

Record Summary for Board of Adjustments

Record

Record #	Status	Opened Date
BOA-25-000103	In Review	12/24/2025

Application Name

Detailed Description

9' height variance to allow a 45' tall structure where the maximum height is 36 feet for a country club use in R1/2ac(A) zoning.

Assigned To Department	Assigned to Staff
Board of Adjustment	Diana Barkume

Record Type

Board of Adjustments

Custom Fields

INTERNAL USE ONLY

Source of Request	Self
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	84.991

PDOX INFORMATION

PDox Number

PROPERTY INFORMATION

Existing Zoning	R-1/2ac(A)
Lot Number	Tr
Lot Size (Acres)	84.991
Block Number	7432
Lot Size (Sq. Ft)	3702207
How many streets abut the property?	1
Land Use	Country club
Is the property platted?	No
Status of Project	Proposed
Status of Property	Owner Occupied
Previous Board of Adjustment case filed on this property	-
Accommodation for someone with disabilities	No
File Date	12/24/2025
Seleccione si necesitara un interprete	-
Case Number	-
Are you applying for a fee waiver?	No

Have the standards for variance and or special exception been discussed? Yes

Has the Notification Sign Acknowledgement Form been discussed? Yes

Referred by self

Custom Lists

Board of Adjustment Request

1

Type of Request	Variance
Request Description	Height
Application Type	Multifamily or nonresidential variance
Affirm that an appeal has been made for	a 9' height variance to allow a 45' tall structure where the maximum height is 36 feet.
Application is made to BOA to grant the described appeal	The property is somewhat sloped, including 10' of fall around the existing/proposed clubhouse. The proposed clubhouse will be rebuilt in the same footprint to preserve existing mature trees. Maintaining the clubhouse in the existing footprint is in the public interest so that it does not impact surrounding single family uses.

Case Information

1

Full Request	height
Brief Request	height
Zoning Requirements	height
Relevant History	fence height and parking fence height
BOA History	Yes
BOA History Details	fence height and parking fence height

GIS Information

1

Census Tract Number	6.58
Council District	11

Street Frontage Information

1

Street Frontage	Front
Linear Feet (Sq. Ft)	2770

Contact Information

Name	Organization Name	Contact Type	Phone
Buzz Urban	Buzz Urban Planning LLC	Applicant	4692752414
Email: permits@buzzurbanplanning.com			
PO Box 38586, Dallas, TX 75238			
Name	Organization Name	Contact Type	Phone
Beth Greeson	NORTHWOOD CLUB	Property Owner	9723836213
Email: BGreeson@northwoodclub.org			
6524 ALPHA RD, ATTN: BETH GREESON, DALLAS, TEXAS 752403541			

Address

6524 ALPHA RD, Dallas, TX 75240

Parcel Information

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000073244200000							
0							

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Y	NORTHWOOD CLUB	6524 ALPHA RD, DALLAS, TEXAS 752403541	

Status History

Status	Comment	Assigned Name	Status Date
Payment Due		Diana Barkume	12/30/2025
In Review	Updated By Script	Accela Administrator	12/30/2025
In Review		Anna Brickey	12/31/2025



AFFIDAVIT

Appeal number: BDA _____

I, Northwood Club, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 6524 Alpha Road
(Address of property as stated on application)

Authorize: Jennifer Hiromoto, Buzz Urban Planning
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

Variance (specify below)

Special Exception (specify below)

Other Appeal (specify below)

Specify: Height

Beth C. Greeson, CFO

Print name of property owner or registered agent

agent Date 12/11/25

Signature of property owner or registered

Before me, the undersigned, on this day personally appeared

BETH C. GREESON

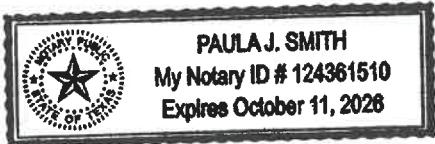
Who on his/her oath certifies that the above statements are true and correct to his/her best

knowledge. Subscribed and sworn to before me this 11th day of

December

2025

Notary Public for Dallas County,
Texas

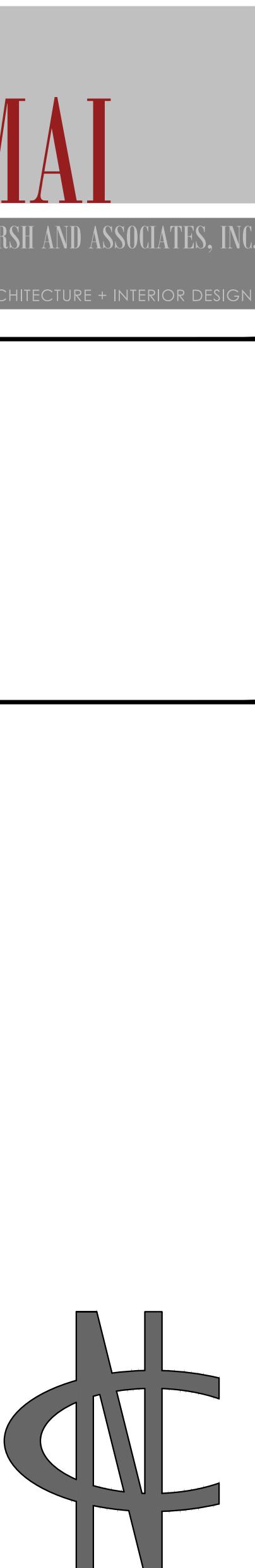


Commission expires on

10/11/26

FLOOR

1. DIMEN
2. WRITTEN DIMEN DIMEN ENLARG
3. ALL WIND WIND ROUG AND V
4. REFER MOUN
5. DOOR FRAM WALL
6. WHERE REMA PROV DRAW
7. REFER DEPRE INFO.
8. FIELD TO TH PROC
9. REFER
10. REFER CROS
11. REFER SCOP
12. REFER
13. REFER TYPES
14. REFER TO BU FLOO
15. REFER
16. INSULAT COM



NORTHWOOD CLUB
6524 Alpha Road
Dallas, TX 75240

DOOR PLAN GENERAL NOTES

DIMENSIONS SHOWN ARE FROM FACE OF FINISH U.N.O.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. WHERE DIMENSIONS, WALL TYPES, ETC. ARE NOT SHOWN, REFER TO ENLARGED PLANS.

