

## Record Summary for Board of Adjustments

### Record

Record #	Status	Opened Date
BOA-25-000103	In Review	12/24/2025

### Application Name

### Detailed Description

9' height variance to allow a 45' tall structure where the maximum height is 36 feet for a country club use in R1/2ac(A) zoning.

### Assigned To Department

Board of Adjustment

### Assigned to Staff

Diana Barkume

### Record Type

Board of Adjustments

### Custom Fields

#### INTERNAL USE ONLY

Source of Request	Self
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	84.991

#### PDOX INFORMATION

PDox Number	-
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#### PROPERTY INFORMATION

Existing Zoning	R-1/2ac(A)
Lot Number	Tr
Lot Size (Acres)	84.991
Block Number	7432
Lot Size (Sq. Ft)	3702207
How many streets abut the property?	1
Land Use	Country club
Is the property platted?	No
Status of Project	Proposed
Status of Property	Owner Occupied
Previous Board of Adjustment case filed on this property	-
Accommodation for someone with disabilities	No
File Date	12/24/2025
Seleccione si necesitara un interprete	-
Case Number	-
Are you applying for a fee waiver?	No

Have the standards for variance and or special exception been discussed?	Yes
Has the Notification Sign Acknowledgement Form been discussed?	Yes
Referred by	self

## Custom Lists

### Board of Adjustment Request

1		
	Type of Request	Variance
	Request Description	Height
	Application Type	Multifamily or nonresidential variance
	Affirm that an appeal has been made for	a 9' height variance to allow a 45' tall structure where the maximum height is 36 feet.
	Application is made to BOA to grant the described appeal	The property is somewhat sloped, including 10' of fall around the existing/proposed clubhouse. The proposed clubhouse will be rebuilt in the same footprint to preserve existing mature trees. Maintaining the clubhouse in the existing footprint is in the public interest so that it does not impact surrounding single family uses.

### Case Information

1		
	Full Request	height
	Brief Request	height
	Zoning Requirements	height
	Relevant History	fence height and parking fence height
	BOA History	Yes
	BOA History Details	fence height and parking fence height

### GIS Information

1		
	Census Tract Number	6.58
	Council District	11

### Street Frontage Information

1		
	Street Frontage	Front
	Linear Feet (Sq. Ft)	2770

## Contact Information

Name	Organization Name	Contact Type	Phone
Buzz Urban	Buzz Urban Planning LLC	Applicant	4692752414
Email: permits@buzzurbanplanning.com			
PO Box 38586, Dallas, TX 75238			

Name	Organization Name	Contact Type	Phone
Beth Greeson	NORTHWOOD CLUB	Property Owner	9723836213
Email: BGreeson@northwoodclub.org			
6524 ALPHA RD, ATTN: BETH GREESON, DALLAS, TEXAS 752403541			

### Address

6524 ALPHA RD, Dallas, TX 75240

### Parcel Information

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000073244200000							
0							

### Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Y	NORTHWOOD CLUB	6524 ALPHA RD, DALLAS, TEXAS 752403541	

### Status History

Status	Comment	Assigned Name	Status Date
Payment Due		Diana Barkume	12/30/2025
In Review	Updated By Script	Accela Administrator	12/30/2025
In Review		Anna Brickey	12/31/2025



Appeal number: BDA \_\_\_\_\_

I, Northwood Club, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 6524 Alpha Road  
(Address of property as stated on application)

Authorize: Jennifer Hiromoto, Buzz Urban Planning  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

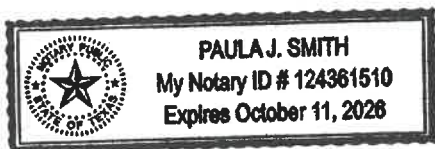
- ☒ Variance (specify below)  
\_\_\_\_ Special Exception (specify below)  
\_\_\_\_ Other Appeal (specify below)

Specify: Height

Beth C. Greeson, CFO Beth C. Greeson  
Print name of property owner or registered agent Signature of property owner or registered agent  
agent Date 12/11/25

Before me, the undersigned, on this day personally appeared  
BETH C. GREESON

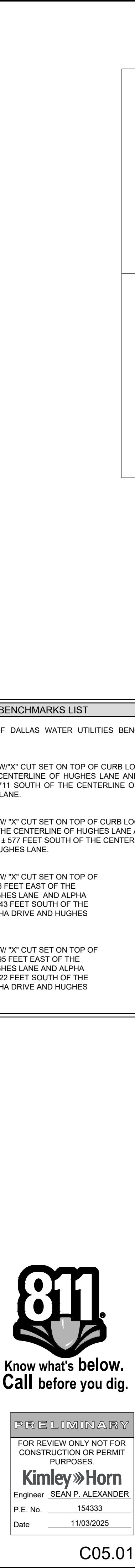
Who on his/her oath certifies that the above statements are true and correct to his/her best  
knowledge. Subscribed and sworn to before me this 11th day of  
December, 2025



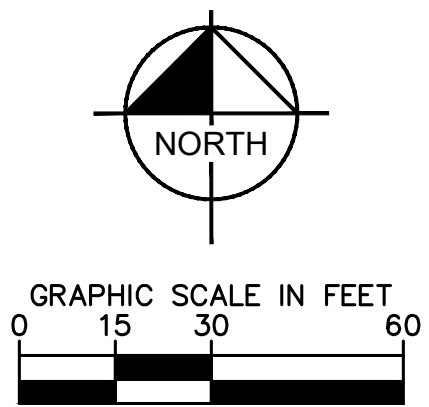
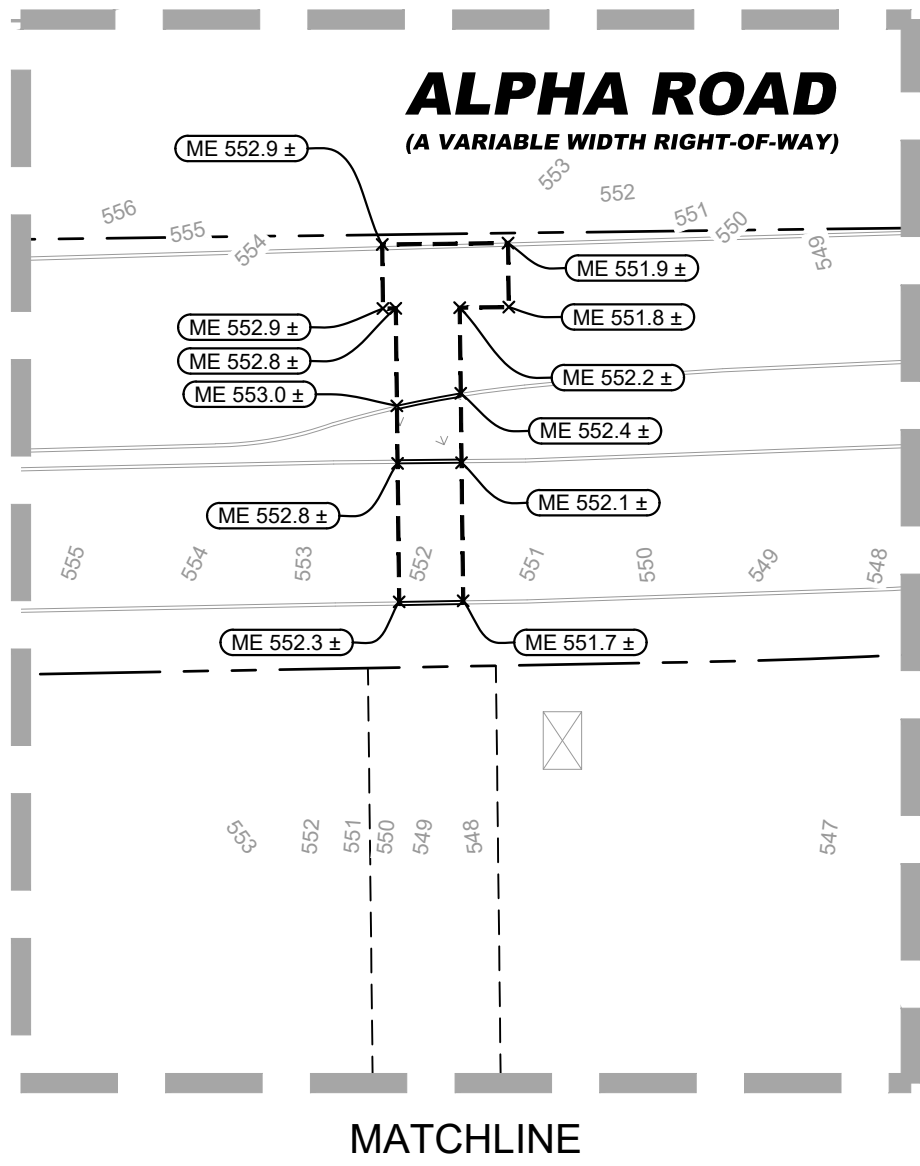
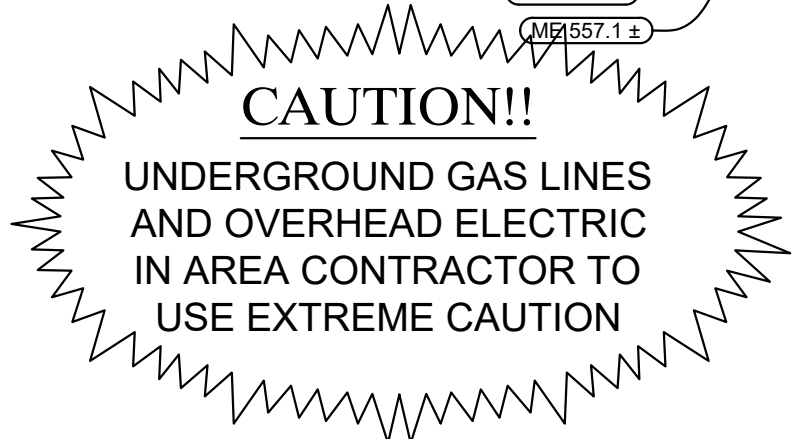
Paula J. Smith  
Notary Public for Dallas County,  
Texas










Commission expires on  
10/11/26









LEGEND	
PROPERTY LINE	
GUTTER SPOT OR TOP OF GROUND ELEVATION, UNLESS OTHERWISE NOTED	 607.15
MATCH EXISTING ELEVATION	 ME 607.1s
TOP OF GRATE ELEVATION	 TG 607.30
TOP OF CURB ELEVATION	 TC 607.30
TOP OF WALL ELEVATION	 607.30 TW 606.30 BW
BOTTOM OF WALL ELEVATION	
FINISH FLOOR ELEVATION	FFE 620.40
PROPOSED CONTOURS	636
EXISTING CONTOURS	636
PROPOSED HIGH POINT	
PROPOSED SWALE LINE	
PROPOSED FLOW ARROW	
PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR DETAILS)	

- ### NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL SPOT ELEVATIONS REFERENCE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  3. CONTRACTOR TO CONFIRM THAT ALL EXISTING AND PROPOSED SIDEWALKS AND BARRIER FREE RAMPS COMPLY WITH TAS AND ADA. IF EXISTING BARRIER FREE RAMPS AT DRIVE APPROACHES DO NOT MEET TAS/ADA STANDARDS, THEY WILL NEED TO BE REPLACED. IF BOTH BARRIER FREE RAMPS AT A DRIVE APPROACH NEED TO BE REPLACED, THE ENTIRE DRIVEWAY RAMP PORTION WITHIN PUBLIC RIGHT-OF-WAY WILL NEED TO BE REBUILT. FOR ANY QUESTIONS, CONTACT CIVIL ENGINEER IMMEDIATELY.
  4. GRADES IN ALL SIDEWALK, ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSINGS, SHALL CONFORM TO ALL APPLICABLE A.D.A. AND T.A.S. STANDARDS. NO TO EXCEED 5.0% AT ANY TRAVEL PATH WITH NOT MORE THAN 2.0% CROSS SLOPE. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT ELEVATIONS.
  5. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH EXISTING FINISHED GRADES IF IN PRESSURE.
  6. REFER TO SCHEDULE TO EXIST AND TO BE DONE GRADING IN SOFTSCAPE AREAS.
  7. THIS PLAN IS FOR SITE GRADING ONLY. SEE ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR SLAB ELEVATIONS TO BE USED FOR FOUNDATION CONSTRUCTION.

ANY EXISTING UNDERGROUND UTILITIES EXIST IN THE AREA. THE UTILITIES SHOWN ON THIS PLAN ARE FROM SURVEY AND AVAILABLE PLANS ONLY-THE INFORMATION IS VERY UNLIKELY TO BE COMPLETE OR PRECISE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO UTILITIES DUE TO DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

<u>CONTRACT INFORMATION</u>	
CONTRACT NO. _____	DATE _____
CONTRACTOR _____	

REVISIONS			
REV NO.	DATE	DESCRIPTION	BY

**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC. TX F-928 PH: 972-770-1300 FAX: 972-239-3820  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TEXAS 75240  
WWW.KIMLEY-HORN.COM

PLAT NO.	BLDG PERMIT NO.	DEV ENGINEERING TRACKING NOS.	
		WWXX-XXXX	DPXX-XXXX

## GRADING PLAN

# NORTHWOOD CLUB

SOUTHEAST CORNER OF ALPHA RD & HUGHES LN

## DEVELOPMENT SERVICES

CITY OF DALLAS, DALLAS COUNTY, TEXAS

REVIEWED BY:	DRAWN BY:	DATE	FILE	NUMBER	SHEET
SPA	AJP	11/03/2025			C07.01

C07.01

**PRELIMINARY**  
FOR REVIEW ONLY NOT FOR  
CONSTRUCTION OR PERMIT  
PURPOSES.

**Kimley»Horn**

Engineer SEAN P. ALEXANDER

P.E. No. 154333

Date 11/03/2025

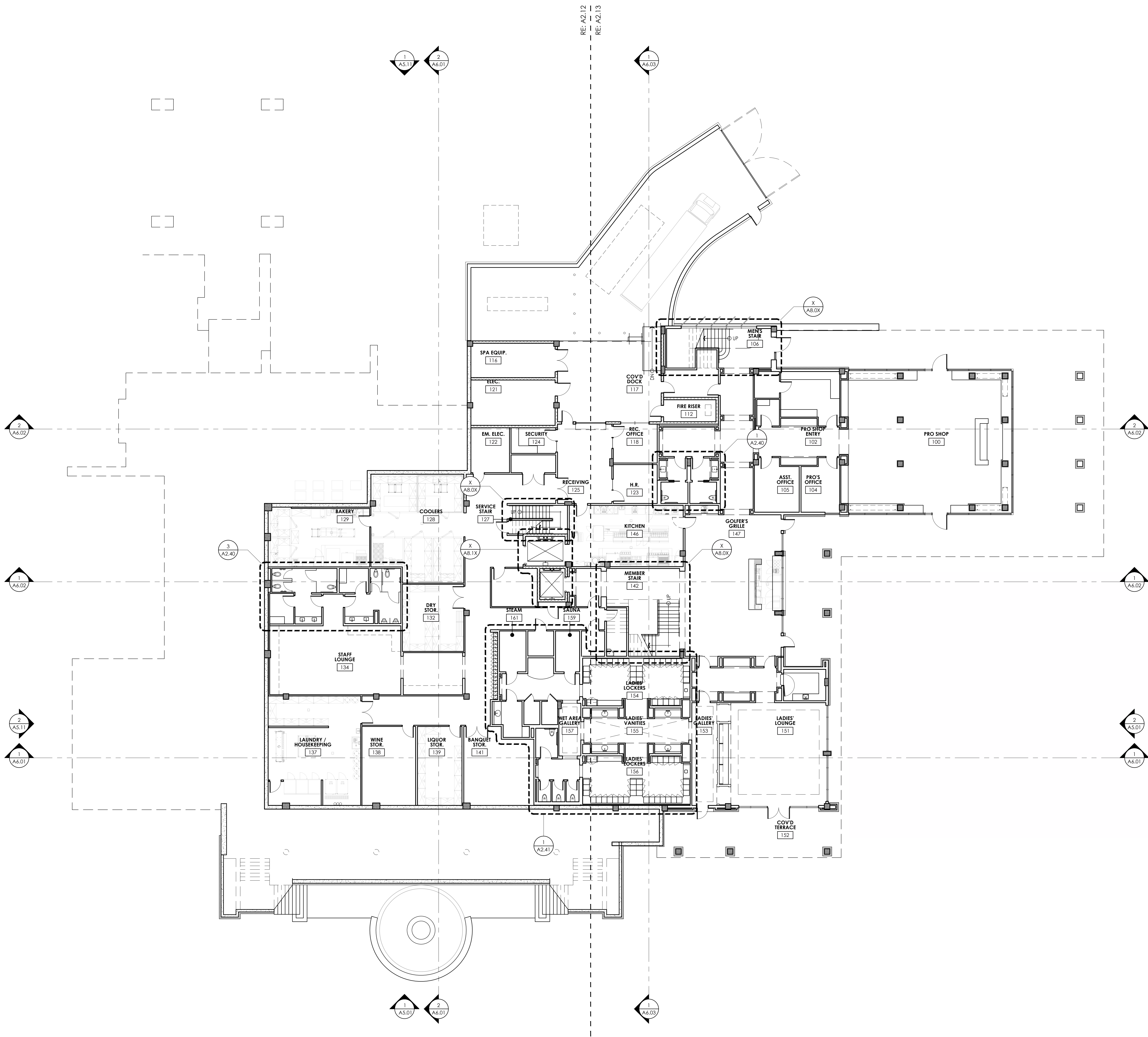
Know what's **below**.  
**Call** before you dig.



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No. 30 - 2025 - 0404  
P:\Active Projects\Northwood Club\Drawings\01 Clubhouse\SheetA2.11 Overall Floor Plan - Lower Level.dwg



OVERALL FLOOR PLAN - LOWER LEVEL

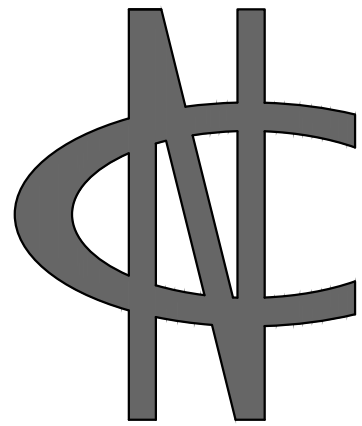
3/32" = 1'-0"

1

CITY APPROVAL STAMP AREA

FLOOR PLAN GENERAL NOTES

1. DIMENSIONS SHOWN ARE FROM FACE OF FINISH U.N.O.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS, WALL TYPES, ETC., ARE NOT SHOWN, REFER TO ENLARGED PLANS.
3. ALL WINDOW/DOOR DIMENSIONS ARE TO CENTER OF WINDOW/DOOR U.N.O. COORDINATE MASONRY AND ROUGH OPENING DIMENSIONS WITH ASSOCIATED DOOR AND WINDOW DETAILS AND PRIOR TO CONSTRUCTION.
4. REFER TO CODE SHEETS FOR LOCATIONS OF WALL MOUNTED & RECESSED FIRE EXTINGUISHER(S).
5. DOOR FRAMES TO BE LOCATED 4" FROM CORNER IN STUD FRAMING AND 8" FROM CORNER IN CMU OF INTERSECTING WALL U.N.O.
6. WHERE PLYWOOD IS ADDED FOR SHEAR ON PARTIAL WALL, REMAINDER OF WALL SHALL HAVE SIMILAR SHEATHING TO PROVIDE FLUSH WALL SURFACE. RE: STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
7. REFER TO SLAB DEPRESSION PLAN FOR SLAB ELEVATIONS, DEPRESSIONS, SLOPES, DRAINS, AND ADDITIONAL SLAB INFO.
8. FIELD VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
9. REFER TO CODE SHEETS FOR FIRE-RATED WALL LOCATIONS.
10. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL OR CROSS BRACING LOCATIONS.
11. REFER TO MILLWORK PLANS FOR MILLWORK LOCATIONS & SCOPE.
12. REFER TO WALL TYPE SCHEDULE FOR WALL ASSEMBLIES.
13. REFER TO DOOR & HARDWARE SCHEDULE FOR DOOR TYPES.
14. REFER TO WINDOW SCHEDULE FOR WINDOW TYPES. REFER TO BUILDING ELEVATIONS FOR WINDOWS NOT SHOWN ON FLOOR PLANS.
15. REFER TO FINISH PLANS & SCHEDULES FOR FINISHES.
16. INSULATION AT EXTERIOR ENVELOPE SHALL AT A MINIMUM COMPLY WITH COMCHECK EVALUATION FOR THIS PROJECT.



