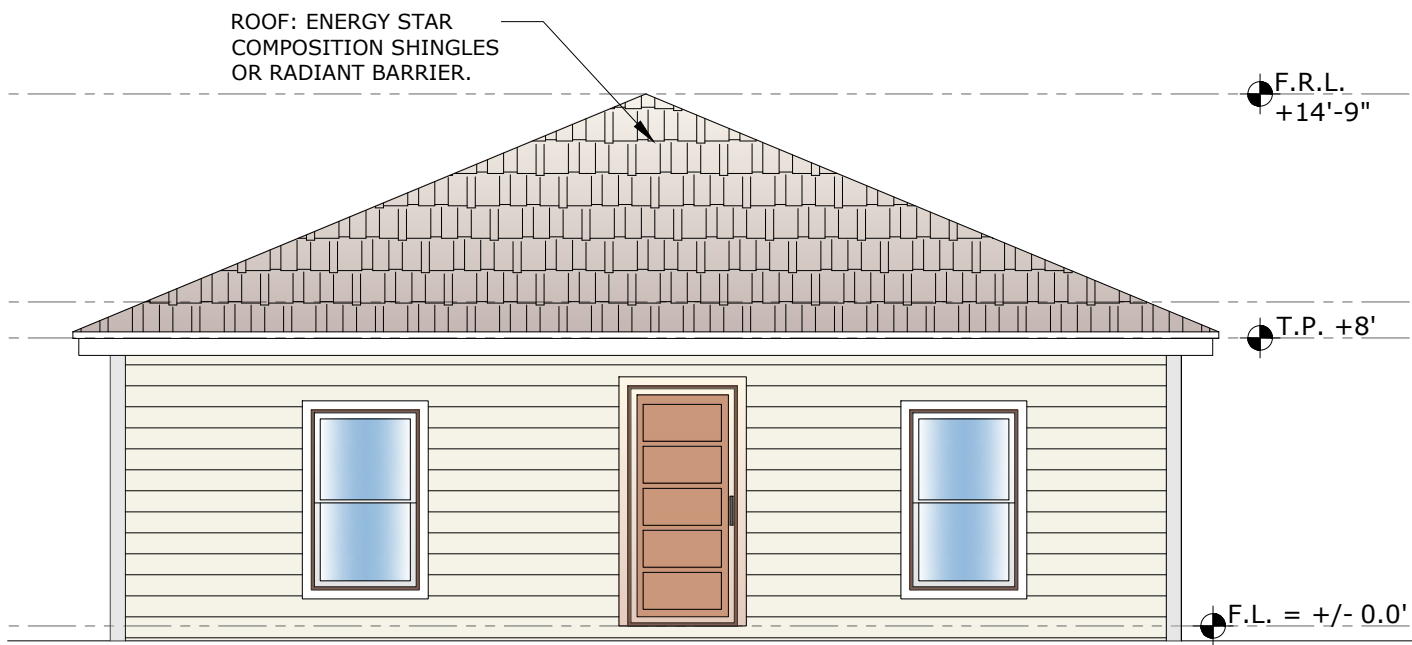
PLAN: PROP. FLOOR PLAN



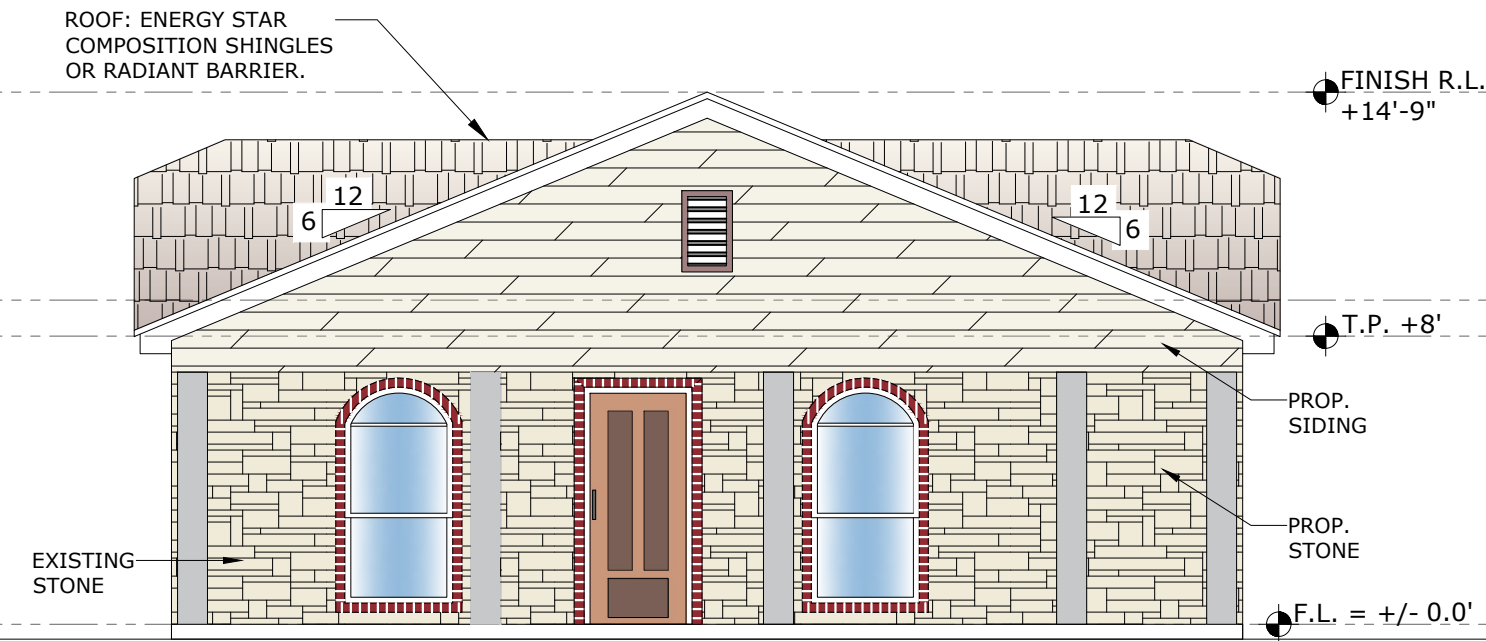
CREATIVO DESIGNS
