



Planning & Development Department

320 E Jefferson Blvd,
Dallas TX 75203
(214) 948-4480

Board of Adjustment:
1500 Marilla Street, 5CN
Dallas Tx75201
(214) 948-4480

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

OFFICE USE ONLY

Case no. _____

Date _____

Data Relative to Subject Property: Close in garage on pre-existing residential structure.

Location address: 6511 Bob O Link Dr Dallas TX 75214

Zoning District: R - 7.5

Lot No.: _____ Block No.: _____ Acreage: 7100 sf Census Tract: _____

Street Frontage (in Ft.): 1) _____ 2) _____ 3) _____ 4) _____ (5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Jacob Brady Bishop and Jennifer Bishop

Applicant: Jacob Brady Bishop Telephone: 214.674.6658

Mailing Address: 6511 Bob O Link Dr Dallas TX Zip Code: 75214

E-mail Address: brady.bishop@vanguardautogroup.com

Represented by: Jacob Brady Bishop Telephone: 214.674.6658

Mailing Address: 6511 Bob O Link Dr Dallas TX Zip Code: 75214

E-mail Address: brady.bishop@vanguardautogroup.com

Affirm that an appeal has been made for a ☒ Variance or ☒ Special Exception, of:

Closing in garage space that does not exceed current boundaries of existing carport and framing that was approved prior by current neighbors.

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Gain permit approval to close in pre-existing frame on property to provide garage space that will allow safe entry into the house instead of the driveway.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me, the undersigned on this day personally appeared

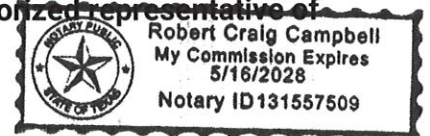
JACOB BRADY BISHOP

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: _____

(Affiant/ Applicant's signature)



Subscribed and sworn to before me this 18th day of AUGUST, 2025

Notary Public in and for Dallas County, Texas.

Together we are planning and building a better Dallas for all!

4/30/2025



City of Dallas

Planning & Development Department

320 E Jefferson Blvd,
Dallas TX 75203
(214) 948-4480

Board of Adjustment:
1500 Marilla Street, 5CN
Dallas Tx 75201
(214) 948-4480

AFFIDAVIT

Appeal number: _____

I, Jennifer Bishop, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 6511 Bob O Link Dr Dallas TX 75214

(Address of property as stated on application)

Authorize: Jacob Brady Bishop

(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

☐ Variance (specify below)

☒ Special Exception (specify below)

☐ Other Appeal (specify below)

Specify: Closing in existing approved framing for garage space that is close to neighboring property. Neighboring property owner approval provided in file.

Jennifer Bishop

Print name of property owner or registered agent

Date 09/15/2025

Jen Bishop

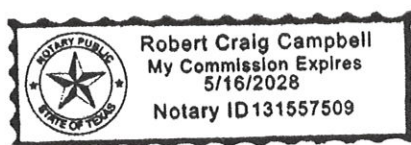
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared JENNIFER BISHOP

Who on his/her oath certifies that the above statements are true and correct to his/her

best knowledge. Subscribed and sworn to before me this 15th day of

SEPTEMBER, 2025



[Signature]
Notary Public for Dallas County,
Texas

Commission expires on 5/16/2028

BISHOP RESIDENCE

6511 BOB O LINK DR. DALLAS, TX 75214



Triplett

14555 Dallas Parkway, Suite 100-304
Dallas, TX 75254
806-223-6611
andrew@triplettgrp.com

PERMIT SET

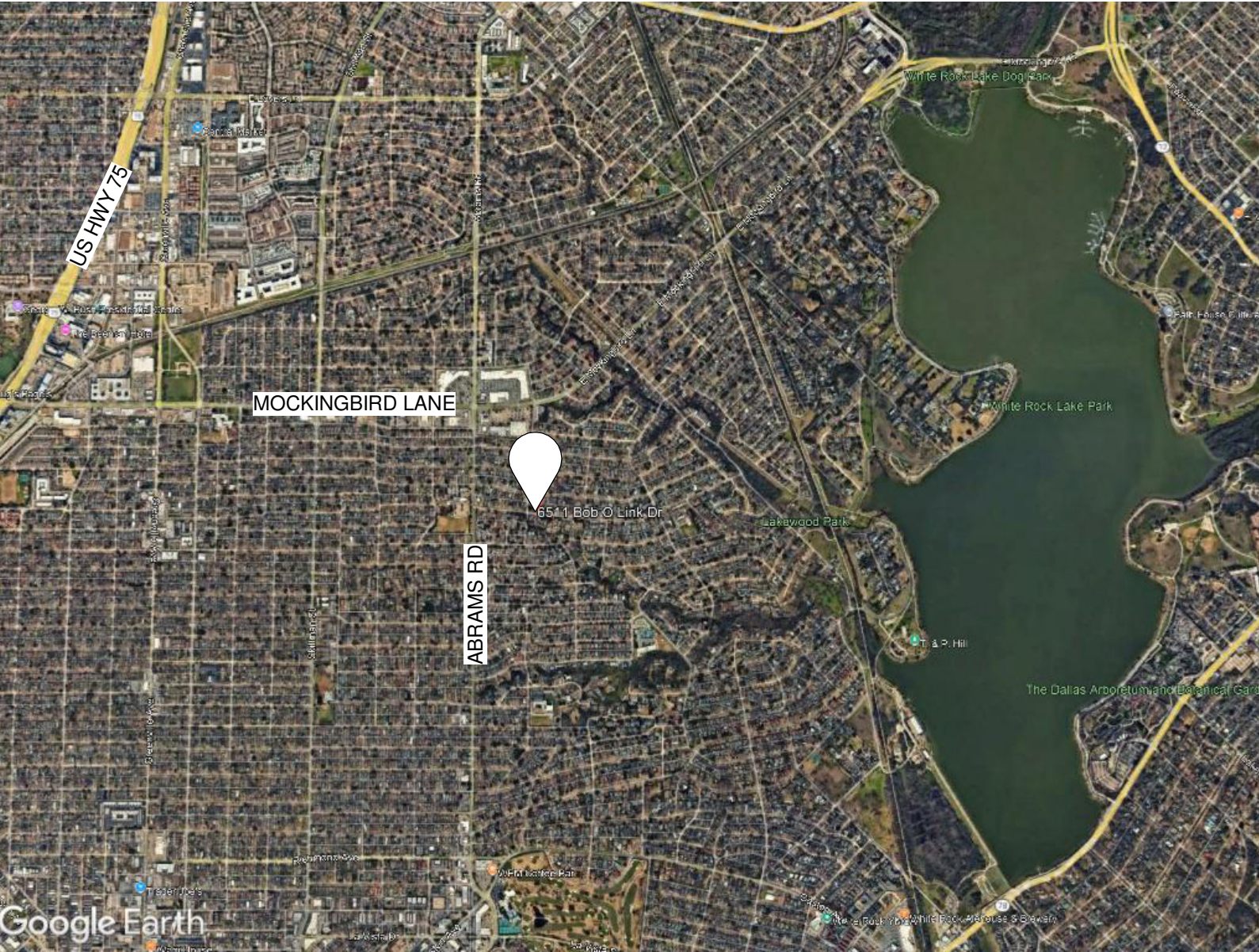
04/29/2025

PROJECT NUMBER

00125051

CODE COMPLIANT INFORMATION

VICINITY MAP



1. COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF RESIDENCE AND OCCUPANTS.
5. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "N/C" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
6. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNERTO ENSURE SECURITY.
7. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
8. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

APPLICABLE CODES

BUILDING CODE:	2021 INTERNATIONAL BUILDING CODE W/ DALLAS AMENDMENTS
PLUMBING CODE:	2021 INTERNATIONAL PLUMBING CODE W/ DALLAS AMENDMENTS
MECHANICAL CODE:	2021 INTERNATIONAL MECHANICAL CODE W/ DALLAS AMENDMENTS
ELECTRICAL CODE:	2023 NATIONAL ELECTRICAL CODE W/ DALLAS AMENDMENTS
FIRE/LIFE SAFETY CODE:	2021 INTERNATIONAL FIRE CODE W/ DALLAS AMENDMENTS
ACCESSIBILITY CODE:	2012 STATE OF TEXAS ACCESSIBILITY STANDARDS
ENERGY CODE:	2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ DALLAS AMENDMENTS

PROJECT DESCRIPTION

REMODEL OF AN EXISTING PORTE COCHERE TO ENCLOSED GARAGE - PORT CONVERSION
BUILDING ADDRESS: 6511 BOB O LINK DR. DALLAS, TX 75214

AREA CALCULATIONS

FIRST FLOOR EXISTING: 1,600 S.F.
REMODEL PORTE COCHERE: 289 S.F.
SECOND FLOOR A/C: 1,797 S.F.
THIRD FLOOR A/C: 409 S.F.
TOTAL AREA: 4,095 S.F.
COVERED STOOP: 58 S.F.COVERED PORCH: 125 S.F.COVERED BALCONY: 119 S.F.

ZONING

ZONING:
CITY OF DALLAS, TEXAS
DESIGNATION: R-7.5
PRIMARY USES: SINGLE FAMILY RESIDENCE
FRONT YARD SETBACK: 25'-0"
SIDE YARD SETBACK: 5'-0"
REAR YARD SETBACK: 5'-0"
MAXIMUM BUILDING HEIGHT: 30'-0"
SITE SQUARE FOOTAGE: 7,700 SF

RESIDENTIAL LOT COVERAGE
MAXIMUM LOT COVERAGE: 3,465 SF (45% OF TOTAL LOT COVERAGE)
ACTUAL LOT COVERAGE - 1ST FLOOR MAIN STRUCTURE: 1,886 SF
TOTAL: 1,886 SF < 3,465 SF