ALL WINDOW/DOOR DIMENSIONS ARE TO CENTER OF WINDOW/DOOR U.N.O. COORDINATE MASONRY AND ROUGH OPENING DIMENSIONS WITH ASSOCIATED DOOR AND WINDOW DETAILS AND PRIOR TO CONSTRUCTION.

REFER TO CODE SHEETS FOR LOCATIONS OF WALL MOUNTED & RECESSED FIRE EXTINGUISHER(S).

DOOR FRAMES TO BE LOCATED 6" FROM CORNER IN STUD FRAMING AND 8" FROM CORNER IN CMU OF INTERSECTING WALL U.N.O.

WHERE PLYWOOD IS ADDED FOR SHEAR ON PARTIAL WALL, REMAINDER OF WALL SHALL HAVE SIMILAR SHEATHING TO PROVIDE FLUSH WALL SURFACE. RE: STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.

REFER TO SLAB DEPRESSION PLAN FOR SLAB ELEVATIONS, DEPRESSIONS, SLOPES, DRAINS, AND ADDITIONAL SLAB INFO.

FIELD VERIFY ALL DIMENSIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.

REFER TO CODE SHEETS FOR FIRE-RATED WALL LOCATIONS.

REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL OR CROSS BRACING LOCATIONS

REFER TO MILLWORK PLANS FOR MILLWORK LOCATIONS & SCOPE.

REFER TO WALL TYPE SCHEDULE FOR WALL ASSEMBLIES.

REFER TO DOOR & HARDWARE SCHEDULE FOR DOOR TYPES.

REFER TO WINDOW SCHEDULE FOR WINDOW TYPES. REFER TO BUILDING ELEVATIONS FOR WINDOWS NOT SHOWN ON FLOOR PLANS.

REFER TO FINISH PLANS & SCHEDULES FOR FINISHES.

INSULATION AT EXTERIOR ENVELOPE SHALL AT A MINIMUM COMPLY WITH COMCHECK EVALUATION FOR THIS PROJECT

CLUBHOUSE

INTERIM REVIEW DOCUMENTS

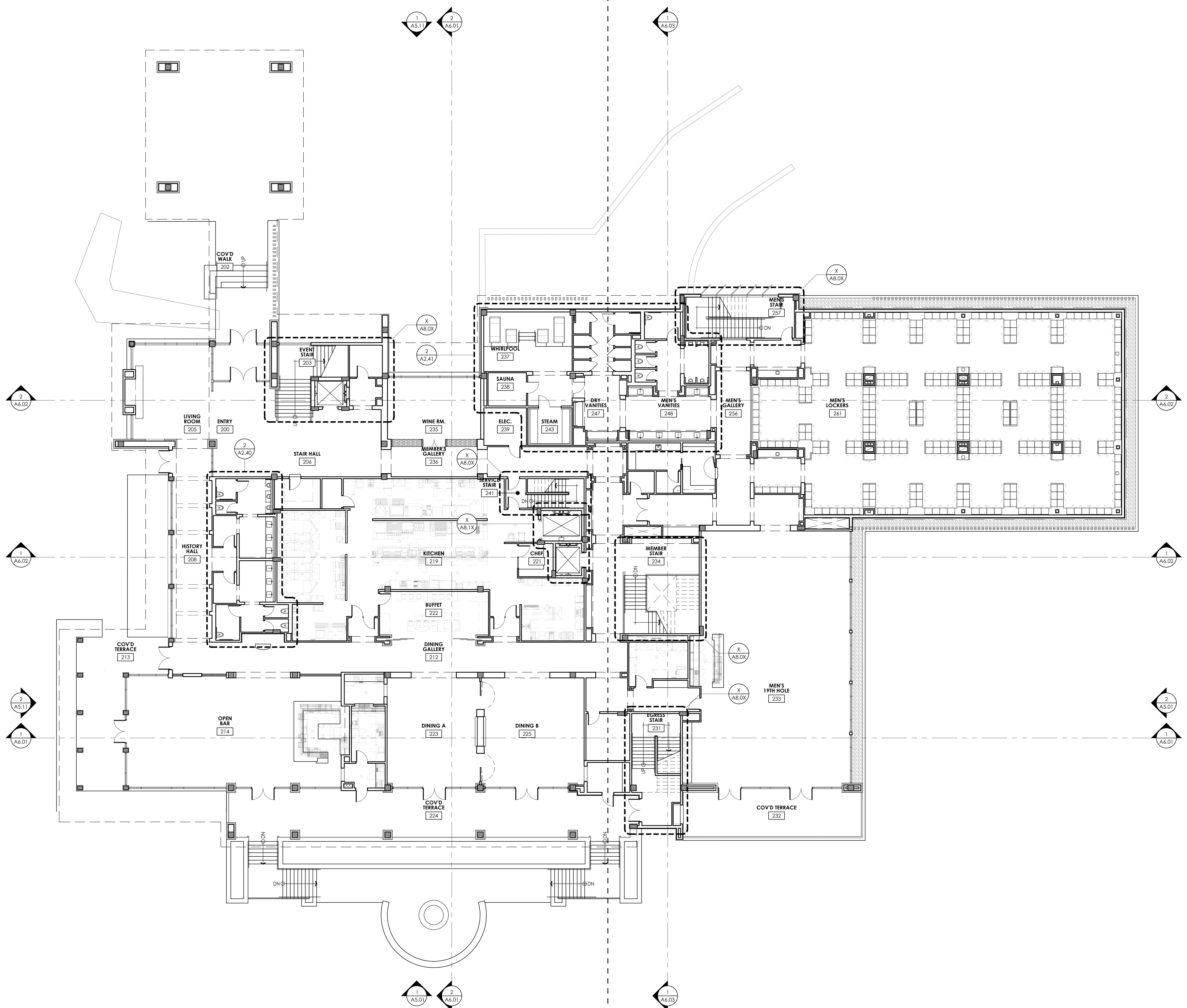
THESE DESIGN DOCUMENTS
INCOMPLETE AND ARE INTENDED TO BE USED FOR
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ISSUED FOR:
5 50% DESIGN DEVELOPMENT

JECT NO.:

OVERALL FLOOR PLAN - LOWER LEVEL

OVERALL FLOOR PLAN - LOWER LEVEL



PREVENTATIVE MEDICAL NOTES

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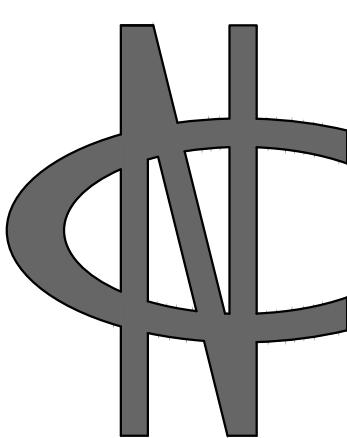
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NORTHWOOD CLUB
6524 Alpha Road
Dallas, TX 75240



CLUBHOUSE

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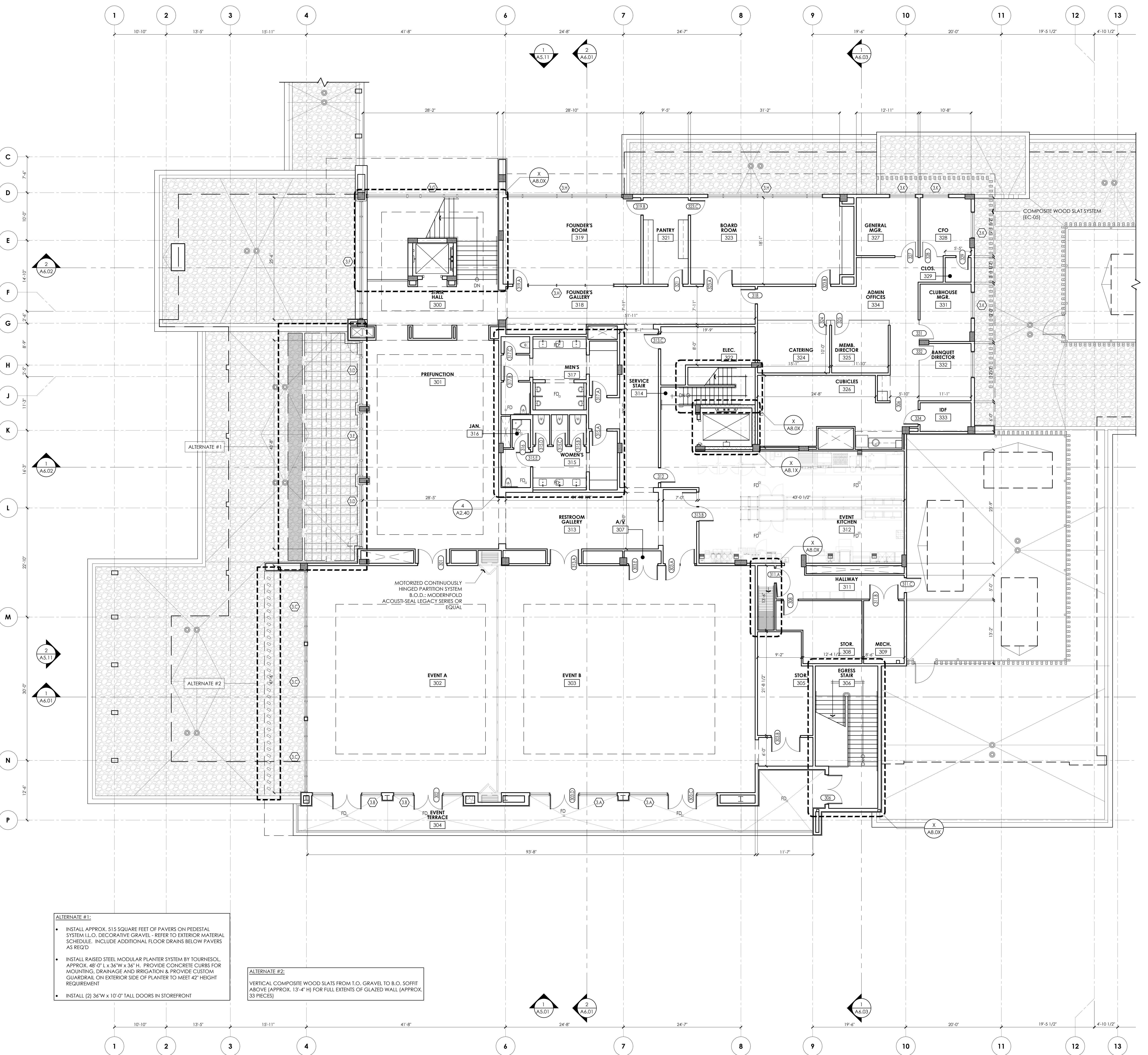
MATTHEW D. KUNKLE

TX. REGISTRATION NO.: 26872

: ISSUED FOR:
25 50% DESIGN DEVELOPMENT
25 100% DESIGN DEVELOPMENT

PROJECT NO.:

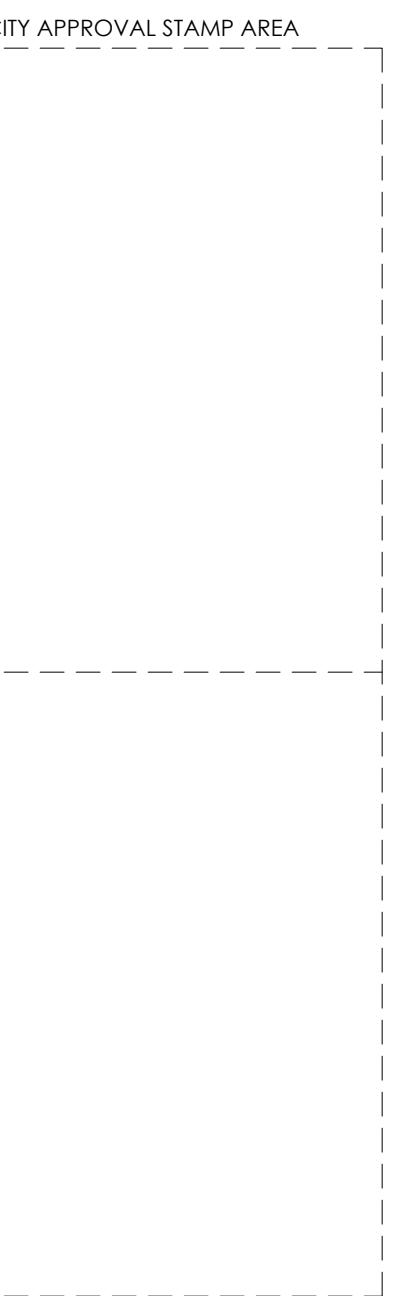
OVERALL FLOOR PLAN - MAIN LEVEL



OVERALL FLOOR PLAN - UPPER LEVEL

1

1/8" = 1'-0"