CLUBHOUSE

INTERIM REVIEW  
DOCUMENTS

THIS DESIGN DOCUMENT  
IS FOR REVIEW AND COMMENT ONLY. IT IS NOT TO BE  
USED FOR REGULATION, PERMIT, PRICING OR  
CONSTRUCTION.  
DATE: 10.03.25  
BY: [Signature]

DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

OVERALL FLOOR PLAN -  
LOWER LEVEL

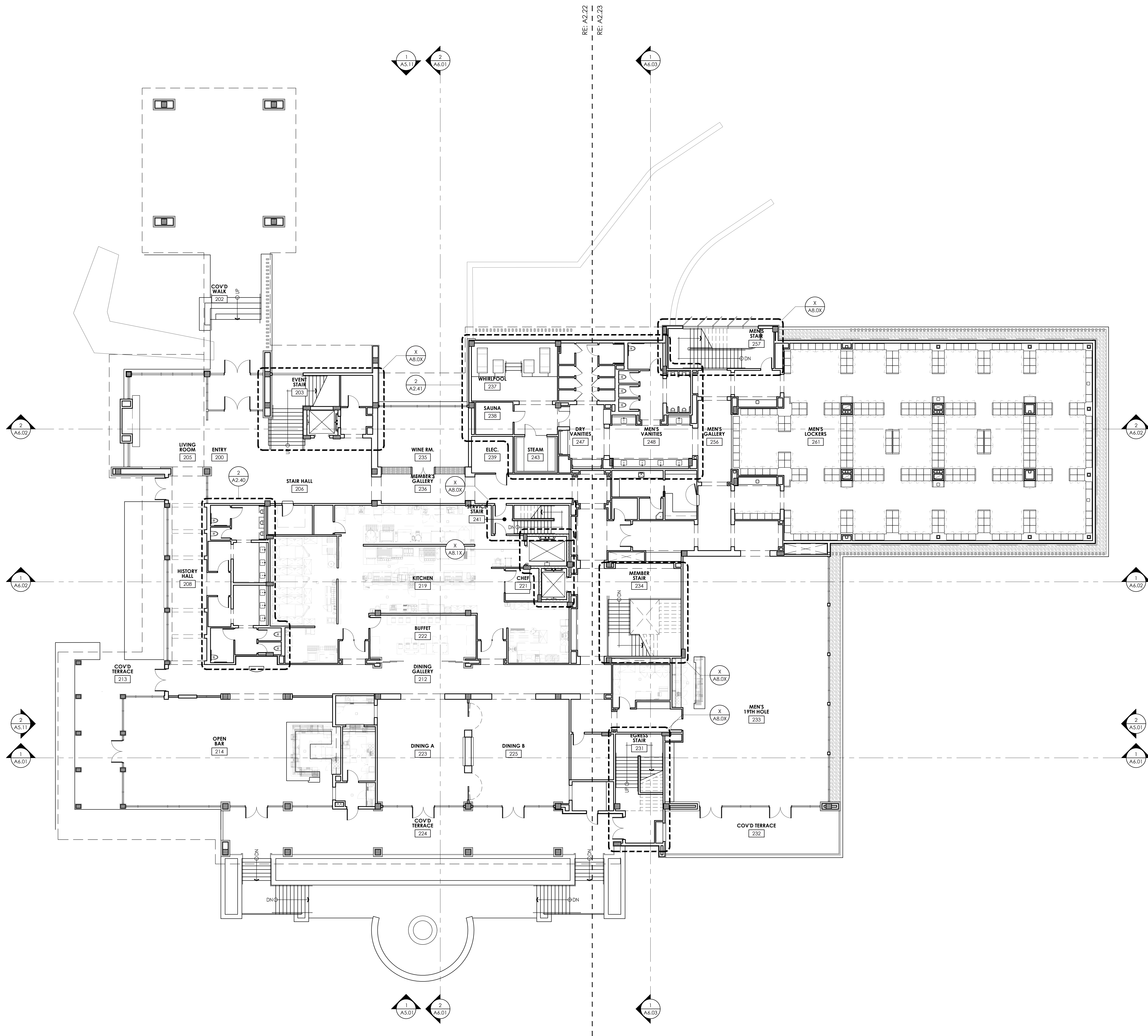
A2.11



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No. 30 - 2025 - 0124M  
P:\Active Projects\Northwood Club\Drawings\01 Clubhouse\Sheet\A2.21 OVERALL FLOOR PLAN - MAIN LEVEL.dwg



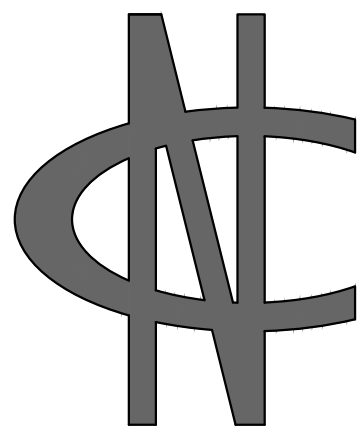
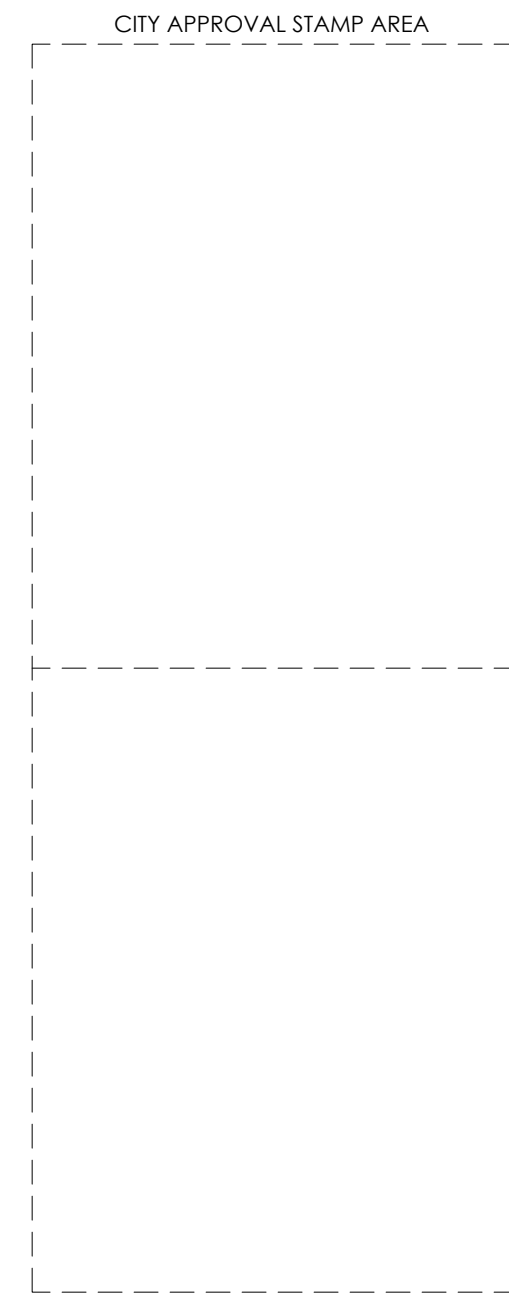
OVERALL FLOOR PLAN - MAIN LEVEL

3/32" = 1'-0"

1

FLOOR PLAN GENERAL NOTES

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2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS, WALL TYPES, ETC. ARE NOT SHOWN, REFER TO ENLARGED PLANS.
3. ALL WINDOW/DOOR DIMENSIONS ARE TO CENTER OF WINDOW/DOOR U.N.O. COORDINATE MASONRY AND ROUGH OPENING DIMENSIONS WITH ASSOCIATED DOOR AND WINDOW DETAILS AND PRIOR TO CONSTRUCTION.
4. REFER TO CODE SHEETS FOR LOCATIONS OF WALL MOUNTED & RECESSED FIRE EXTINGUISHER(S).
5. DOOR FRAMES TO BE LOCATED 4" FROM CORNER IN STUD FRAMING AND 8" FROM CORNER IN CMU OF INTERSECTING WALL U.N.O.
6. WHERE PLYWOOD IS ADDED FOR SHEAR ON PARTIAL WALL, REMAINDER OF WALL SHALL HAVE SIMILAR SHEATHING TO PROVIDE FLUSH WALL SURFACE. RE: STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.
7. REFER TO SLAB DEPRESSION PLAN FOR SLAB ELEVATIONS, DEPRESSIONS, SLOPES, DRAINS, AND ADDITIONAL SLAB INFO.
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CLUBHOUSE

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TX REGISTRATION NO.: 24872

DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

OVERALL FLOOR PLAN -  
MAIN LEVEL

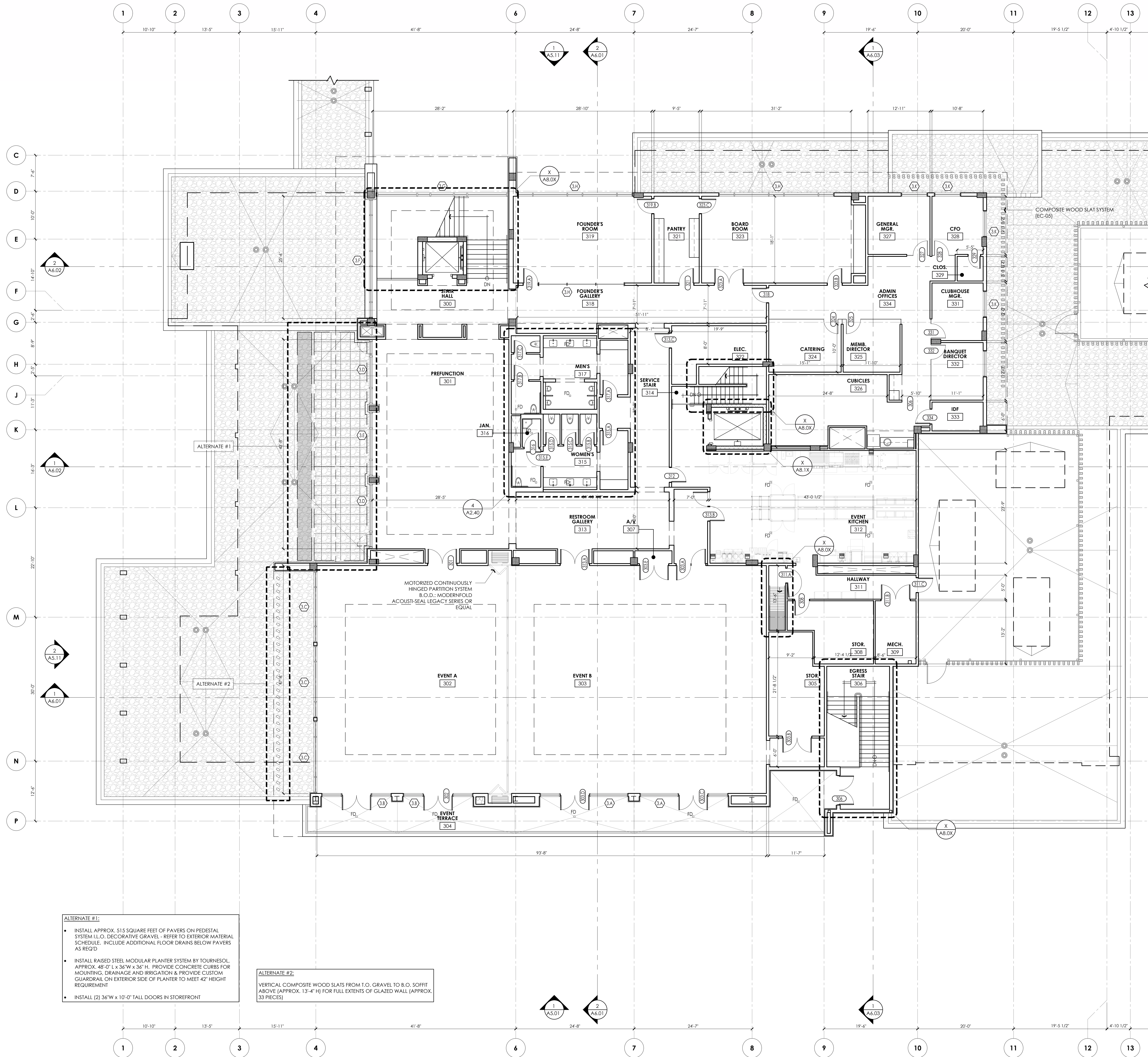
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No. 30 - 2025 - 0004  
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**ALTERNATE #1:**