GREEN PHASE II:
SITE SQUARE FOOTAGE: 7,100 SF
ROOF AREA COVERAGE - MAIN STRUCTURE: 2,190 SF

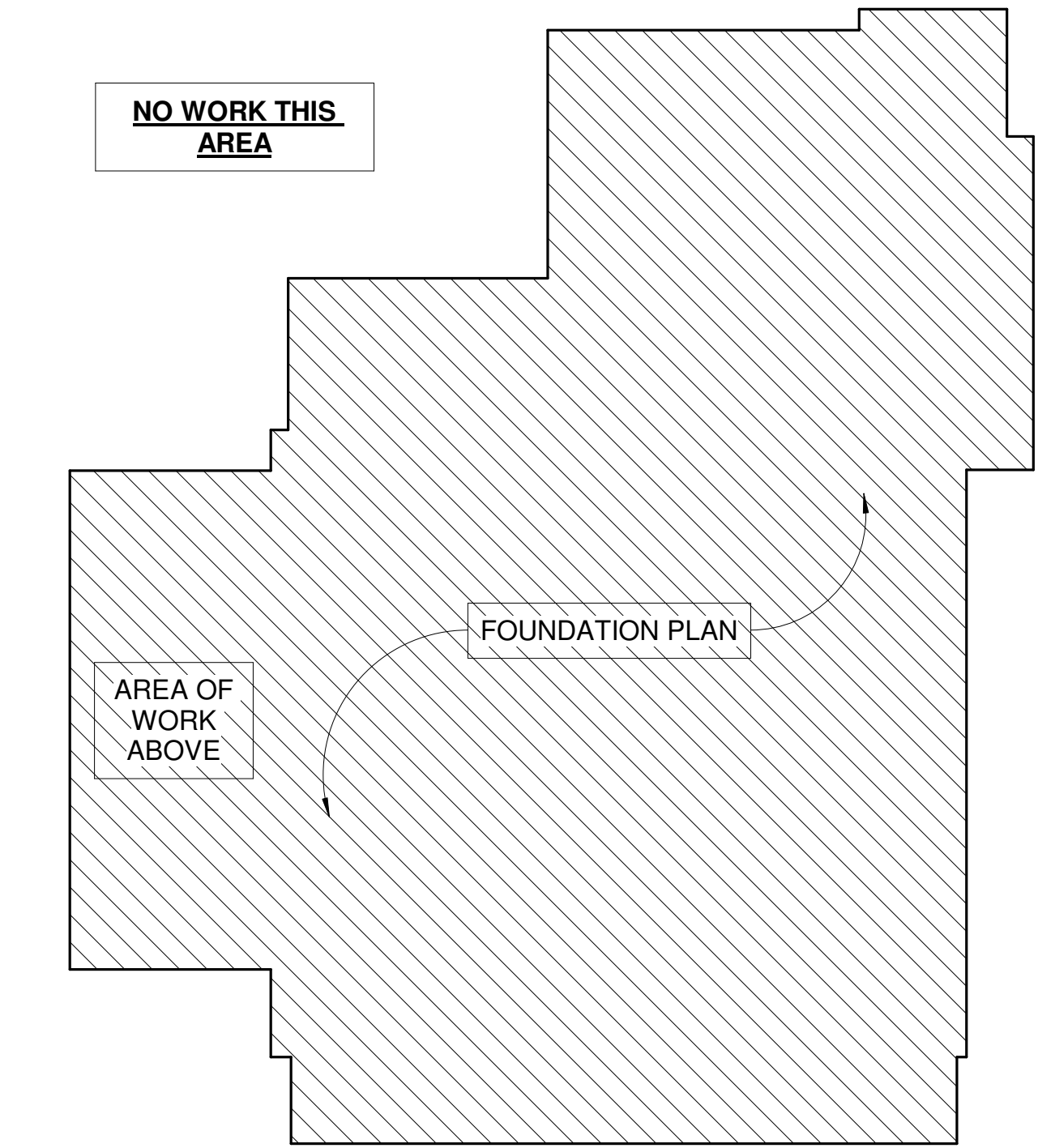
NON-ROOF AREA COVERAGE:
= 5,510 SF (SITE SF - ROOF AREA COVERAGE)

MINIMUM PERMEABLE COVERAGE REQUIRED:
= 5,510 SF x 0.7 = 3,857 SF (70% OF TOTAL NON-ROOF COVERAGE)

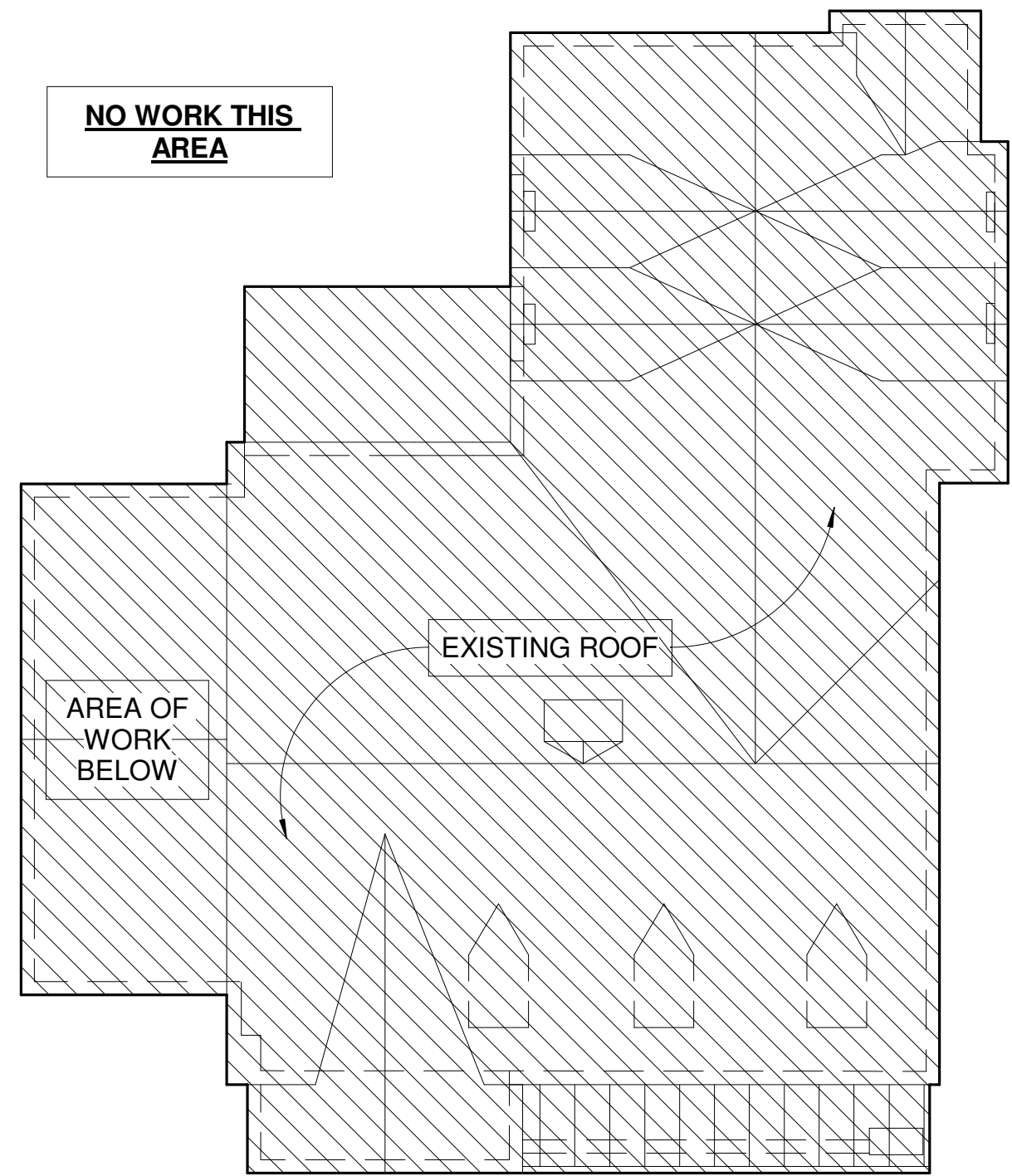
ACTUAL PERMEABLE COVERAGE:
= 3,915 SF = 71.05%

SHEET INDEX

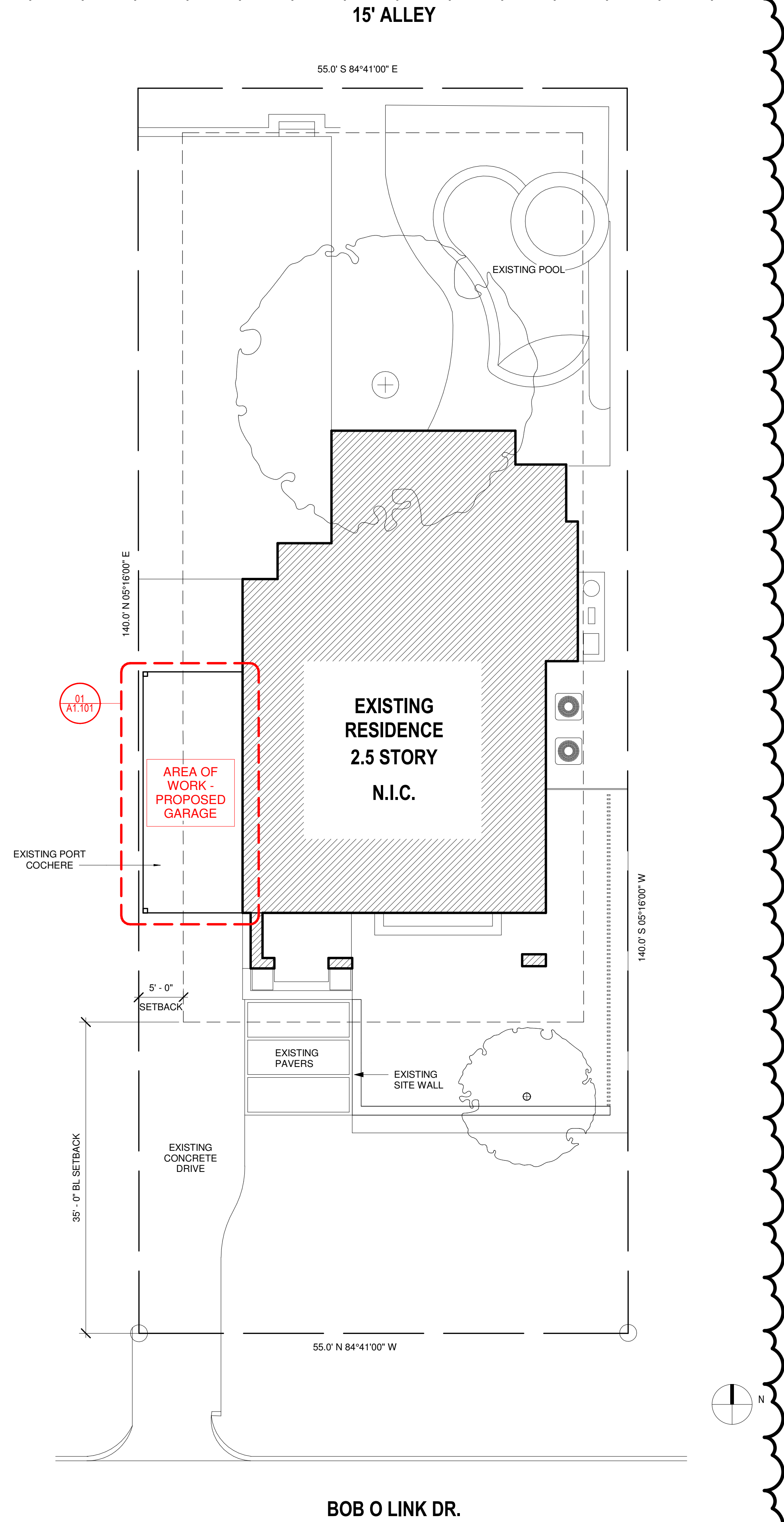
SHEET NO.	SHEET NAME	CURRENT REVISION	CURRENT ISSUE DATE	CURRENT ISSUE
00. GENERAL				
G0.01	DRAWING INDEX & CODE SUMMARY	1	06/23/25	Revision 1
G0.02	GENERAL INFORMATION	1	06/23/25	Revision 1
G6.02	DOOR, FRAME AND HARDWARE SCHEDULES	1	06/23/25	Revision 1
01. DEMOLITION				
D1.001	DEMOLITION PLAN	1	06/23/25	Revision 1
02. ARCHITECTURE				
A1.101	CONSTRUCTION PLAN	1	06/23/25	Revision 1
A1.301	REFLECTED CEILING PLAN	1	06/23/25	Revision 1
A4.01	ELEVATIONS	1	06/23/25	Revision 1



