



Planning & Development Department

320 E Jefferson Blvd,
Dallas TX 75203
(214) 948-4480

Board of Adjustment:
1500 Marilla Street, 5CN
Dallas Tx 75201
(214) 948-4480

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

OFFICE USE ONLY

Case no. _____
Date _____

Data Relative to Subject Property: 310 Avenue I, Dallas TX 75203

Location address: 310 Avenue I Zoning District: R-5(A)

Lot No.: 22 Block No.: 64655-1/2 Acreage: 6,846sq.ft Census Tract: 47.00

Street Frontage (in Ft.): 1) Ave I 2) _____ 3) _____ 4) _____ (5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Fredrick Terry

Applicant: Fredrick Terry Telephone: 832-649-9122

Mailing Address: 310 Avenue I Zip Code: 75203

E-mail Address: terryfredrick554@gmail.com

Represented by: N/A Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a ☒ Variance or ☐ Special Exception, of:
Detached garage with a living space above it.

1. Special exception for the ADU to be used as a rental; 2. Variance for floor area (exceeding 25% of the main structure);
3. Variance for height

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

To build a garage (I currently do not have one) with a living space for rental and to clean up the property for me and my neighbors.

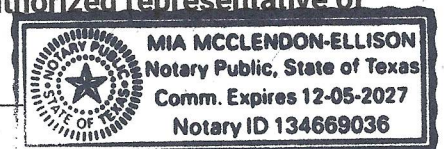
Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

Before me, the undersigned on this day personally appeared Fredrick Terry
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]
(Affiant/ Applicant's signature)



Subscribed and sworn to before me this 4 day of August, 2025

Notary Public in and for Dallas County, Texas [Signature]

Together we are planning and building a better Dallas for all!

4/30/2025



Appeal number: BDA _____

I, Fredrick Terry, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 301 Avenue I
(Address of property as stated on application)

Authorize: Jennifer Hiromoto
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

X Variance (specify below)

X Special Exception (specify below)

_____ Other Appeal (specify below)

Specify: Height, ADU, accessory structure lot coverage

Fredrick L. Terry
Print name of property owner or registered agent
agent Date 9/21/2025

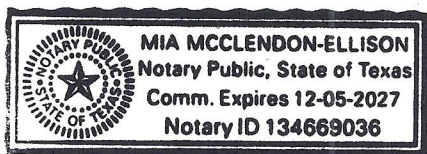
Fredrick L. Terry
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared _____

Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 21st day of

September, 2025



Mia
Notary Public for Dallas County,
Texas

Commission expires on 12-05-2027

ArcGIS Web Map



9/23/2025, 4:36:44 PM

1:1,205

0 0.01 0.03 0.05 mi
0 0.02 0.04 0.08 km

1. ALL FRAMING LUMBER SHALL BE IDENTIFIED PER SECTION R502.1. ALL FLOOR/CEILING/WALL FRAMING LUMBER TO BE NO. 2 GRADE OR BETTER SYS. ALL LVL BEAM SHALL HAVE A MIN. ALLOWABLE BEARING STRESS OF 2200 PSI AND MIN. E VALUE OF 1.8 U.N.O.

2. ALL PRE-ENGINEERED AND STEEL STRUCTURAL MEMBERS ARE TO BE DESIGNED BY THE MANUFACTURER OR CERTIFIED ARCHITECT/ENGINEER. STEEL BEAMS SUPPORTED ON EXT. WALLS SHALL BE INSULATED FROM END OF BEAM TO MID-SPAN A MIN. DISTANCE OF 24". STEEL BEAMS SHALL HAVE A MIN. OF (6) JACK STUDS UNDER EACH END. ENGINEERED BEAMS SHALL HAVE A MIN. OF (4) JACK STUDS UNDER EACH BEARING END.

3. SAFETY GLAZING IS REQUIRED PER SECTION R308 INCLUDED BUT NOT LIMITED TO THE FOLLOWING: GLAZING IN SWINGING DOORS EXCEPT JALOUSIES, GLAZING IN FIXED AND SLIDING PANEL DOORS, GLAZING IN STORM DOORS, GLAZING IN ALL FRAMED DOORS, GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS AND SHOWERS WHOSE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING/STANDING SURFACE, GLAZING IN PANELS ADJACENT TO AND WITHIN 24" OF THE EDGE OF A SWINGING DOOR, GLAZING LESS THAN 18" ABOVE THE FLOOR LAZING IN RAILINGS, GLAZING IN FENCES OR ALLS ENCLOSING SWIMMING POOLS-HOT TUBS-SPAS, GLAZING IN STAIRWAYS-LANDINGS-RAMPS, LAZING WITHIN 60" OF THE BOTTOM TREAD OF A STAIRWAY.

4. PER SECTION R310, A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (24" HIGH X 20" WIDE) AND A MAX SILL HEIGHT OF 44" ABOVE FINISH FLOOR IS REQUIRED FOR ALL EMERGENCY ESCAPE AND RESCUE WINDOWS, THE WINDOW DIMENSIONS SHOWN ON THE PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER, CONTRACTOR MUST VERIFY THE CHOSEN WINDOWS MEET THE EGRESS REQUIREMENTS. PROVIDE WINDOW, WELLS AS REQUIRED. COMPLIANCE TO EMERGENCY EGRESS IS REQUIRED.

5. MIN. HALLWAY WIDTH IS 36" PER SECTION 311.3. MIN. HABITABLE ROOM SIZE IS 70SF PER SECTION R304.2. MIN. LIGHTING AND VENTILATION REQUIREMENTS PER SECTION R303.1 MIN. CLEARING HEIGHT IS 7' PER SECTION R305.1. 36" EXTERIOR DOOR IS REQUIRED PER SECTION R311.4 STAIRWAY ILLUMINATION PER SECTION 303.6.

6. BATHTUB AND SHOWER SPACES SHALL BE CONSTRUCTED IN ACCORDANCE TO SECTION R307.2 AND FIGURE R307.2 BATHTUB AND SHOWER WALLS/FLOORS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR. ALL BATHROOMS WITH NO VENTING WINDOW MUST HAVE EXHAUST FAN VENTED TO THE OUTSIDE.

7. COMPLIANCE TO SECTION R313 FOR SMOKE DETECTORS IS REQUIRED. SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND HARDWIRED, INTERCONNECTED, AND ARC FAULT PROTECTED WITH BATTERY BACKUP.

8. GARAGE WALLS ARE TO BE COVERED PER SECTION R309. TYPICAL GARAGE WALLS AND ATTIC SPACE/CEILING ASSEMBLIES ARE TO BE COVERED WITH A MIN. 5/8" TYPE "X" GYPSUM WALLBOARD. DOORS SEPARATING THE GARAGE AND THE RESIDENCE ARE TO BE MIN. 20-MINUTE FIRE-RATED OR SOLID WOOD NOT LESS THAN 1 3/8" THICK.

9. COMPLIANCE TO SECTION R311 OF THE IRCB IS REQUIRED FOR EXIT DOOR STAIRS, RAMPS, AND LANDINGS. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR EXCEPT WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE WIDTH OF THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. OF 36" IN DIRECTION OF TRAVEL PER SECTION R311.4.3.

10. COMPLIANCE TO SECTION R312 IS REQUIRED FOR HANDRAILS (TYPE 1) AND GUARDRAILS. ALL INTERIOR AND EXTERIOR RAILINGS ARE TO BE CONTINUOUS AND MIN. 36" IN HEIGHT, BE ABLE TO WITHSTAND 200LBS OF FORCE, AND NOT ALLOW A SPHERE GREATER THAN 4" IN DIAMETER TO PASS THROUGH. GUARDRAILS ARE TO BE 36" HIGH WITH MAX SPACING BETWEEN PICKETS OF LESS THAN 4". HANDRAILS ARE TO BE BETWEEN 36"-42" HIGH WITH MAX SPACING BETWEEN PICKETS NOT LESS THAN 4".

11. JOISTS UNDER BEARING PARTITIONS ARE TO COMPLY WITH SECTION R502.4. SAWN LUMBER FLOOR JOISTS ARE TO BE DOUBLED WHEN UNDER ONE-STORY PARALLEL BEARING PARTITIONS AND SHALL BE PLACED 4" APART TO ACCOMMODATE PLUMBING. SAWN LUMBER FLOOR JOISTS ARE TO BE TRIPLED WHEN UNDER TWO-STORY PARALLEL BEARING PARTITIONS AND SHALL BE PLACED 4" APART TO ACCOMMODATE PLUMBING. WHERE PARTITIONS FALL BETWEEN FLOOR JOISTS, PROVIDE FULL HEIGHT BLOCKING @ 48" O.C. BETWEEN JOISTS.

12. FLOOR SHEATHING SHALL BE IN ACCORDANCE WITH SECTION R503.1 AND TABLE R503.1 TYPICAL FLOOR SHEATHING TO BE MIN. 3/4" THICK SET PERPENDICULAR TO JOISTS.

13. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: 1- AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS 2- AT THE INTERSECTION OF CHIMNEY AND OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS 3- UNDER THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS 4- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM 5- WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL, FLOOR ASSEMBLY, OR ANY WOOD FRAME CONSTRUCTION 6- AT ALL WALL AND ROOF INTERSECTIONS 7- AT BUILT-UP GUTTERS

14. DRAFT-STOPPING IS REQUIRED PER SECTION R502.12 WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF FLOOR/CEILING ASSEMBLY DRAFT-STOPS SHALL BE INSTALLED SO THAT THE CONCEALED SPACE DOES NOT EXCEED 1000SF. DRAFT-STOPPING SHALL BE INSTALLED SO AS TO DIVIDE THE SPACE EVENLY. DRAFT-STOPPING IS REQUIRED IN SUSPENDED CEILINGS UNDER THE FLOOR SYSTEM AND WHEN THE FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB OR PERFORATED MEMBERS.

15. FIRE BLOCKING IS REQUIRED PER SECTION R602.8. FIRE-BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, A TOP STORY, AND A ROOF SPACE FIRE-BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS: 1- IN CONCEALED SPACES OF STUD WALLS & PARTITIONS INCLUDING FURRED SPACES, ALSO VERTICAL AT CEILING AND FLOOR LEVELS AND HORIZONTAL INTERVALS NOT EXCEEDING 10 FEET. 2- AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROPPED CEILINGS, AND COVE CEILINGS. 3- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. 4- AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVELS WITH AN APPROVED PRODUCT TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. 5- FOR FIRE BLOCKING OR CHIMNEYS AND FIREPLACES SEE R1001.16 6- FIRE-BLOCKING OF CORNICES OF A TWO-STORY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

16. THE END OF JOISTS, BEAMS, AND GIRDBERS SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE UNLESS WHERE SUPPORTED ON A 1X4 RIBBON STRIP AND NAILED INTO THE ADJACENT STUD OR BY OR BY THE USE OF APPROVED JOIST HANGERS.

17. WALL FRAMING SHALL BE IN COMPLIANCE WITH THE FOLLOWING: SECTIONS R502.6 & R802.6 FOR BEARING POINT CONDITIONS, SECTIONS R502.12, R602.4, R602.8 FOR DRAFT-STOPPING AND FIRE-BLOCKING, SECTIONS R602.3.1 & R602.4 FOR STUD SIZE, HEIGHT AND SPACING, SECTIONS R602.3.2, R602.3.4, & R602.4 FOR TOP & BOTTOM PLATES, SECTIONS AND TABLES R502.5(1), R502.5(2), R602.7, AND R602.9 FOR HEADER SPANS, SECTIONS R602.10 FOR BRACED WALL LINES AND BRACED WALL PANELS. SECTION R703.7 FOR MASONRY VENEER CONSTRUCTION REQUIREMENTS (WALL, TIE, WEEP HOLE SPACING, LINTEL SIZE & FLASHING DETAILS), TABLE R602.3(2) FOR WOOD STRUCTURAL WALL SHEATHING ATTACHMENT. INTERIOR BEARING WALLS SHALL BE CONSTRUCTED, FRAMED, AND FIRE BLOCKED AS SPECIFIED FOR EXTERIOR WALLS.

18. A COMPLETE CONTINUOUS LOAD PATH SHALL BE PROVIDED PER SECTION R301.1 THEREFORE, ALL EXTERIOR WALL AREAS (INCLUDING ABOVE AND BELOW OPENINGS) SHALL BE COVERED WITH WOOD SHEATHING IN ACCORDANCE TO SECTION R602.10.3 AND TABLE R602.10.3.1 WALL SHEATHING SHALL BE ATTACHED IN ACCORDANCE WITH TABLES R602.3 (1), AND R602.3(3), WALL SHEATHING SHALL BE NAILED W/ 6D COMMON NAIL @ 6" O.C. ON THE EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.

19. WALLS SUPPORTING ROOF BRACES SHALL HAVE MIN. (3) STUDS U.N.O. UNDER EACH POINT LOAD AND ARE TO BEAR ON MEMBERS DESIGNED TO CARRY THE LOAD OF THE FOUNDATION.

20. WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS, BRACE EXTERIOR WALL BACK TO CEILING JOIST FRAMING AS REQUIRED.

21. ALL TWO-STORY WALLS WITH AN OPENING MUST BE (1) 3 1/2X3 1/2X 1/2 FULL HEIGHT CONTINUOUS STEEL ANGLE LAGGED TO KING STUD- 24" O.C FROM SOLE PLATE TO TOP PLATE ON EACH SIDE OF THE OPENING.

22. DWELLING UNIT SEPARATION SHALL BE IN ACCORDANCE WITH SECTION R317.

23. MASONRY CHIMNEYS AND FIREPLACES SHALL BE CONSTRUCTED IN ACCORDANCE TO SECTION R1001.

24. DESIGN PRESSURES FOR EXTERIOR GLASS DOORS & WINDOWS SHALL BE IN COMPLIANCE WITH SECTIONS R301.2.1 & R613 AND TABLES R301.2(2) & R301.2(3)

25. ALL INTERIOR AND EXTERIOR STAIRWAYS (INCLUDING LANDINGS AND TREADS) SHALL BE ILLUMINATED PER SECTION R303.6 INTERIOR STAIRWAYS SHALL BE PROVIDED WITH ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. PROVIDE LIGHT CONTROLS AT THE TOP AND BOTTOM OF INTERIOR STAIRS. INTERIOR LIGHT SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF THE TREADS AND LANDINGS. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM OF THE LANDING.

26. STRUCTURES SHALL BE IN COMPLIANCE WITH CURRENT BUILDING CODES: 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE (IRBC) WITH TEXAS AMENDMENTS, 2015 NATIONAL ELECTRIC CODE NFPA 70 (NEC) WITH TEXAS AMENDMENTS, 2015 INTERNATIONAL MECHANICAL CODE (IMC) WITH TEXAS AMENDMENTS, 2015 INTERNATIONAL PLUMBING CODE (IPC) WITH TEXAS AMENDMENTS.

