

B W C. Was

SOUTH & GAR

Planning & Development Department

320 E Jefferson Blvd, Dallas TX 75203 (214) 948-4480

Board of Adjustment: 1500 Marilla Street, 5CN Dallas Tx75201 (214) 948-4480

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

A W WAR		OFFICE USE ONLY Case no. Date
	Data Relative to Subject Property: Close in garage on pre-existing residential structure.	
		_Zoning District: <u>R - 7.5</u>
	Lot No.:Block No.:Acreage: 7100 sf Census Tract:	-
N N N N N N N N N N N N N N N N N N N	Street Frontage (in Ft.): 1)2)3)	_4)(5)
	To the Honorable Board of Adjustment:	
	Owner of Property (per Warranty Deed): Jacob Brady Bishop and Je	nniter Bisnop
	Applicant: Jacob Brady Bishop Telephone: 214.674	4.6658
p was	Mailing Address: 6511 Bob O Link Dr Dallas TX Zip Code: 75	5214
经济税的验证 4	E-mail Address: brady.bishop@vanguardautogroup.com	
ar a a r	Represented by: Jacob Brady Bishop Telephone: 214.67	4.6658
7 · · · ·	Mailing Address: 6511 Bob O Link Dr Dallas TX Zip Code: 75	5214
# W	E-mail Address: brady.bishop@vanguardautogroup.com	
NEWSON S. CALL .	Affirm that an appeal has been made for a ■Variance or ■Special	al Exception, of:
	Closing in garage space that does not exceed current boundaries of existing carport and framing that	t was approved prior by current neighbors.
	Application is made to the Board of Adjustment, in accordance was Dallas Development Code, to Grant the described appeal for the f	
P W	Gain permit approval to close in pre-existing frame on property to provide garage space that will allow safe ent	
	Note to Applicant: If the appeal requested in this application is gr	and the second s
3 a a	Adjustment, a permit must be applied for within 180 days of the other Board, unless the Board specifically grants a longer period.	date of the final action of
	the board, diffess the board specifically grants a longer period.	
	Affidavit	1 0 0
estatements.	Before me, the undersigned on this day personally appeared	(Affiant/Applicant's name printed)
* * * * * * * * * * * * * * * * * * *	who on (his/her) oath certifies that the above statements are tru	ue and correct to his/her
n y i v var	best knowledge and that he/she is the owner/or principal/or aut	Robert Craig Campbell
# W	the subject property.	My Commission Expires 5/16/2028
-27-5546.85	Respectfully submitted: (Affiant/ Applicant's signature)	Notary ID131557509
Mary Bridge	Subscribed and sworn to before me this 187 day of Augus	, 20_25
	Notary Public in and for Dallas County, Texas	
er er	Together we are planning and building a better Dallas	for all! 4/30/2025
		Water and



Planning & Development Department 320 E Jefferson Blvd, Board of Adjustment:

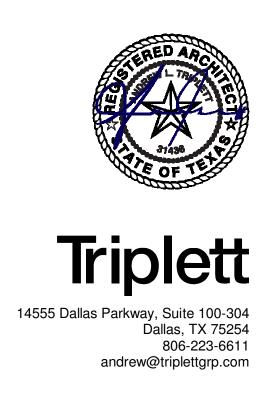
320 E Jefferson Blvd, Dallas TX 75203 (214) 948-4480 Board of Adjustment: 1500 Marilla Street, 5CN Dallas Tx75201 (214) 948-4480

AFFIDAVIT

Appeal number: Jennifer Bishop (Owner or 'Grantee' of property as it appears on the Warranty Deed) at: 6511 Bob O Link Dr Dallas TX 75214 (Address of property as stated on application) Authorize: Jacob Brady Bishop (Applicant's name as stated on application) To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s) Variance (specify below) Variance (specify below) Special Exception (specify below) Other Appeal (specify below) Specify: County in authorizy approved framing for garage spines that is done to respiteding property. Neighboring property owner approval provided in tie. Jennifer Bishop Print name of property owner or registered agent Date O9/15/2025 Before me, the undersigned, on this day personally appeared JENNIFEE BISHOP Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge. Subscribed and sworn to before me this ISTE day of SERTEMBER 20.25 Notary Public for Dallas County, Texas Texas Texas Commission expires on S 16 20.26 Commission Commission expires on S 16 20.26 Commission expires on S 16 20.26 Commission Commiss	a lesson	Appeal number:	
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Robert Craig Campbell My Commission Expires 5/16/2028 Notary ID131557509 Notary Public for Dallas County, Texas			day of
Notary ID131557509	Section Sectio	Robert Craig Campbell	•
	* www	5/16/2028 Notary ID 131557509	c/16/2020

BISHOP RESIDENCE

6511 BOB O LINK DR. DALLAS, TX 75214



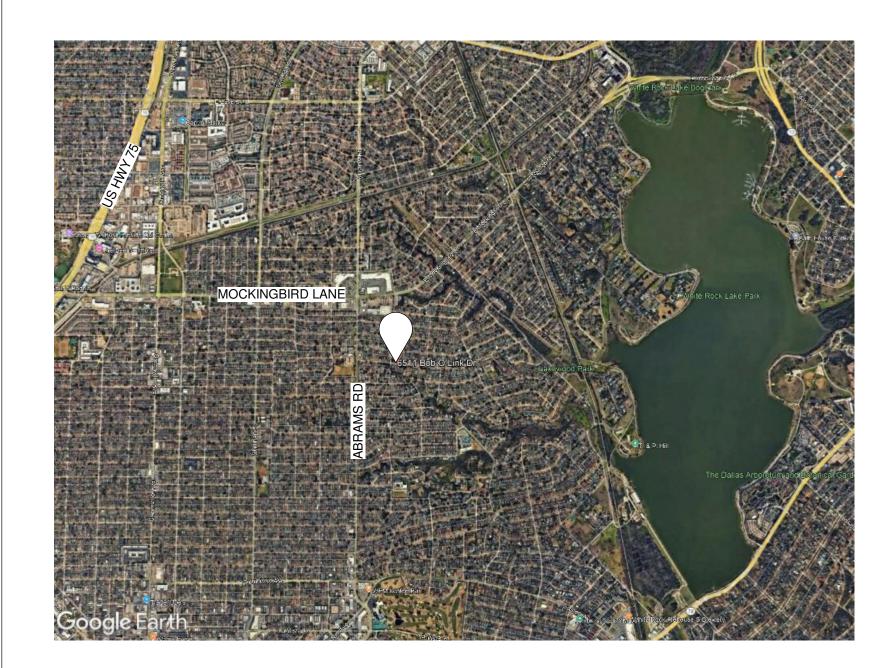
PERMIT SET

04/29/2025

PROJECT NUMBER 00125051

CODE COMPLIANT INFORMATION

VICINITY MAP



- 1 COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. 2 OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- 4 COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF RESIDENCE AND OCCUPANTS 5 OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN
- CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION. 6 MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNERTO ENSURE SECURITY.
- 7 MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- 8 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

APPLICABLE CODES

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE W/ DALLAS AMENDMENTS 2021 INTERNATIONAL PLUMBING CODE W/ DALLAS AMENDMENTS MECHANICAL CODE: 2021 INTERNATIONAL MECHANICAL CODE W/ DALLAS AMENDMENTS ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE W/ DALLAS AMENDMENTS FIRE/LIFE SAFETY CODE: 2021 INTERNATIONAL FIRE CODE W/ DALLAS AMENDMENTS ACCESSIBILITY CODE: 2012 STATE OF TEXAS ACCESSIBILITY STANDARDS

ENERGY CODE: 2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ DALLAS AMENDMENTS

PROJECT DESCRIPTION

REMODEL OF AN EXISTING PORTE COCHERE TO ENCLOSED GARAGE - PORT CONVERSION

BUILDING ADDRESS: 6511 BOB O LINK DR. DALLAS, TX 75214

AREA CALCULATIONS

FIRST FLOOR EXISTING: 1,600 S.F.