03 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



02 ROOF PLAN
SCALE: 1/8" = 1'-0"



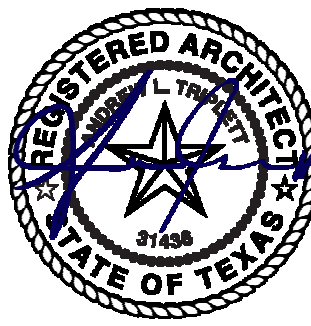
01 SITE PLAN
SCALE: 1/8" = 1'-0"

Triplett

14555 Dallas Parkway, Suite 100-304
Dallas, TX 75254
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andrew@triplettgrp.com

PROJECT INFORMATION
BISHOP RESIDENCE
6511 BOB O LINK DR.
DALLAS, TX 75214

SEAL / SIGNATURE



04/29/2025

DATE	DESCRIPTION
1 06/23/25	Revision 1

PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION

DRAWING INDEX & CODE SUMMARY

SCALE

As indicated

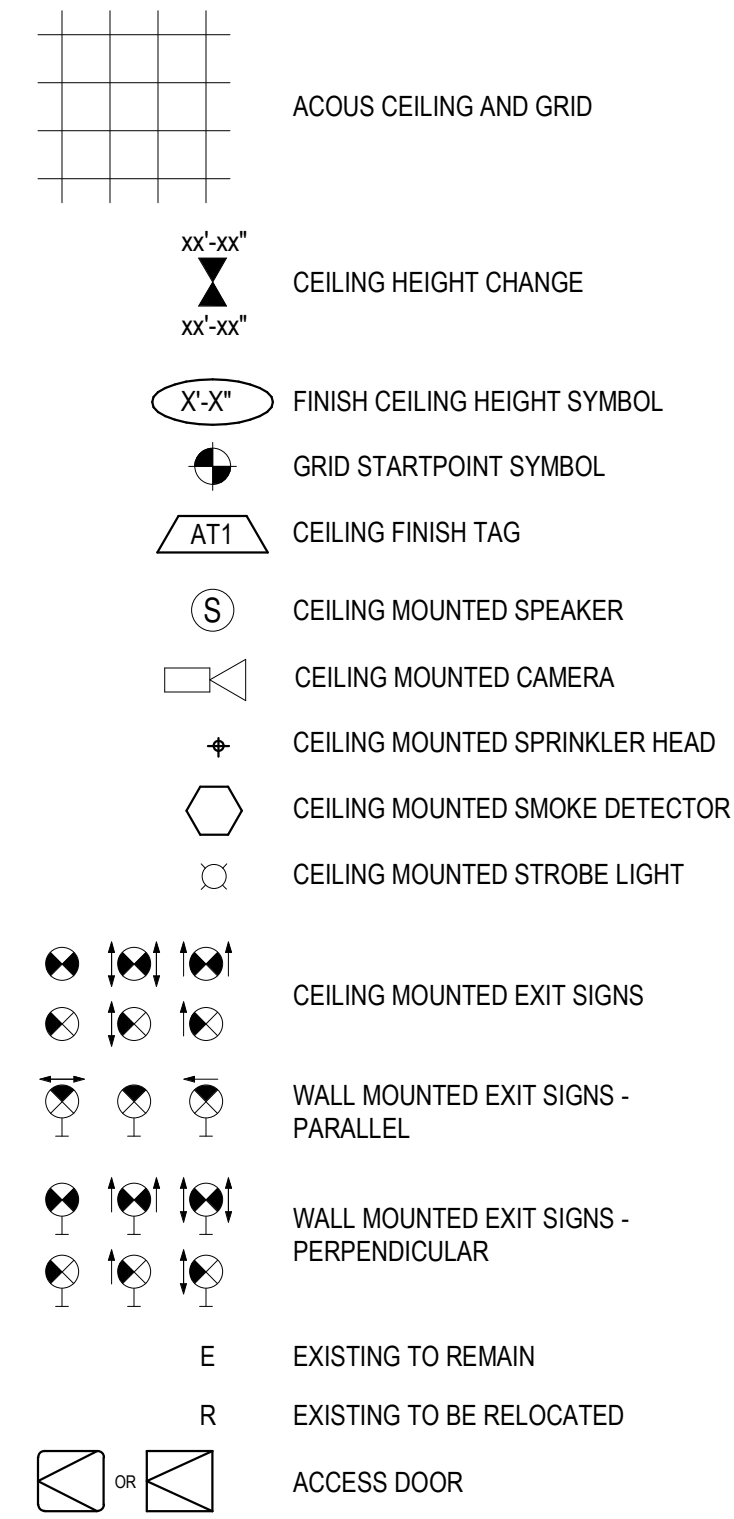
G0.01

ABBREVIATIONS

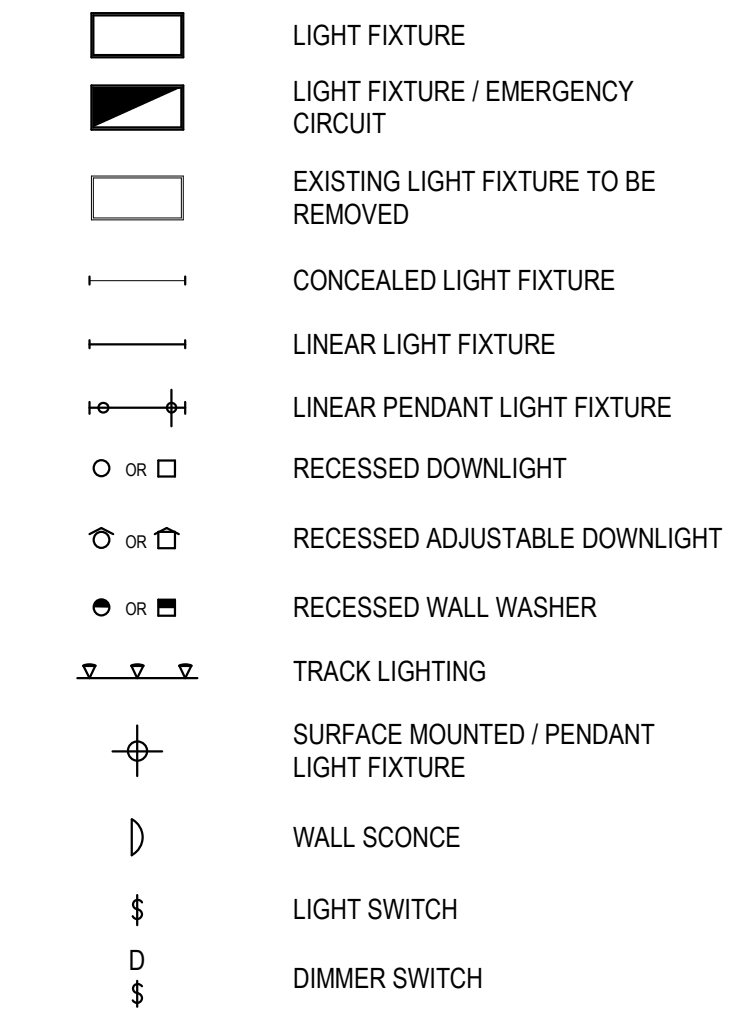
# & CL	NUMBER CENTERLINE	FOW AND	FACE OF WALL	P	
		FPLC	FIREPLACE	PA	PUBLIC ADDRESS
		FR	FIRE RAT(ING)(ED)	PBD	PARTICLE BOARD
		FRMG	FRAMING	PEDTR	PEDESTRIAN
		FURN	FURNITURE	PL	PROPERTY LINE
		FWC	FABRIC WALL COVERING	PLAM	PLASTIC LAMINATE
		FXD	FIXED	PLAS	PLASTER
				PLSTC	PLASTIC
A		G		PLYWD	PLYWOOD
ACCESS	ACCESSORY	GA	GAUGE	PNL	PANEL
ACOUS	ACOUSTIC(AL)	GALV	GALVANIZED	POLYST	POLYSTRENE
ACT	ACOUSTICAL CEILING TILE	GFRG	GLASS FIBER REINFORCED CONCRETE	PORT	PORTABLE
AD	ACCESS DOOR OR AREA DRAIN	GFRG	GLASS FIBER REINFORCED GYPSUM	PREFAB	PREFABRICATED
ADO	AUTOMATIC DOOR OPERATOR	GL	GLASS	PREFIN	PREFINISHED
AFF	ABOVE FINISHED FLOOR	GR	GRAD(E)(ING)	PRTECN	PROTECTION
ALT	ALTERNATE	GRD	GROUND	PTN	PARTITION
ALUM	ALUMINUM	GRFL	GROUND FLOOR		
ANNUNC	ANNUNCIATOR	GYP	GYPSUM		
ANOD	ANODIZED			R	
APPL	APPLIANCE	H		RD	ROOF DRAIN
ARCH	ARCHITECT(URAL)	HB	HOSE BIB	RDL	ROOF DRAIN LEADER
AUTO	AUTOMATIC	HC	HOLLOW CORE	RDR	READER
AUX	AUXILIARY	HD	HEAD	RECES	RECESSED
AVG	AVERAGE	HDG	HOT DIPPED GALVANIZED	RECP	RECEPTACLE
		HDO	HIGH DENSITY OVERLAY	REF	REFER(ENCE)
		HDWD	HARDWOOD	REFL	REFLECTED
		HDWE	HARDWARE	REFR	REFRIGERATOR
		HM	HOLLOW METAL	REINF	REINFORCED(D)(ING)(MENT)
		HORIZ	HORIZONTAL	REQD	REQUIRED
		HP	HIGH POINT	RESIL	RESILIENT
		HR	HOUR	RESIS	RESIST(ANT)(IVE)
		HSS	HOLLOW STRUCTURAL SECTION	RFG	ROOFING
		HT	HEIGHT	RM	ROOM
		HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	RND	ROUND
				RO	ROUGH OPENING
				S	
B		I		SC	SOLID CORE
B/B	BACK TO BACK	IBC	INTERNATIONAL BUILDING CODE	SCR	SCRIBE
BD	BOARD	ID	INSIDE DIAMETER OR INTERIOR DESIGN (ER)	SECU	SECURITY
BLDG	BUILDING	IE	INVERT ELEVATION	SF	SQUARE FEET
BLKG	BLOCKING	INFILTR	INFILTRATION	SG	SINGLE
BOD	BASIS OF DESIGN	INFO	INFORMATION	SHORG	SHORING
BOH	BACK OF HOUSE	INSTRUM	INSTRUMENT(ATION)	SIM	SIMILAR
BOLD	BOLLARD	INSUL	INSULATION	SPKR	SPEAKER
BRDLM	BROADLOOM	INT	INTERIOR	SPR	SPRINKLER
BU	BUILT UP	INTLK	INTERLOCK(ING)	SS	STAINLESS STEEL
				SST	STAINLESS STEEL
C		J		ST	STREET
CAB	CABINET	JAN	JANITOR	STD	STANDARD
CC	CONCRETE CURB	JT	JOINT	STL	STEEL
CEM	CEMENT(ITIOUS)	K		STRFR	STOREFRONT
CER	CERAMIC	KIT	KITCHEN	STRUCT	STRUCTURAL
CG	CORNER GUARD	KO	KNOCK OUT	SURF	SURFACE
CIP	CAST-IN-PLACE	L		SUSP	SUSPENDED
CJ	CONSTRUCTION JOINT OR CONTROL JOINT	LAB	LABORATORY	SYM	SYMBOL
CLG	CEILING	LAM	LAMINATE	SYMM	SYMMETRICAL
CMU	CONCRETE MASONRY UNIT	LAM GL	LAMINATED GLASS	SYS	SYSTEM(S)
COATG	COATING	LAV	LAVATORY	T	
COC	CENTER ON CENTER	LB	POUND	T&G	TONGUE AND GROOVE
COILG	COILING	LP	LOW POINT	TC	TERRA COTA
CONC	CONCRETE	LT	LIGHT	TEM	TEMPORARY
CONSTR	CONSTRUCTION	LVL	LOW VOLTAGE	TERR	TERRAZZO
CONT	CONTINUOUS(ATION)	LVLG	LEVELING	THK	THICK (NESS)
CONTR	CONTRACT(OR)	LVR	LOUVER (ED)	TLT	TOILET
COV	COVER	M		TOC	TOP OF CONCRETE
CPT	CARPET	MAINT.	MAINTENANCE	TOFF	TOP OF FINISH FLOOR
		MAS	MASONRY	TOS	TOP OF STEEL
		MATL	MATERIAL	TOW	TOP OF WALL
		MAX	MAXIMUM	TRAF	TRAFFIC
		MECH	MECHANICAL	TRANS	TRANSPARENT
		MEMB	MEMBRANE	TRTD	TREATED
		MET	METAL	TSTAT	THERMOSTAT
		MEZZ	MEZZANINE	TV	TELEVISION
		MFD	MANUFACTURED	TYP	TYPICAL
		MFR	MANUFACTURER	U	
		MIN	MINIMUM	U/C	UNDERCUT
		MISC	MISCELLANEOUS	U/S	UNDERSIDE
		MLWK	MILLWORK	UNDRLAY	UNDERLAYMENT
		MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
		MOIST	MOISTURE	UR	URINAL
		MOT	MOTOR(IZED)	UTIL	UTILITY
		MTD	MOUNTED	V	
		MULL	MULLION	VAR	VARIES
				VCT	VINYL COMPOSITION TILE
				VEH	VEHICLE
				VERT	VERTICAL
				VEST	VESTIBULE
				VIF	VERIFY IN FIELD
				VNR	VENEER
				VT	VINYL TILE
				W	
				W/	WITH
				WO	WITHOUT
				WW	WALL TO WALL
				WC	WATER CLOSET
				WD	WOOD
				WDW	WINDOW
				WF	WIDE FLANGE
				WPM	WATERPROOF MEMBRANE
				WT	WEIGHT
				WTRPRF	WATERPROOFING
F		N			
FA	FIRE ALARM	NA	NOT APPLICABLE		
FAB	FABRICATION	NIC	NOT IN CONTRCT		
FAR	FLOOR AREA RATIO	NO	NUMBER		
FD	FLOOR DRAIN	NOM	NOMINAL		
FDC	FIRE DEPARTMENT CONNECTION	NTS	NOT TO SCALE		
FE	FIRE EXTINGUISHER	O			
FEC	FIRE EXTINGUISHER AND CABINET	OA	OUTSIDE AIR OR OVERALL		
FHC	FIRE HOSE AND CABINET	OD	OUTSIDE DIAMETER		
FIN	FINISH	OH	OVERHANG		
FIXT	FIXTURE	OH	OVERHEAD		
FLASH	FLASHING	OPH	OPPOSITE HAND		
FLDG	FOLDING	OPNG	OPENING(S)		
FLO	FLUORESCENT	OPP	OPPOSITE		
FLR	FLOOR(ING)	OPR	OPERABLE		
FO	FINISH OPENING	ORD	OVERFLOW ROOF DRAIN		
FOC	FACE OF CONCRETE	ORNA	ORNAMENTAL		
FOF	FACE OF FINISH	OVFL	OVERFLOW		
FOS	FACE OF STUD				