OWNER:
FREDERICK TERRY
310 AVENUE I
DALLAS, TX 75209

email: fredrick.t237@comcast.net
phone: (832) 649-9122

BUILDER:

DESIGNER:
LYLES HOME DESIGN, LLC
MICHELLE LYLES
PLANO, TX 75074

email: info@lyleshomedesign.com
phone: (469) 227-0970

[illegible]

THIS SET INCLUDES PLANS FOR THE
CONSTRUCTION OF NEW 2-CAR GARAGE WITH
APARTMENT ABOVE.

BUILDING CODES: 2021 INTERNATIONAL
RESIDENTIAL CODE

LEVEL 1 GARAGE..... 506sqft
STAIRS 114sqft
LEVEL 2 CONDITIONED..... 546sqft
TOTAL OVERALL..... 1,166sqft



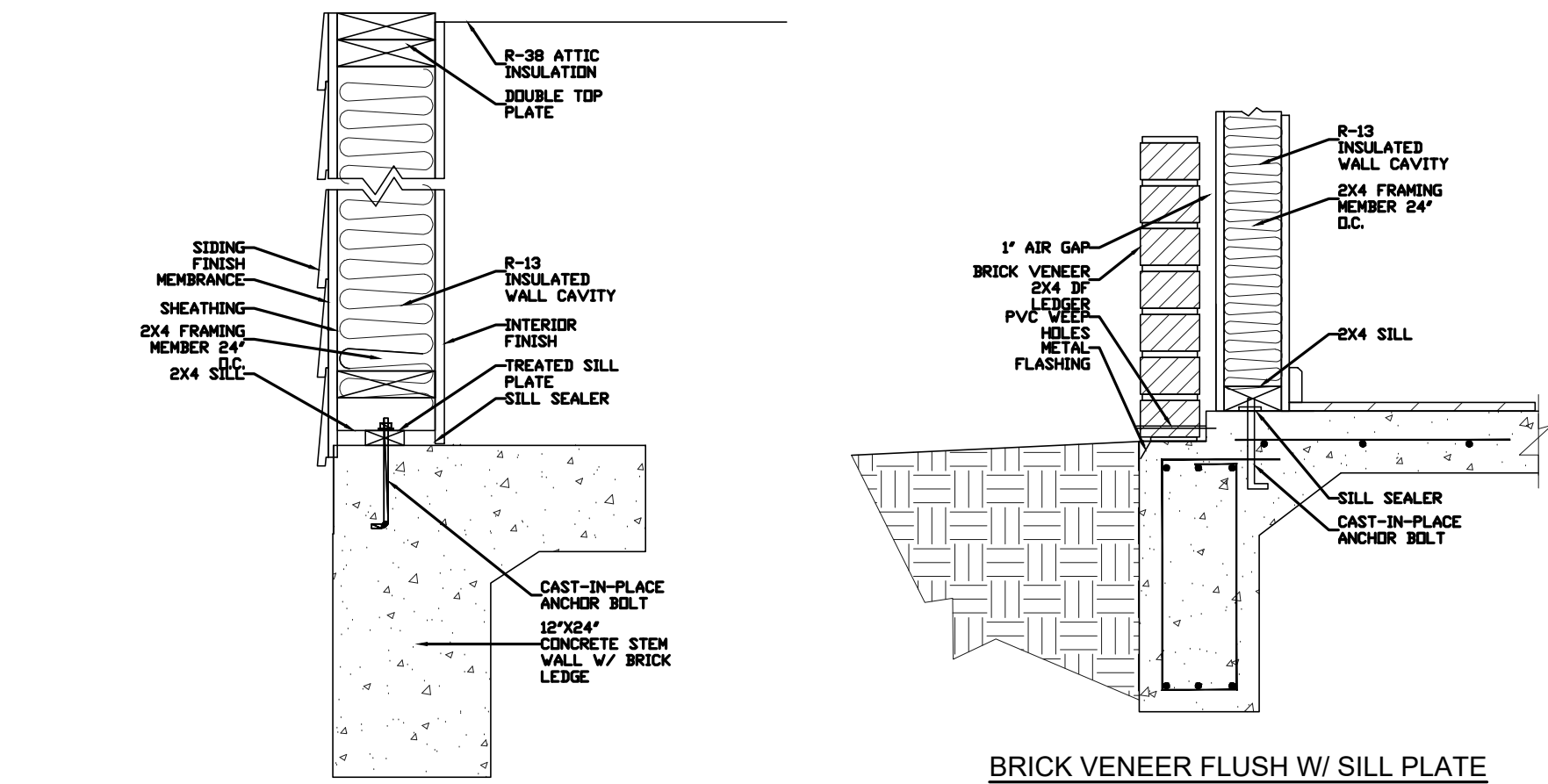
2025-0605

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL VERIFY
ALL EXISTING CONDITIONS
AND DIMENSIONS-NOTIFY
OWNER REPRESENTATIVE OF
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION

SUBMITTAL		DATE	COMMENTS
		08/01/2025	PERMIT SUBMITTAL

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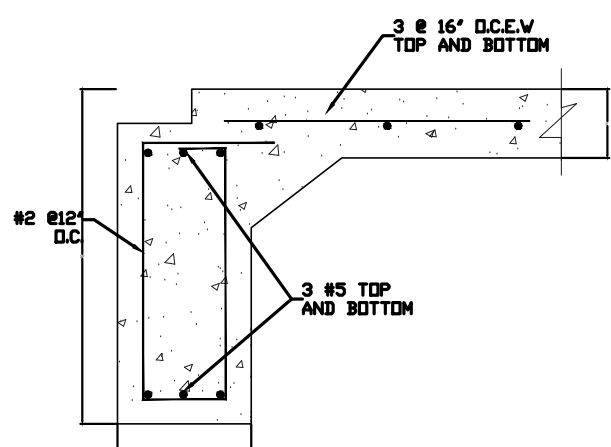
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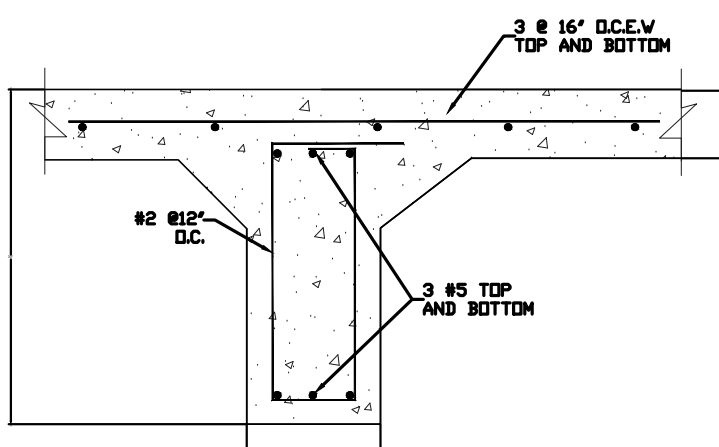
24" CONCRETE STEM WALL W SIDING

BRICK VENEER FLUSH W/ SILL PLATE

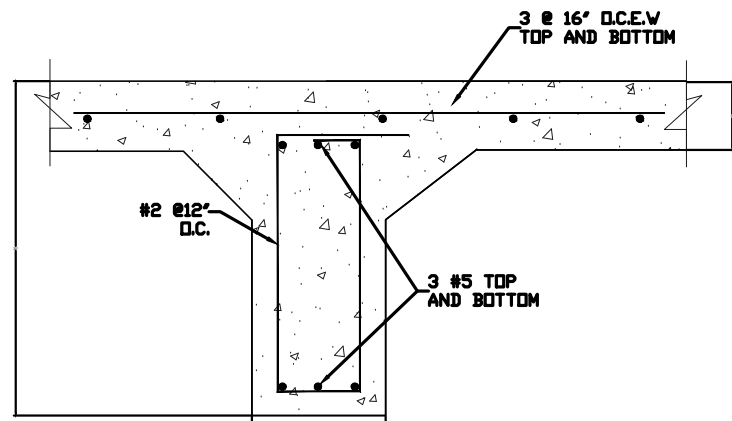
ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL.
STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH



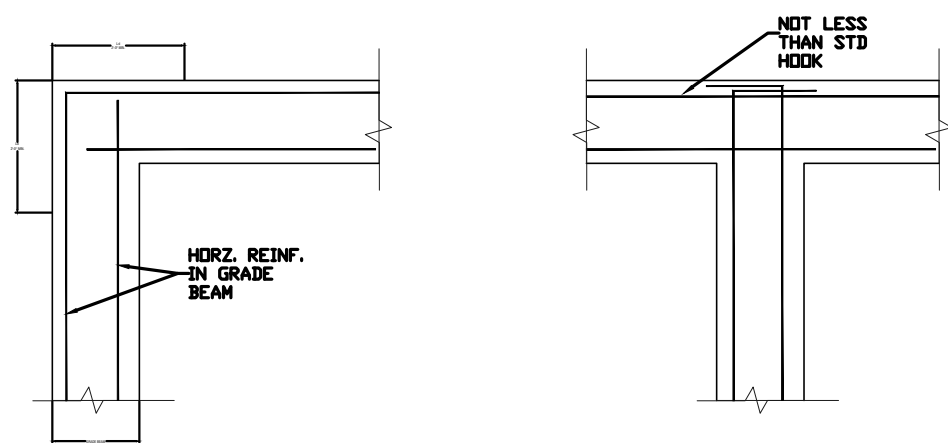
1 GRADE BEAM
NOT TO SCALE



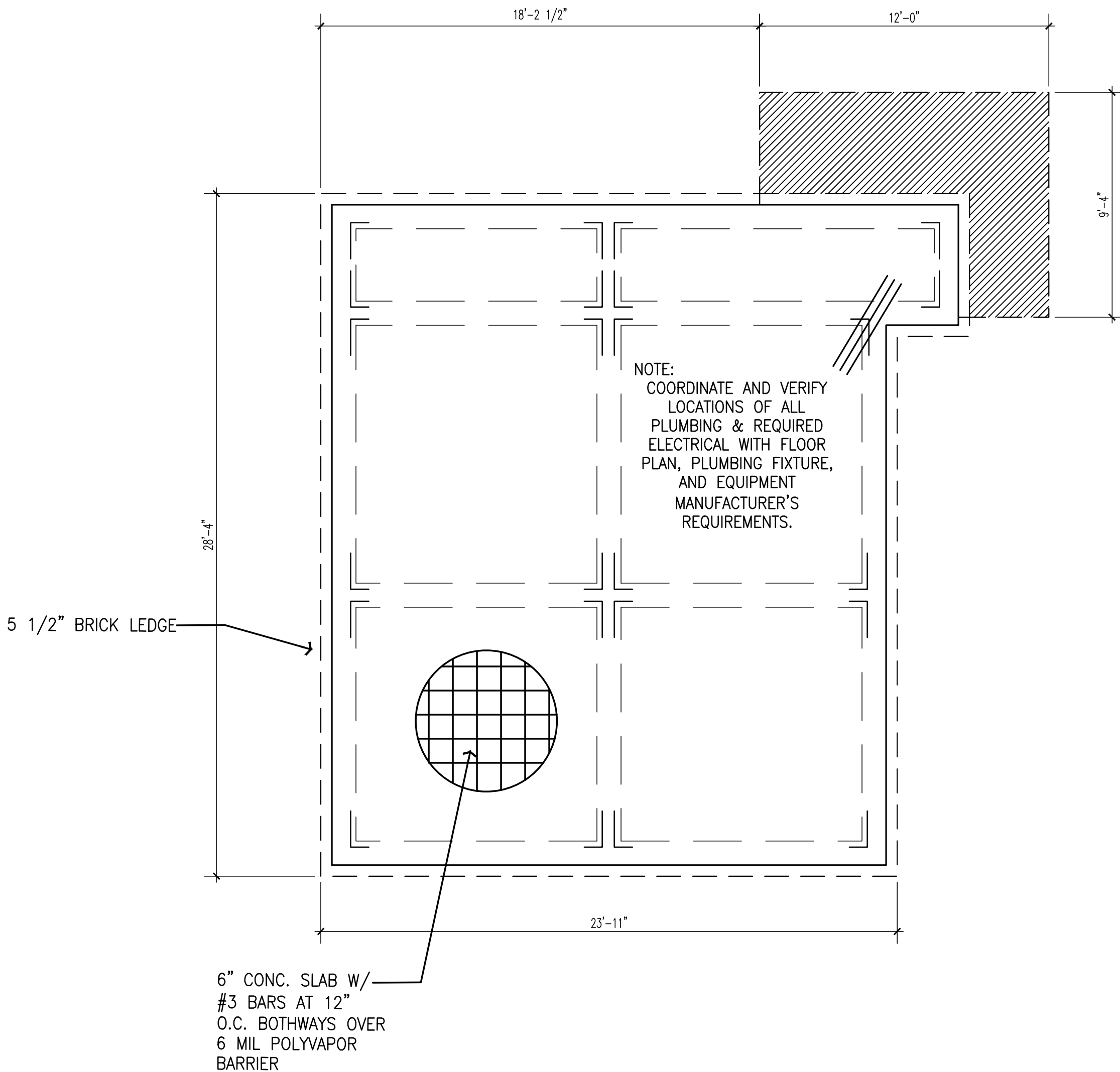
3 GRADE BEAM
NOT TO SCALE



3 GRADE BEAM
NOT TO SCALE



END BEAM
INTERMEDIATE BEAM
Ld = TENSILE DEVELOPMENT LENGHT OF REBAR
4 TYPICAL CORNER BAR DETAIL
NOT TO SCALE



GENERAL NOTES

THE FOUNDATION DESIGN IS BASED ON THE SOIL SURVEY OF DALLAS COUNTY.

DESIGN SPECIFICATIONS SLAB:

SLAB IS TO BE 4" THICK, UNLESS OTHERWISE (U.N.O) SEE PLAN FOR REINFORCEMENT BEAMS: ALL BEAMS ARE TO BE 10" WIDE BY 27" DEEP (U.N.O)

ANCHOR BOLTS: THE WOOD SOLE PLATE AT EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION WITH 1/2" DIAMETER ANCHOR BOLT SPACED AT 6" (MAXIMUM) OFF CENTER THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTIONS. THESE BOLTS SHALL EXTEND A MINIMUM OF 7" INTO THE FOUNDATION AND SHOULD BE PROJECT ABOVE THE FOUNDATION TO ALLOW FOR THE INSTALLATION OF THE SOLE PLATE, WASHER AND NUTS (APPROXIMATELY 2-1/2").

IN THE LOCATIONS WHERE AN ANCHOR BOLT ENCOUNTERS CLEARANCE ISSUES, AND IN CASES WHERE A BOLT HAS BEEN OMITTED OR DISABLED, FOUR POWDER ACTUATED FASTENERS DRIVEN THROUGH THE SOLE PLATE INTO THE FOUNDATION MAY BE SUBSTITUTED IN PLACE OF THE ANCHOR BOLT. UNLESS CITY CODE REQUIRES ANCHOR BOLTS AT EXTERIOR WALL SOLE PLATE POWER DRIVEN FASTENERS OR CONCRETE NAILS MAY BE USED IN LIEU OF ANCHOR BOLTS WHERE THESE SYSTEMS HAVE BEEN TESTED AND APPROVED BY THE IRC 2015.