8500 N STEMMONS FWY
SUITE#2045 DALLAS, TX 75247



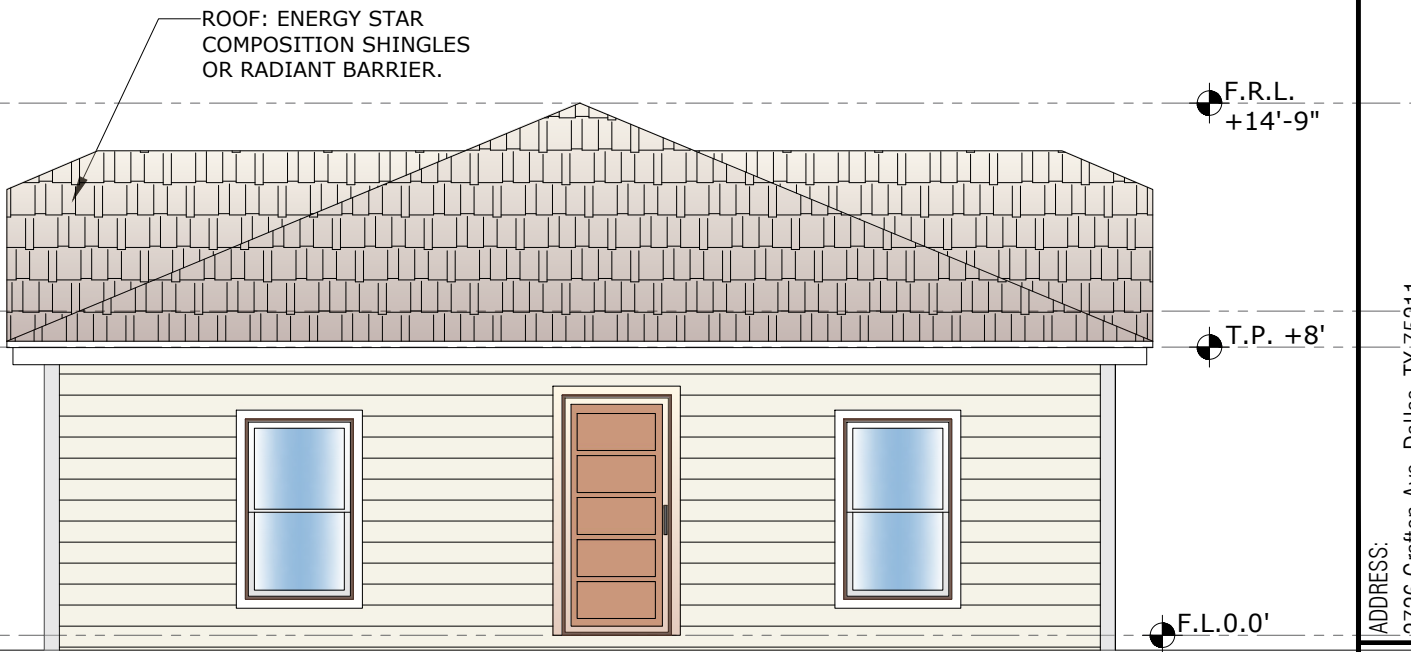
EXISTING FRONT ELEVATION PLAN
SCALE: 3/16"=1'-0"