GRAPHIC SYMBOLS

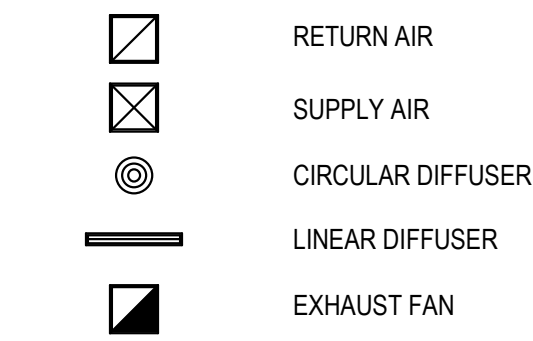
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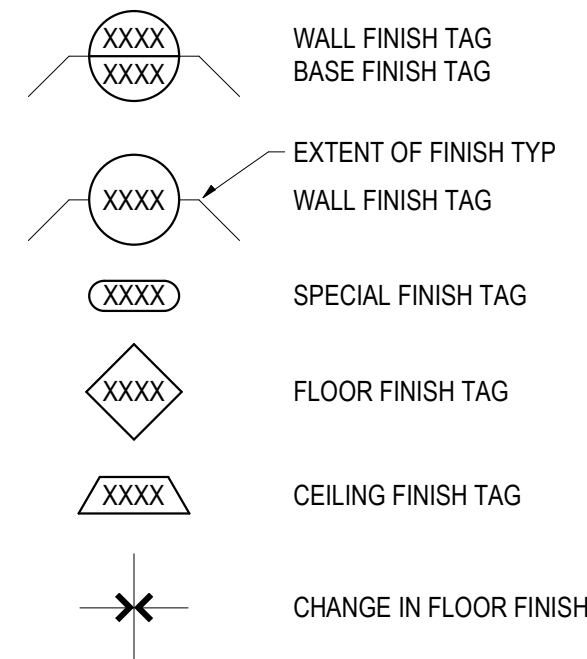
LIGHT FIXTURES