INTERIOR BEARING WALLS SOLE PLATE ON MONOLITHIC SLAB FOUNDATION SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILLS AND SOLE PLATES SHOULD BE PROTECTED AGAINST DECAY AND TERMITE WHERE REQUIRED BY SECTION R318 AND R319 OF THE 2003 INTERNATIONAL BUILDING CODE. COLD FORMED STEEL FRAMING SHALL BE FASTENED TO THE WOOD SILL PLATES OR ANCHORED DIRECTLY TO THE FOUNDATION AS REQUIRED IN SECTION R505.3.1 AND R603.1.1.

FOUNDATION NOTES

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES. CONCRETE STRENGTH, 3,500 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI). 3,500 PSI AT 28 DAYS FOR ALL OTHER CONDITION. MAXIMUM SLUMP, 4" USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE CONCRETE EXPASION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL.

EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL. INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION.

THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EX

FOUNDATION NOTES (PIER)

1. REFER TO GENERAL NOTES ON A7.3 FOR ADDITIONAL INFORMATION.
2. REFER TO SHEET A7.4 FOR TYPICAL FOUNDATION DETAILS AND SECTIONS.
3. ALL PERIMETER BEAMS SHALL BE 10" W. X 24" D., TYP.
4. ALL CONCRETE CYLINDRICAL PERS SHALL BE 12" DIA. X 36" D., TYP.
5. BOTTOM OF ALL BEAMS SHALL EXTEND 18" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED FILL.
6. BOTTOM OF ALL PIERS SHALL EXTEND 24" INTO UNDISTURBED SOIL OR BEAR ON ENGINEERED BACK FILL.
7. DEAD END BEAMS ARE NOT ACCEPTABLE.
8. PLACE A 10 MIL POLYETHYLENE VAPOR BARRIER UNDER BEAM THROUGHOUT.
9. REFER TO ARCHITECTURAL, MECHANICAL, AND PLUMBING FOR LOCATIONS REGARDING OPENINGS, DRAINS, OR MISC. FLOOR PENETRATIONS.



LYLES HOME DESIGN
DESIGN AND DEVELOPMENT

1108 Summit Ave

STE #1

Plano, Texas 75074

(469) 227-0970

info@lyleshomedesign.com

2025-0605

AVENUE I
GARAGEMAHAL
NEW CONSTRUCTION

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL VERIFY
ALL EXISTING CONDITIONS
AND DIMENSIONS-NOTIFY
OWNER REPRESENTATIVE OF
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DATE	COMMENTS
08/01/2025	PERMIT SUBMITTAL
	SUBMITTAL

310 AVENUE I
DALLAS, TX 75203
FOUNDATION PLAN

SHEET

S1.1

01

FOUNDATION PLAN

Scale: 1/4" = 1'-0"

2025-0605

AVENUE I
GARAGEMAHAL
NEW CONSTRUCTION

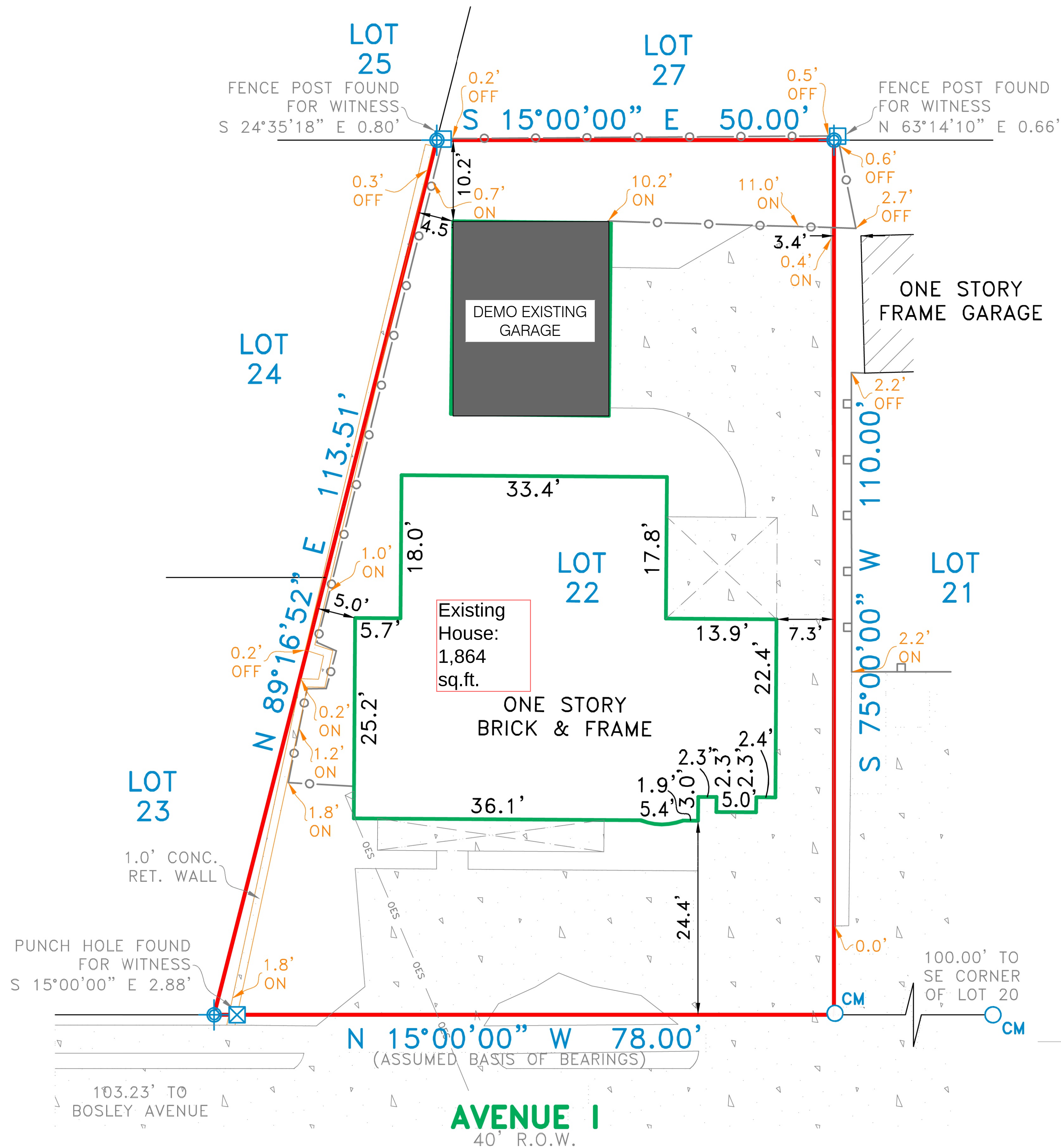
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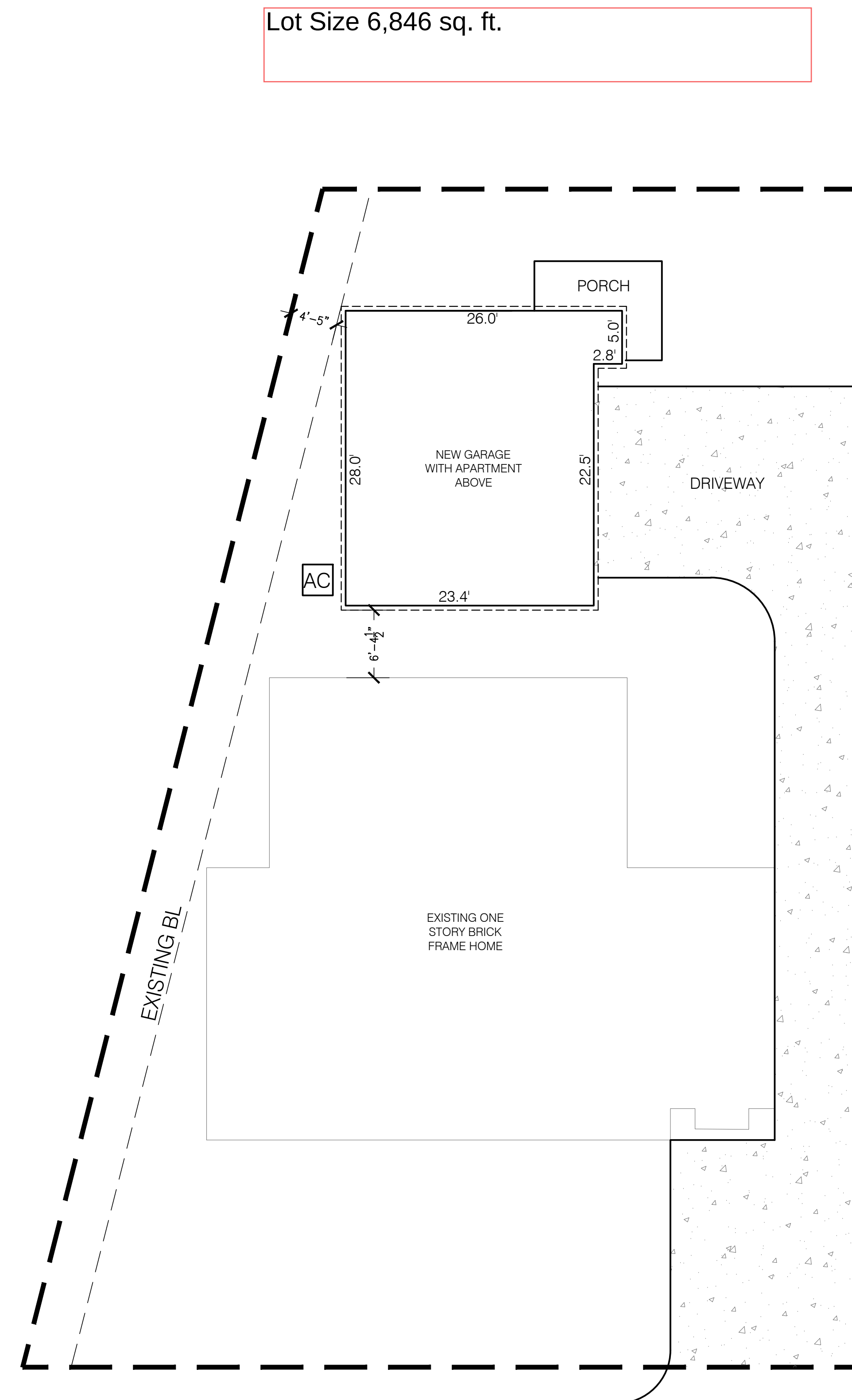
310 AVENUE I
DALLAS, TX 75203

SITE PLAN

SHEET
A0.0



 **01** **EXISTING SITE PLAN**
Scale: 1/8" = 1'-0"



02 **PROPOSED SITE PLAN**
Scale: 1/8" = 1'-0"

- A. ROOF CONSTRUCTION: COMPOSITION ROOF SHINGLES ON UNDERLAYMENT ON ROOF SHEATHING ON ROOF FRAMING MEMBERS (AS NOTED ON FRAMING PLANS).
CEILINGS: 5/8" GYPSUM BOARD WITH MINIMUM R-30 INSULATION ABOVE.
- B. TYPICAL SIDING WALL CONSTRUCTION:
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. WITH MINIMUM R-19 INSULATION IN CAVITIES.
INTERIOR: 1/2" GYPSUM BOARD.
- C. TYPICAL STONE VENEER WALL CONSTRUCTION:
ADHERED SYNTHETIC STONE VENEER (INSTALLED PER MFR'S SPECS) OVER WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2x4 OR 2x6 STUDS, 16" O.C. WITH INSULATION IN CAVITIES.
- D. TYPICAL FLOOR CONSTRUCTION:
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON FLOOR FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
MAIN FLOOR CEILING: 5/8" GYPSUM BOARD
- E. CONCRETE SLAB CONSTRUCTION:
CONCRETE SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER OVER 4" MINIMUM GRANULAR FILL

3. THESE DRAWINGS HAVE BEEN PROVIDED FOR GRAPHIC REPRESENTATION OF OWNER INTENDED DESIGN CHANGES. THESE PLANS CAN BE USED FOR PERMITTING DOCUMENTATION; ANY AND ALL CONSTRUCTION EXECUTED SHALL BE COMPLETED BY A LICENSED GENERAL CONTRACTOR AND LICENSED SUB-CONTRACTORS.
2. ANY MODIFICATIONS TO EXISTING FOUNDATION AND STRUCTURAL ELEMENTS SHALL BE REVIEWED AND DESIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
3. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.
4. INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD. "CLEAR" DIMENSIONS ARE FINISH TO FINISH.
5. WALL TYPES ARE DESCRIBED IN WALL TYPE LEGEND LISTED ON THIS SHEET.
6. ALL NEW WALLS SHALL COMPLY WITH LOCAL CODES.
7. CONTRACTOR SHALL ENSURE MATERIAL INSTALLED ABOVE SHOWER SHALL HAVE A NON-ABSORBANT SURFACE.
8. ENSURE ALL ITEMS LISTED TO BE SELECTED IN FIELD COMPLY WITH LOCAL CODE REQUIREMENTS.
9. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS SHOWN ON PLAN PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONFLICT ON PLAN VS. EXISTING CONDITIONS PRIOR TO FINALIZING ANY FIELD CHANGES UNLESS OWNER PROVIDES DOCUMENTED DIRECTION OTHERWISE.
10. THESE PLANS HAVE BEEN PREPARED FOR CITY REVIEW AND PERMITTING APPROVAL. OWNER AND GC SHALL BE RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
11. ADDITIONAL SQUARE FOOTAGE MAY REQUIRE SPRINKLER SYSTEM INSTALLATION. OWNER AND GC SHALL ENSURE A FIRE SPRINKLER CONTRACTOR HAS BEEN CONTRACTED TO COMPLETE ANY CITY REQUIREMENTS UNDER DEFERRED SUBMITTAL IF APPLICABLE.