EXISTING REAR ELEVATION PLAN
SCALE: 3/16"=1'-0"

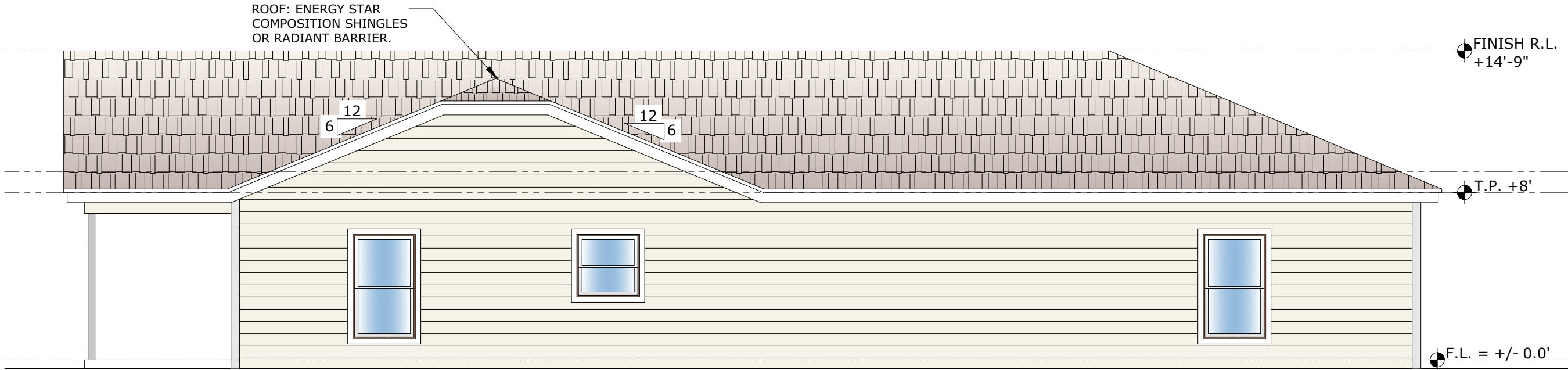


PROP. FRONT ELEVATION PLAN
SCALE: 3/16"=1'-0"