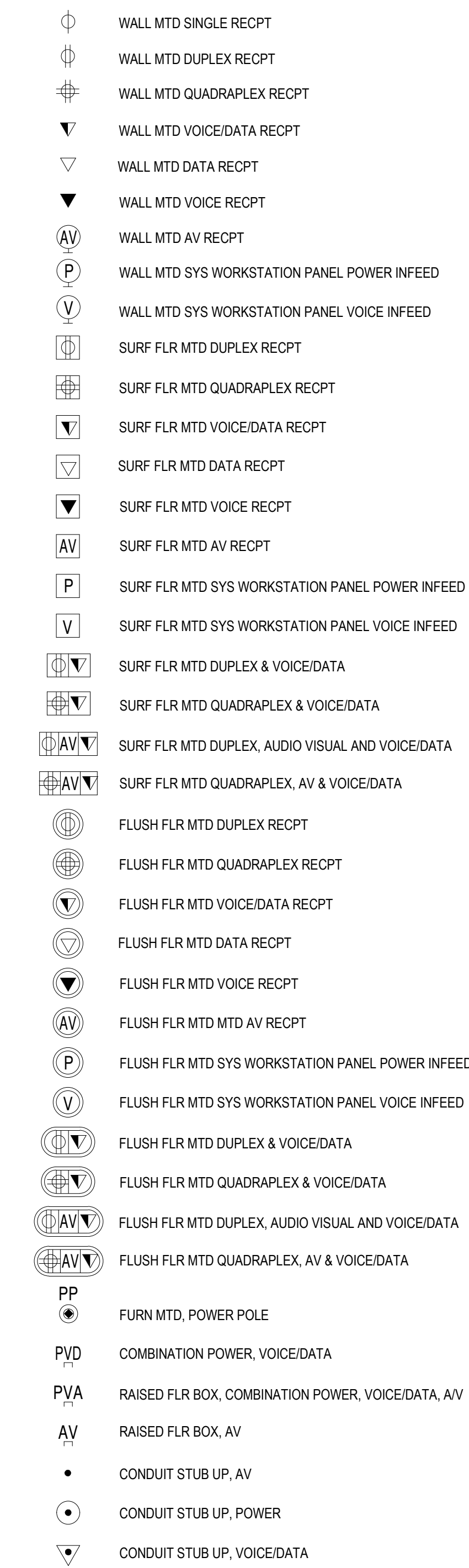
MECHANICAL FIXTURES



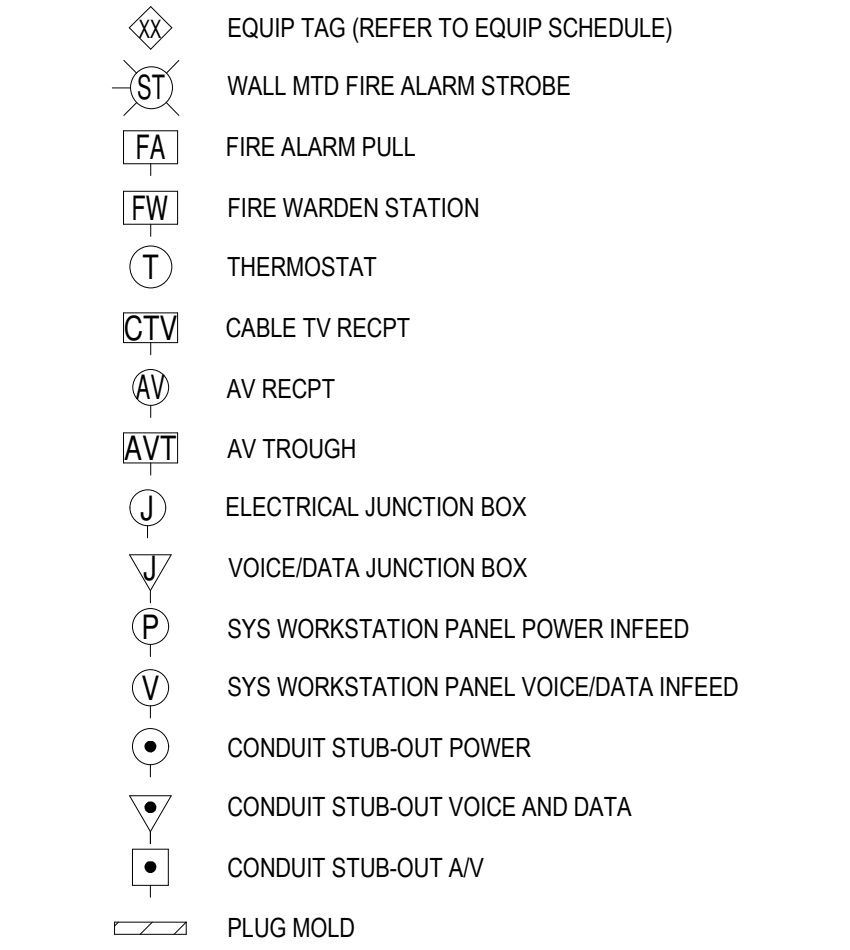
FINISH



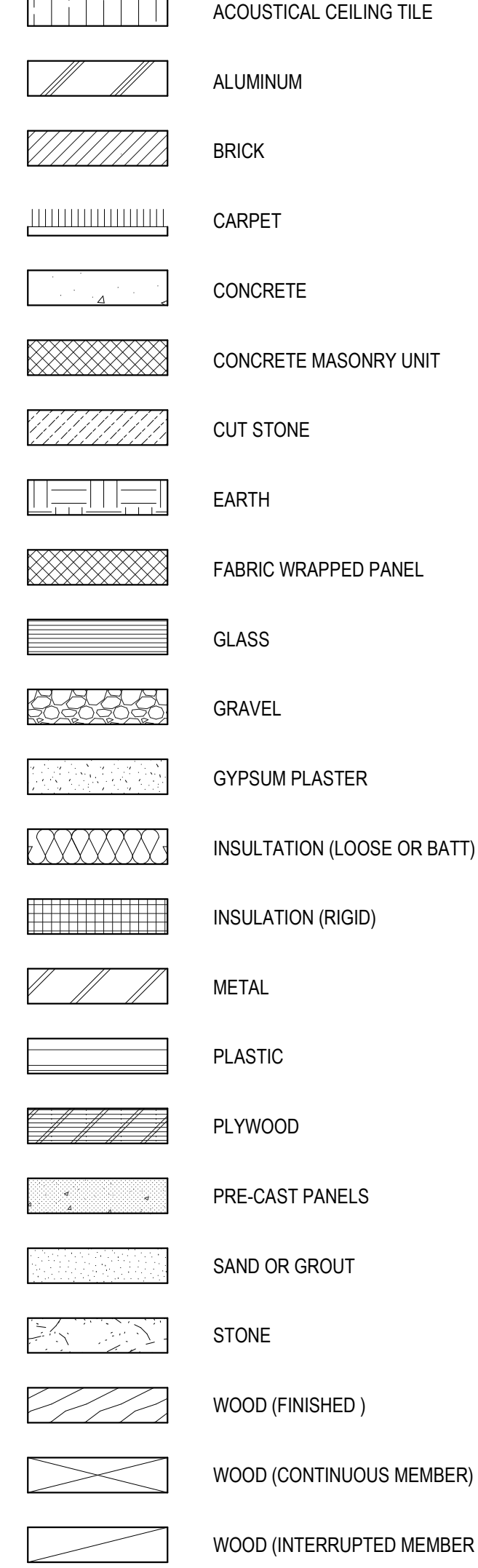
LEGEND OF COMMON SYMBOLS



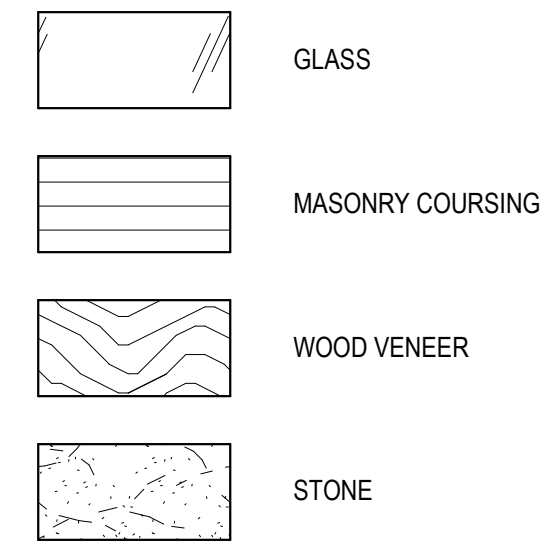
WALL MTD DEVICES



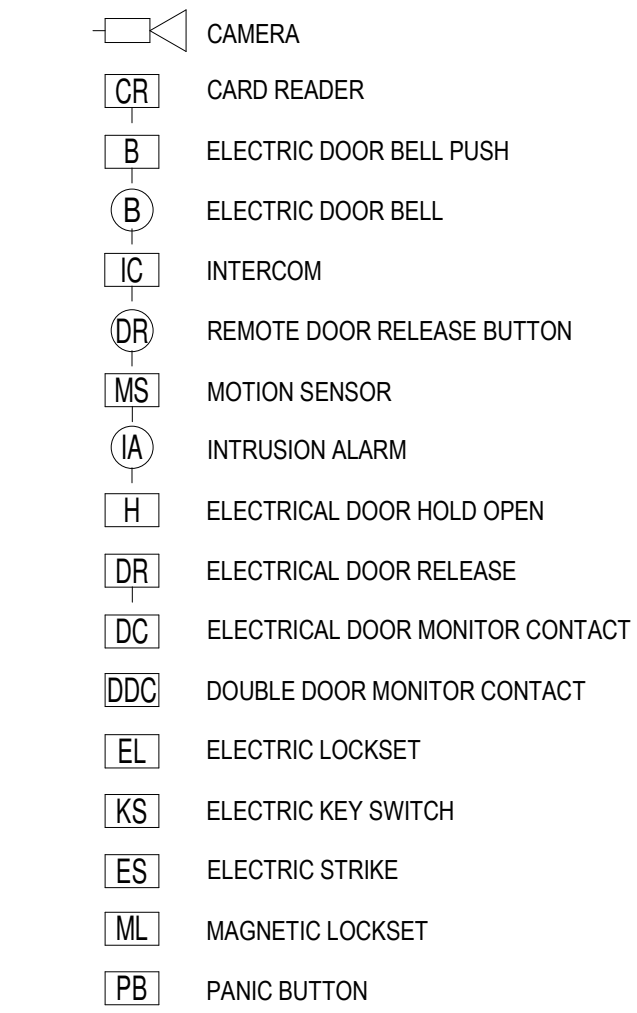
MATERIALS IN SECTION



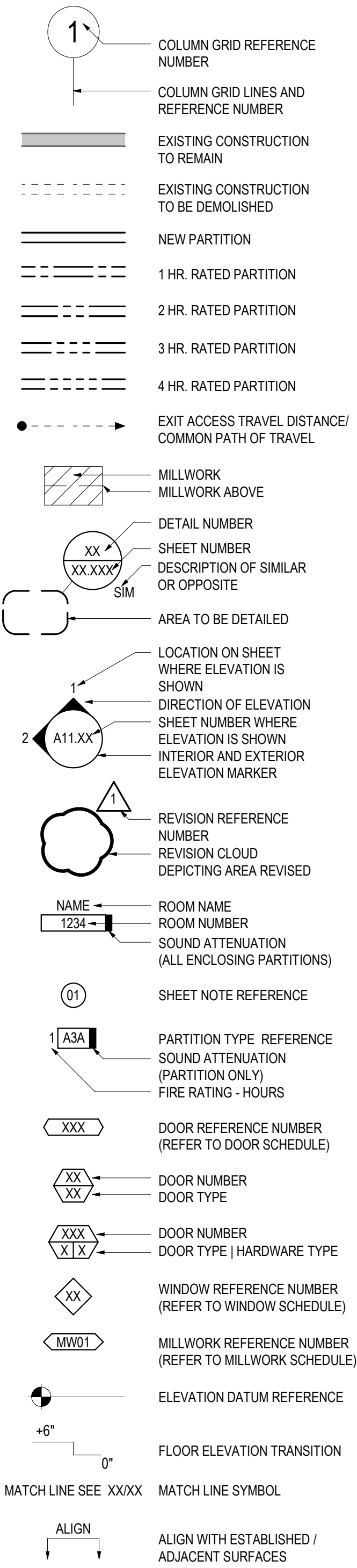
MATERIALS IN ELEVATION



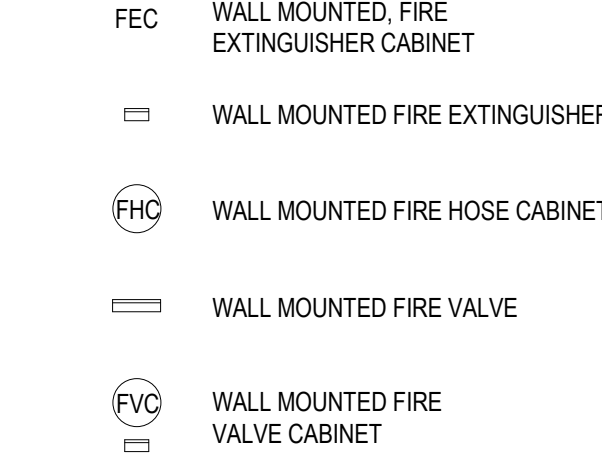
WALL MTD SECURITY DEVICES



CONSTRUCTION



WALL MTD LIFE SAFETY EQUIPMENT AND DEVICES



Triplett

14555 Dallas Parkway, Suite 100-304
Dallas, TX 75254
806-223-6611
andrew@triplettgrp.com

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6511 BOB O LINK DR.
DALLAS, TX 75214