QUANTITY	TAG	SIZE	MATERIAL	TYPE	REMARK
7	A	3'-0" X 5'-0"	ALUMINUM: WHITE	SINGLE HUNG	7'-0" HEADER HEIGHT
1	B	2'-0" X 2'-6"	ALUMINUM: WHITE	FIXED	7'-0" HEADER HEIGHT

NOTES:

1. NEW CONSTRUCTION -- PROVIDE ALL WINDOWS WITH FINIS.
2. PLY GEM MANUFACTURER 1500 SERIES OR EQUAL.
3. INTERIOR COLOR SHALL BE WHITE
4. EXTERIOR COLOR SHALL BE WHITE
5. LOCKSET SHALL BE WHITE
6. PROVIDE ALL OPERABLE WINDOWS WITH SCREENS

TAG	SIZE	TYPE	REMARK
101	3'-0" x 6'-8"	EXTERIOR	FIBERGLASS DOOR WITH TEMPERED GLASS
102	3'-0" x 6'-8" x 1 3/8"	INTERIOR	HOLLOW CORE - SINGLE PANEL SHAKER STYLE W/ LOCKSET
103	8'-0" x 7'-0" x 1/8"	GARAGE	NON-INSULATED GARAGE DOOR
201	2'-8" x 6'-8" x 1 3/8"	INTERIOR	HOLLOW CORE - SINGLE PANEL SHAKER STYLE W/ LOCKSET
202	6'-0" x 6'-8" x 1 3/8"	EXTERIOR	SLIDING GLASS DOOR
203	2'-8" x 6'-8" x 1 3/8"	INTERIOR	HOLLOW CORE - SINGLE PANEL SHAKER STYLE W/ LOCKSET
204	2'-8" x 6'-8" x 1 3/8"	INTERIOR	HOLLOW CORE - SINGLE PANEL SHAKER STYLE
205	2'-8" x 6'-8" x 1 3/8"	INTERIOR	HOLLOW CORE - SINGLE PANEL SHAKER STYLE W/ LOCKSET
206	2'-8" x 6'-8" x 1 3/8"	INTERIOR	BI-FOLD

1. UNDERCUT INTERIOR DOORS MINIMUM 3/4"

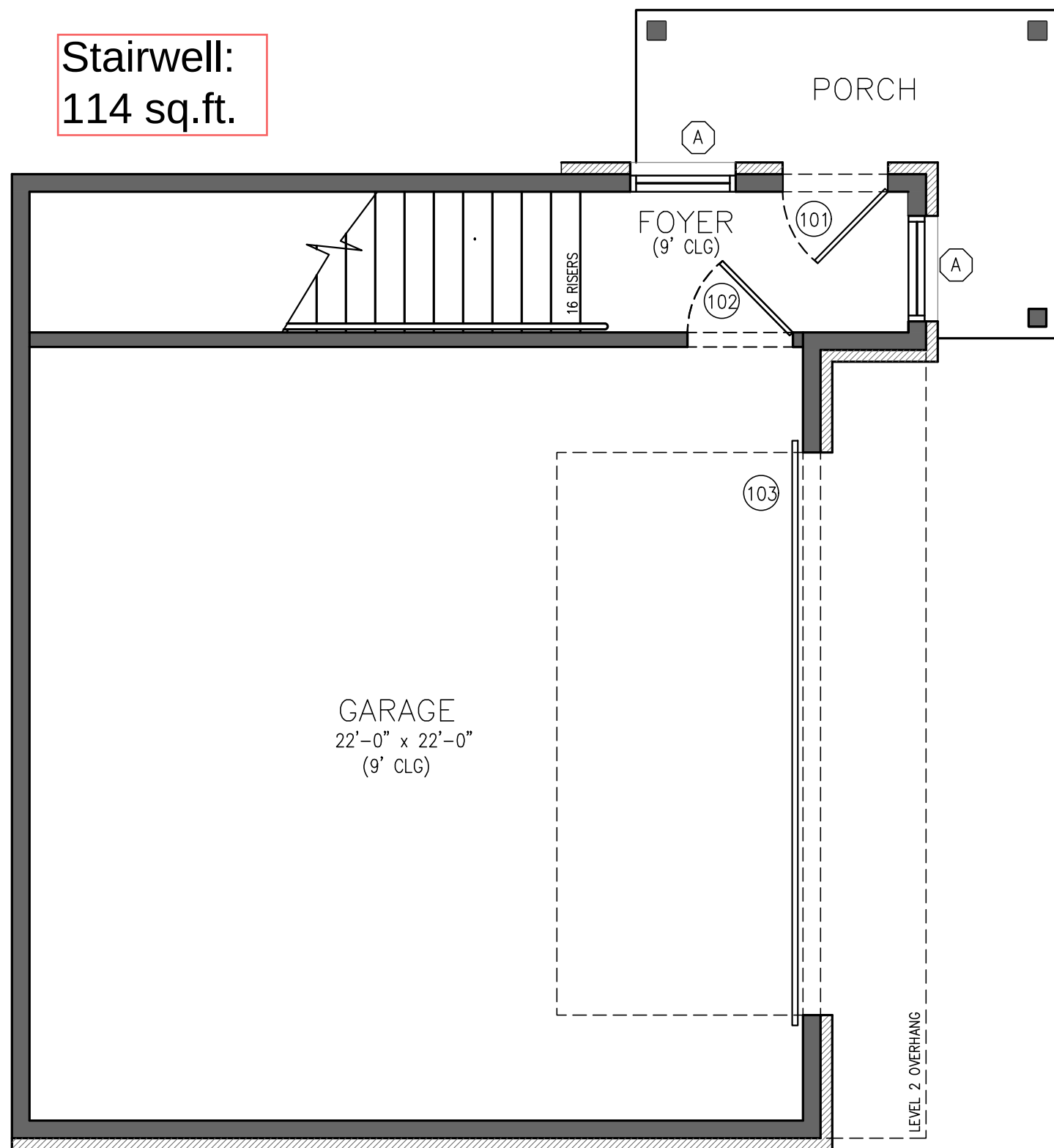
The image contains four technical drawings of wall details, labeled A, B, D, and D1.

- Detail A: EXTERIOR BRICK WALL**
 - MIN. R-30 INSULATION
 - NEW BRICK VENEER OVER MORTAR LATH AND 3/4" SHEATHING OVER EXTERIOR INSULATED WOOD FRAMING. (OWNER SHALL SPECIFY BRICK COLOR)
 - BRICK TIES WHERE REQUIRED
 - VAPOR BARRIER AS REQUIRED
 - PROVIDE WEEP SCREWS AS REQUIRED
 - PROVIDE FLASHING WHERE REQUIRED
 - SEALANT
 - ANCHOR BOLT AT 6'-0" O.C. MAX.
- Detail B: EXTERIOR PANELING**
 - NEW SIDING
 - MIN. R-30 INSULATION
 - PROVIDE FLASHING
 - ANCHOR BOLT AT 6'-0" O.C. MAX.
- Detail D: INTERIOR WALL 3 1/2" WOOD FRAMING**
 - 1/2" GYP BD OVER R-19 INSULATED WOOD FRAMING
 - ANCHOR BOLT AT 6'-0" O.C. MAX.
- Detail D1: INTERIOR WALL 5 1/2" WOOD FRAMING**
 - 1/2" GYP BD OVER R-19 INSULATED WOOD FRAMING
 - ANCHOR BOLT AT 6'-0" O.C. MAX.

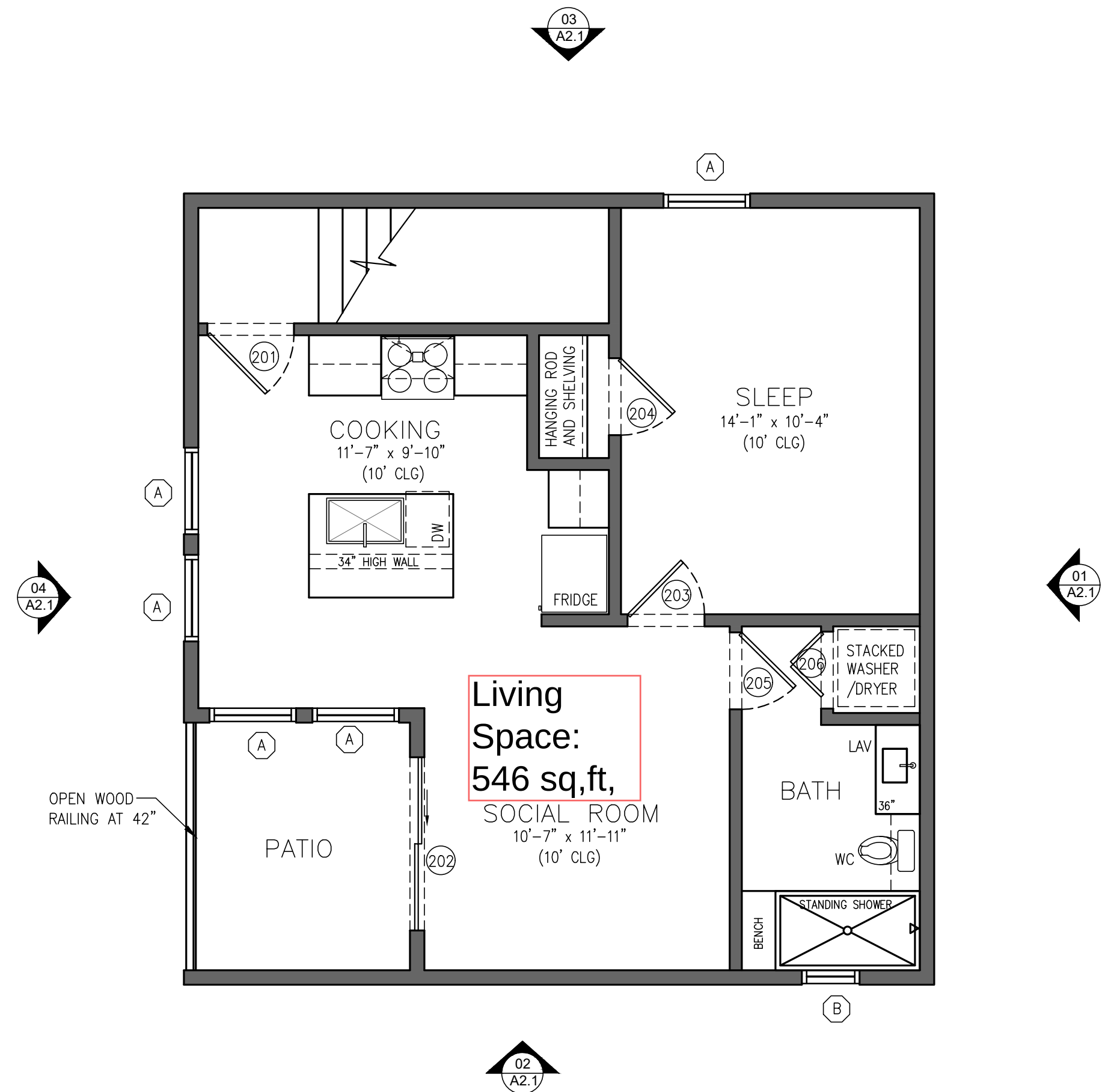
1. UNLESS NOTED OTHERWISE, GLASS FOR ALL EXTERIOR WINDOWS IS 1" INSULATED: 1/4" CLEAR GLASS + 1/2" AIRSPACE + 1/4" CLEAR GLASS.

U-FACTOR = .29
SOLAR HEAT GAIN COEFFICIENT = 0.34
CR = .56
VT = 0.52
2. AT EACH EXTERIOR WINDOW, G.C. TO PROVIDE GLASS THICKNESS APPROPRIATE FOR LOCAL WIND LOADS ON THE GLASS SPAN INDICATED IN THE DRAWINGS.
3. ALL NEW WINDOWS AND DOORS INSTALL SHALL BE UL LISTED AND COMPLIANT WITH AHJ.
4. ENSURE ALL NEW WINDOWS AND DOORS ARE PROPERLY INSTALLED.

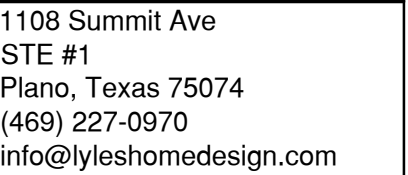
Stairwell:
114 sq.ft.



01 GARAGE MAHAL FLOOR PLAN (LEVEL 1)



02 GARAGE MAHAL FLOOR PLAN (LEVEL 2)
Scale: 1/4" = 1'-0"



2025-0605

AVENUE I
GARAGEMAHAL
NEW CONSTRUCTION

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL VERIFY
ALL EXISTING CONDITIONS
AND DIMENSIONS-NOTIFY
OWNER REPRESENTATIVE OF
DISCREPANCIES PRIOR TO
BEGINNING CONSTRUCTION

SUBMITTAL		DATE	COMMENTS
		08/01/2025	PERMIT SUBMITTAL

310 AVENUE I
DALLAS, TX 75203

FLOOR PLAN

SHEET
A1.1



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AVENUE I
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NEW CONSTRUCTION

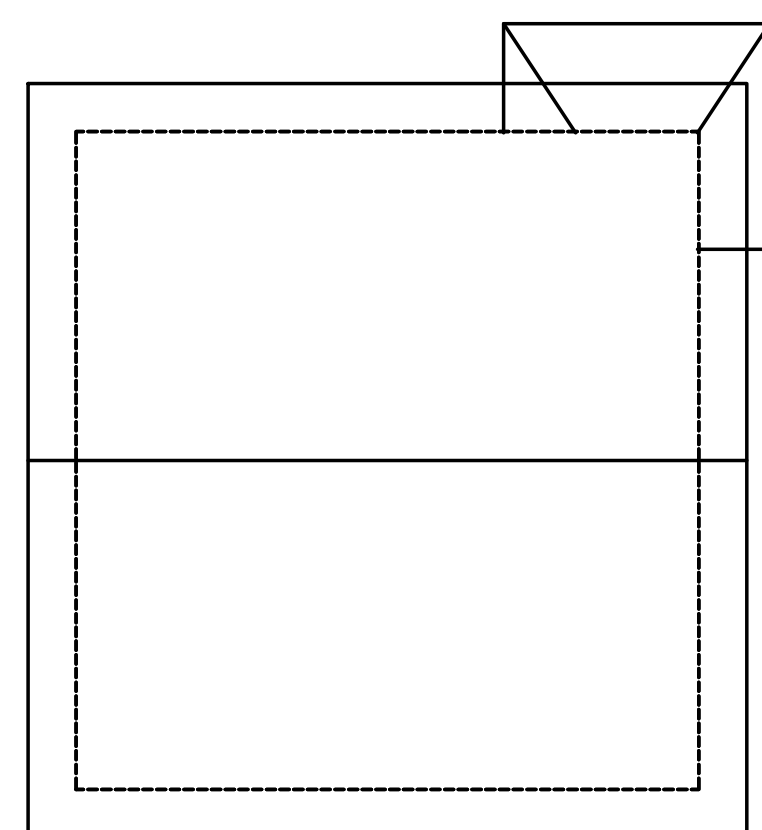
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DALLAS, TX 75203