REMODEL PORTE COCHERE: 289 S.F.

SECOND FLOOR A/C: 1,797 S.F.

THIRD FLOOR A/C: 409 S.F. TOTAL AREA: 4,095 S.F.

COVERED STOOP: 58 S.F.COVERED PORCH: 125 S.F.COVERED BALCONY: 119 S.F.

ZONING

ZONING: CITY OF DALLAS, TEXAS DESIGNATION: R-7.5 PRIMARY USES: SINGLE FAMILY RESIDENCE FRONT YARD SETBACK: 25'-0" SIDE YARD SETBACK: 5'-0" REAR YARD SETBACK: 5'-0" MAXIMUM BUILDING HEIGHT: 30'-0" SITE SQUARE FOOTAGE: 7,700 SF

RESIDENTIAL LOT COVERAGE MAXIMUM LOT COVERAGE: 3,465 SF (45% OF TOTAL LOT COVERAGE) ACTUAL LOT COVERAGE - 1ST FLOOR MAIN STRUCTURE: 1,886 SF TOTAL: 1,886 SF < 3,465 SF

GREEN PHASE II: SITE SQUARE FOOTAGE: 7,100 SF ROOF AREA COVERAGE - MAIN STRUCTURE: 2,190 SF

NON-ROOF AREA COVERAGE: = 5,510 SF (SITE SF - ROOF AREA COVERAGE)

MINIMUM PERMEABLE COVERAGE REQUIRED:

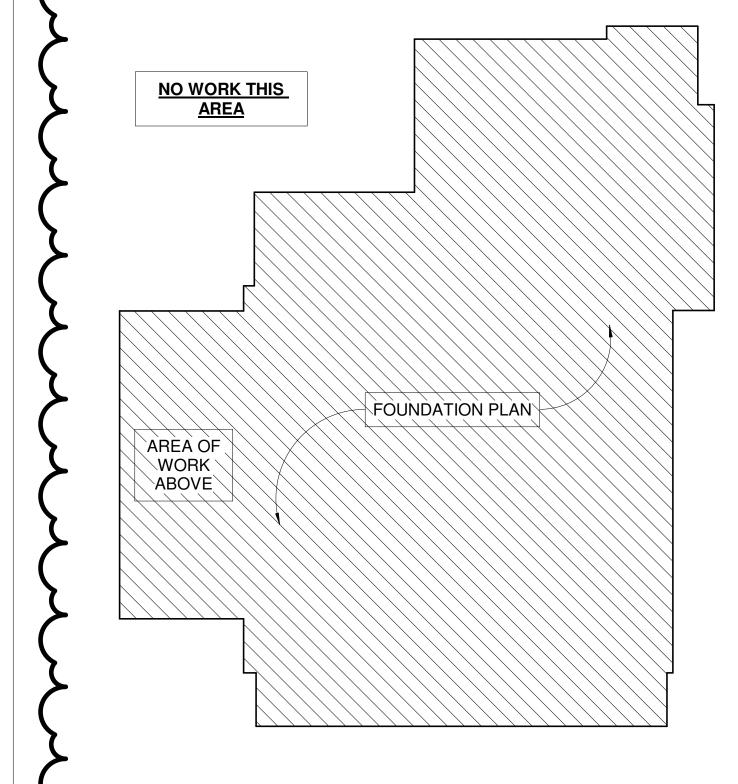
= 5,510 SF × 0.7 = 3,857 SF (70% OF TOTAL NON-ROOF COVERAGE)

ACTUAL PERMEABLE COVERAGE: = 3,915 SF = 71.05%

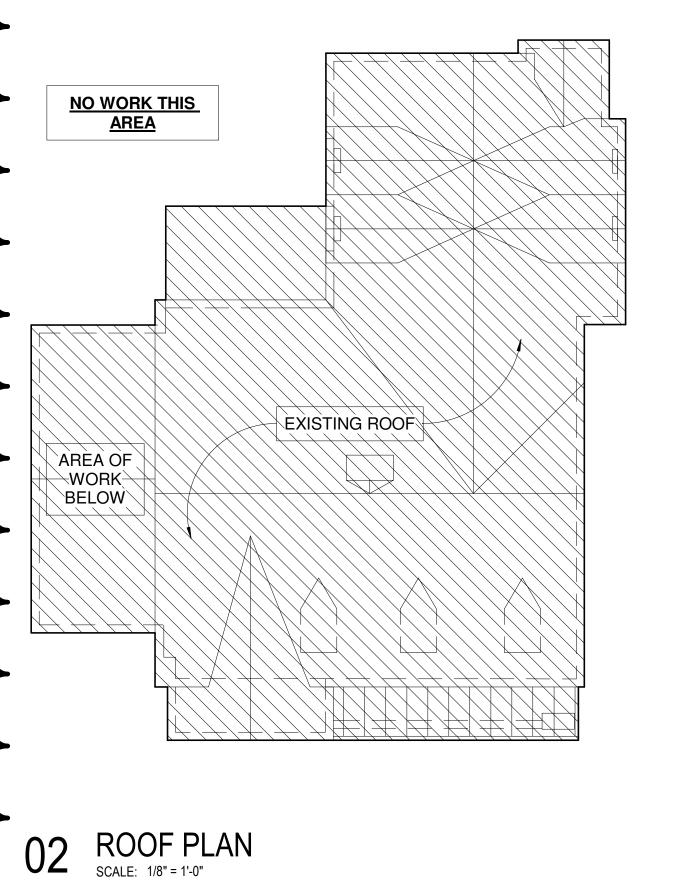
SHEET INDEX

SHEET NO.	SHEET NAME	REVISION	ISSUE DATE	CURRENT ISSUE
00_GENERAL				
G0.01	DRAWING INDEX & CODE SUMMARY	1	06/23/25	Revision 1
G0.02	GENERAL INFORMATION	1	06/23/25	Revision 1
G6.02	DOOR, FRAME AND HARDWARE SCHEDULES	1	06/23/25	Revision 1
01_DEMOLITION	N .			
D1.001	DEMOLITION PLAN	1	06/23/25	Revision 1
02_ARCHITECT	URE			
A1.101	CONSTRUCTION PLAN	1	06/23/25	Revision 1
A1.301	REFLECTED CEILING PLAN	1	06/23/25	Revision 1
A4.01	ELEVATIONS	1	06/23/25	Revision 1

CURRENT CURRENT



O3 FOUNDATION PLAN SCALE: 1/8" = 1'-0"



EXISTING

RESIDENCE

2.5 STORY

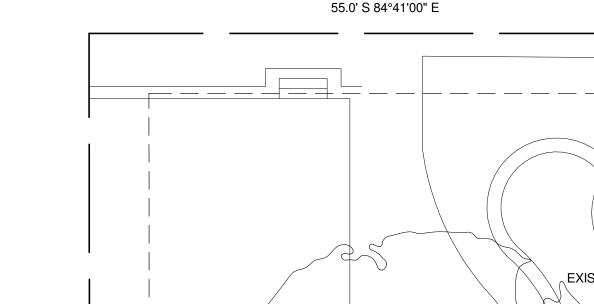
N.I.C.