- INSTALL APPROX. 515 SQUARE FEET OF PAVERS ON PEDESTAL SYSTEM (I.L.O. DECORATIVE GRAVEL - REFER TO EXTERIOR MATERIAL SCHEDULE. INCLUDE ADDITIONAL FLOOR DRAINS BELOW PAVERS AS REQ'D.
- INSTALL RAISED STEEL MODULAR PLANTER SYSTEM BY TOURNESOL, APPROX. 48'-0" L x 36" W x 36" H. PROVIDE CONCRETE CURBS FOR MOUNTING, DRAINAGE AND IRRIGATION & PROVIDE CUSTOM GUARDRAIL ON EXTERIOR SIDE OF PLANTER TO MEET 42" HEIGHT REQUIREMENT.
- INSTALL (2) 36" W x 10'-0" TALL DOORS IN STOREFRONT

**ALTERNATE #2:**

VERTICAL COMPOSITE WOOD SLATS FROM T.O. GRAVEL TO B.O. SOFFIT ABOVE (APPROX. 13'-4" H) FOR FULL EXTENTS OF GLAZED WALL (APPROX. 33 PIECES)

#### FLOOR PLAN SYMBOL LEGEND

- RE: PARTITION SCHEDULE FOR WALL ASSEMBLIES
- FRAMED WALLS, RE: WALL TYPES
  - C.I.P. CONCRETE WALL
  - CONCRETE MASONRY UNIT WALL
  - STONE VENEER
  - STRUCTURE ABOVE
  - NEW WINDOW/STOREFRONT ASSEMBLY
  - NEW DOOR & FRAME

#### FLOOR PLAN KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET

#### CLUBHOUSE

**INTERIM REVIEW DOCUMENTS**

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DATE: 10.03.25  
ISSUED FOR: 50% DESIGN DEVELOPMENT

DATE: 11.20.25  
ISSUED FOR: 100% DESIGN DEVELOPMENT

DATE: 10.03.25  
ISSUED FOR: 50% DESIGN DEVELOPMENT

DATE: 11.20.25  
ISSUED FOR: 100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

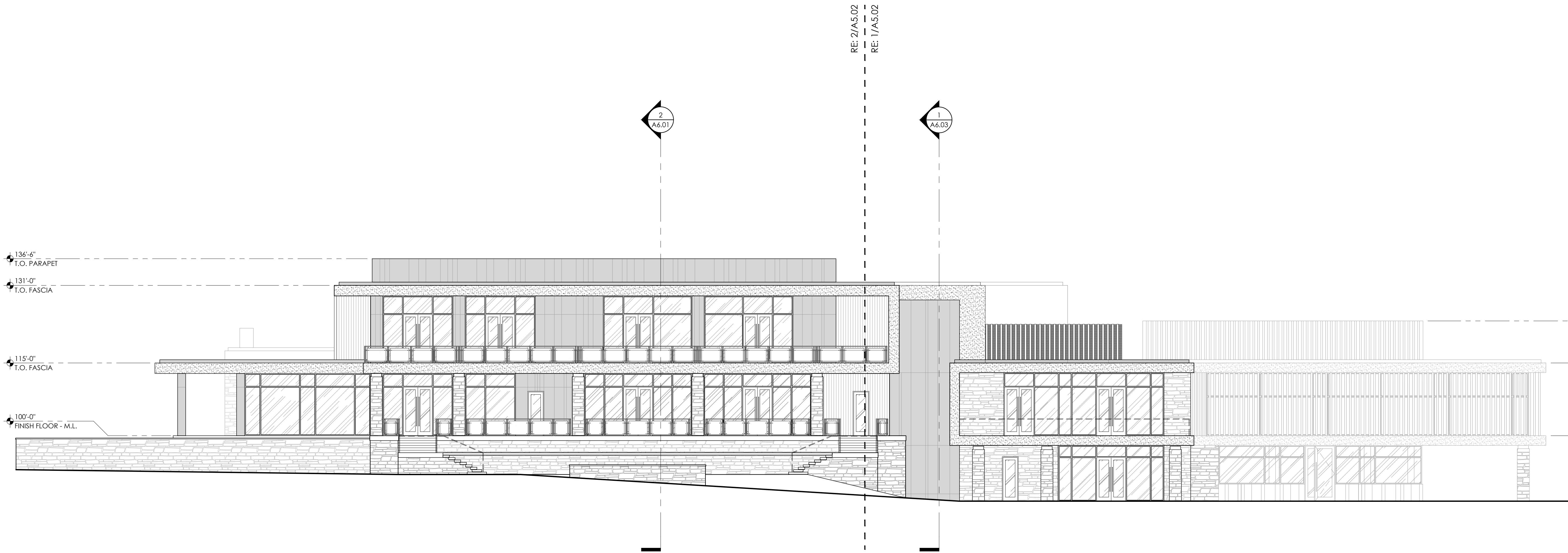
#### OVERALL FLOOR PLAN - UPPER LEVEL



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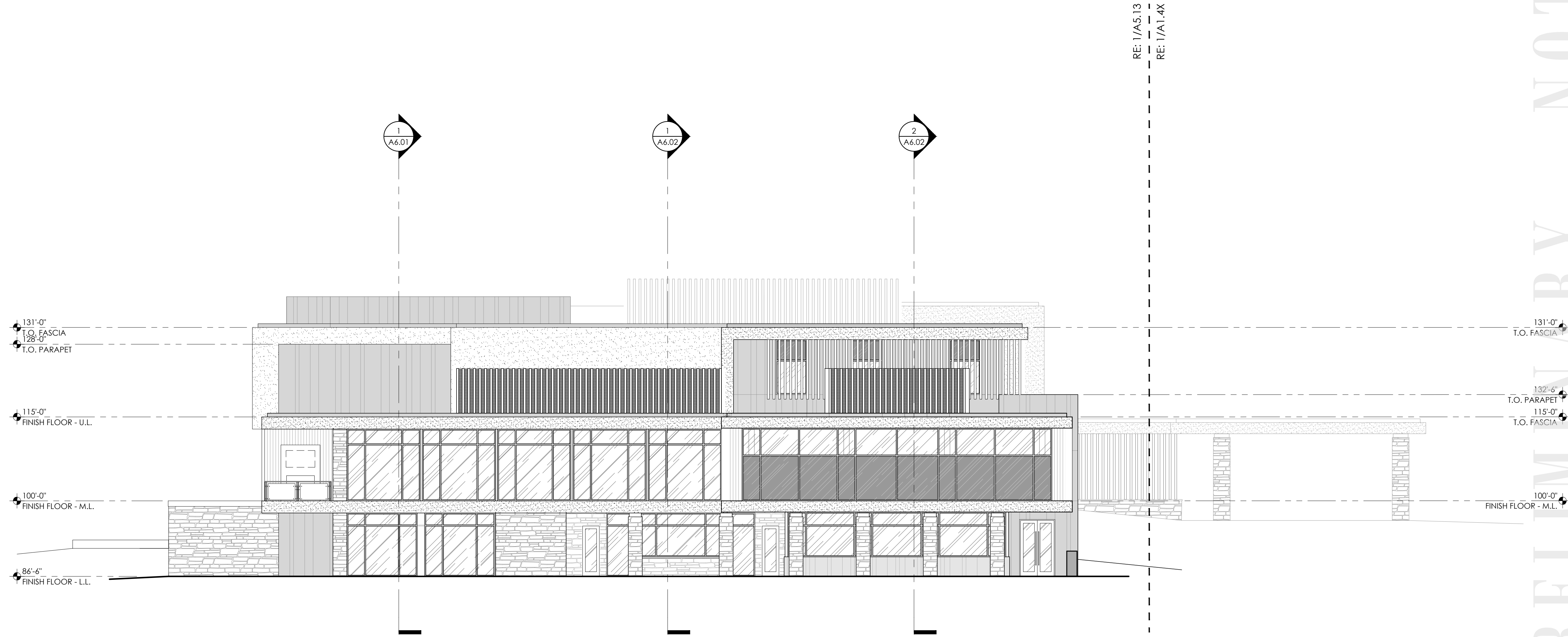
No. 30 - 2025 - 100M  
Please Refer to the Overall Exterior Elevations and



BUILDING ELEVATION - SOUTH

1

3/32" = 1'-0"



BUILDING ELEVATION - EAST

2

3/32" = 1'-0"