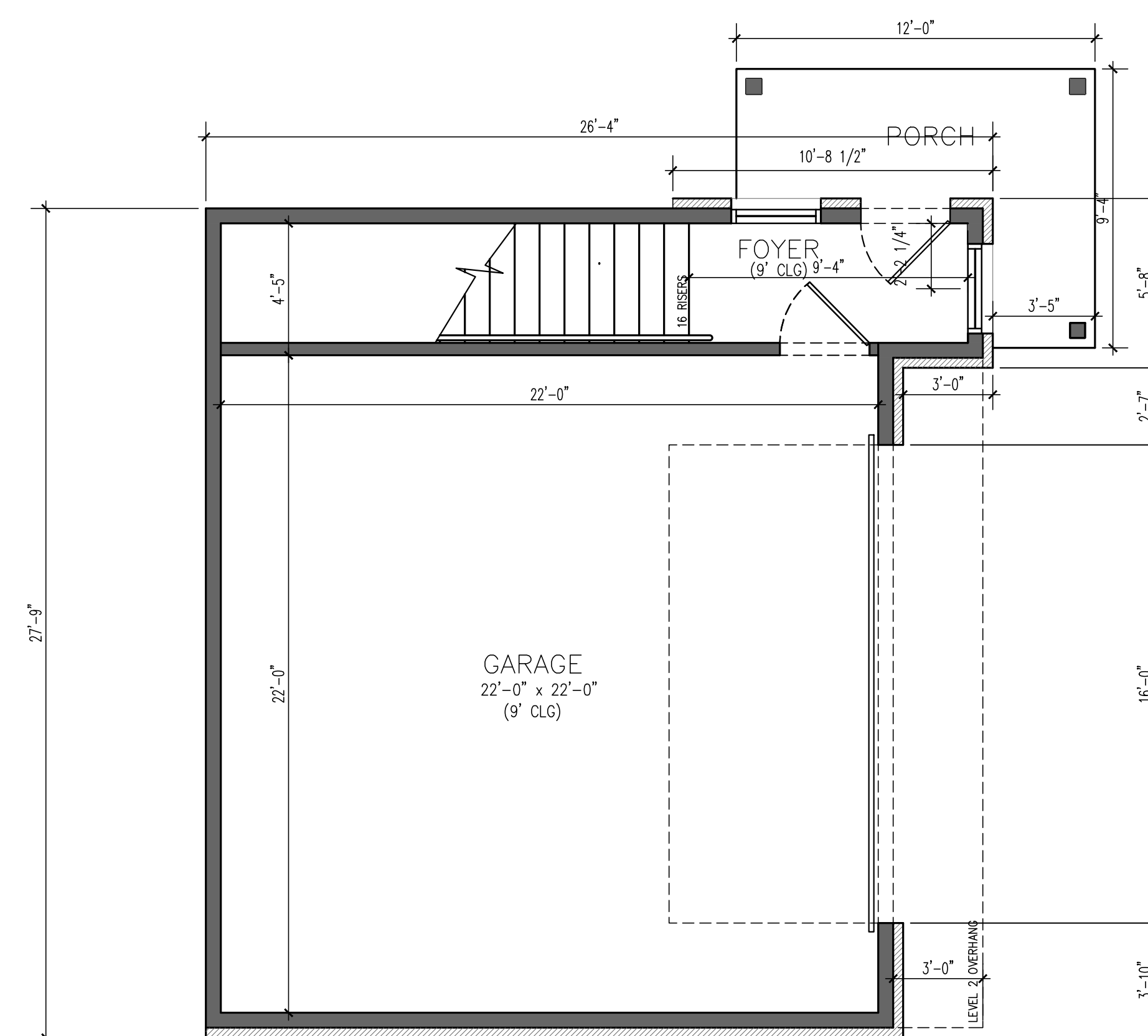
SHEET
A1.2

1. THESE DRAWINGS HAVE BEEN PROVIDED FOR GRAPHIC REPRESENTATION OF OWNER INTENDED DESIGN CHANGES. THESE PLANS CAN BE USED FOR PERMITTING DOCUMENTATION; ANY AND ALL CONSTRUCTION EXECUTED SHALL BE COMPLETED BY A LICENSED GENERAL CONTRACTOR AND LICENSED SUB-CONTRACTORS.
2. ANY MODIFICATIONS TO EXISTING FOUNDATION AND STRUCTURAL ELEMENTS SHALL BE REVIEWED AND DESIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION COMMENCEMENT.
3. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK.
4. INTERIOR DIMENSIONS ARE SHOWN STUD TO STUD. "CLEAR" DIMENSIONS ARE FINISH TO FINISH.
5. WALL TYPES ARE DESCRIBED IN WALL TYPE LEGEND LISTED ON THIS SHEET.
6. ALL NEW WALLS SHALL COMPLY WITH LOCAL CODES.
7. CONTRACTOR SHALL ENSURE MATERIAL INSTALLED ABOVE SHOWER SHALL HAVE A NON-ABSORBANT SURFACE.
8. ENSURE ALL ITEMS LISTED TO BE SELECTED IN FIELD COMPLY WITH LOCAL CODE REQUIREMENTS.
9. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS SHOWN ON PLAN PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY CONFLICT ON PLAN VS. EXISTING CONDITIONS PRIOR TO FINALIZING ANY FIELD INSTALLATIONS UNLESS OWNER PROVIDES DOCUMENTED DIRECTION OTHERWISE.
10. THESE PLANS HAVE BEEN PREPARED FOR CITY REVIEW AND PERMITTING APPROVAL. OWNER AND GC SHALL BE RESPONSIBLE FOR ENSURING ALL REQUIRED PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
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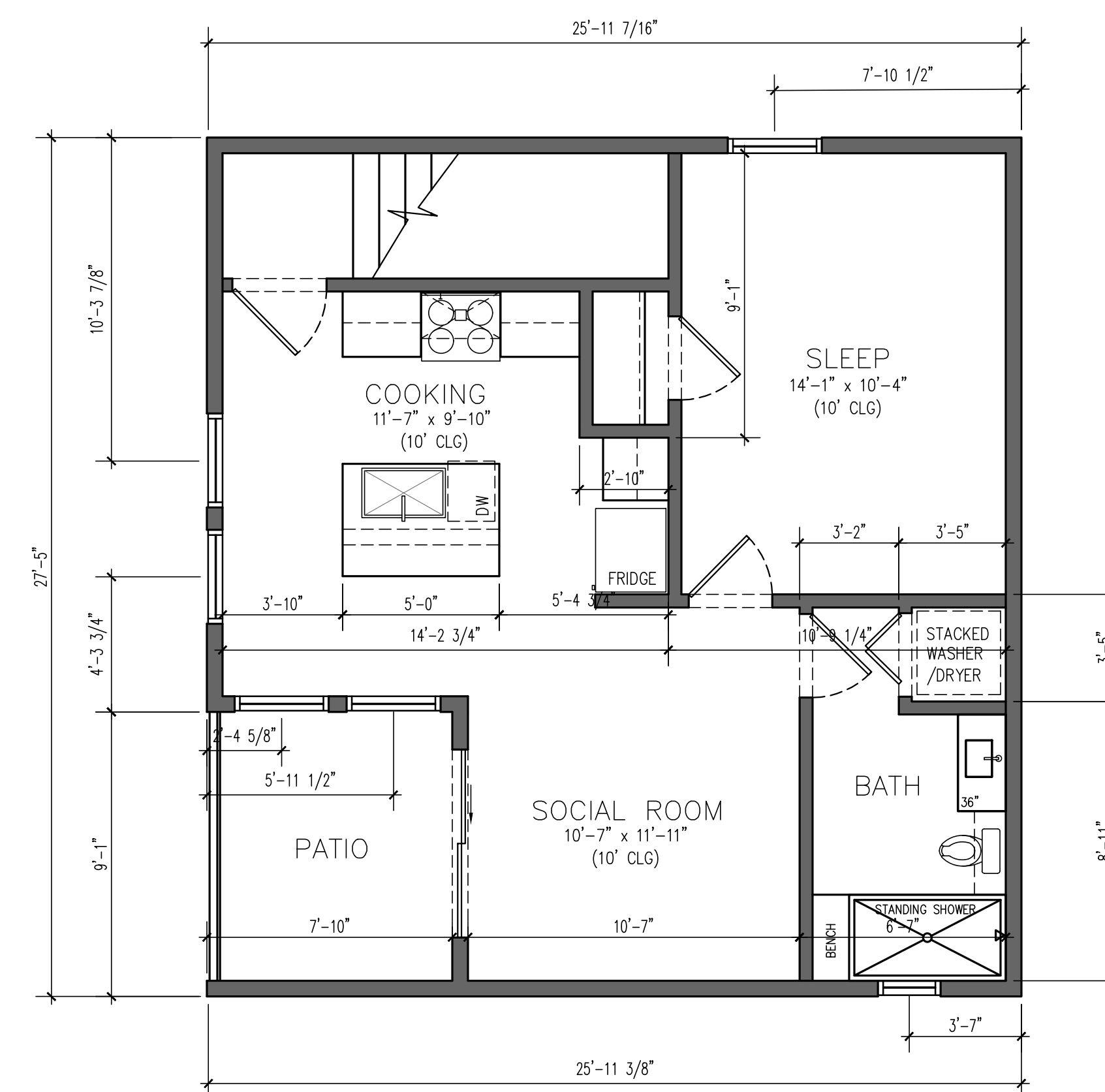


03 ROOF PLAN

Scale: 1/4" = 1'-0"



01 GARAGE MAHAL FLOOR PLAN (LEVEL 1)
Scale: 1/4" = 1'-0"



02 GARAGE MAHAL FLOOR PLAN (LEVEL 2)
Scale: 1/4" = 1'-0"



2025-0605

NOT SCALE DRAWINGS.
CONTRACTOR SHALL VERIFY
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310 AVENUE I

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EXTERIOR ELEVATIONS

SHEET





2025-0605

AVENUE I
GARAGEMAHAL
NEW CONSTRUCTION

DATE	COMMENTS
08/01/2025	PERMIT SUBMITTAL

310 AVENUE I
DALLAS, TX 75203
LIGHTING PLAN

SHEET
A3.1

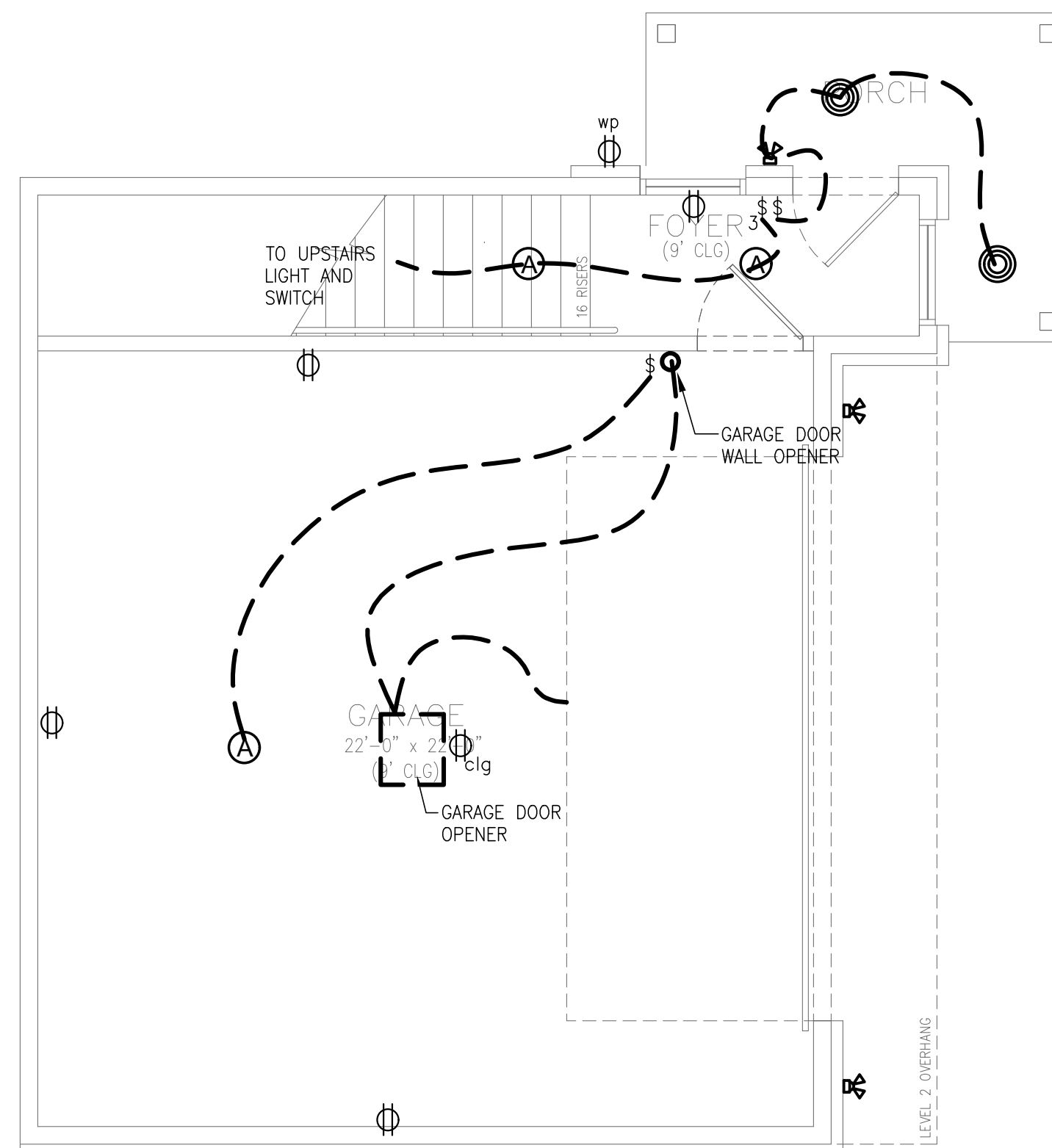
1. CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND ADJUST FOR ACTUAL FIELD CONDITIONS AT NO EXPENSE TO OWNER. REPORT TO THE DESIGNER ANY DISCREPANCIES WITH THE PLANS AND EXISTING CONDITIONS.
2. CONDUIT LAYOUTS ON THE PLANS ARE DIAGRAMMATIC, NOT INDICATING THE ROUTING REQUIRED. THE CONTRACTOR SHALL ROUTE CONDUITS AS REQUIRED BY THE CONDITIONS OF INSTALLATION.
3. ALL EQUIPMENT PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING AGENCY, ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
4. MINIMUM WIRE SIZE SHALL BE #12 AWG CU. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE.
5. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO ORDERING OR INSTALLING ANY EQUIPMENT, TO VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT PROVIDED BY ALL OTHER TRADES ARE PROVIDED FOR IN THE ELECTRICAL DESIGN. THE CONTRACTOR WILL NOT BE COMPENSATED FOR COSTS ASSOCIATED WITH CHANGING THE ELECTRICAL SYSTEMS TO MATCH UTILIZATION EQUIPMENT, EVEN IF THE ELECTRICAL WORK IS INSTALLED PER THE DRAWINGS.
6. UNLESS SPECIFICALLY NOTED OTHERWISE, SYSTEMS PROVIDED BY THE ELECTRICAL CONTRACTOR SHALL BE COMPLETE AND FULLY FUNCTIONING AFTER INSTALLATION. COMPONENTS NOT SHOWN, BUT REQUIRED FOR THE PROPER OPERATION OF THE EQUIPMENT OR SYSTEM, SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE PROJECT.
7. WHERE THE PLANS INDICATE A LIGHT FIXTURE IS TO BE PROVIDED WITH SPECIAL FEATURES/SWITCHING THE CONTRACTOR SHALL PROVIDE THE FIXTURES WITH THE APPROPRIATE BALLASTING TO ACCOMMODATE THE SPECIAL FEATURE. THE CONTRACTOR SHALL PROVIDE THE FIXTURE AS INDICATED IN THE LIGHT FIXTURE SCHEDULE, WITH MODIFICATIONS AS REQUIRED PER PLAN NOTES.
8. DESIGN BASED UPON USE 2021 INTERNATIONAL RESIDENTIAL CODE. CONDUCTORS SHALL BE PROVIDED PER CODE REQUIREMENTS.
9. ALL CONDUIT, BOXES, WIRING METHODS, LIGHTING FIXTURES, ETC. SHALL CONFORM TO WIRING METHODS AS REQUIRED BY LOCAL CODES.
10. PROVIDE WIRE CONNECTED CEILING MOUNTED SMOKE DETECTORS.
11. ELECTRICIAN SHALL PROVIDE AND INSTALL POWER FOR ALL APPLIANCES AS REQUIRED PER MANUFACTURERS RECOMMENDATION.
12. U.N.O. ALL LIGHT SWITCHES SHALL BE MOUNTED AT 48" A.F.F.
13. U.N.O. WALL SCONCES SHALL BE MOUNTED AT 6"-8" A.F.F. TO CENTER OF ROUGH IN BOX.
14. ROUTE ALL FLUTED AND VENTS TO REAR ROOF SLOW WHERE POSSIBLE.
15. WATER PIPES FOR SHOWERHEAD SHALL BE STUBBED OUT AT 7'-0" A.F.F.
16. ALL LOW VOLTAGE FOR HVAC SHALL BE PROVIDED AND INSTALLED BY HVAC CONTRACTOR.