EXISTING

SITE WALL

55.0' N 84°41'00" W

BOB O LINK DR.



PROJECT INFORMATION **BISHOP RESIDENCE** 6511 BOB O LINK DR. DALLAS, TX 75214 EXISTING POOL-

SEAL / SIGNATURE



04/29/2025

14555 Dallas Parkway, Suite 100-304

Dallas, TX 75254 806-223-6611

andrew@triplettgrp.com

 \triangle DATE DESCRIPTION

1 06/23/25 Revision 1

PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION

DRAWING INDEX & CODE **SUMMARY**

SCALE

As indicated

G0.01

SITE PLAN SCALE: 1/8" = 1'-0"

EXISTING PORT COCHERE

5' - 0"

SETBACK

EXISTING CONCRETE

EXISTING

PAVERS

ABBREVIATIONS

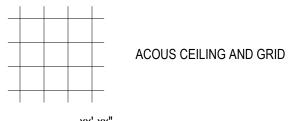
#	NUMBER	FOW FPLC	FACE OF WALL FIREPLACE	Р	
&	AND	FR	FIRE RAT(ING)(ED)	PA	PUBLIC ADDRESS
CL	CENTERLINE	FRMG	FRAMING	PBD	PARITICLE BOARD
٨		FURN	FURNITURE	PEDTR	PEDESTRIAN
A ACCESS	ACCESSORY	FWC FXD	FABRIC WALL COVERING FIXED	PL PLAM	PROPERTY LINE PLASTIC LAMINATE
ACOUS	ACOUSTIC(AL)	IND	INCO	PLAS	PLASTER
ACT	ACOUSTICAL CEILING TILE	G		PLSTC	PLASTIC
AD	ACCESS DOOR OR AREA DRAIN	GA	GAUGE	PLYWD	PLYWOOD
ADO	AUTOMATIC DOOR OPERATOR	GALV	GALVANIZED	PNL	PANEL
AFF	ABOVE FINISHED FLOOR	GFRC	GLASS FIBER REINFORCED CONCRETE	POLYST	POLYSTRENE
alt Alum	ALTERNATE ALUMINUM	GFRG GFRP	GLASS FIBER REINFORCED GYPSUM GLAS FIBER REINFORCED PLASTER	PORT PREFAB	PORTABLE PREFABRICATED
ANNUNC	ANNUNCIATOR	GL	GLASS FIBER REINFORCED FLASTER GLASS	PREFIN	PREFINISHED
ANOD	ANODIZED	GR	GRAD(E)(ING)	PRTECN	PROTECTION
APPL	APPLIANCE	GRD	GROUND	PTN	PARTITION
ARCH	ARCHITECT(URAL)	GRFL	GROUND FLOOR		
AUTO	AUTOMATIC	GYP	GYPSUM	R	2005 22411
AUX AVG	AUXILIARY AVERAGE	Н		RD RDL	ROOF DRAIN ROOF DRAIN LEADER
AVG	AVERAGE	HB	HOSE BIB	RDR	READER
В		HC	HOLLOW CORE	RECES	RECESSED
B/B	BACK TO BACK	HD	HEAD	RECPT	RECEPTACLE
BD	BOARD	HDG	HOT DIPPED GALVANIZED	REF	REFER(ENCE)
BLDG	BUILDING	HDO	HIGH DENSITY OVERLAY	REFL	REFLECTED
BLKG	BLOCKING BASIS OF DESIGN	HDWD	HARDWOOD HARDWARE	REFR	REFRIGERATOR PEINEOPCED(D)(ING)(MENT)
BOD BOH	BASIS OF DESIGN BACK OF HOUSE	HDWE HM	HARDWARE HOLLOW METAL	REINF REQD	REINFORCED(D)(ING)(MENT) REQUIRED
BOLLD	BOLLARD	HORIZ	HORIZONTAL HORIZONTAL	RESIL	RESILIENT
BRDLM	BROADLOOM	HP	HIGH POINT	RESIS	RESIST(ANT)(IVE)
BU	BUILT UP	HR	HOUR	RFG	ROOFING
_		HSS	HOLLOW STRUCTURAL SECTION	RM	ROOM
CAR	CADINET	HT	HEIGHT	RND	ROUND
CAB CC	CABINET CONCRETE CURB	HVAC	HEATING, VENTILATIING, AND AIR CONDITIONING	RO	ROUGH OPENING
CEM	CEMENT(ITIOUS)			S	
CER	CERAMIC	<u>l</u>		SC	SOLID CORE
CG	CORNER GUARD	IBC	INTERNATIONAL BUILDING CODE	SCR	SCRIBE
CIP	CAST-IN-PLACE	ID	INSIDE DIAMETER OR INTERIOR DESIGN (ER)	SECUR	SECURITY
CJ	CONSTRUCTION JOINT OR CONTROL JOINT	IE INIEII TD	INVERT ELEVATION	SF	SQUARE FEET
CLG	CEILING	INFILTR INFO	INFILTRATION INFORMATION	SG	SINGLE
CMU COATG	CONCRETE MASONRY UNIT COATING	INFO	INSTRUMENT(ATION)	SHORG SIM	SHORING SIMILAR
COATG	COATING CENTER ON CENTER	INSTRUM	INSTRUMENT(ATION) INSULATION	SIM SPKR	SIMILAR SPEAKER
COILG	COILING	INT	INTERIOR	SPR	SPRINKLER
CONC	CONCRETE	INTLK	INTERLOCK(ING)	SS	STAINLESS STEEL
CONSTR	CONSTRUCTION	_		SST	STAINLESS STEEL
CONT	CONTINUOUS(ATION)	J	IANITOD	ST	STREET
CONTR	CONTRACT(OR)	JAN JT	JANITOR JOINT	STD	STANDARD
COV	COVER	JI	JOHN	STL STRFR	STEEL STOREFRONT
CPT	CARPET	K		STRFR	STOREFRONT STRUCTURAL
D		KIT	KITCHEN	SURF	SURFACE
DBL	DOUBLE	KO	KNOCK OUT	SUSP	SUSPENDED
DEM	DEMOLITION/DEMOLISH			SYM	SYMBOL
DEPT	DEPARTMENT	L	LADODATODY	SYMM	SYMMETRICAL
DES	DESIGN(ED)	LAB LAM	LABORATORY LAMINATE	SYS	SYSTEM(S)
DET DF	DETAIL DRINKING FOUNTAIN	LAM GL	LAMINATE LAMINATED GLASS	Т	
DIA	DIAMETER	LAV	LAVATORY	T&G	TONGUE AND GROOVE
DIFF	DIFFUSER	LB	POUND	TC	TERRA COTA
DIM	DIMENSION	LP	LOW POINT	TEM	TEMPORARY
DISP	DISPENSER	LT	LIGHT	TERR	TERRAZZO
DIST	DISTANCE	LVLC	LOW VOLTAGE	THK	THICK (NESS)
DIV	DIVISION	LVLG LVR	LEVELING LOUVER (ED)	TLT	TOILET
DN DR	DOWN DOOR	∟vI\	LOOVER (ED)	TOC TOFF	TOP OF CONCRETE TOP OF FINISH FLOOR
DSCON	DISCONNECT	M		TOS	TOP OF STEEL
DWG	DRAWING	MAINT.	MAINTENANCE	TOW	TOP OF WALL
DWR	DRAWER	MAS	MASONRY	TRAF	TRAFFIC
_		MATL	MATERIAL	TRANS	TRANSPARENT
E	FACH	MAX MECH	MAXIMUM MECHANICAL	TRTD	TREATED
EA EJ	EACH EXPANSION JOINT	MECH MEMB	MEMBRANE	TSTAT TV	THERMOSTAT TELEVISION
EJC EJC	EXPANSION JOINT COVER	MET	METAL	TYP	TELEVISION TYPICAL
ELAST	ELASTOMERIC	MEZZ	MEZZANINE		
ELEC	ELECTRICAL	MFD	MANUFACTURED	U	
EMBED	EMBEDD(ED)(ING)	MFR	MANUFACTURER	U/C	UNDERCUT
ENGR	ENGINEER(ED)	MIN	MINIMUM	U/S	UNDERSIDE
ENTR	ENTRANCE	MISC MLWK	MISCELLANEOUS MILLWORK	UNDRLAY	UNDERLAYMENT
EQ EQUIP	EQUAL EQUIPMENT	MO	MASONRY OPENING	UNO UR	UNLESS NOTED OTHERWISE URINAL
EQUIP	EPOXY TERRAZZO	MOIST	MOISTURE	UTIL	UTILITY
EXIST	EXISTING	MOT	MOTOR(IZED)	J.16	·
EXPS	EXPOSED(D)	MTD	MOUNTED	V	
EXT	EXTERIOR	MULL	MULLION	VAR	VARIES
_		NI		VCT	VINYL COMPOSITION TILE
F FA	FIDE ALADM	N NA	NOT APPLICABLE	VEH	VEHICLE
FA FAB	FIRE ALARM FABRICATION	NIC	NOT IN CONTRCT	VERT VEST	VERTICAL VESTIBULE
FAB FAR	FABRICATION FLOOR AREA RATIO	NO	NUMBER	VEST	VESTIBULE VERIFY IN FIELD
FAR FD	FLOOR AREA RATIO FLOOR DRAIN	NOM	NOMINAL	VIF VNR	VERIER VENEER
FDC	FIRE DEPARTMENT CONNECTION	NTS	NOT TO SCALE	VIVIX	VINYL TILE
FE	FIRE EXTINGUISHER			- •	
FEC	FIRE EXTINGUISHER AND CABINET	0		W	
FHC	FIRE HOSE AND CABINET	OA	OUTSIDE AIR OR OVERALL	W/	WITH
FIN	FINISH	OD	OUTSIDE DIAMETER	W/O	WITHOUT
FIXT	FIXTURE	OHD	OVERHANG OVERHEAD	W/W	WALL TO WALL
FLASH	FLASHING	OHD	OVERHEAD OPPOSITE HAND	WC	WATER CLOSET
FLDG	FOLDING	OPH OPNG	OPPOSITE HAND OPENING(S)	WDW	WOOD
FLO FLR	FLUORESCENT FLOOR(ING)	OPNG	OPENING(5) OPPOSITE	WDW WF	WINDOW WIDE FLANGE
	FLOOR(ING) FINISH OPENING	OPR	OPERABLE	WPM	WATERPROOF MEMBRANE
F()	A THIRT OF ENTITY				
FOC	FACE OF CONCRETE	ORD	OVERFLOW ROOF DRAIN	WT	WEIGHT