CITY APPROVAL STAMP AREA

ELEV. / SECT. GENERAL NOTES

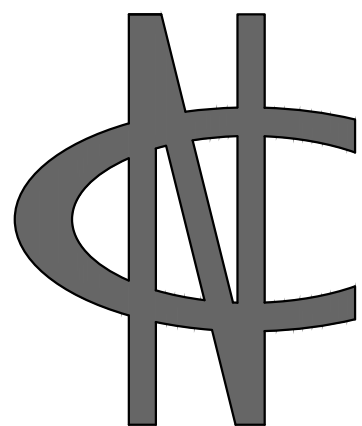
1. BUILDING ELEVATIONS AND SECTIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLANS, ROOF PLANS, WALL SECTIONS, ETC. FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
2. EXTERIOR FINISH MATERIALS AND TREATMENTS ARE NOT NOTED IN ALL LOCATIONS, WHERE A MATERIAL, SURFACE, OR SYSTEM IS DEFINED THE BALANCE SHALL BE CONSIDERED AS REPETITION.
3. REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC TYPE AND SIZE OF EXTERIOR WALL AND CEILING MOUNTED LIGHT FIXTURES.
4. REFER TO MOUNTING HEIGHT STANDARDS FOR TYPICAL WALL-MOUNTED DEVICE HEIGHTS AND ALIGNMENTS.
5. COORDINATE WITH CIVIL/LANDSCAPE FOR PERIMETER PAVING/GRADING TREATMENT AROUND BUILDING.
6. COORDINATE GUTTER AND DOWNSPOUT LOCATIONS WITH ROOF PLAN & OWNER.
7. GRADE LINES INDICATED ON ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL DRAWINGS FOR FINISH GRADE CONTOURS.
8. REFER TO APPROPRIATE SCHEDULES FOR SIZES AND CONFIGURATIONS OF DOORS, WINDOWS, LOUVERS, SHUTTERS, ETC.
9. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
10. ALL ELEVATION HEIGHTS (DATUMS) ARE IN RELATION TO 100'-0" FINISH FLOOR.

ELEV. / SECT. SYMBOL LEGEND

- |  |  |
|--|--|
|  | EC-03: 3-COAT STUCCO SYSTEM; RE: SPECS & EXTERIOR MATERIAL SCHEDULE  |
|  | EC-01: FULL THICKNESS STONE VENEER TO MATCH EXISTING BUILDING STONE  |
|  | EC-02: COMPOSITE WOOD SIDING SYSTEM WITH CONCEALED FASTENERS; RE: EXTERIOR MATERIAL SCHEDULE                             |
|  | EC-04: ACM RAINSCREEN PANEL SYSTEM   |
|  | EC-05: COMPOSITE WOOD SLATS; RE: EXTERIOR MATERIAL SCHEDULE (PREFINISHED PERFORATED METAL BACKING AT MECHANICAL SCREENS) |

ELEV. / SECT. KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET



CLUBHOUSE

INTERIM REVIEW  
DOCUMENTS

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DATE: 10.03.25  
TX REGISTRATION NO.: 24872

DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

OVERALL EXTERIOR  
ELEVATIONS

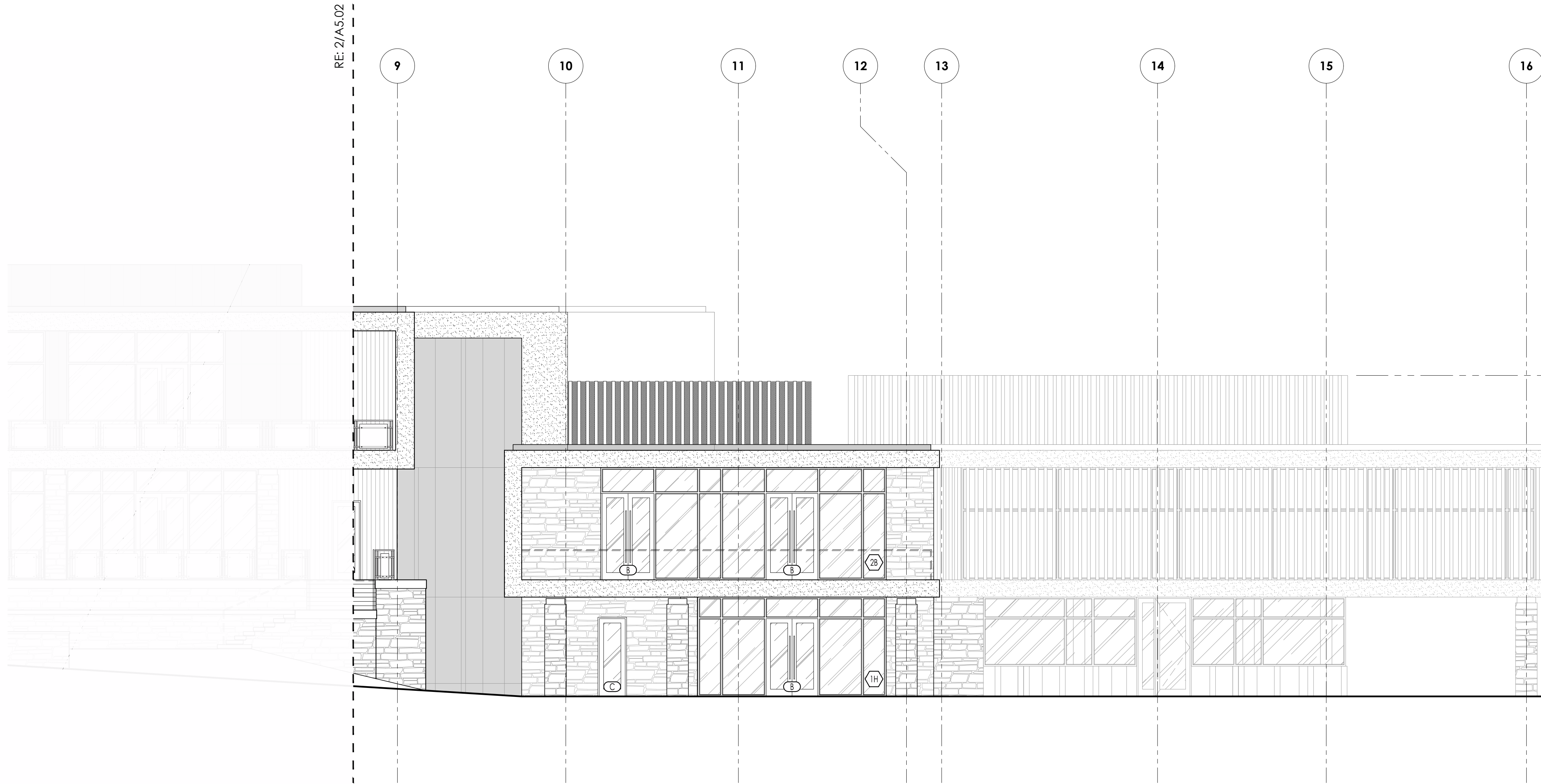
A5.01



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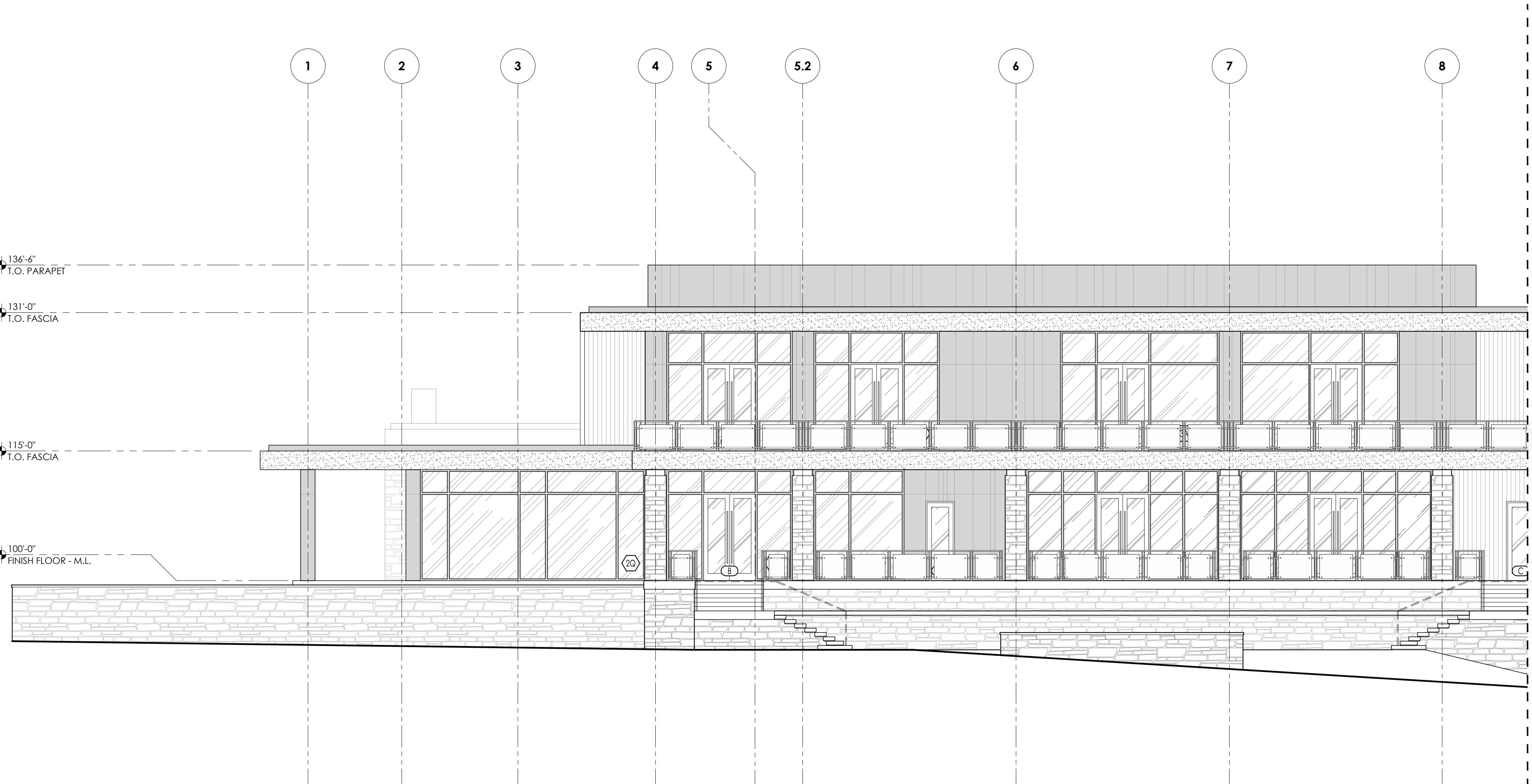
No. 30 - 2025 - 0004  
Partial Exterior Elevations Clubhouse



PARTIAL BUILDING ELEVATION - SOUTH

1/8" = 1'-0"

1



PARTIAL BUILDING ELEVATION - SOUTH

1/8" = 1'-0"

2

ELEV. / SECT. GENERAL NOTES

- BUILDING ELEVATIONS AND SECTIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLANS, ROOF PLANS, WALL SECTIONS, ETC. FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
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- REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC TYPE AND SIZE OF EXTERIOR WALL AND CEILING MOUNTED LIGHT FIXTURES.
- REFER TO MOUNTING HEIGHT STANDARDS FOR TYPICAL WALL-MOUNTED DEVICE HEIGHTS AND ALIGNMENTS.
- COORDINATE WITH CIVIL/LANDSCAPE FOR PERIMETER PAVING/GRADING TREATMENT AROUND BUILDING.
- COORDINATE GUTTER AND DOWNSPOUT LOCATIONS WITH ROOF PLAN & OWNER.
- GRADE LINES INDICATED ON ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL DRAWINGS FOR FINISH GRADE CONTOURS.
- REFER TO APPROPRIATE SCHEDULES FOR SIZES AND CONFIGURATIONS OF DOORS, WINDOWS, LOUVERS, SHUTTERS, ETC.
- COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
- ALL ELEVATION HEIGHTS (DATUMS) ARE IN RELATION TO 100'-0" FINISH FLOOR.