Diagram illustrating the vertical placement of electrical outlets and switches relative to a horizontal reference line (likely the bottom of the cabinet or wall):

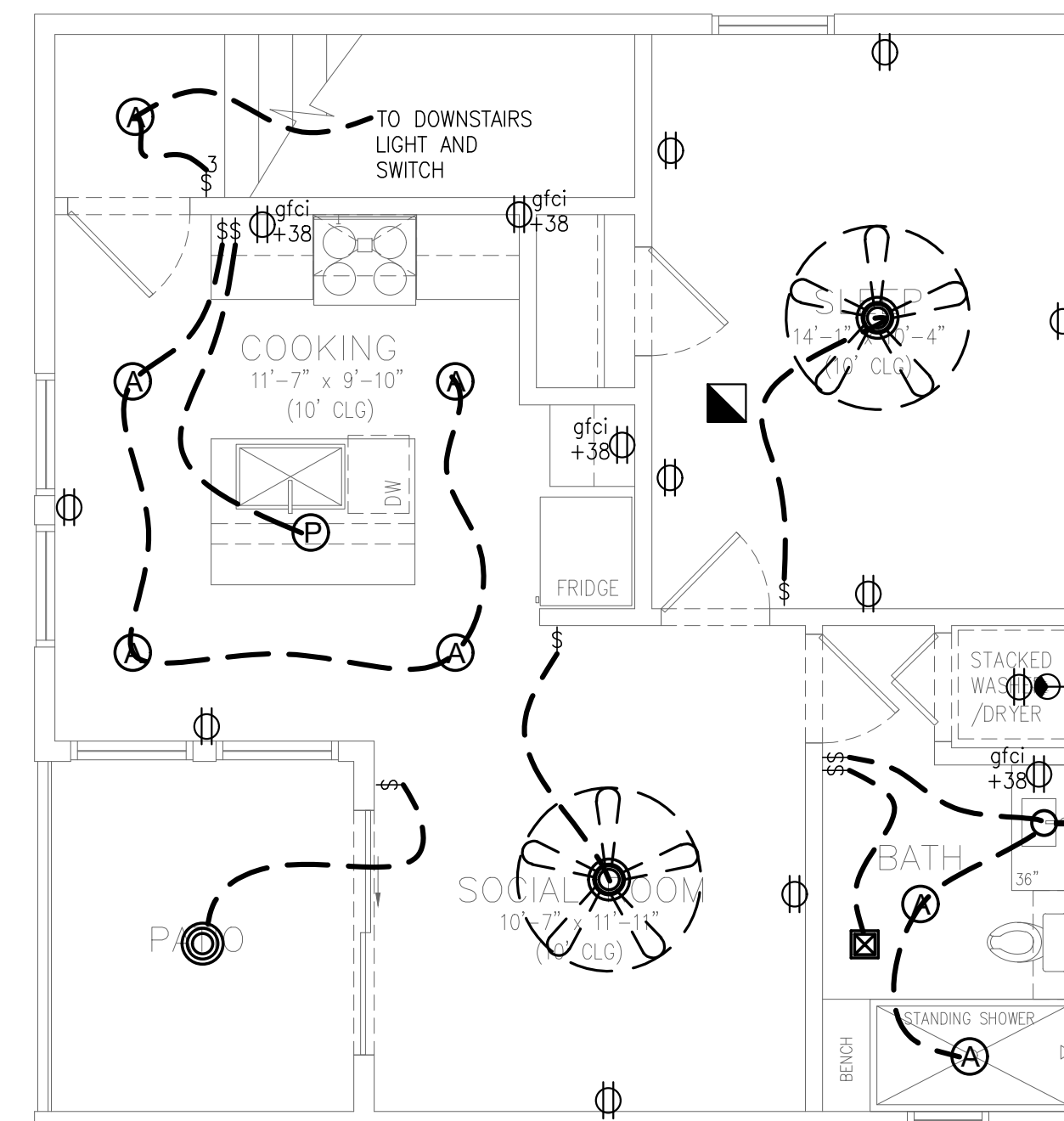
- STANDARD OUTLET: 15" from the bottom line.
- CABINET OUTLET: 40" from the bottom line.
- WALL SWITCH: 48" from the bottom line.
- REFRIGERATOR GARAGE OR UTILITY: 60" from the bottom line.

Vertical spacing between outlets/switches:

- Between CABINET OUTLET and WALL SWITCH: 48" - 40" = 8"
- Between WALL SWITCH and REFRIGERATOR GARAGE OR UTILITY: 60" - 48" = 12"