SEAL / SIGNATURE



04/29/2025

△ DATE	DESCRIPTION
1 06/23/25	Revision 1

PROJECT NAME

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00125051

DESCRIPTION

GENERAL INFORMATION

SCALE

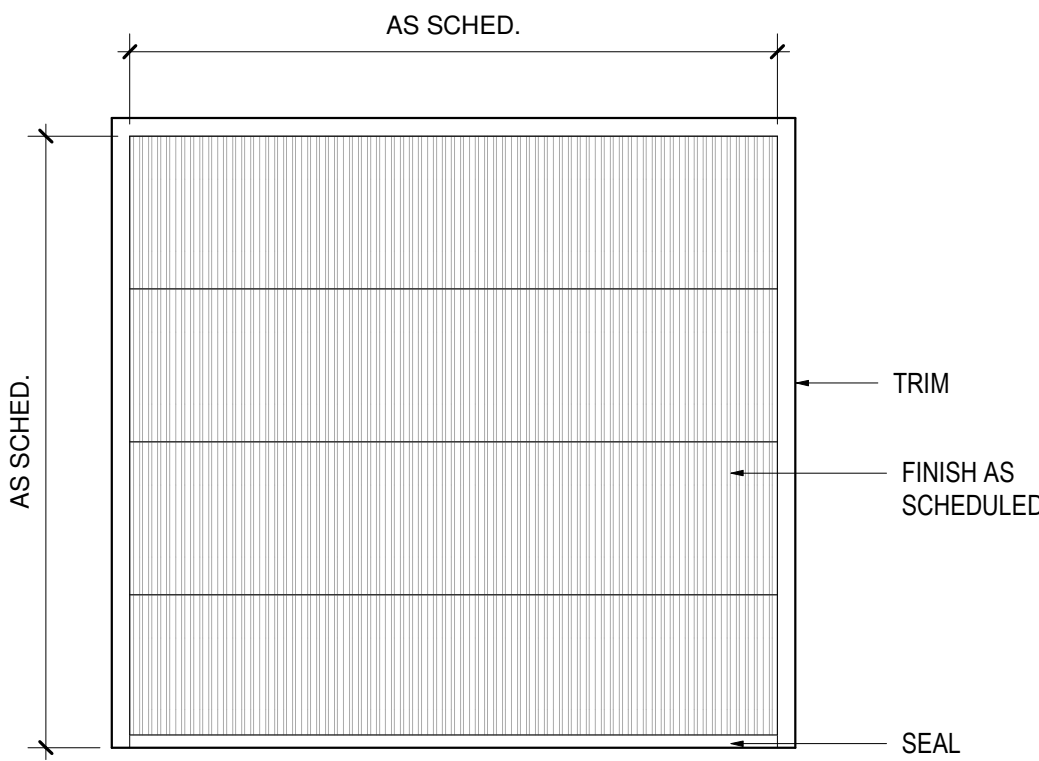
G0.02

SEAL / SIGNATURE



04/29/2025

△	DATE	DESCRIPTION
1	06/23/25	Revision 1



TYPE A
OVERHEAD DOOR

01 DOOR TYPES
SCALE: 3/8" = 1'-0"

DOOR SCHEDULE									
ASSEMBLY		LEAF				FRAME		REMARKS	
		DIMENSIONS			MATERIAL	FINISH	MATERIAL	FINISH	
NUMBER	TYPE	WIDTH	HEIGHT	THICKNESS					
100	A	9' - 0"	8' - 6"	0' - 1 1/2"	COMPOSITE	OWNER TO SELECT	COMPOSITE	TO MATCH LEAF	B.O.D. NEWTECHWOOD UH46 OWNER TO SELECT FINAL COLOR & PROFILE
104	A	9' - 0"	8' - 6"	0' - 1 1/2"	COMPOSITE	OWNER TO SELECT	COMPOSITE	TO MATCH LEAF	B.O.D. NEWTECHWOOD UH46 OWNER TO SELECT FINAL COLOR & PROFILE

PROJECT NAME
BISHOP RESIDENCE

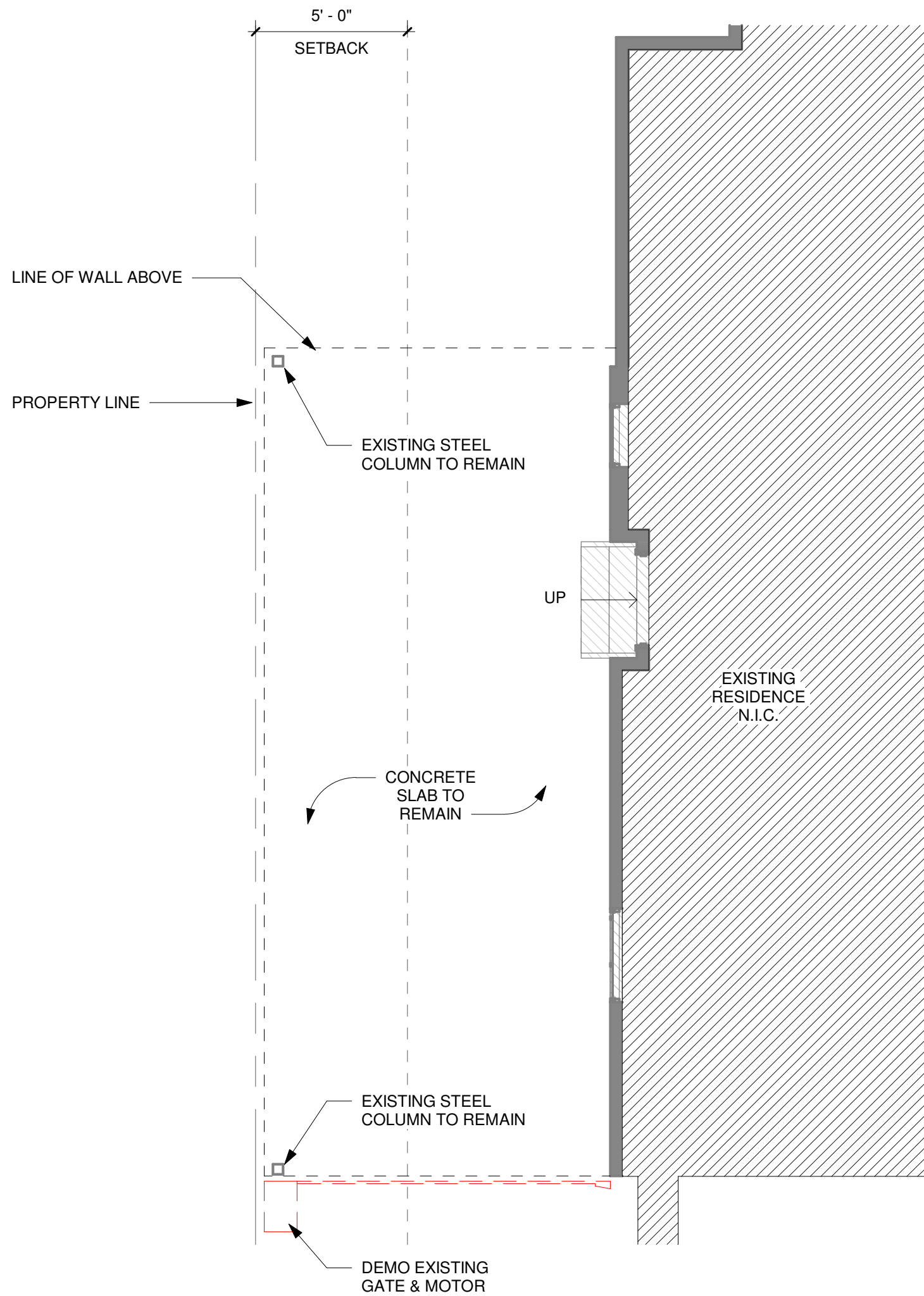
PROJECT NUMBER
00125051

DESCRIPTION
DOOR, FRAME AND
HARDWARE SCHEDULES

SCALE
3/8" = 1'-0"

01 DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



GENERAL NOTES

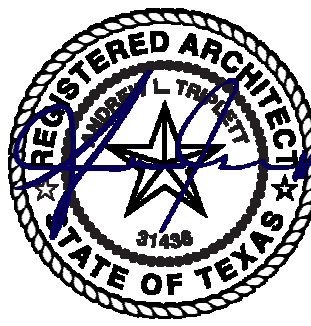
- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. FOR CONSTRUCTION PLAN AND OTHER PLAN REFERENCES, RE: A1 SHEET SERIES
- C. COORDINATE WITH OWNER FOR RETURN OF SALVAGE ITEMS TO BUILDING OWNER FOR FUTURE REUSE. COORDINATE WITH OWNER FOR ITEMS REQUIRED.
- E. REMOVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS NOT SHOWN TO REMAIN ON CONSULTANTS' PLANS OR AS REQUIRED FOR NEW WORK.
- F. PATCH, REPAIR, AND PREPARE ALL AFFECTED AREAS IN PREPARATION FOR NEW WORK.
- G. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- H. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- J. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

Triplett

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04/29/2025

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1 06/23/25	Revision 1

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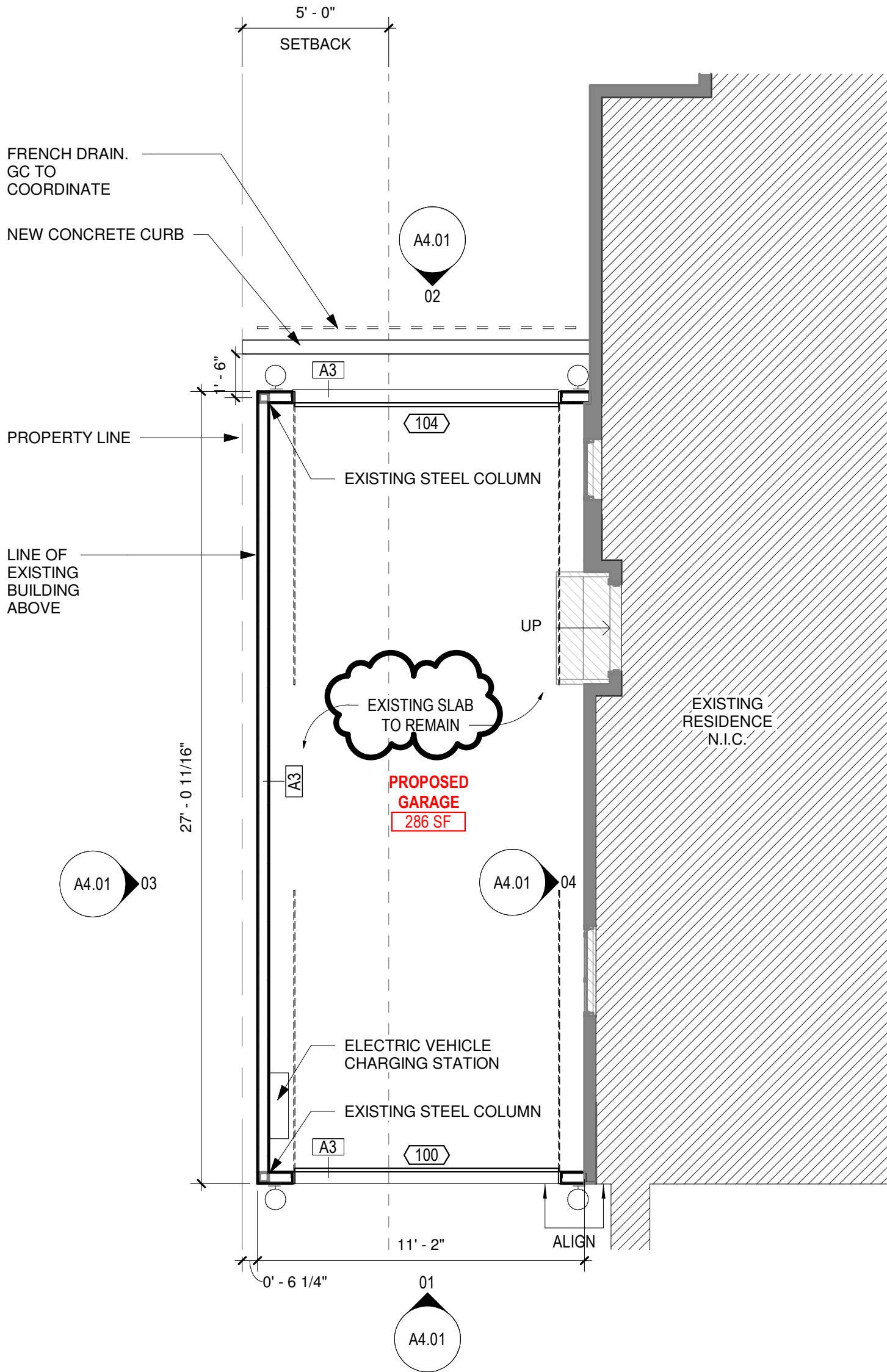
DESCRIPTION