FLOOR PLAN SYMBOL LEGEND

RE: PARTITION SCHEDULE FOR WALL ASSEMBLIES
FRAMED WALLS, RE: WALL TYPES
C.I.P. CONCRETE WALL
CONCRETE MASONRY UNIT WALL
STONE VENEER
STRUCTURE ABOVE
NEW WINDOW/STOREFRONT ASSEMBLY
NEW DOOR & FRAME

FLOOR PLAN KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET

NORTHWOOD CLUB
6524 Alpha Road
Dallas, TX 75240

CLUBHOUSE

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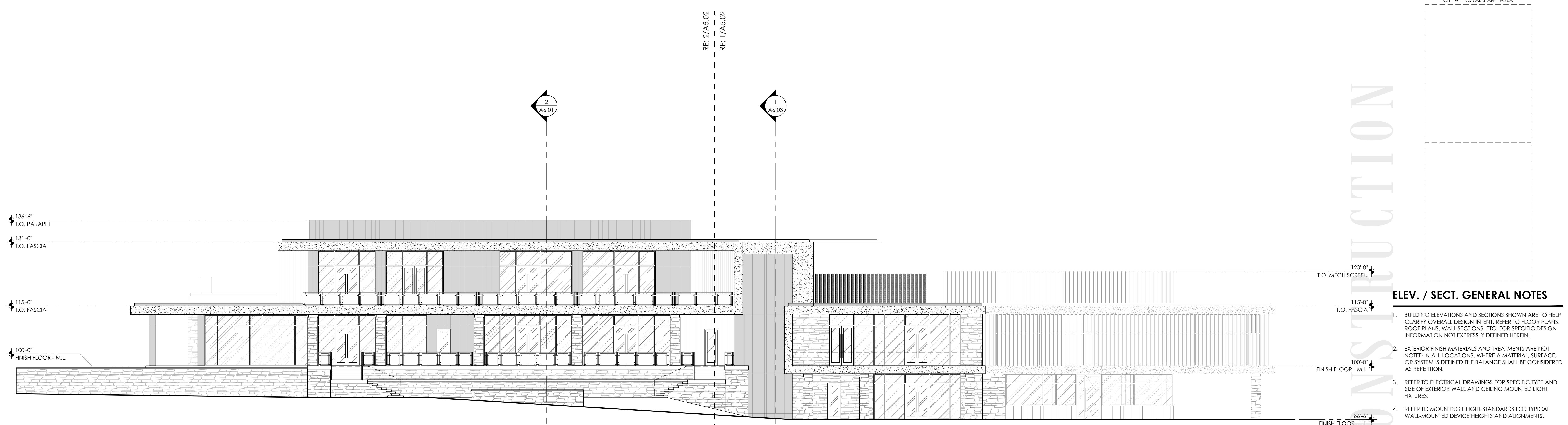
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TR REGISTRATION NO.: 26872

DATE: ISSUED FOR:
10.03.25 50% DESIGN DEVELOPMENT
11.20.25 100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