01 GARAGE MAHAL FLOOR PLAN (LEVEL 1)
Scale: 1/4" = 1'-0"



02 GARAGE MAHAL FLOOR PLAN (LEVEL 2)
Scale: 1/4" = 1'-0"



LYLES HOME DESIGN
DESIGN AND DEVELOPMENT

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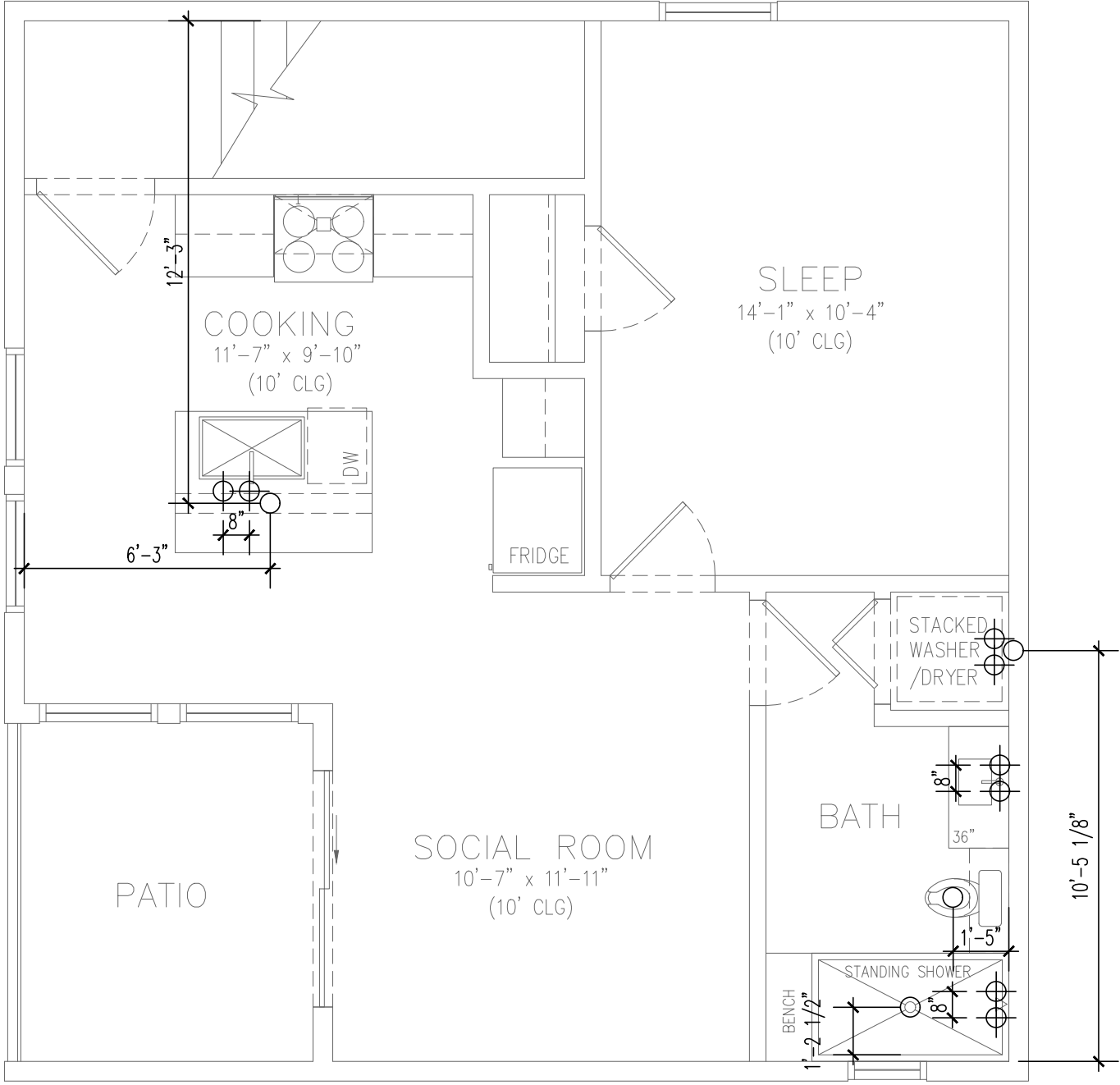
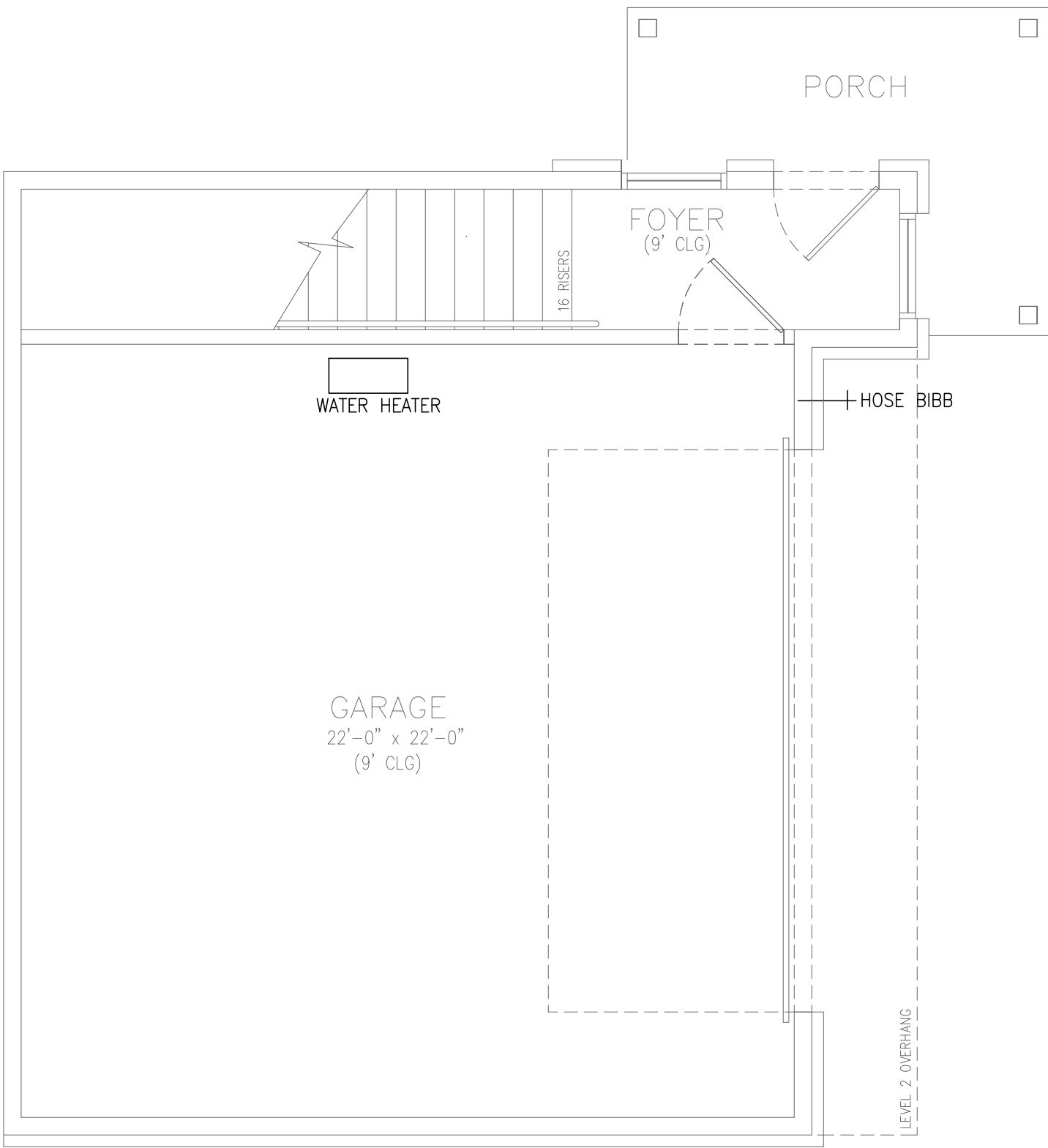
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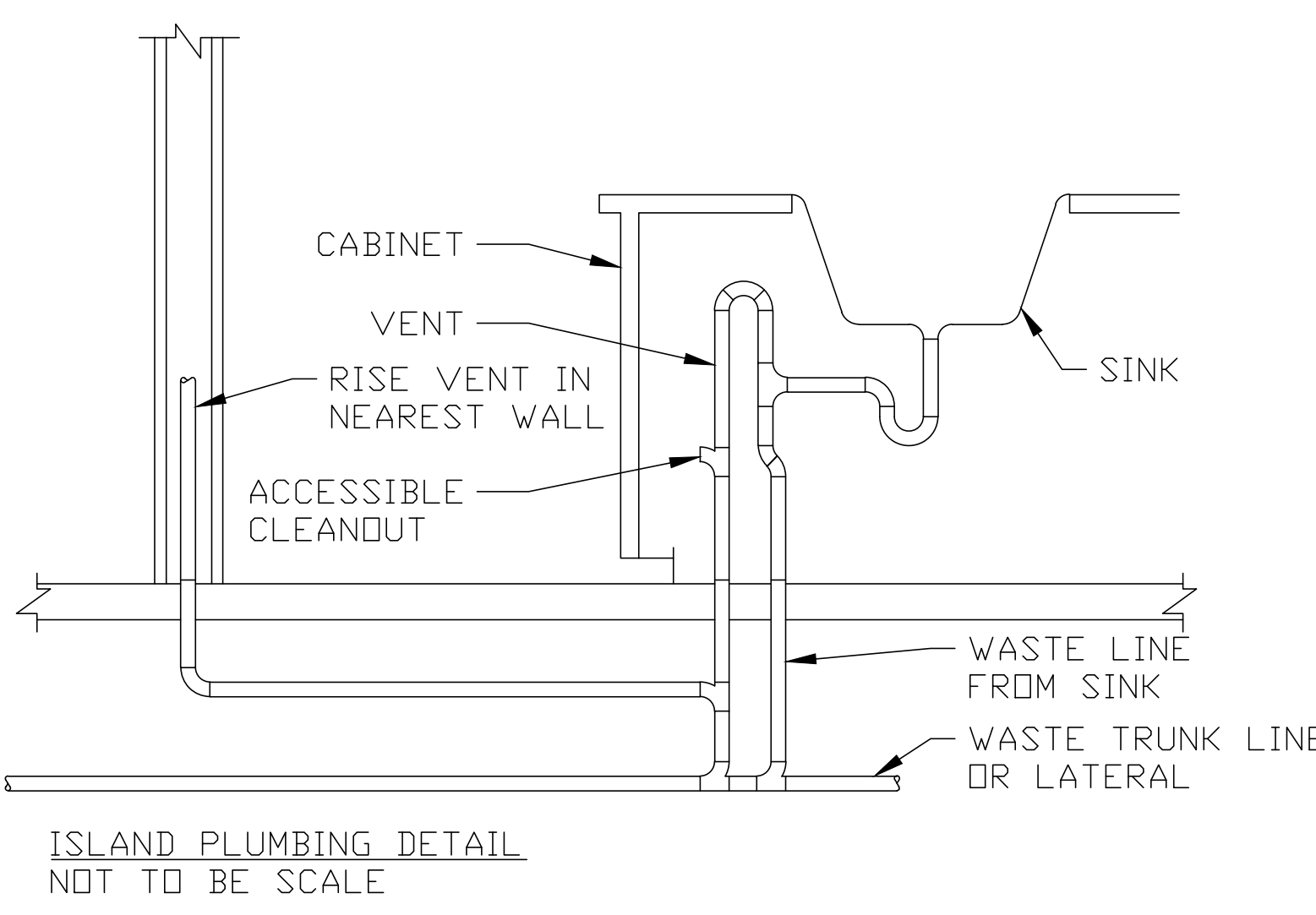
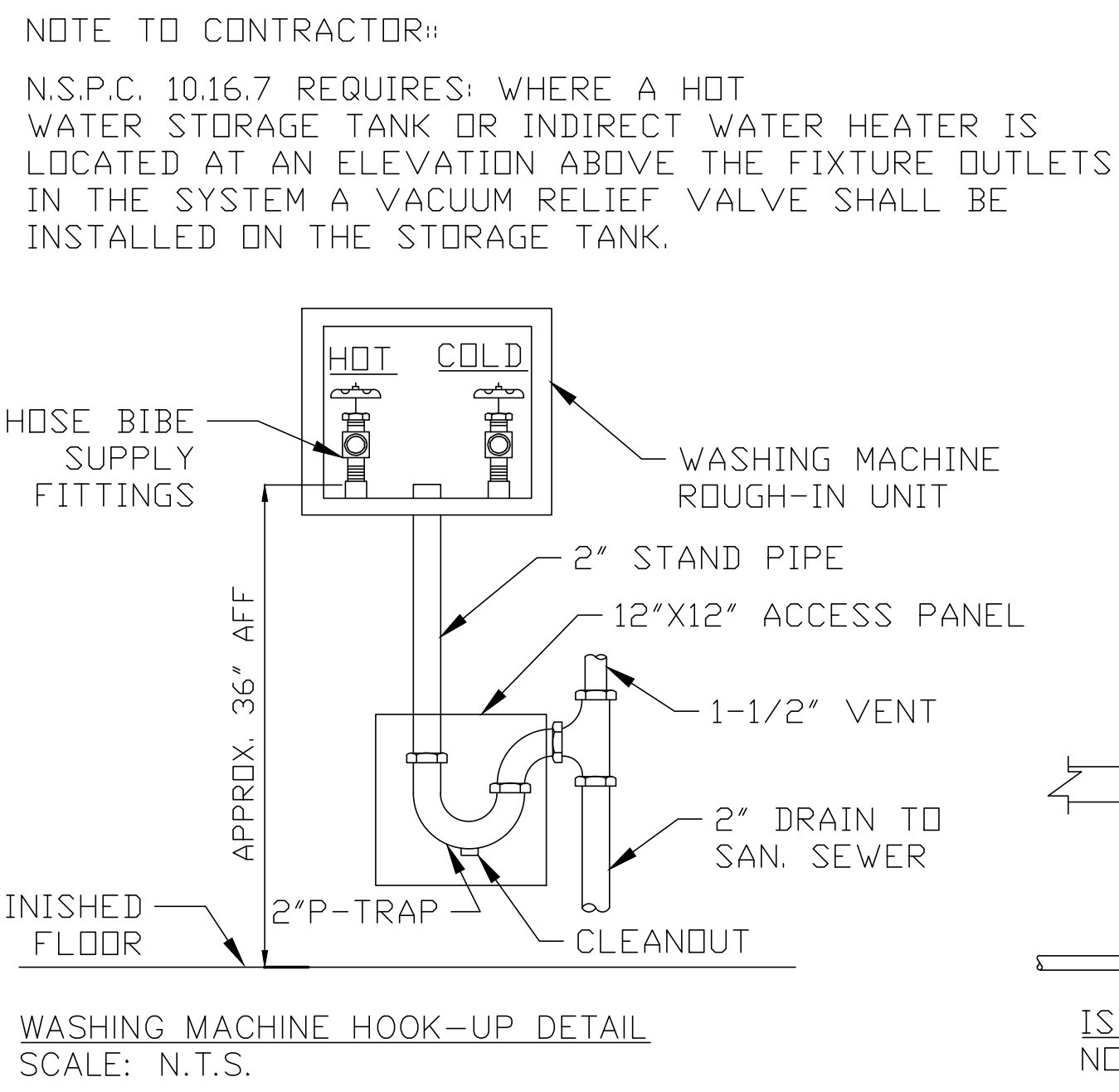
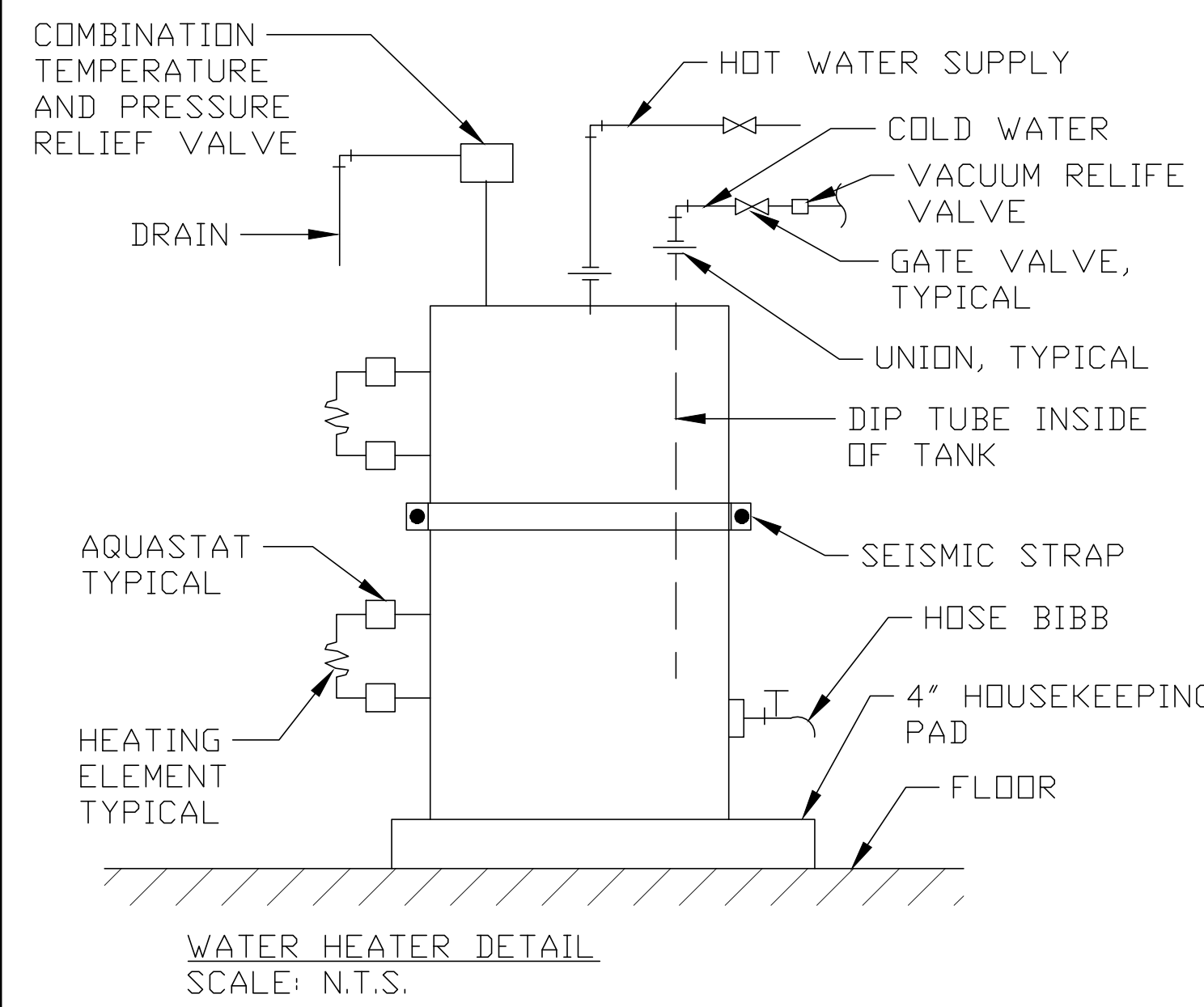
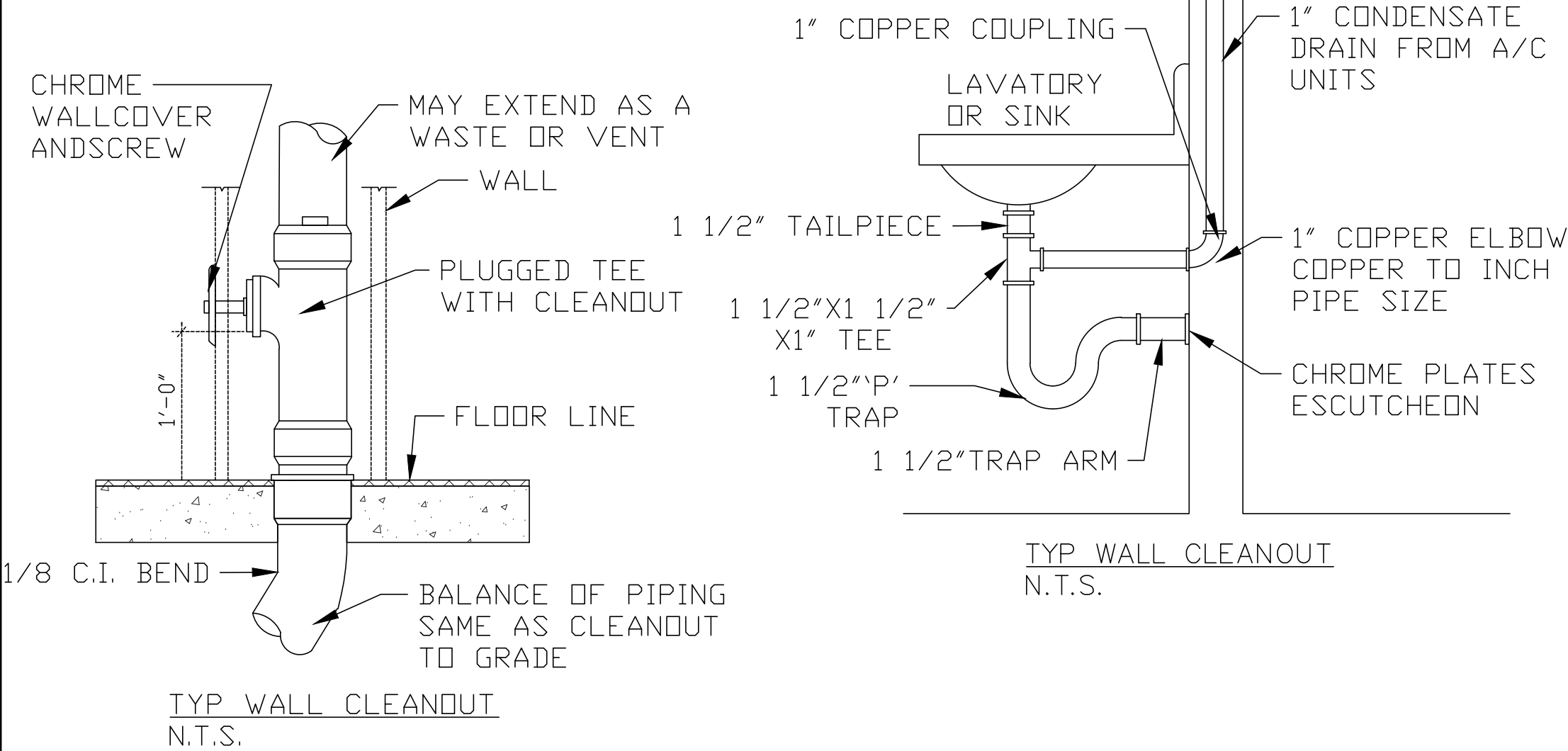
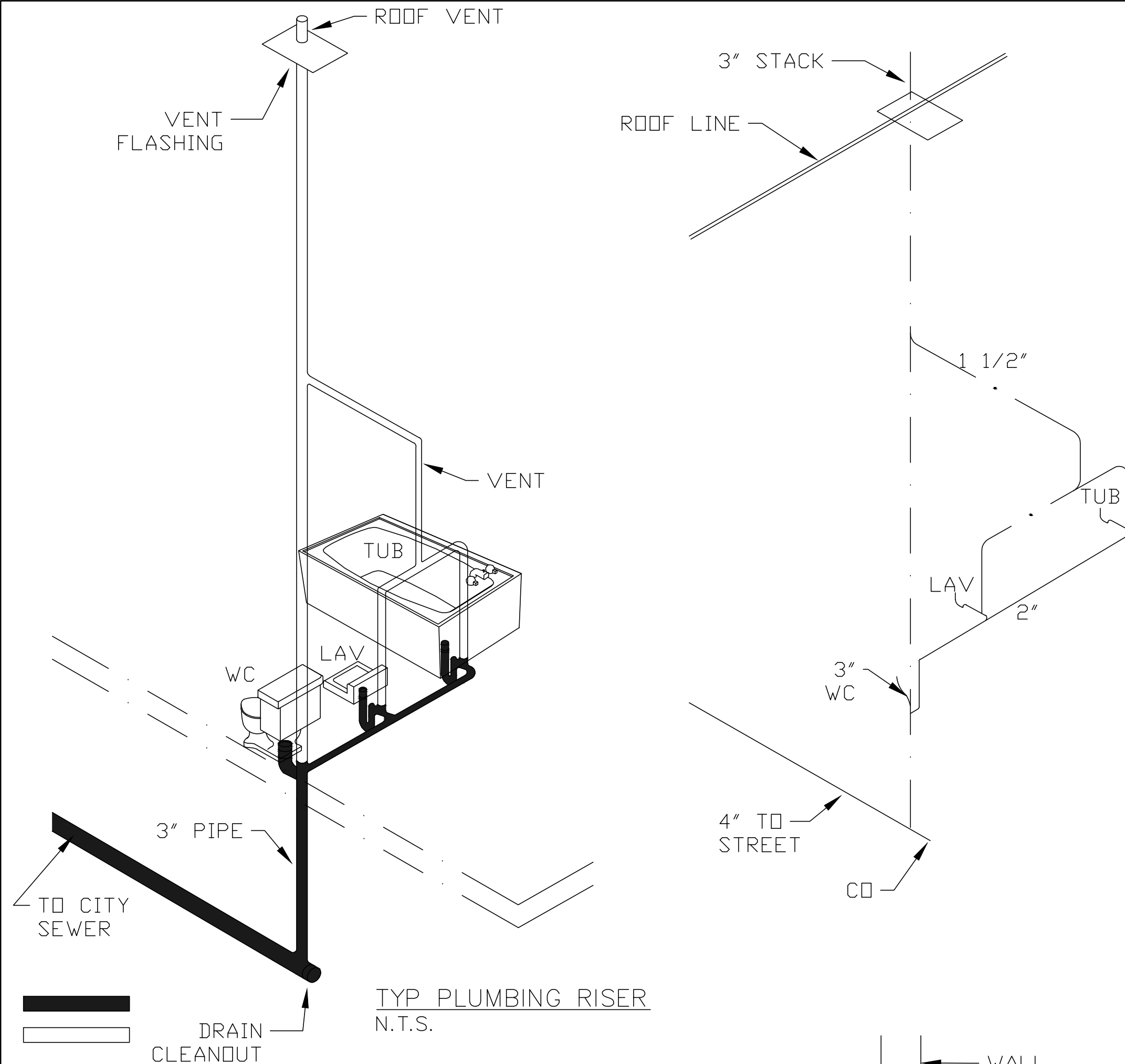
DATE	COMMENTS
08/01/2025	PERMIT SUBMITTAL
SUBMITTAL	