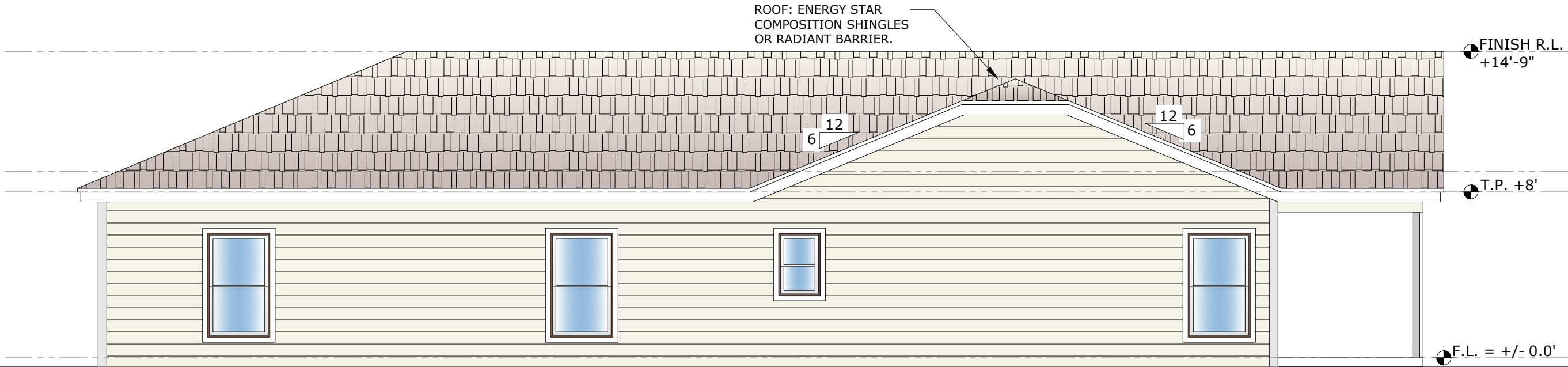


PROP. REAR ELEVATION PLAN
SCALE: 3/16"=1'-0"

CITY STAMP			
ENGINEER STAMP			
DATE: 04-08-25	SCALE: 3/16"=1'-0"	DATE: 10-31-24	SQ.FT.
DRAWING No.			04 of 12
ADDRESS: 2726 Grafton Ave, Dallas, TX 75211			
SCOPE OF WORK: REMODEL & ADDITION			
DRAWN: FM			
PLAN: ELEVATIONS PLAN			
 CREATIVO DESIGNS 8500 N STEMMONS FWY SUITE#2045 DALLAS, TX 75247			

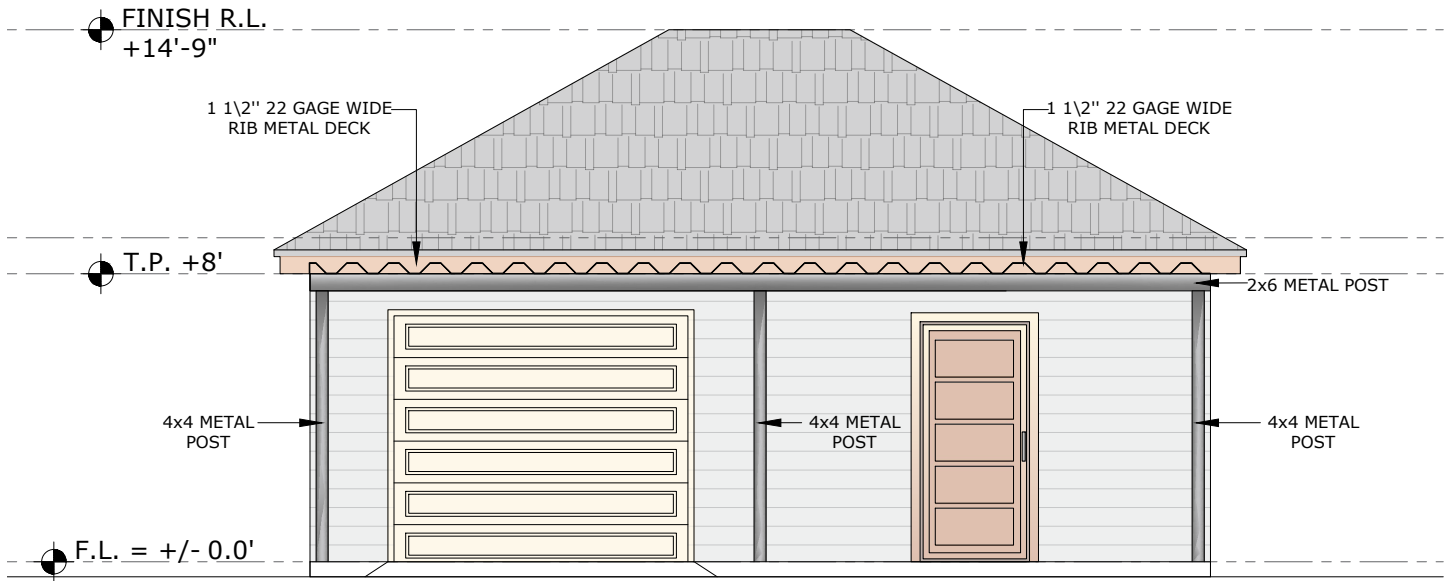


PROP. RIGHT ELEVATION PLAN
SCALE: 3/16"=1'-0"