OVERALL FLOOR PLAN -
UPPER LEVEL



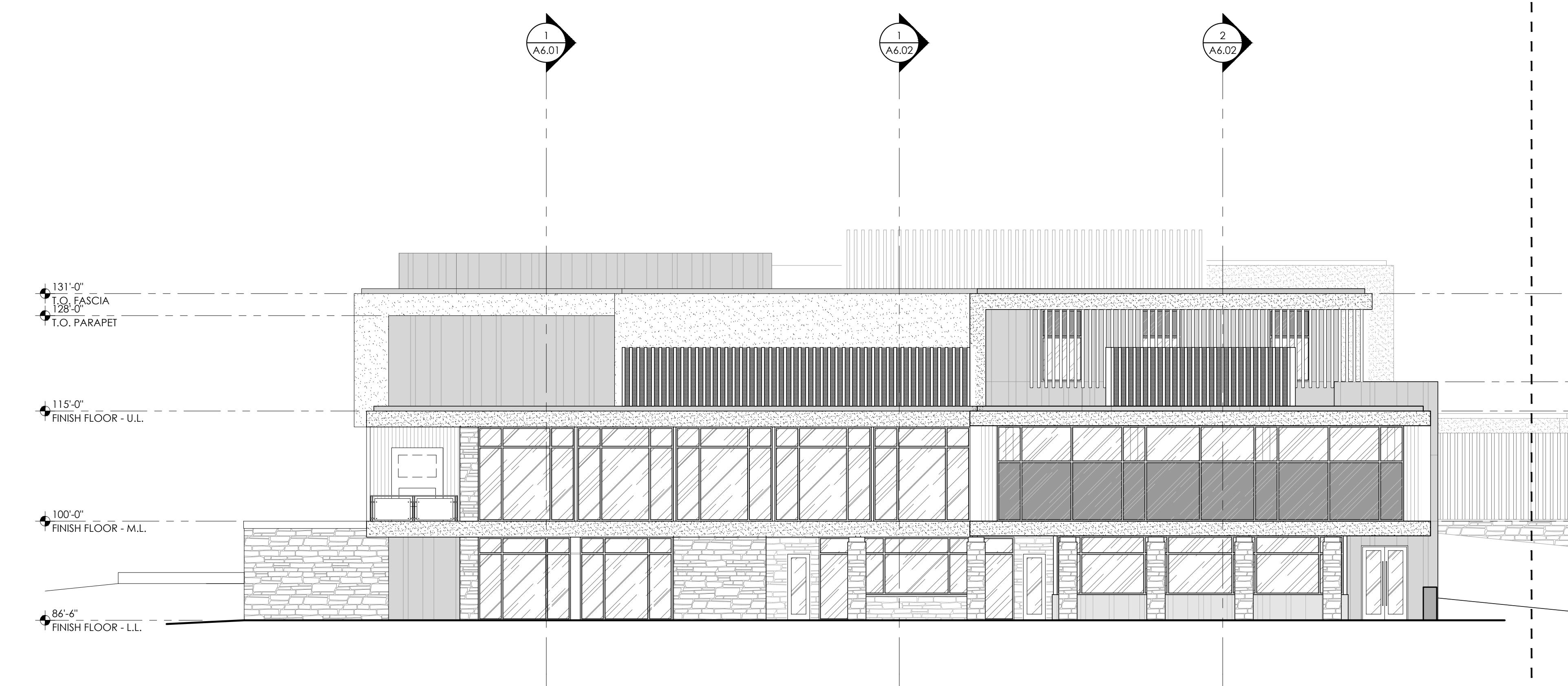
ELEV. / SECT. GENERAL NOTES

1. BUILDING ELEVATIONS AND SECTIONS SHOWN ARE TO HELP CLARIFY OVERALL DESIGN INTENT. REFER TO FLOOR PLANS, ROOF PLANS, WALL SECTIONS, ETC. FOR SPECIFIC DESIGN INFORMATION NOT EXPRESSLY DEFINED HEREIN.
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9. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
10. ALL ELEVATION HEIGHTS (DATUMS) ARE IN RELATION TO 100'-0" FINISH FLOOR.

BUILDING ELEVATION - SOUTH

3/32" = 1'-0"

1



ELEV. / SECT. KEYED NOTES

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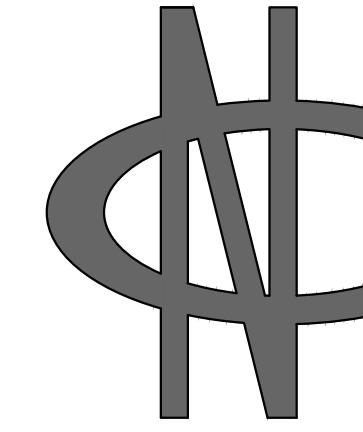
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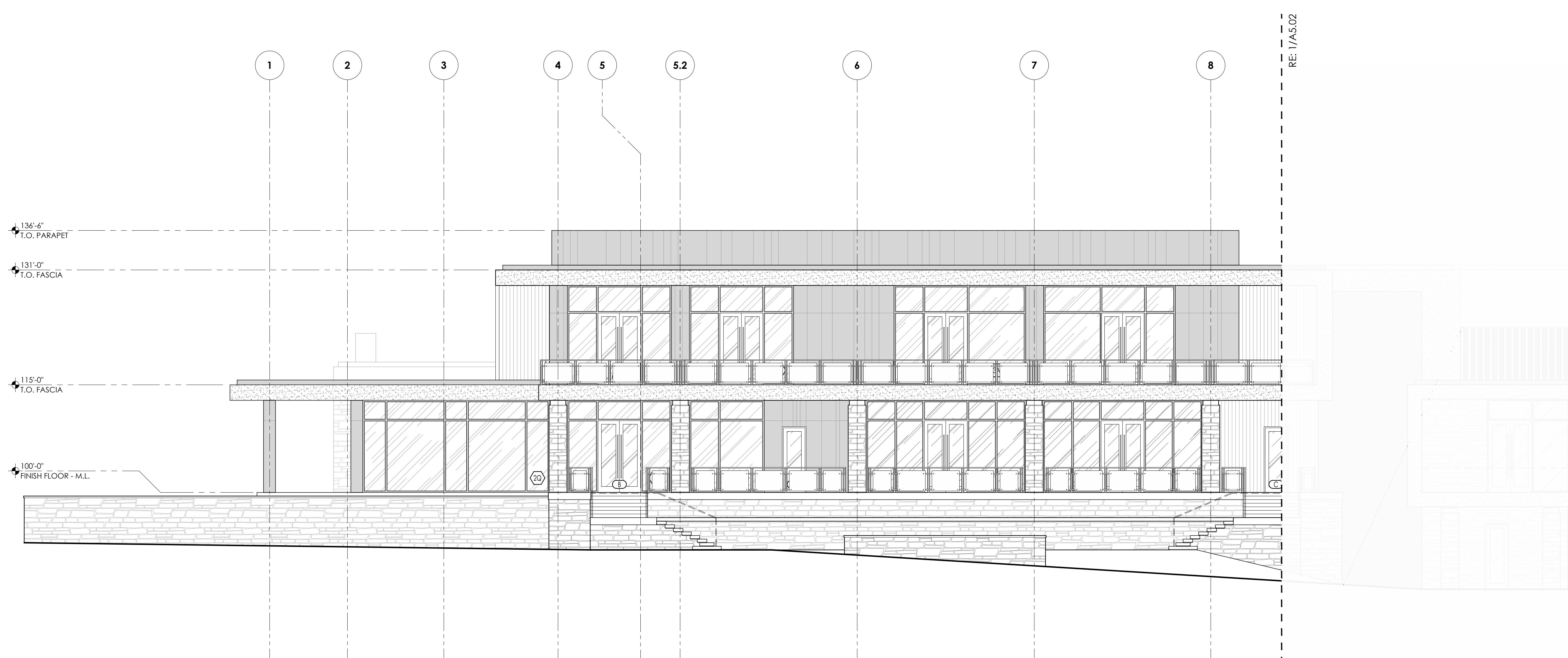
MAI PROJECT NO.:

OVERALL EXTERIOR ELEVATIONS

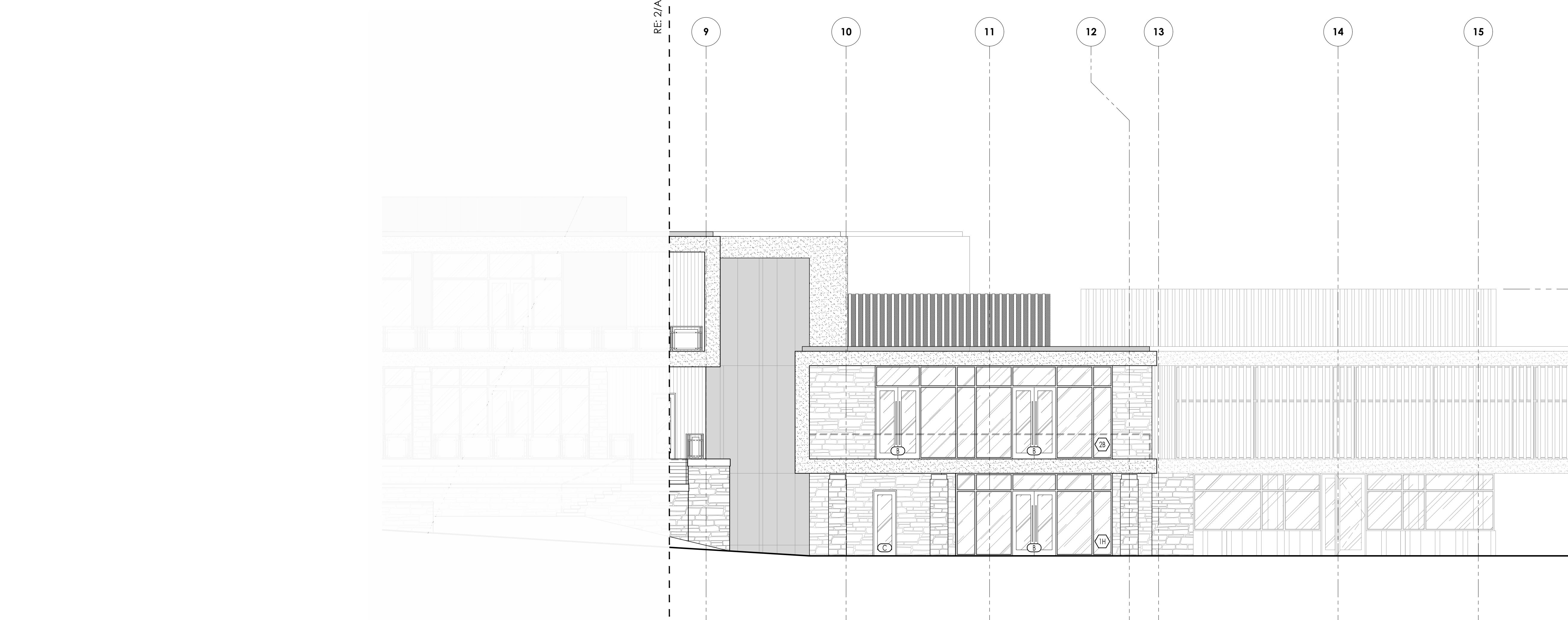
A5.01



NORTHWOOD CLUB
6524 Alpha Road
Dallas, TX 75240



PARTIAL BUILDING ELEVATION - SOUTH 1/8" = 1'-0" 1



PARTIAL BUILDING ELEVATION - SOUTH 1/8" = 1'-0" 2

PRELIMINARY NOTES

ELEV. / SECT. SYMBOL LEGEND

- EC-03: 3-COAT STUCCO SYSTEM; RE: SPECS & EXTERIOR MATERIAL SCHEDULE
- EC-01: FULL THICKNESS STONE VENEER TO MATCH EXISTING BUILDING STONE
- EC-02: COMPOSITE WOOD SIDING SYSTEM WITH CONCEALED FASTENERS; RE: EXTERIOR MATERIAL SCHEDULE
- EC-04: ACM RAINSCREEN PANEL SYSTEM
- EC-05: COMPOSITE WOOD SLATS; RE: EXTERIOR MATERIAL SCHEDULE (PREFINISHED PERFORATED METAL BACKING AT MECHANICAL SCREENS)