OVFL

OVERFLOW

GRAPHIC SYMBOLS

REFLECTED CEILING **LEGEND OF COMMON SYMBOLS**



CEILING HEIGHT CHANGE

X'-X" FINISH CEILING HEIGHT SYMBOL GRID STARTPOINT SYMBOL AT1 CEILING FINISH TAG

CEILING MOUNTED SPEAKER CEILING MOUNTED CAMERA

CEILING MOUNTED SPRINKLER HEAD CEILING MOUNTED SMOKE DETECTOR

CEILING MOUNTED STROBE LIGHT

CEILING MOUNTED EXIT SIGNS \otimes \otimes \otimes WALL MOUNTED EXIT SIGNS -

PARALLEL WALL MOUNTED EXIT SIGNS -PERPENDICULAR

> EXISTING TO REMAIN EXISTING TO BE RELOCATED

OR ACCESS DOOR

LIGHT FIXTURES



EXISTING LIGHT FIXTURE TO BE REMOVED CONCEALED LIGHT FIXTURE

LINEAR LIGHT FIXTURE LINEAR PENDANT LIGHT FIXTURE RECESSED DOWNLIGHT

O OR \square RECESSED ADJUSTABLE DOWNLIGHT OR 🗖 RECESSED WALL WASHER

TRACK LIGHTING ∇ ∇ ∇ SURFACE MOUNTED / PENDANT LIGHT FIXTURE

DIMMER SWITCH

WALL SCONCE LIGHT SWITCH

MECHANICAL FIXTURES

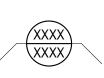


RETURN AIR SUPPLY AIR

CIRCULAR DIFFUSER LINEAR DIFFUSER

EXHAUST FAN

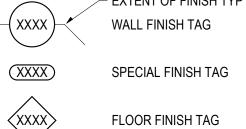
FINISH



 \sqrt{XXXX}

WALL FINISH TAG BASE FINISH TAG

EXTENT OF FINISH TYP WALL FINISH TAG



FLOOR FINISH TAG

CEILING FINISH TAG

CHANGE IN FLOOR FINISH



BRICK WALL MTD VOICE/DATA RECPT WALL MTD DATA RECPT

WALL MTD VOICE RECPT WALL MTD AV RECPT

WALL MTD SYS WORKSTATION PANEL POWER INFEED WALL MTD SYS WORKSTATION PANEL VOICE INFEED

SURF FLR MTD DUPLEX RECPT SURF FLR MTD QUADRAPLEX RECPT

WALL MTD SINGLE RECPT

WALL MTD DUPLEX RECPT

WALL MTD QUADRAPLEX RECPT

SURF FLR MTD VOICE/DATA RECPT SURF FLR MTD DATA RECPT

> SURF FLR MTD VOICE RECPT A۷ SURF FLR MTD AV RECPT

SURF FLR MTD SYS WORKSTATION PANEL POWER INFEED SURF FLR MTD SYS WORKSTATION PANEL VOICE INFEED

SURF FLR MTD DUPLEX & VOICE/DATA SURF FLR MTD QUADRAPLEX & VOICE/DATA

 $| igoplus | ar{\mathsf{AV}} | oldsymbol{
abla} |$ Surf flr MTD Duplex, audio visual and voice/data

SURF FLR MTD QUADRAPLEX, AV & VOICE/DATA FLUSH FLR MTD DUPLEX RECPT

FLUSH FLR MTD QUADRAPLEX RECPT

FLUSH FLR MTD VOICE/DATA RECPT

FLUSH FLR MTD DATA RECPT

FLUSH FLR MTD VOICE RECPT

FLUSH FLR MTD MTD AV RECPT FLUSH FLR MTD SYS WORKSTATION PANEL POWER INFEED

FLUSH FLR MTD SYS WORKSTATION PANEL VOICE INFEED (igoplus igoplus igoplus

FLUSH FLR MTD QUADRAPLEX & VOICE/DATA FLUSH FLR MTD DUPLEX, AUDIO VISUAL AND VOICE/DATA

FLUSH FLR MTD QUADRAPLEX, AV & VOICE/DATA

FURN MTD, POWER POLE COMBINATION POWER, VOICE/DATA

RAISED FLR BOX, COMBINATION POWER, VOICE/DATA, A/V RAISED FLR BOX, AV

CONDUIT STUB UP, AV

(•) CONDUIT STUB UP, POWER CONDUIT STUB UP, VOICE/DATA

WALL MTD DEVICES

EQUIP TAG (REFER TO EQUIP SCHEDULE) WALL MTD FIRE ALARM STROBE

FA FIRE ALARM PULL FW FIRE WARDEN STATION

THERMOSTAT CTV CABLE TV RECPT

AV RECPT

PLUG MOLD

AVT AV TROUGH ELECTRICAL JUNCTION BOX

VOICE/DATA JUNCTION BOX SYS WORKSTATION PANEL POWER INFEED

SYS WORKSTATION PANEL VOICE/DATA INFEED CONDUIT STUB-OUT POWER

CONDUIT STUB-OUT VOICE AND DATA CONDUIT STUB-OUT A/V

MATERIALS IN SECTION



CARPET

CONCRETE CONCRETE MASONRY UNIT

CUT STONE

FABRIC WRAPPED PANEL

GLASS

GYPSUM PLASTER

INSULTATION (LOOSE OR BATT)