DEMOLITION PLAN

SCALE

1/4" = 1'-0"

D1.001



01 CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. AREAS TONED IN GRAY ARE NOT IN CONTRACT.
- B. REFER TO SHEET G0.02 FOR SYMBOLS.
- C. ALL CONSTRUCTION TO BE TYPICAL 2X4 FRAMING WITH WEATHER-RESISTIVE BARRIER (WRB) TO MATCH EXISTING CONDITIONS. PROVIDE R-20 CAVITY INSULATION OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION TO COMPLY WITH IECC CLIMATE ZONE 3. ALL WORK SHALL MEET APPLICABLE CODE REQUIREMENTS, INCLUDING DALLAS LOCAL AMENDMENTS.
- D. ALL PARTITION TYPES TO BE 'A3' U.N.O.
- E. MAINTAIN 4" CLEARANCE BETWEEN EDGE OF DOOR FRAME & INTERSECTING PARTITION, U.N.O.
- F. DIMENSIONS AND ALIGNMENTS ARE FROM FACE OF FINISH TO FACE OF FINISH. PROVIDE FURRING AS NECESSARY TO ACHIEVE ALIGNMENTS SHOWN.
- G. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." DURING LAYOUT OF WORK. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
- H. PROVIDE MIN. FURRING @ ALL EXPOSED COLUMNS & BUILDING CORE WALL AS REQ. TO COVER EXPOSED CONCRETE, U.N.O.
- I. COORDINATE ALL WORK AT PERIMETER CONDITIONS TO INSTALL WITHOUT MECH. FASTENERS. DO NOT DEFACE/ PENETRATE/ DAMAGE ANY BASE BUILDING MATERIALS. REFER TO DETAIL13/G0.502 FOR TYPICAL CONDITIONS OF NEW PARTITION AT EXIST. PERIMETER MULLION.
- J. PROVIDE BLOCKING IN ALL PARTITIONS TO ACCOMMODATE MILLWORK INSTALLATIONS & OTHER WALL & CEILING HUNG ELEMENTS AS REQUIRED REFER TO FURNITURE PLANS TO COORDINATE LOCATION OF OVERHEAD UNITS..
- K. AT ALL NEW PARTITIONS ADJACENT TO EXISTING WALLS, PATCH & REPAIR EXIST. AS REQUIRED. PREPARE SURFACES FOR NEW FINISH. TAPE, SPACKLE & SAND ALL JOINTS. NO JOINTS VISIBLE @ NEW / EXISTING WALL LOCATIONS.
- L. REFER TO ELEVATIONS FOR PARTITION HEIGHTS & ADDITIONAL DIMENSIONS.
- M. AT ALL EXIST. PARTITIONS TO REMAIN: PATCH & REPAIR PARTITION AS REQUIRED. PREPARE SURFACE FOR NEW FINISH.
- N. G.C. TO CONFIRM EXISTING FOUNDATION CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO START OF WORK.
- O. PROVIDE TERMITE CONTROL @ NEW CONSTRUCTION

Triplett

14555 Dallas Parkway, Suite 100-304
Dallas, TX 75254
806-223-6611
andrew@triplettgrp.com

PROJECT INFORMATION
BISHOP RESIDENCE
6511 BOB O LINK DR.
DALLAS, TX 75214

SEAL / SIGNATURE



04/29/2025

△ DATE	DESCRIPTION
1 06/23/25	Revision 1

PROJECT NAME
BISHOP RESIDENCE

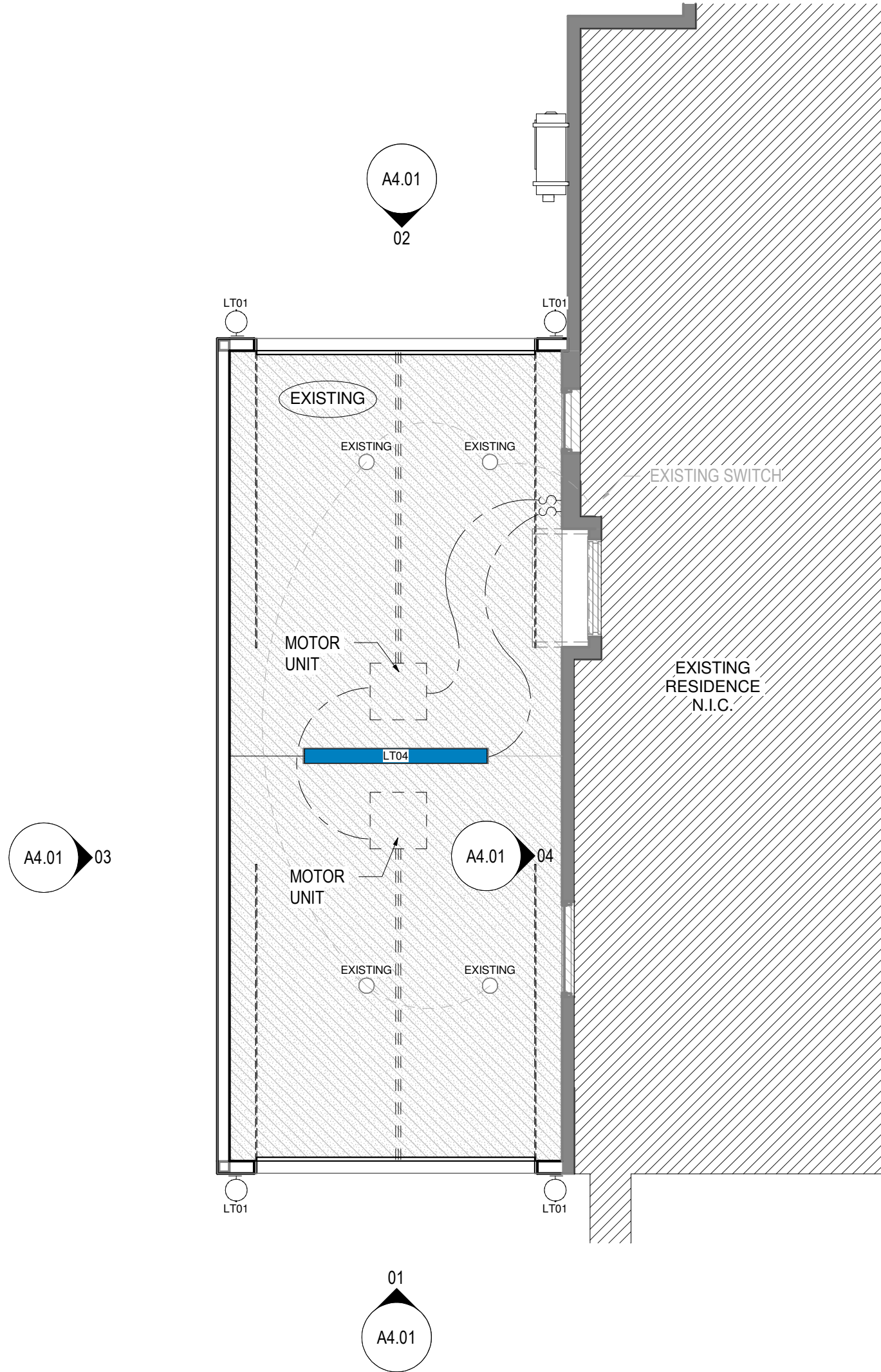
PROJECT NUMBER
00125051

DESCRIPTION
CONSTRUCTION PLAN

SCALE
1/4" = 1'-0"

A1.101

9/5/2025 4:39:31 PM



01 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GEOMETRIC CENTER. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS, UNLESS OTHERWISE NOTED.
- B FINISH HVAC DIFFUSERS, DRAPERY/SHADE POCKETS, SPEAKER GRILLES AND OTHER ITEMS LOCATED IN CEILING TO MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.
- C TYPICAL CEILING HEIGHT TO BE 9'8" A.F.F. U.N.O.
G.C. TO VERIFY MAXIMUM HEIGHT WITH ARCHITECT IN FIELD.

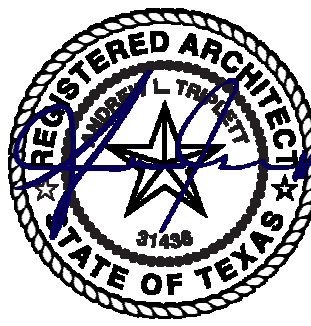
LIGHTING FIXTURE SCHEDULE	
MARK	TYPE
LT01	4" WALL SCONCE
LT04	6' X 4" LINEAR SURFACE MOUNTED
Grand total: 5	

Triplett

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BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION

REFLECTED CEILING PLAN

SCALE

1/4" = 1'-0"

A1.301

SEAL / SIGNATURE



04/29/2025

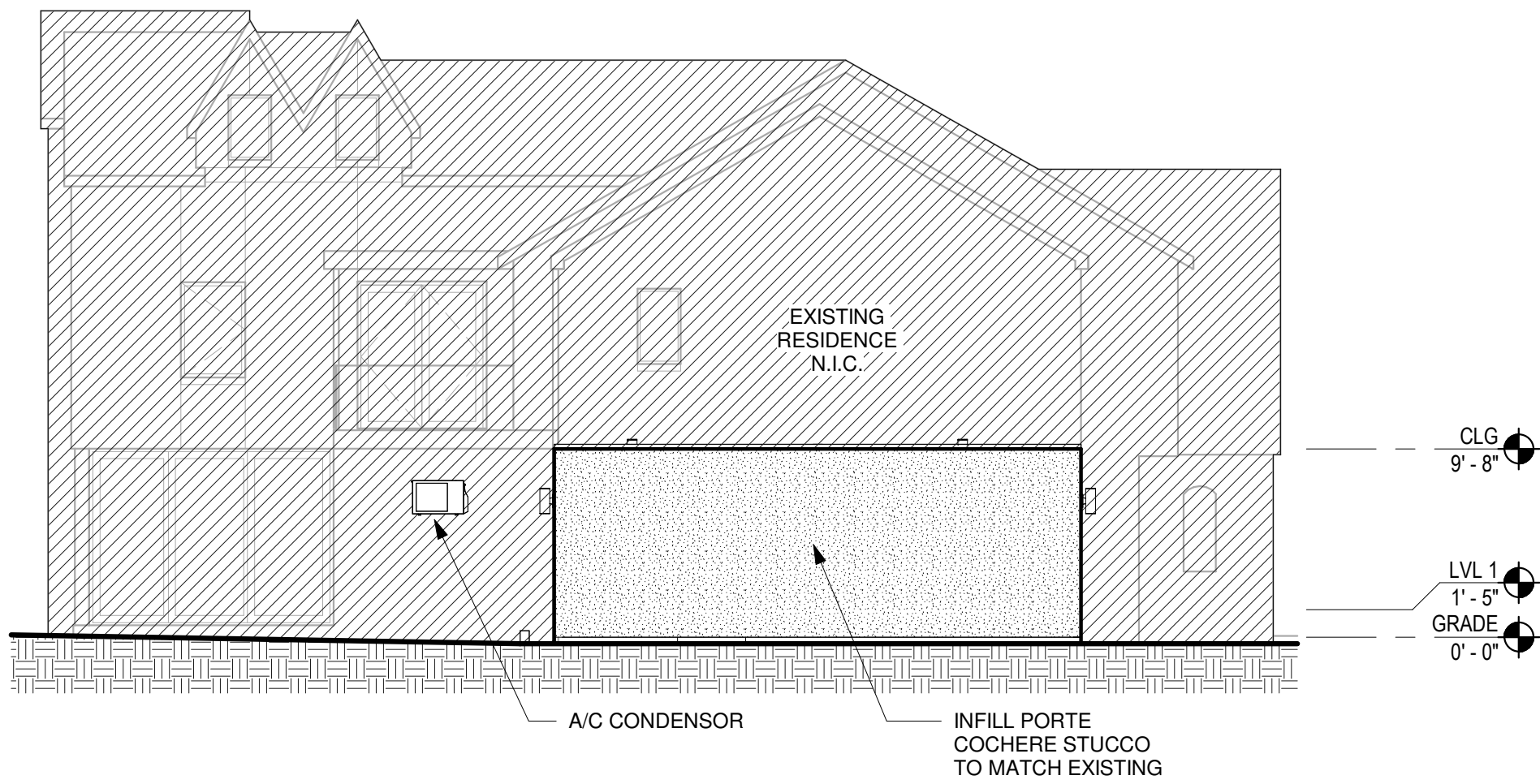
△ DATE	DESCRIPTION
1 06/23/25	Revision 1