ELEV. / SECT. KEYED NOTES

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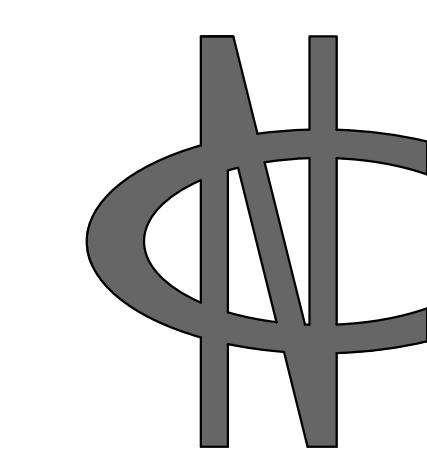
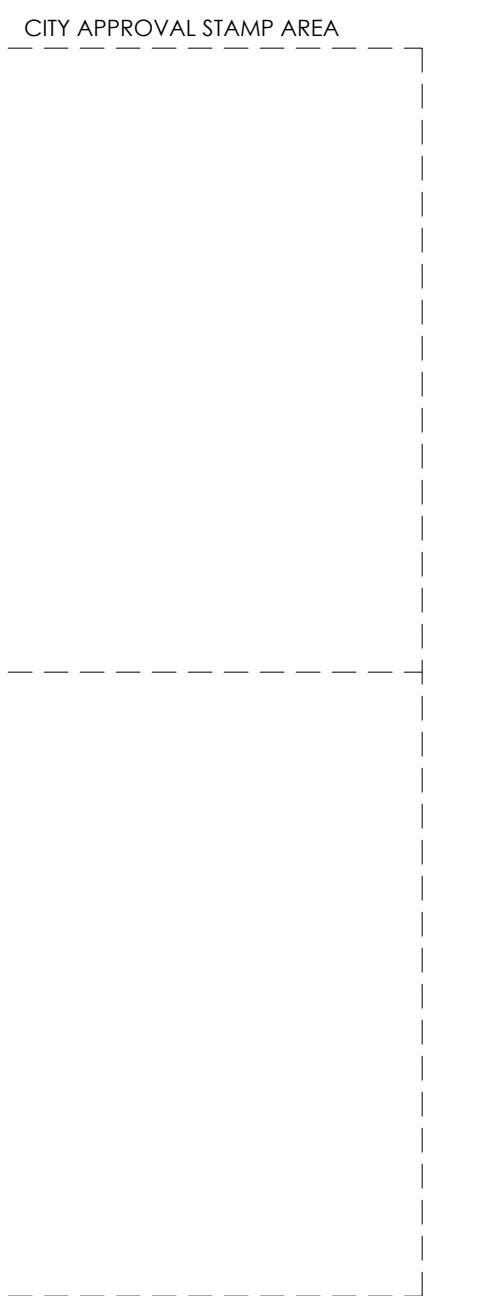
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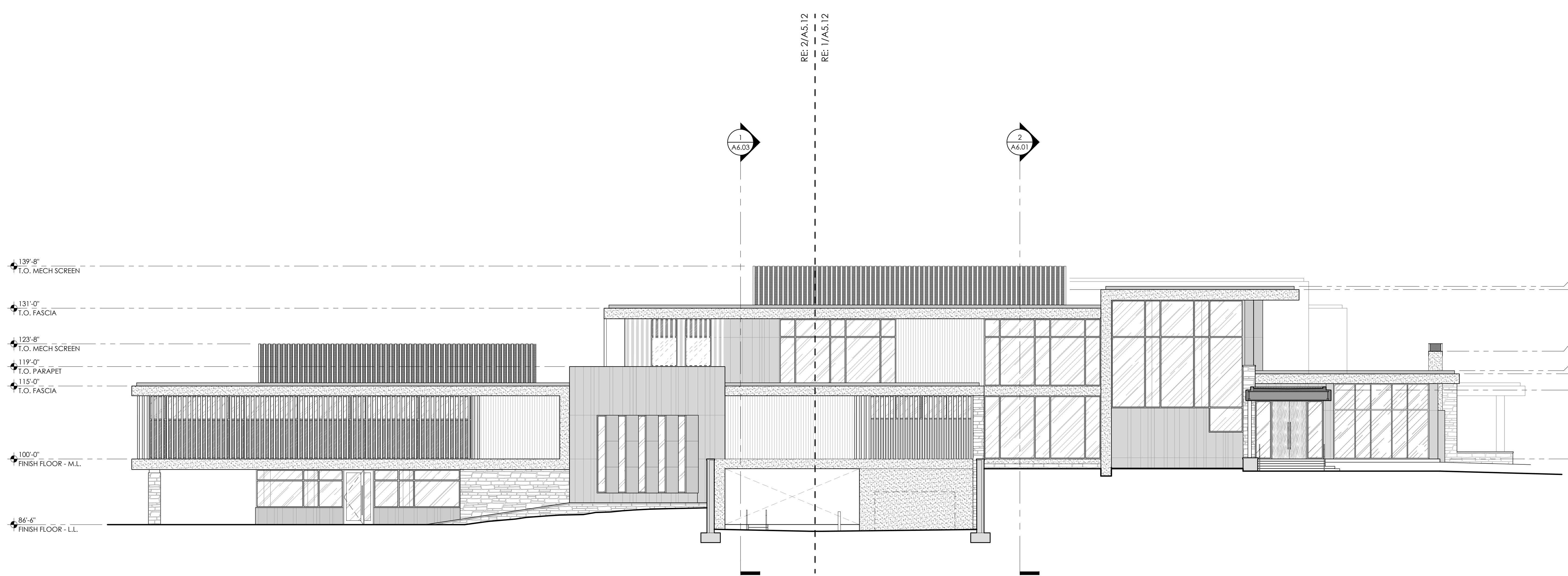
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MAI PROJECT NO.:

PARTIAL EXTERIOR ELEVATIONS

A5.02





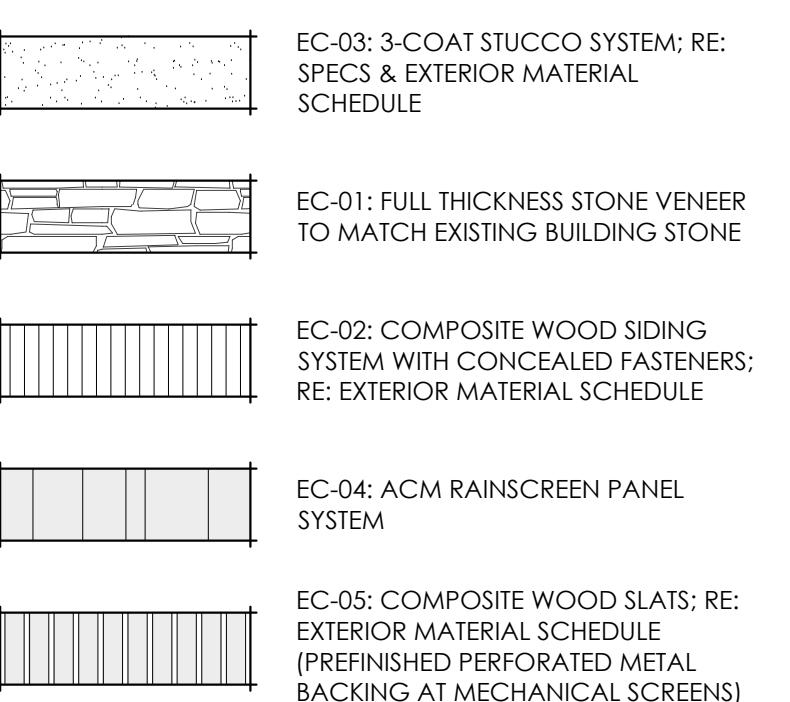
BUILDING ELEVATION - NORTH 1

3/32" = 1'-0"