INSULATION (RIGID)

PLASTIC PLYWOOD

PRE-CAST PANELS SAND OR GROUT

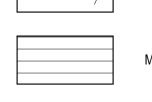
STONE

WOOD (FINISHED)

WOOD (CONTINUOUS MEMBER) WOOD (INTERRUPTED MEMBER

MATERIALS IN ELEVATION

GLASS



MASONRY COURSING

WOOD VENEER

STONE

WALL MTD SECURITY DEVICES

CAMERA

CR CARD READER B ELECTRIC DOOR BELL PUSH

ELECTRIC DOOR BELL IC INTERCOM

REMOTE DOOR RELEASE BUTTON MOTION SENSOR

INTRUSION ALARM H ELECTRICAL DOOR HOLD OPEN

ELECTRICAL DOOR RELEASE DC ELECTRICAL DOOR MONITOR CONTACT

DDC DOUBLE DOOR MONITOR CONTACT EL ELECTRIC LOCKSET

KS ELECTRIC KEY SWITCH ES ELECTRIC STRIKE

ML MAGNETIC LOCKSET

PB PANIC BUTTON

CONSTRUCTION



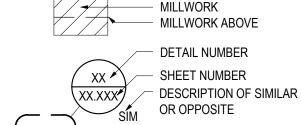
COLUMN GRID LINES AND REFERENCE NUMBER EXISTING CONSTRUCTION

TO REMAIN EXISTING CONSTRUCTION TO BE DEMOLISHED

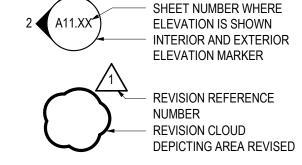
NEW PARTITION

1 HR. RATED PARTITION 2 HR. RATED PARTITION 3 HR. RATED PARTITION

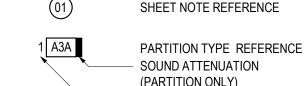
4 HR. RATED PARTITION EXIT ACCESS TRAVEL DISTANCE/ COMMON PATH OF TRAVEL



AREA TO BE DETAILED LOCATION ON SHEET WHERE ELEVATION IS DIRECTION OF ELEVATION



ROOM NAME - ROOM NUMBER SOUND ATTENUATION (ALL ENCLOSING PARTITIONS)



(PARTITION ONLY) FIRE RATING - HOURS

 $\langle XXX \rangle$ DOOR REFERENCE NUMBER (REFER TO DOOR SCHEDULE)

DOOR NUMBER DOOR TYPE DOOR NUMBER

X X X DOOR TYPE | HARDWARE TYPE

WINDOW REFERENCE NUMBER (REFER TO WINDOW SCHEDULE)

MILLWORK REFERENCE NUMBER (REFER TO MILLWORK SCHEDULE) ELEVATION DATUM REFERENCE

FLOOR ELEVATION TRANSITION MATCH LINE SEE XX/XX MATCH LINE SYMBOL

ALIGN ALIGN WITH ESTABLISHED / ADJACENT SURFACES

WALL MTD LIFE SAFETY **EQUIPMENT AND DEVICES**

FEC WALL MOUNTED, FIRE EXTINGUISHER CABINET

(FHC) WALL MOUNTED FIRE HOSE CABINET

WALL MOUNTED FIRE EXTINGUISHER

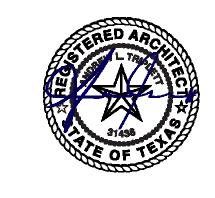
WALL MOUNTED FIRE VALVE CABINET

WALL MOUNTED FIRE VALVE

14555 Dallas Parkway, Suite 100-304 Dallas, TX 75254 806-223-6611 andrew@triplettgrp.com

> PROJECT INFORMATION BISHOP RESIDENCE 6511 BOB O LINK DR. DALLAS, TX 75214

SEAL / SIGNATURE



04/29/2025

 \triangle DATE DESCRIPTION

1 06/23/25 Revision 1

PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION **GENERAL INFORMATION**

SCALE

G0.02

FACE OF STUD

FOS

AS SCHED. TRIM FINISH AS SCHEDULED TYPE A OVERHEAD DOOR

01 DOOR TYPES SCALE: 3/8" = 1'-0"

DOOR SCHEDULE									
ASSEMBLY LEAF FRAME		RAME							
			DIMENSION	IS					
NUMBER	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH	REMARKS
100	A	9' - 0"	8' - 6"	0' - 1 1/2"	COMPOSITE	OWNER TO SELECT	COMPOSI TE	TO MATCH LEAF	B.O.D. NEWTECHWOOD UH46 OWNER TO SELECT FINAL COLOR & PROFILE
104	А	9' - 0"	8' - 6"	0' - 1 1/2"	COMPOSITE	OWNER TO SELECT	COMPOSI TE	TO MATCH LEAF	B.O.D. NEWTECHWOOD UH46 OWNER TO SELECT FINAL COLOR & PROFILE

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DALLAS, TX 75214

SEAL / SIGNATURE



04/23/202

△ DATE DESCRIPTION1 06/23/25 Revision 1

PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION

DOOR, FRAME AND HARDWARE SCHEDULES

SCALE

3/8" = 1'-0"

36.02

GENERAL NOTES

- A. RE: GO SHEET SERIES FOR LEGENDS,
- SYMBOLS AND ABBREVIATIONS.

 B. FOR CONSTRUCTION PLAN AND OTHER PLAN
- REFERENCES, RE: A1 SHEET SERIES

 C. COORDINATE WITH OWNER FOR RETURN OF SALVAGE ITEMS TO BUILDING OWNER FOR FUTURE REUSE. COORDINATE WITH OWNER
- FOR ITEMS REQUIRED.

 E. REMOVE EXISTING MECHANICAL,
 ELECTRICAL, AND PLUMBING SYSTEMS NOT
 SHOWN TO REMAIN ON CONSULTANT'S
- SHOWN TO REMAIN ON CONSULTANT'S
 PLANS OR AS REQUIRED FOR NEW WORK.

 F. PATCH, REPAIR, AND PREPARE ALL
 AFFECTED AREAS IN PREPARATION FOR NEW
- G. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED
- AREAS AT NO COST TO THE OWNER.

 H. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- I. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- J. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.

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1 06/23/25 Revision 1

PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER

00125051

DESCRIPTION

1/4" = 1'-0"

DEMOLITION PLAN

SCALE

D1.001

1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LINE OF WALL ABOVE

PROPERTY LINE -

EXISTING STEEL COLUMN TO REMAIN

CONCRETE SLAB TO REMAIN —

- EXISTING STEEL COLUMN TO REMAIN

- DEMO EXISTING GATE & MOTOR EXISTING RESIDENCE N.I.C.