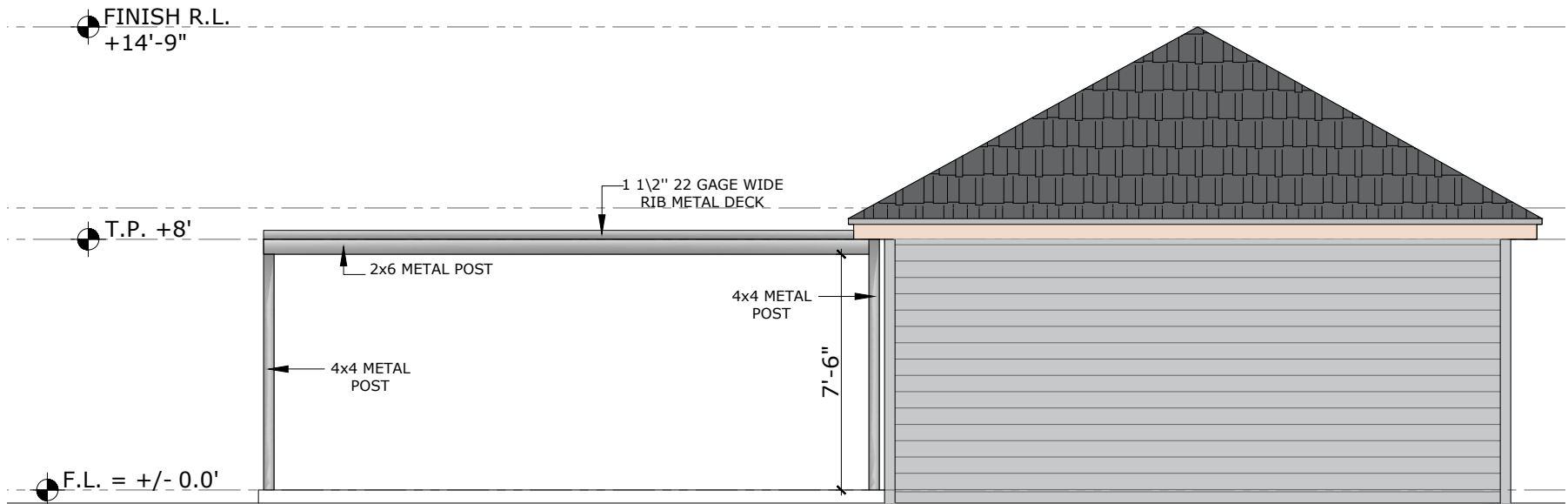


PROP. LEFT ELEVATION PLAN
SCALE: 3/16"=1'-0"

CITY STAMP			
ENGINEER STAMP			
DATE: 04-08-25	SCALE: 3/16"=1'-0"	DATE: 10-31-24	SQ.FT: DRAWING No. 05 of 12
ADDRESS: 2726 Grafton Ave, Dallas, TX 75211			
SCOPE OF WORK: REMODEL & ADDITION			PLAN: ELEVATIONS PLAN
DRAWN: FM			
 • CREATIVO DESIGNS • 8500 N STEMMONS FWY SUITE#2045 DALLAS, TX 75247			



PROP. FRONT ELEVATION PLAN PORCH
SCALE: 3/16"=1'-0"



PROP. RIGHT ELEVATION PLAN PORCH
SCALE: 3/16"=1'-0"

CITY STAMP			
ENGINEER STAMP			
DATE: 04-08-25	SCALE: 3/16"=1'-0"	DATE: 10-31-24	SQ.FT:
DRAWING No.			06 of 12
ADDRESS: 2726 Grafton Ave, Dallas, TX 75211		SCOPE OF WORK: REMODEL & ADDITION	
		DRAWN: FM	
		PLAN: ELEVATIONS PLAN PORCH	
 • CREATIVO DESIGNS • 8500 N STEMMONS FWY SUITE#2045 DALLAS, TX 75247			