ELEV. / SECT. SYMBOL LEGEND

- |  |  |
|--|--|
|  | EC-03: 3-COAT STUCCO SYSTEM; RE: SPECS & EXTERIOR MATERIAL SCHEDULE  |
|  | EC-01: FULL THICKNESS STONE VENEER TO MATCH EXISTING BUILDING STONE  |
|  | EC-02: COMPOSITE WOOD SIDING SYSTEM WITH CONCEALED FASTENERS; RE: EXTERIOR MATERIAL SCHEDULE                             |
|  | EC-04: ACM RAINSCREEN PANEL SYSTEM   |
|  | EC-05: COMPOSITE WOOD SLATS; RE: EXTERIOR MATERIAL SCHEDULE (PREFINISHED PERFORATED METAL BACKING AT MECHANICAL SCREENS) |

ELEV. / SECT. KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET

CLUBHOUSE

INTERIM REVIEW  
DOCUMENTS

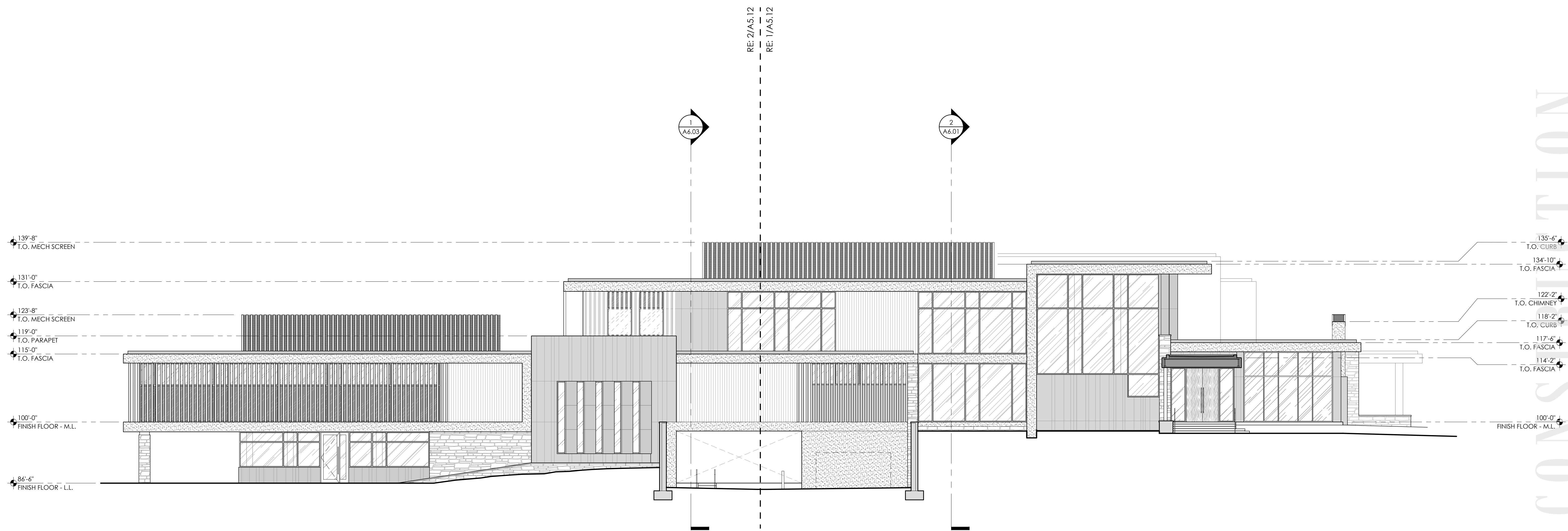
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CONSTRUCTION.  
DATE: 10.03.25  
TX REGISTRATION NO.: 24872

DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

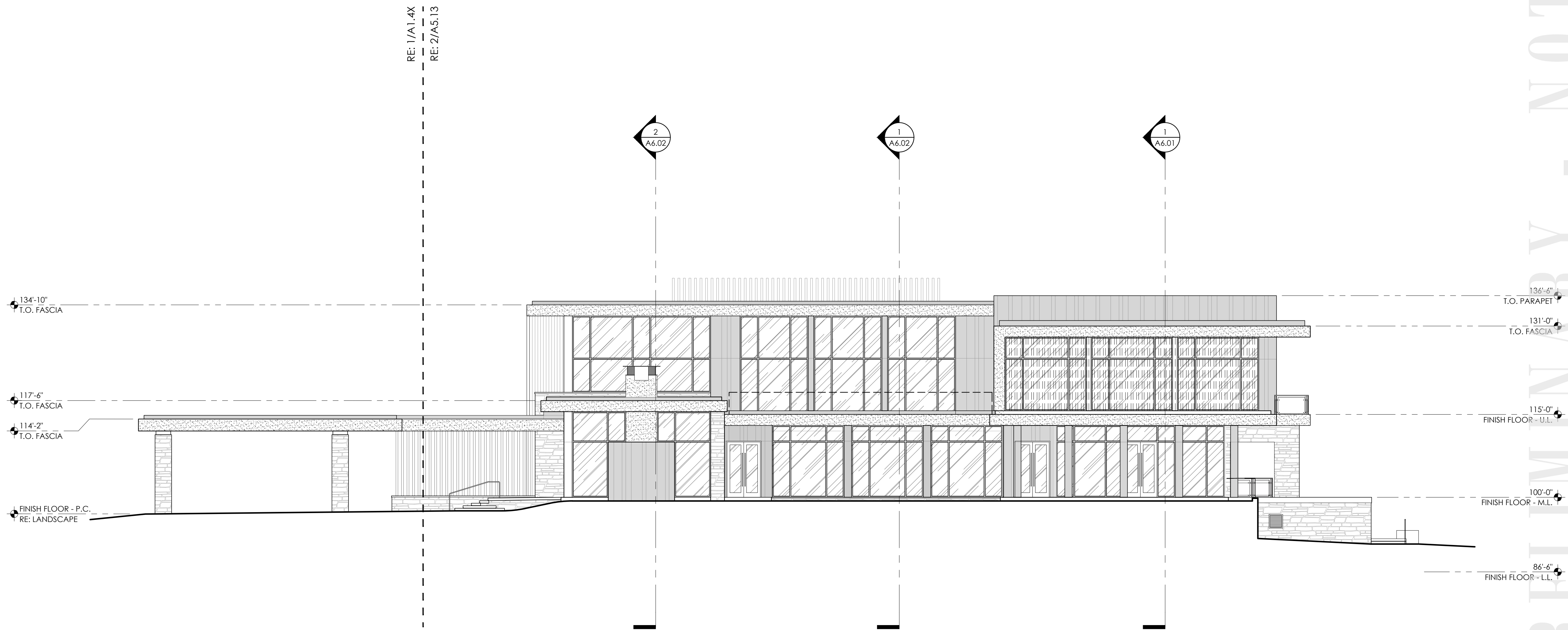
MAI PROJECT NO.:

PARTIAL EXTERIOR  
ELEVATIONS





### BUILDING ELEVATION - NORTH

$$3/32'' = 1'-0''$$


### BUILDING ELEVATION - WEST

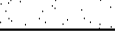


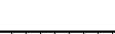

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3/32" = 1'-0"

**ELEV. / SECT. GENERAL NOTES**

1. BUILDING ELEVATIONS AND SECTIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLANS, ROOF PLANS, WALL SECTIONS, ETC. FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
2. EXTERIOR FINISH MATERIALS AND TREATMENTS ARE NOT NOTED IN ALL LOCATIONS, WHERE A MATERIAL, SURFACE OR SYSTEM IS DEFINED THE BALANCE SHALL BE CONSIDERED AS REPERATION.
3. REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC TYPE AND SIZE OF EXTERIOR WALL AND CEILING MOUNTED LIGHT FIXTURES.
4. REFER TO MOUNTING HEIGHT STANDARDS FOR TYPICAL WALL-MOUNTED DEVICE HEIGHTS AND ALIGNMENTS.
5. COORDINATE WITH CIVIL/LANDSCAPE FOR PERIMETER PAVING/GRADING TREATMENT AROUND BUILDING.
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9. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
10. ALL ELEVATION HEIGHTS [DATUMS] ARE IN RELATION TO 100.0' FINISH FLOOR.