5' - 0" SETBACK FRENCH DRAIN. ---GC TO COORDINATE NEW CONCRETE CURB A4.01 (104) PROPERTY LINE - EXISTING STEEL COLUMN LINE OF — EXISTING BUILDING ABOVE EXISTING RESIDENCE N.I.C. (A4.01) 03 (A4.01 ELECTRIC VEHICLE CHARGING STATION - EXISTING STEEL COLUMN

11' - 2"

0' - 6 1/4"

GENERAL NOTES

- A. AREAS TONED IN GRAY ARE NOT IN CONTRACT.

 B. REFER TO SHEET G0.02 FOR SYMBOLS.
- C. ALL CONSTRUCTION TO BE TYPICAL 2X4 FRAMING WITH WEATHER-RESISTIVE BARRIER (WRB) TO MATCH EXISTING CONDITIONS. PROVIDE R-20 CAVITY INSULATION OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION TO COMPLY WITH IECC CLIMATE ZONE 3. ALL WORK SHALL MEET APPLICABLE CODE REQUIREMENTS, INCLUDING
- DALLAS LOCAL AMENDMENTS.

 D. ALL PARTITION TYPES TO BE 'A3' U.N.O.
- E. MAINTAIN 4" CLEARANCE BETWEEN EDGE OF DOOR FRAME & INTERSECTING PARTITION, U.N.O.
- F. DIMENSIONS AND ALIGNMENTS ARE FROM FACE OF FINISH TO FACE OF FINISH. PROVIDE FURRING AS NECESSARY TO ACHIEVE ALIGNMENTS SHOWN.
- G. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD",
 "MIN", OR "V.I.F." DURING LAYOUT OF WORK.
 NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO
 PROCEEDING.
- H. PROVIDE MIN. FURRING @ ALL EXPOSED COLUMNS & BUILDING CORE WALL AS REQ. TO COVER EXPOSED CONCRETE, U.N.O.
 I. COORDINATE ALL WORK AT PERIMETER CONDITIONS TO INSTALL WITHOUT MECH. FASTENERS. DO NOT DEFACE/ PENETRATE/ DAMAGE ANY BASE BUILDING MATERIALS. REFER TO DETAIL 13/G0.502 FOR TYPICAL CONDITIONS OF NEW PARTITION AT EXIST. PERIMETER MULLION.
- J. PROVIDE BLOCKING IN ALL PARTITIONS TO ACCOMODATE MILLWORK INSTALLATIONS & OTHER WALL & CEILING HUNG ELEMENTS AS REQUIRED REFER TO FURNITURE PLANS TO COORDINATE LOCATION OF OVERHEAD UNITS..
- K. AT ALL NEW PARTITIONS ADJACENT TO EXISTING WALLS, PATCH & REPAIR EXIST. AS REQUIRED. PREPARE SURFACES FOR NEW FINISH. TAPE, SPACKLE & SAND ALL JOINTS. NO JOINTS VISIBLE @ NEW / EXISTING WALL LOCATIONS.
 L. REFER TO ELEVATIONS FOR PARTITION HEIGHTS
- & ADDITIONAL DIMENSIONS.

 M. AT ALL EXIST. PARTITIONS TO REMAIN: PATCH &
- REPAIR PARTITION AS REQUIRED. PREPARE SURFACE FOR NEW FINISH.
- N. G.C. TO CONFIRM EXISTING FOUNDATION CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO START OF WORK.
- O PROVIDE TERMITE CONTROL @ NEW CONSTRUCTION

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14555 Dallas Parkway, Suite 100-304 Dallas, TX 75254 806-223-6611 andrew@triplettgrp.com

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PROJECT NAME

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PROJECT NUMBER

00125051

DESCRIPTION

CONSTRUCTION PLAN

SCALE

1/4" = 1'-0"

A1.101

O1 CONSTRUCTION PLAN SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A LOCATE REGISTERS AND LIGHTING FIXTURES WITHIN GEOMETRIC CENTER. CENTER SPRINKLER HEADS, SPEAKERS, RECESSED FIXTURES, AND SIMILAR CEILING ELEMENTS, UNLESS OTHERWISE NOTED.
- B FINISH HVAC DIFFUSERS, DRAPERY/SHADE
 . POCKETS, SPEAKER GRILLES AND OTHER ITEMS
 LOCATED IN CEILING TO MATCH ADJACENT
 FINISH, UNLESS OTHERWISE NOTED.
- C TYPICAL CEILING HEIGHT TO BE 9'8" A.F.F. U.N.O. G.C. TO VERIFY MAXIMUM HEIGHT WITH ARCHITECT IN FIELD.

LIGHTING FIXTURE SCHEDULE

TYPE

LT01 4" WALL SCONCE
LT04 6' X 4" LINEAR SURFACE MOUNTED
Grand total: 5

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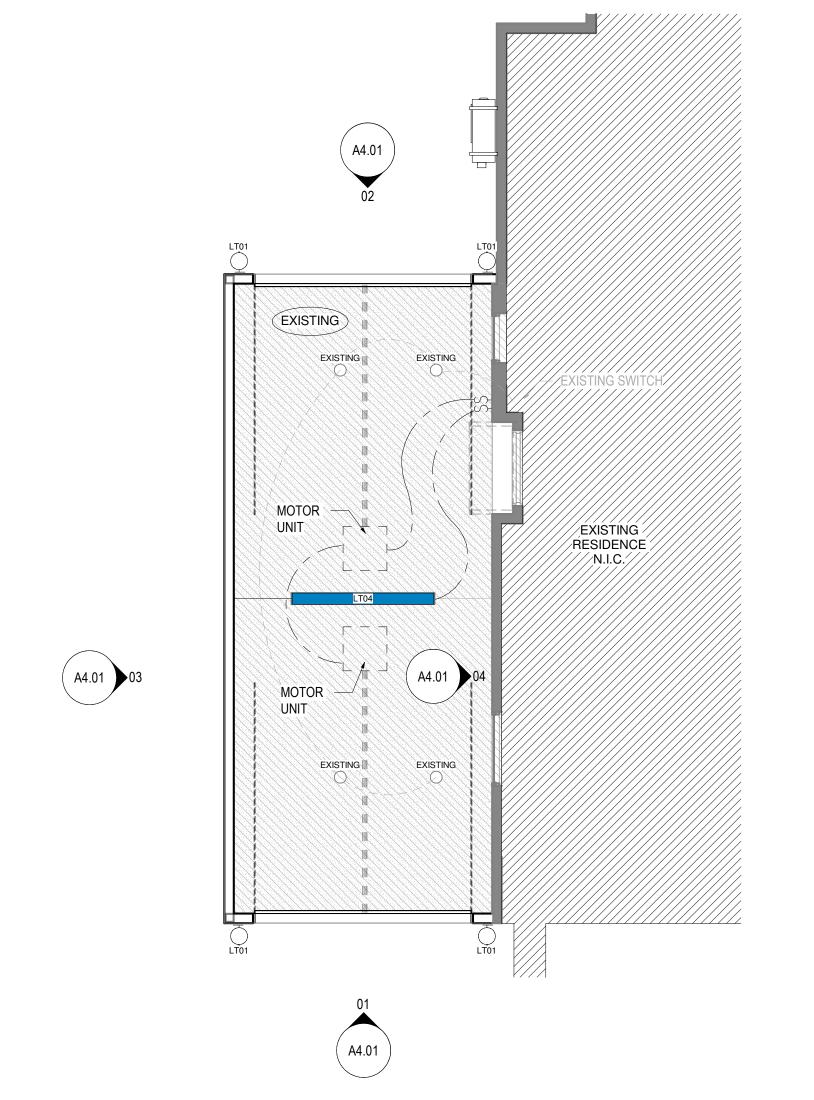
DESCRIPTION