PROJECT NAME
BISHOP RESIDENCE

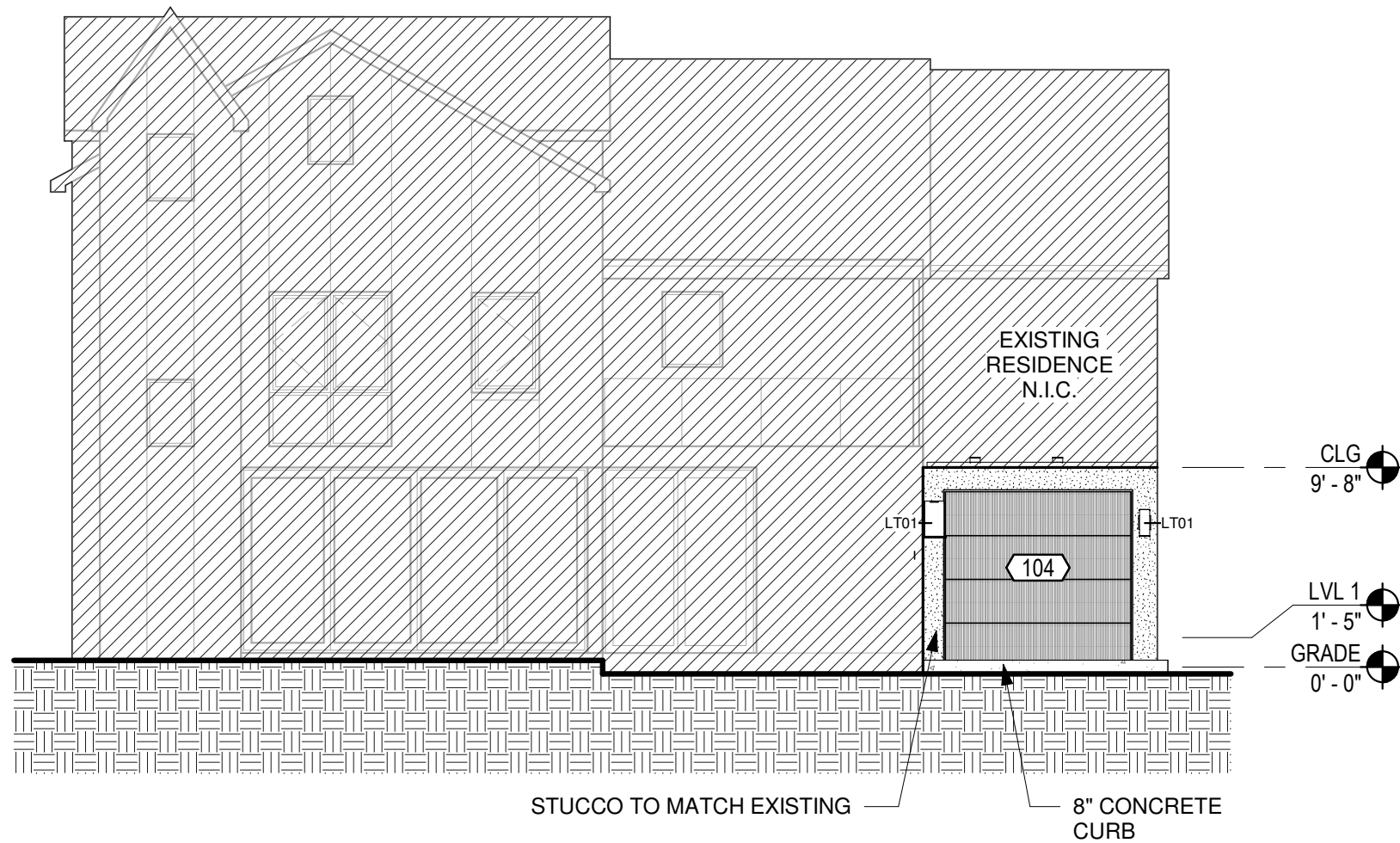
PROJECT NUMBER
00125051

DESCRIPTION
ELEVATIONS

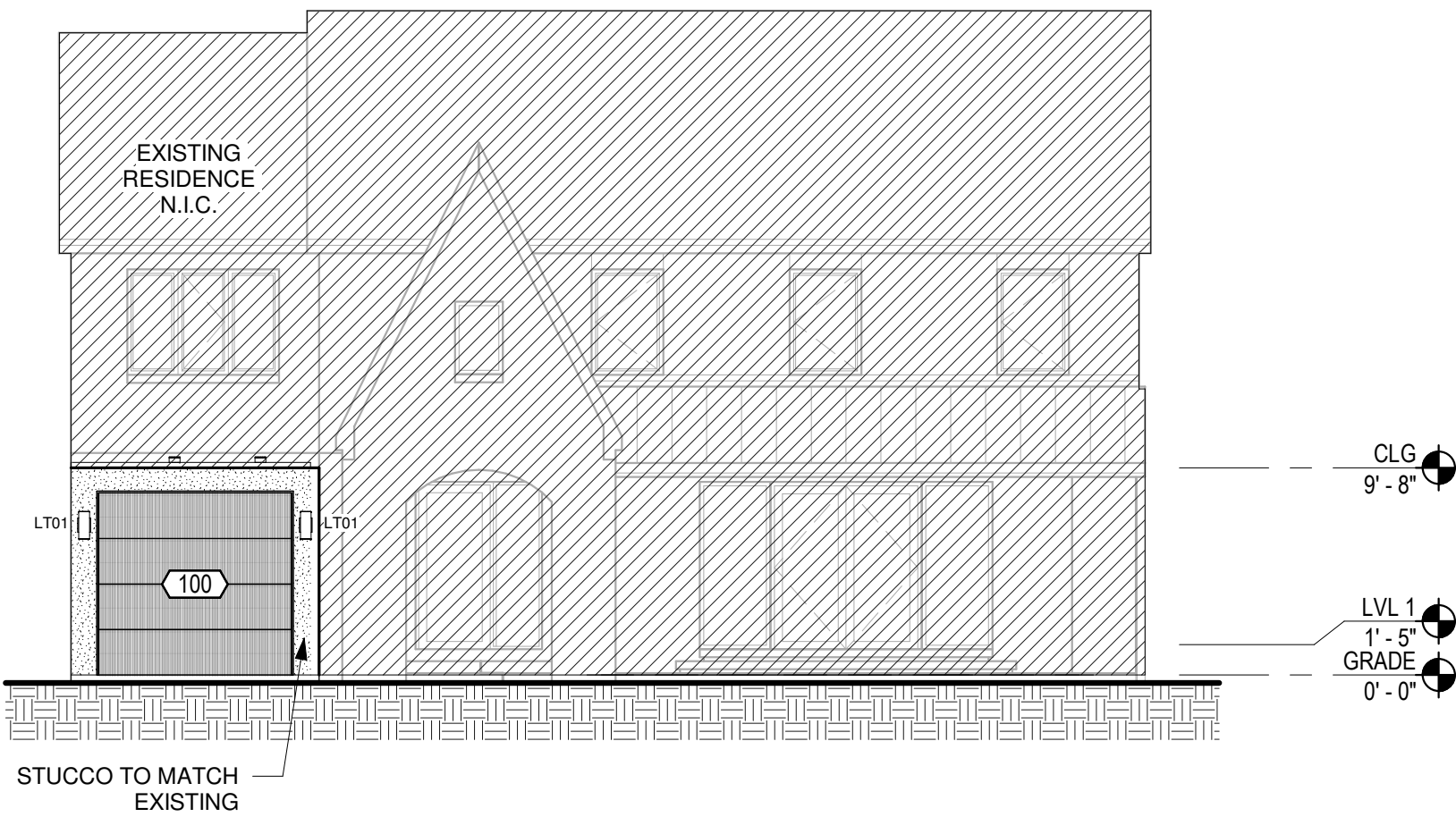
SCALE
1/8" = 1'-0"



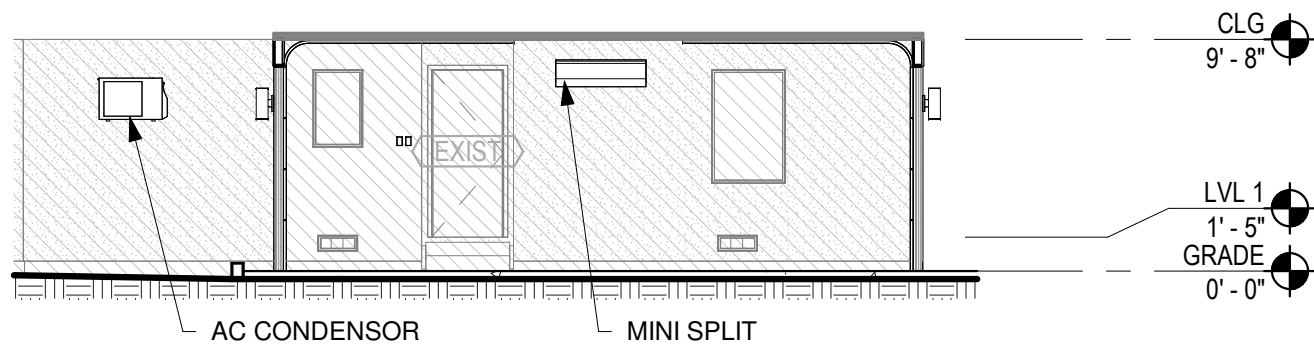
03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



01 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



04 ELEVATION @ EXISTING
SCALE: 1/8" = 1'-0"