### ELEV. / SECT. SYMBOL LEGEND

- |   |   |
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**ELEV. / SECT. KEYED NOTES**

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET

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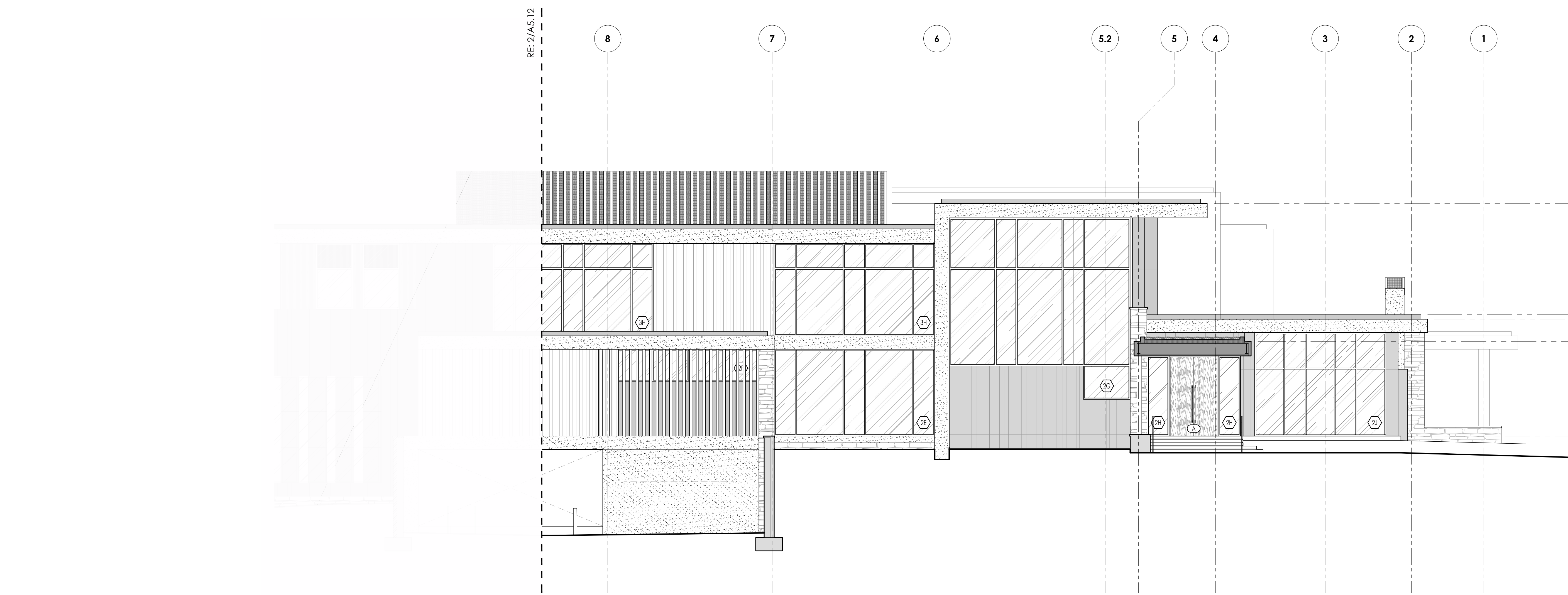
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P:\Active Projects\Northwood Club\01 Drawings\01 Clubhouse\Sheets\AS.11 OVERALL EXTERIOR ELEVATIONS.dwg



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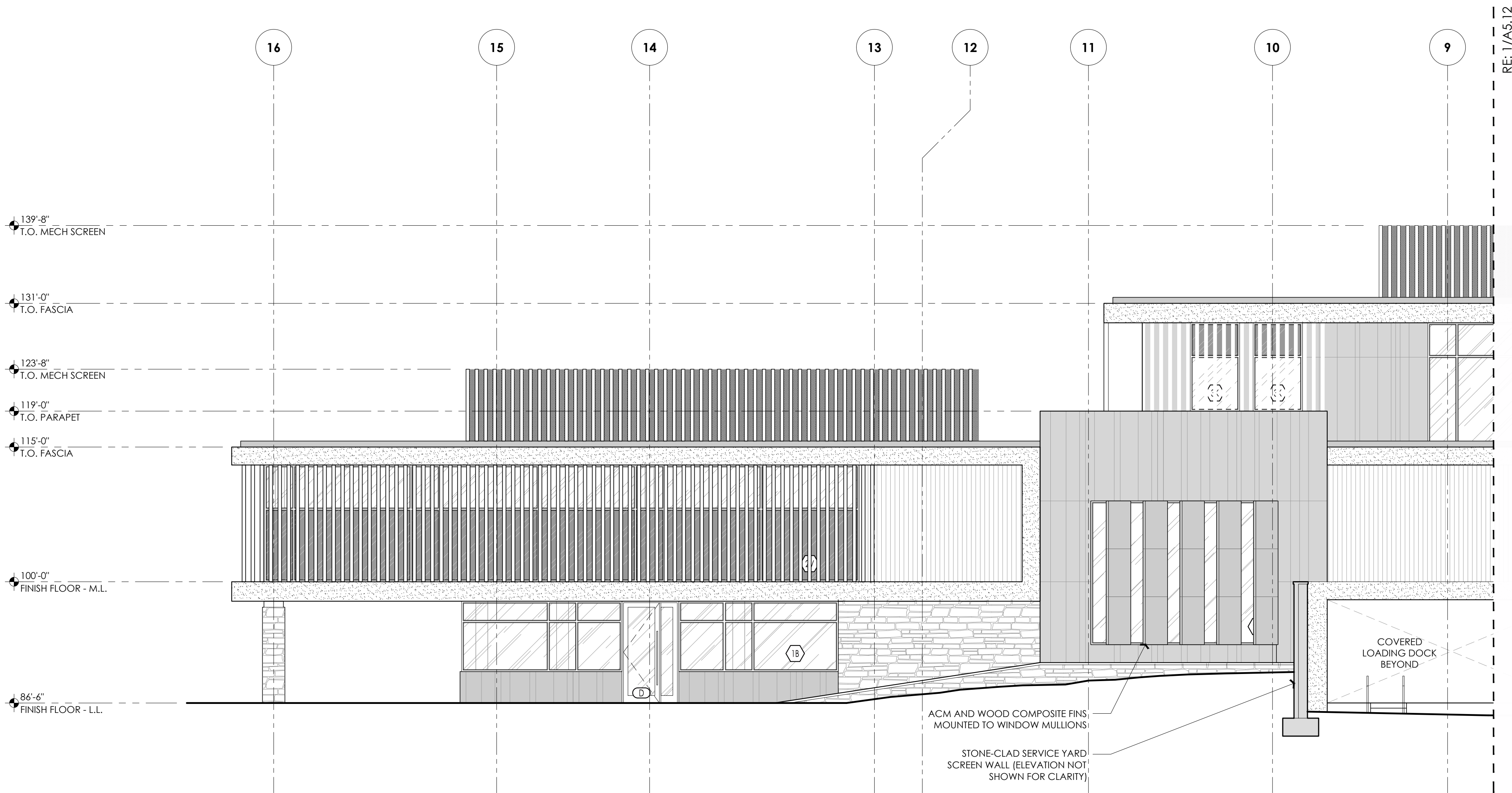
No. 30 - 2025 - 4.dwg  
Partial Exterior Elevations  
Partial Exterior Elevations



PARTIAL BUILDING ELEVATION - NORTH

1/8" = 1'-0"

1



PARTIAL BUILDING ELEVATION - NORTH

1/8" = 1'-0"

2

CITY APPROVAL STAMP AREA

#### ELEV. / SECT. GENERAL NOTES

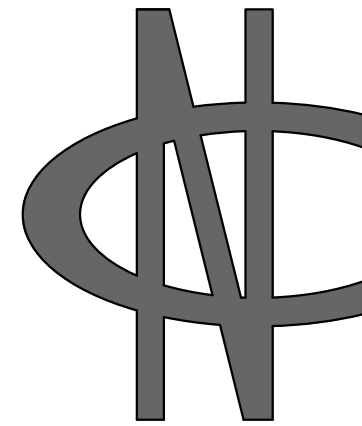
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#### ELEV. / SECT. KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET



#### CLUBHOUSE

##### INTERIM REVIEW DOCUMENTS

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DATE: 10.03.25

ISSUED FOR:

10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

#### PARTIAL EXTERIOR ELEVATIONS

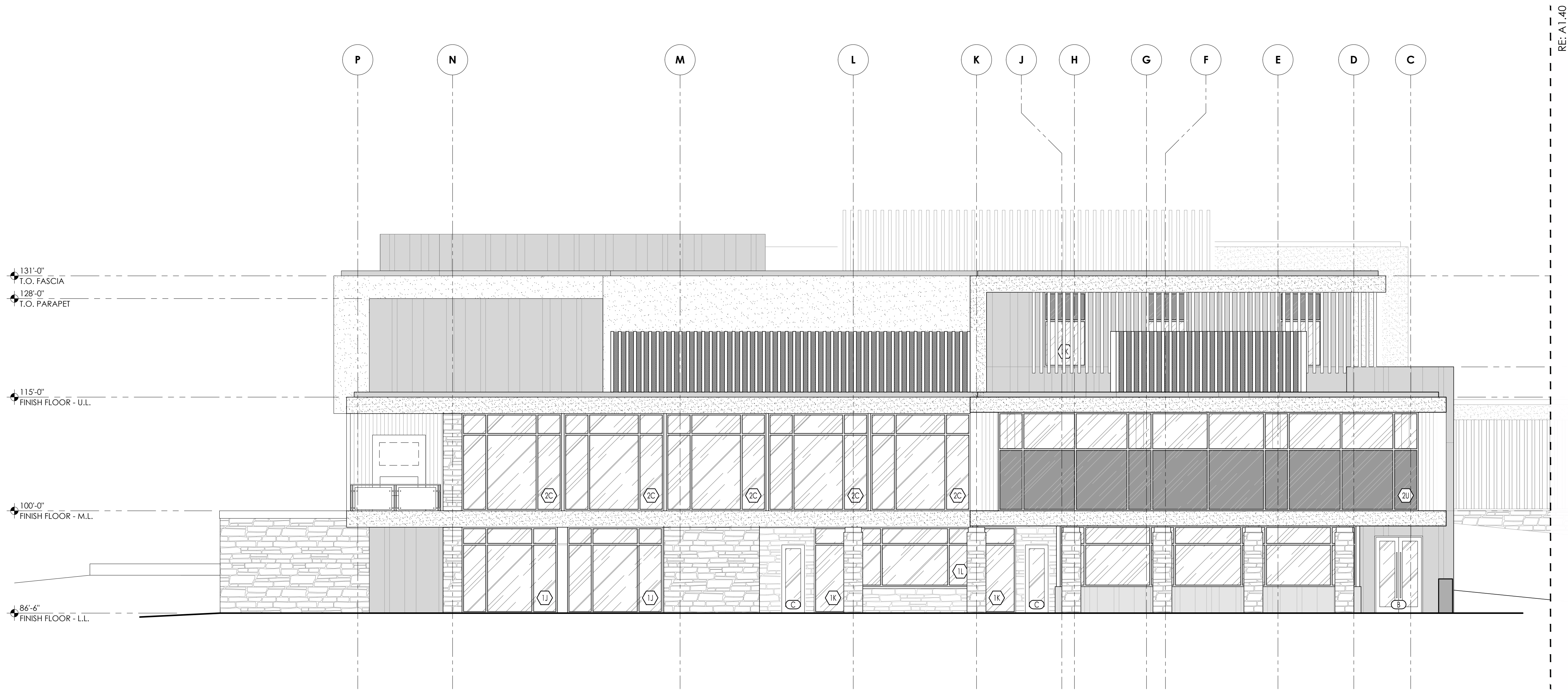
**A5.12**



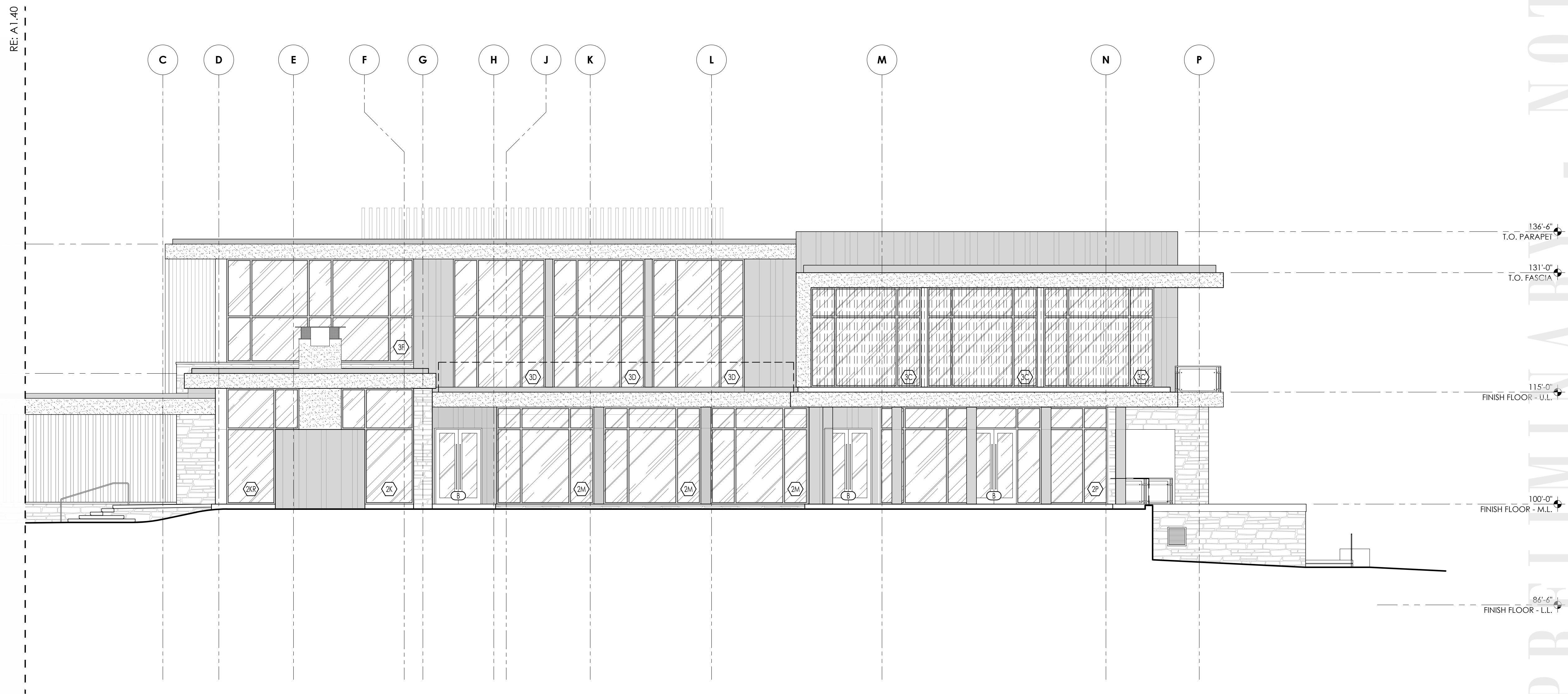
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No. 30 - 2025 - 0004  
Partial Exterior Elevations  
Partial Exterior Elevations



PARTIAL BUILDING ELEVATION - EAST 1  
1/8" = 1'-0"



PARTIAL BUILDING ELEVATION - WEST 2  
1/8" = 1'-0"

#### ELEV. / SECT. GENERAL NOTES

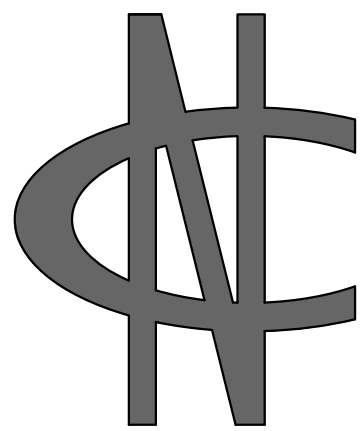
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#### CLUBHOUSE

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DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT
11.20.25	100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

#### PARTIAL EXTERIOR ELEVATIONS





JACKSON WALKER L.L.P.  
ATTORNEYS & COUNSELORS

Jonathan G. Vinson  
(214) 953-5941 (Direct Dial)  
(214) 661-6809 (Direct Fax)  
jvinson@jw.com

June 11, 2009

Mr. Phil Sikes  
Assistant Building Official  
Building Inspection Division  
Department of Development Services  
City of Dallas  
320 East Jefferson Boulevard, Room 205  
Dallas, Texas 75203

Re: Status of Northwood Club, 6524 Alpha Road

Dear Mr. Sikes:

This letter is to follow up on our recent discussion among you, Ms. Jennifer Hirimoto, Susan Mead of our office, Larry Good of Good, Fulton & Farrell Architects, and me, on the current status of the Northwood Club at 6524 Alpha Road with regard to the specific issues mentioned below.

First, your office has determined that no change or modification in the existing zoning is necessary for the continuation of this use. This use is located in R-1/2ac(A) zoning, and is the holder of a Specific Use Permit, designated as S.U.P. No. 123. It is our understanding that S.U.P. No. 123 is derived from an original "Special Permit" which was issued by the City of Dallas at some point prior to the current Development Code and currently revised Zoning Maps. As we also discussed, neither City Staff nor we have been able to locate any S.U.P. ordinance, conditions or Site Plan for S.U.P. No. 123. Therefore, S.U.P. No. 123 is shown only on the Zoning Map and is deemed to have a permanent time period, without any conditions or S.U.P. Site Plan.

Second, your office has determined that this site qualifies as a "legal building site" pursuant to Section 51A-4.601(a)(2) of the Dallas Development Code, specifically in that it appears that this was separately owned, and this use was present at this location, prior to annexation by the City of Dallas. Therefore, because this site qualifies as a legal building site pursuant to that Subsection, no platting of the subject property is necessary.

Third, we have also determined that a parking variance of 99 parking spaces was granted by the City of Dallas Zoning Board of Adjustment under BDA No. 77-299/4393 on December 6, 1977. It appears to us that from that time going forward, numerous Building Permits have been issued by the City of Dallas for additional construction of accessory buildings for this use, based, at least in part, on the granting of that parking variance. We note that one condition was applied

5531925v.1 131926/00001

901 Main Street, Suite 6000 • Dallas, Texas 75202 • (214) 953-6000 • fax (214) 953-5822



Mr. Phil Sikes  
June 11, 2009  
Page 2

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to the grant of the parking variance, that is, it was "granted on a two year basis" at which time there was to be a "review of the parking" (January 30, 1978, letter from Jim Self, Board Administrative Coordinator, *copy attached*). On February 13, 1980, Ronald A. Young, P.E., Project Manager, Development Activities, for the City of Dallas, wrote in a Memorandum (*copy attached*) to Ray Couch in Building Inspection that "during our field inspection the 342 existing parking spaces seem to adequately serve the subject facility". Further, based on the fact that variances, once granted, "run with the land" and are effective once a permit necessary to effect the variance is applied for within 180 days, which was done in this instance, your office agrees that this variance continues to be in effect today.

Fourth, this use can continue to utilize the required parking ratio for the "Country club with private membership" use which was in effect at the time of origination of the use for all currently existing structures, rather than that under Chapter 51A of the *Dallas Development Code* as amended from time to time.

Because of the long history of this site, we believe it is advisable for all parties to memorialize all of the foregoing points of agreement with your office for future permitting purposes. Assuming that all of the foregoing statements are accurate and that your office is in agreement with the foregoing, we would very much appreciate it if you would sign this letter in the space provided below to indicate the concurrence of the Building Inspection Division with the foregoing statements. Thank you very much for your assistance with this.

Very truly yours,

  
Jonathan G. Vinson

AGREED ON JUNE 17, 2009  
City of Dallas  
Department of Development Services  
Building Inspection Division

By: 

Philip Sikes  
Assistant Building Official

JGV:rss





CITY OF DALLAS

January 30, 1978

Northwood Club  
by Harry J. Gray  
6524 Alpha Road  
Dallas, Texas 75240

RF: Board of Adjustment  
BDA 77-299/4393

Dear Sir:

The Board of Adjustment at its regularly scheduled meeting on December 6, 1977, granted your application for a permit to erect a chain link fence along both sides of Alpha Road and construct a one story tennis shop and locker room facility containing approximately 2500 square feet and four tennis courts on property located at 6524 Alpha Road, subject to the following conditions:

1. That in line with the memorandum from the City of Dallas regarding existing and/or proposed fence in front, that the Northwood Country Club will relocate the fence in case of any future widening of Alpha Road.
2. That the owners sign an instrument of agreement with the City of Dallas that they will not hold the City liable in the event of any flooding on the property.
3. That in granting this variance the Board requests that the Country Club erect a 6' high fence on the property line bordering the South line of the Country Club, same being on the North line of residential lot owned by the Club.
4. That the parking variance be granted on a two year basis at which time the owners must re-apply and come back before the Board for review of the parking.

Please see Mr. David O'Brien in the Building Inspection Office at 1500 W. Mockingbird Lane to get your building permit which must be obtained within 90 days or prior to March 6, 1978, under Board of Adjustment approval.

If I may be of assistance to you in this matter, please feel free to contact me at 670-4206.

Sincerely yours,

Jim Self, Administrative Coordinator  
Board of Adjustment, City of Dallas

JS:vg

cc: David O'Brien, Building Inspection  
1500 W. Mockingbird, Dallas, Texas



## Memorandum



CITY OF DALLAS

DATE

TO February 13, 1980

SUBJECT Ray Couch  
Bldg. Inspection

B.D.A. #77-299/4333  
6524 Alpha Road

During our field inspection the 342 existing parking spaces seem to adequately serve the subject facility. The valet parking concept shown on the attached plan did not seem to be in existence.

Ronald A. Young, P. E.  
Project Manager  
Development Activities

AH/km  
attachment

cc: Jim Self  
File