REFLECTED CEILING PLAN

SCALE

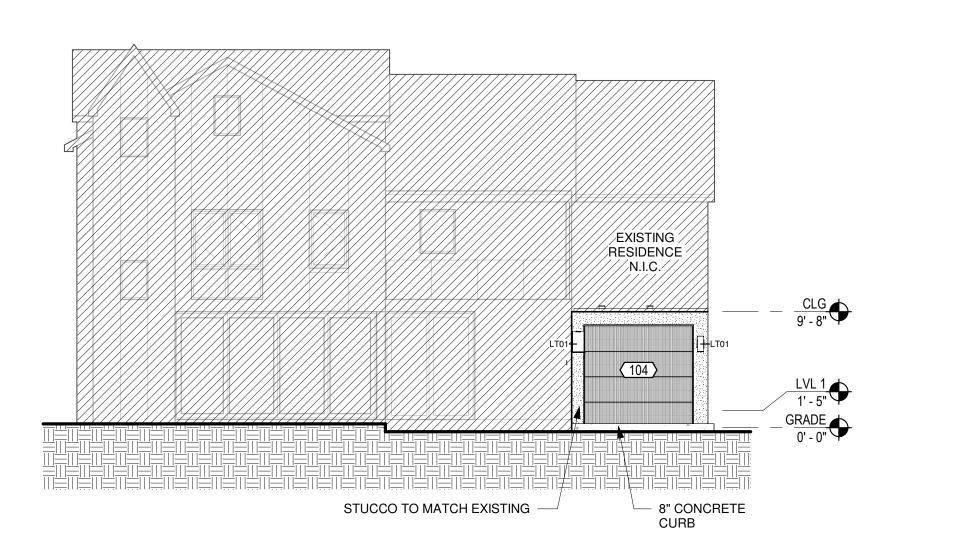
1/4" = 1'-0"

A1.301

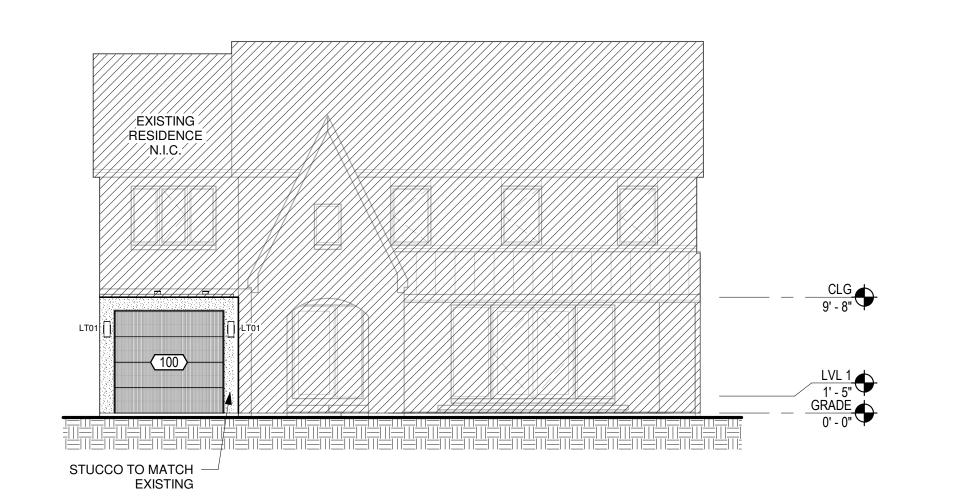


EXISTING RESIDENCE N.I.C. LVL 1 1' - 5" GRADE 0' - 0" INFILL PORTE COCHERE STUCCO TO MATCH EXISTING A/C CONDENSOR

WEST ELEVATION SCALE: 1/8" = 1'-0"



02 NORTH ELEVATION SCALE: 1/8" = 1'-0"



01 SOUTH ELEVATION SCALE: 1/8" = 1'-0"

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> PROJECT INFORMATION BISHOP RESIDENCE 6511 BOB O LINK DR. DALLAS, TX 75214

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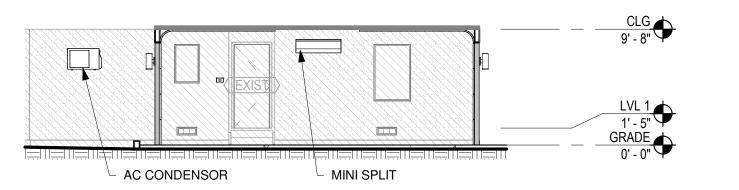
DESCRIPTION

ELEVATIONS

SCALE

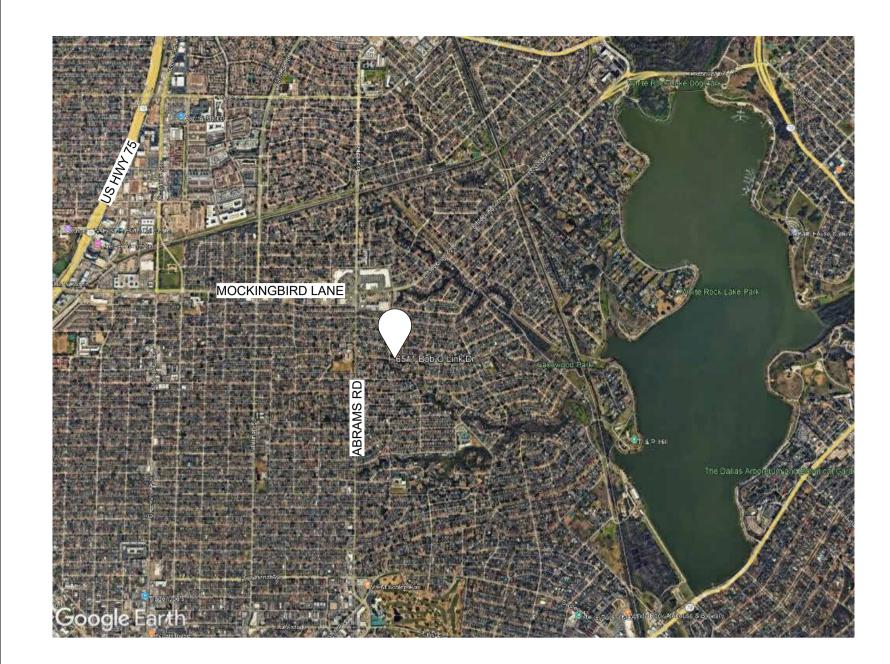
1/8" = 1'-0"

A4.01



CODE COMPLIANT INFORMATION

VICINITY MAP



- 1 COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 2 OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT. 3 REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY
- CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. 4 COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF
- BUILDING SERVICES AND FACILITIES. MINIMIZE DISTURBANCE OF RESIDENCE AND OCCUPANTS 5 OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN
- CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION. 6 MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNERTO ENSURE SECURITY.
- 7 MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- 8 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

APPLICABLE CODES

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE W/ DALLAS AMENDMENTS MECHANICAL CODE: 2021 INTERNATIONAL MECHANICAL CODE W/ DALLAS AMENDMENTS ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE W/ DALLAS AMENDMENTS FIRE/LIFE SAFETY CODE: 2021 INTERNATIONAL FIRE CODE W/ DALLAS AMENDMENTS ACCESSIBILITY CODE: 2012 STATE OF TEXAS ACCESSIBILITY STANDARDS

ENERGY CODE: 2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ DALLAS AMENDMENTS

PROJECT DESCRIPTION

REMODEL OF AN EXISTING PORTE COCHERE TO ENCLOSED GARAGE - PORT CONVERSION

BUILDING ADDRESS: 6511 BOB O LINK DR. DALLAS, TX 75214

AREA CALCULATIONS

FIRST FLOOR EXISTING: 1,600 S.F.