310 AVENUE I DALLAS, TX 75203 PLUMBING ROUGH
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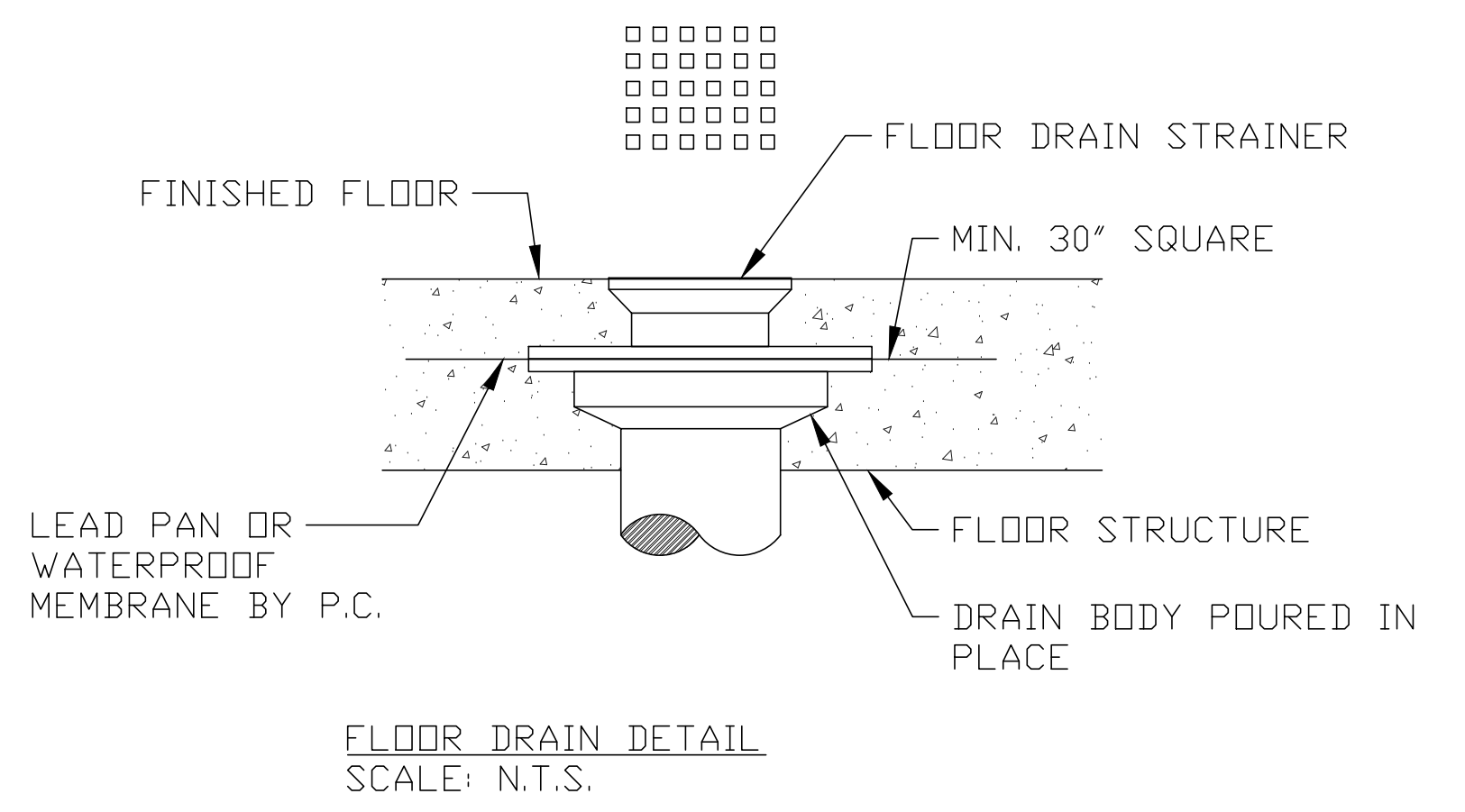
SHEET
P1.1



01 PLUMBING ROUGH
Scale: 1/4" = 1'-0"



- PLUMBING GENERAL NOTES**
- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
 - ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
 - EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
 - SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOIST, ETC. BEFORE DRILLING.
 - ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
 - WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
 - PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
 - ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
 - ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
 - INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
 - PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
 - PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
 - COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.



- GREEN/ENERGY CODE COMPLIANCE OUTLINE**
- WATER EFFICIENCY:**
 - ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - ALL TOILETS TO BE 1.3 GAL./PER FLUSH OR DUAL FLUSH OR WATER SENSE
 - STORM WATER :**
 - 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
 - POLY SEAL :**
 - WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
 - SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
 - ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
 - ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
 - BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
 - DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT^3/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
 - EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
 - INSULATION :**
 - 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
 - ALL PIER AND BEAM/RAISED FLOORS MUST BE INSULATED WITH R-19 INSULATION OR HIGHER
 - EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R-5 CONTINUOUS OR R-13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
 - ALL EXTERIOR WALLS MUST BE INSULATED WITH R-20 CAVITY OR R-13 CAVITY WITH R-5 CONTINUOUS INSULATION OR HIGHER
 - CEILINGS MUST BE INSULATED WITH R-49 IF THERE IS ATTIC SPACE AND R-30 IF NO ATTIC SPACE (CATHERDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
 - ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
 - HVAC/SERVICE WATER :**
 - ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R-8 DUCTING
 - MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R-13 INSULATION
 - WINDOWS AND DOORS :**
 - MUST HAVE A U-FACTOR OF 32 OR LESS
 - MUST HAVE A SHGC OF 25 OR LESS
 - LIGHTING :**
 - ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
 - MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

NOTE TO CONTRACTOR: N.S.P.C. 10.16.7 REQUIRES: WHERE A HOT WATER STORAGE TANK OR INDIRECT WATER HEATER IS LOCATED AT AN ELEVATION ABOVE THE FIXTURE OUTLETS IN THE SYSTEM A VACUUM RELIEF VALVE SHALL BE INSTALLED ON THE STORAGE TANK.

LYLES HOME DESIGN
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310 AVENUE I
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PLUMBING NOTES AND DETAILS

SHEET
P1.2

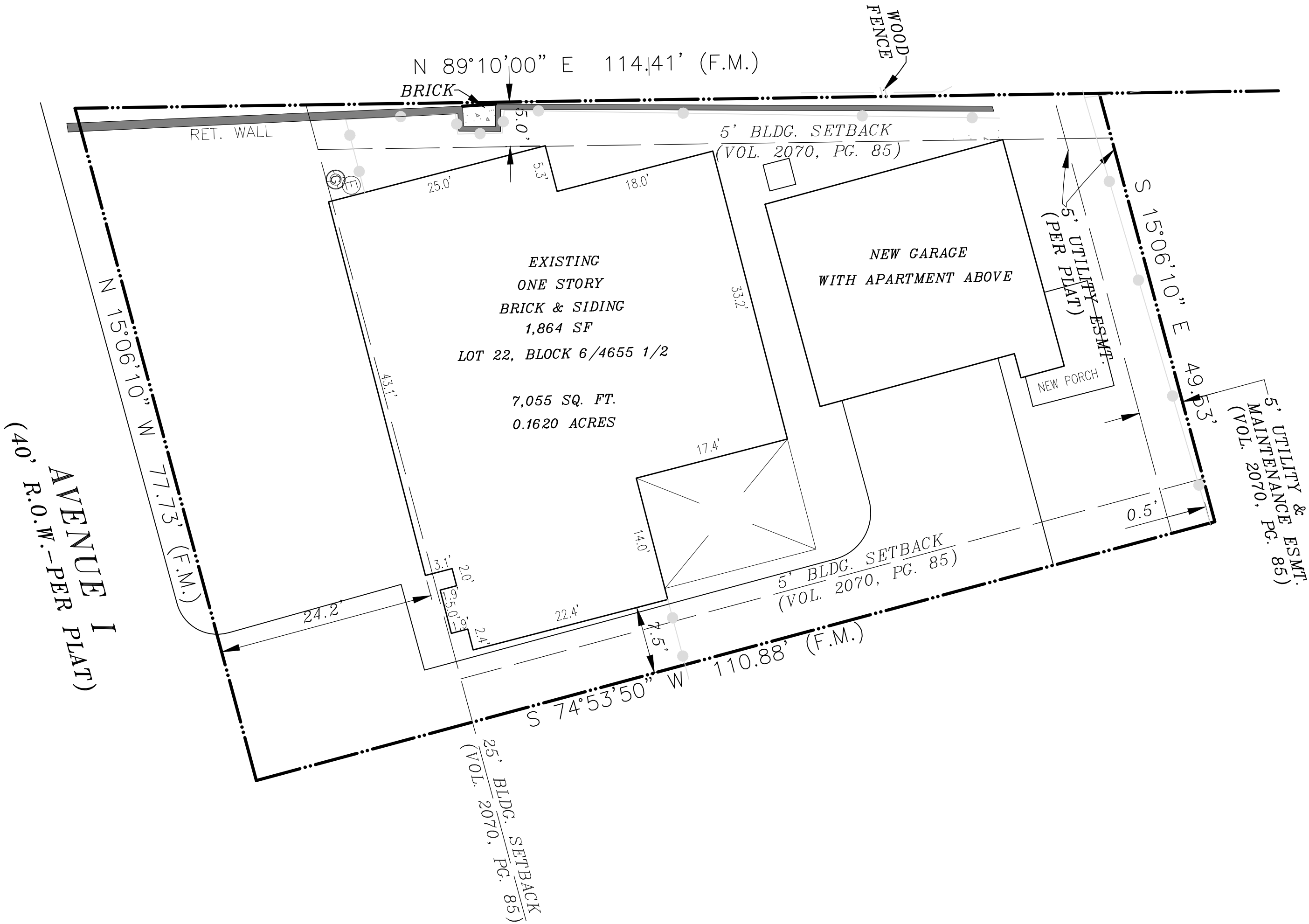


VICINITY MAP

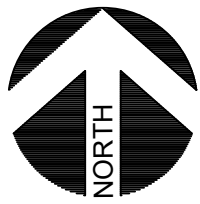
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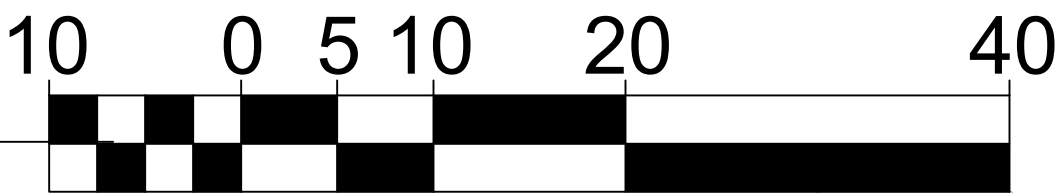
LOT AREA:	7,055 SF
EXISTING HOME:	1,966 SF FLOOR AREA AND FOOTPRINT (1864 SF + 102 SF BACK PORCH) 27% LOT COVERAGE
PROPOSED ADU:	792 SF FLOOR AREA INCLUDING 63 SF BALCONY AND PORCH 819 SF FOOTPRINT
TOTAL PROPOSED FLOOR AREA:	2,758 SF
TOTAL PROPOSED LOT COVERAGE:	2,785 SF / 39.5%
MAX LOT COVERAGE:	45%
MAX. PERCENTAGE FLOOR AREA OF ACCESSORY:MAIN	25%
PROPOSED PERCENTAGE FLOOR AREA OF ACCESSORY:MAIN	40%
OVERALL HEIGHT OF HOME:	APPROX. 17 FT
PROPOSED HEIGHT OF ADU:	24'9"



1

SITE PLAN

SCALE: 1" = 10'-0"



ERIN BROOKE BISHOP FREDI
erin@ebrooke.com

310 AVENUE I
DALLAS, TEXAS

9/16/2025

PROJECT NUMBER

CASE NUMBER

BUZZ URBAN PLANNING, LLC
JENNIFER HIROMOTO
469.275.2414
jennifer@buzzurbanplanning.com