REMODEL PORTE COCHERE: 289 S.F.

SECOND FLOOR A/C: 1,797 S.F.

THIRD FLOOR A/C: 409 S.F.

TOTAL AREA: 4,095 S.F.

COVERED STOOP: 58 S.F.COVERED PORCH: 125 S.F.COVERED BALCONY: 119 S.F.

ZONING

ZONING:

CITY OF DALLAS, TEXAS **DESIGNATION: R-7.5**

PRIMARY USES: SINGLE FAMILY RESIDENCE FRONT YARD SETBACK: 25'-0"

SIDE YARD SETBACK: 5'-0"

REAR YARD SETBACK: 5'-0" MAXIMUM BUILDING HEIGHT: 30'-0"

SITE SQUARE FOOTAGE: 7,700 SF

RESIDENTIAL LOT COVERAGE MAXIMUM LOT COVERAGE: 3,465 SF (45% OF TOTAL LOT COVERAGE) ACTUAL LOT COVERAGE - 1ST FLOOR MAIN STRUCTURE: 1,886 SF

GREEN PHASE II:

TOTAL: 1,886 SF < 3,465 SF

SITE SQUARE FOOTAGE: 7,100 SF

ROOF AREA COVERAGE - MAIN STRUCTURE: 2,190 SF

NON-ROOF AREA COVERAGE:

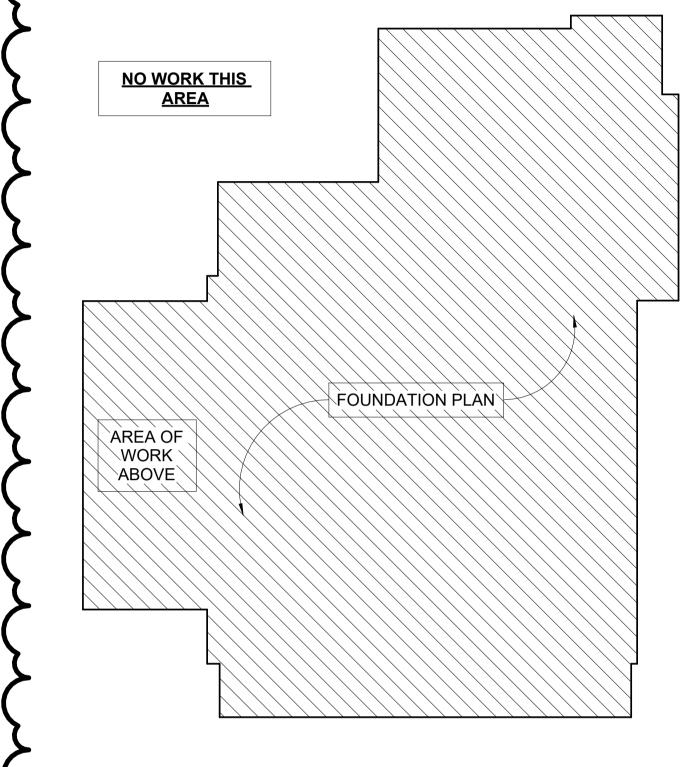
= 5,510 SF (SITE SF - ROOF AREA COVERAGE) MINIMUM PERMEABLE COVERAGE REQUIRED:

= 5,510 SF × 0.7 = 3,857 SF (70% OF TOTAL NON-ROOF COVERAGE)

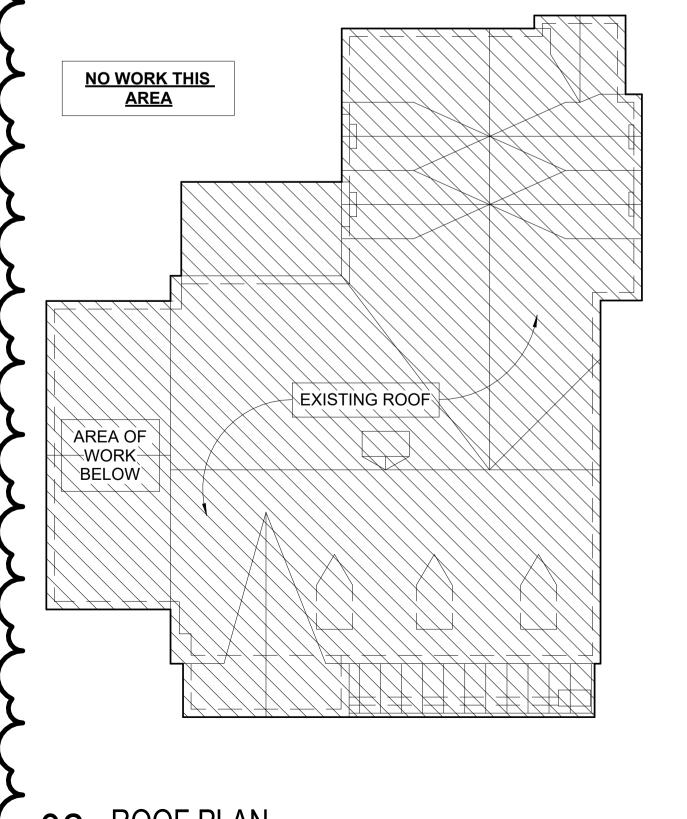
ACTUAL PERMEABLE COVERAGE: = 3,915 SF = 71.05%

SHEET INDEX

CURRENT CURRENT SHEET NO. SHEET NAME REVISION | ISSUE DATE | CURRENT ISSUE 00_GENERAL G0.01 DRAWING INDEX & CODE SUMMARY 06/23/25 Revision 1 G0.02 GENERAL INFORMATION 06/23/25 Revision 1 G6.02 DOOR, FRAME AND HARDWARE SCHEDULES 06/23/25 Revision 1 01 DEMOLITION D1.001 DEMOLITION PLAN 1 06/23/25 Revision 1 02_ARCHITECTURE CONSTRUCTION PLAN 06/23/25 Revision 1 A1.301 REFLECTED CEILING PLAN 06/23/25 Revision 1 ELEVATIONS 06/23/25 Revision 1



O3 FOUNDATION PLAN SCALE: 1/8" = 1'-0"



55.0' S 84°41'00" E

EXISTING

RESIDENCE

2.5 STORY

EXISTING

55.0' N 84°41'00" W

BOB O LINK DR.

SITE WALL

AREA OF

SETBACK

EXISTING

CONCRETE

EXISTING

PAVERS

EXISTING PORT COCHERE

EXISTING POOL-

14555 Dallas Parkway, Suite 100-304 Dallas, TX 75254 806-223-6611 andrew@triplettgrp.com

> PROJECT INFORMATION **BISHOP RESIDENCE** 6511 BOB O LINK DR. DALLAS, TX 75214

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PROJECT NAME

BISHOP RESIDENCE

PROJECT NUMBER 00125051

DESCRIPTION

DRAWING INDEX & CODE SUMMARY

As indicated

G0.01

02 ROOF PLAN
SCALE: 1/8" = 1'-0"

01 SITE PLAN SCALE: 1/8" = 1'-0"