ELEV. / SECT. GENERAL NOTES

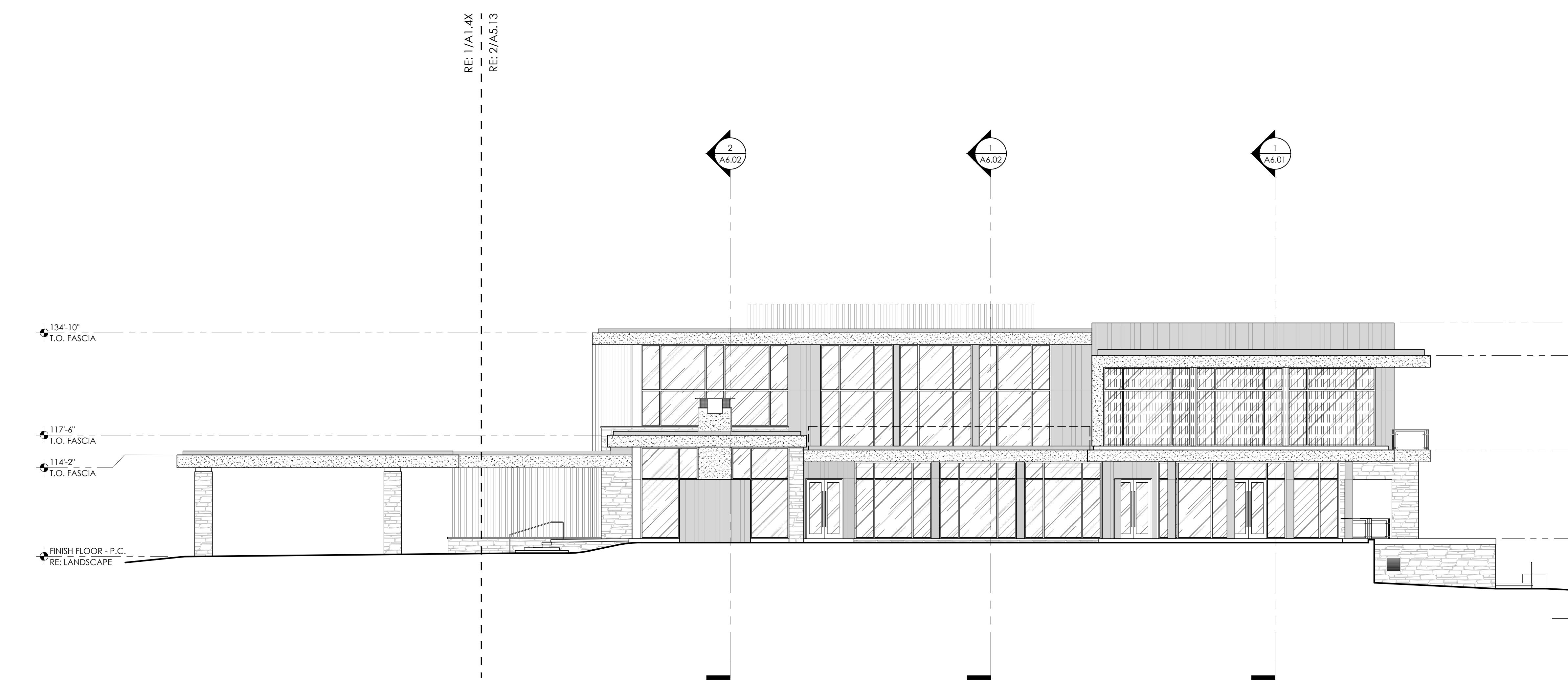
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ELEV. / SECT. SYMBOL LEGEND



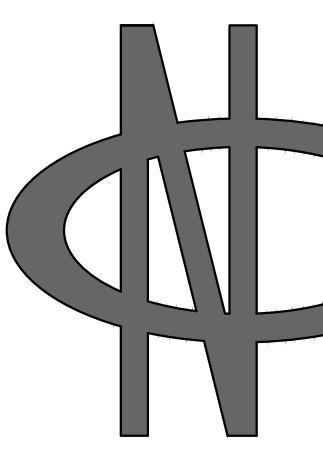
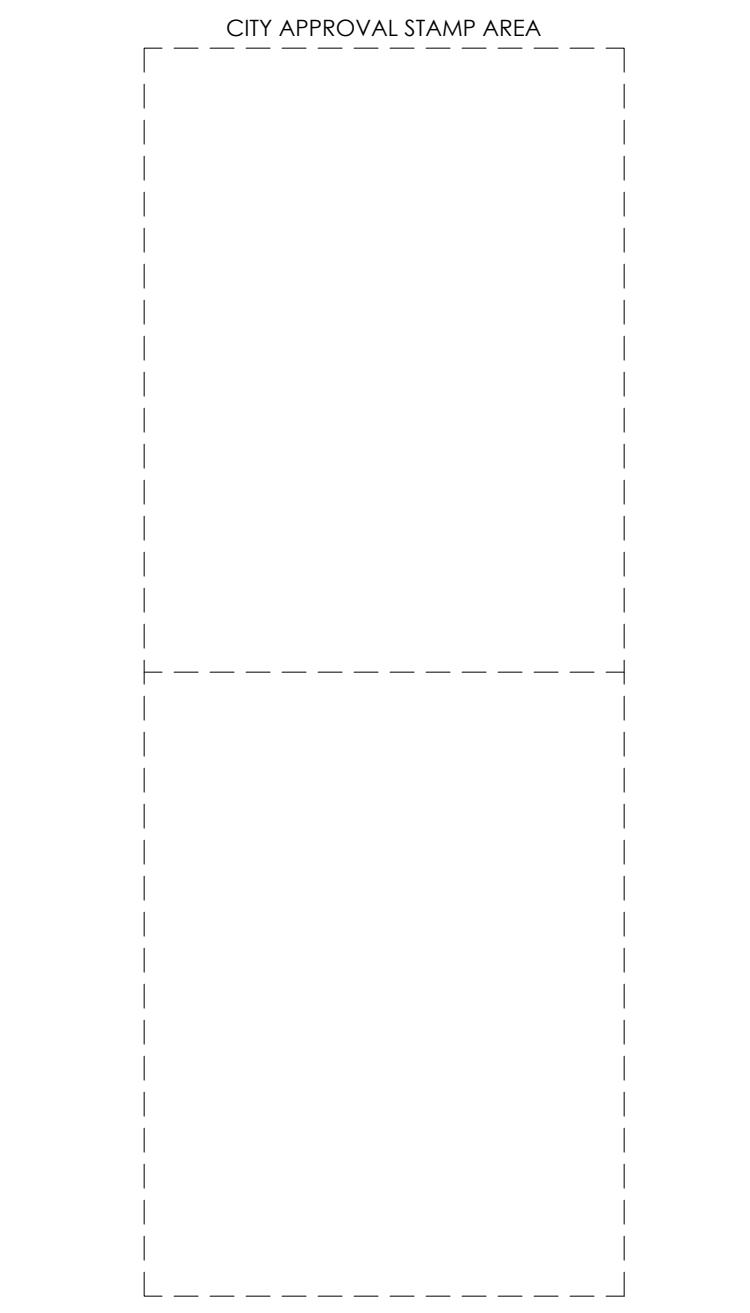
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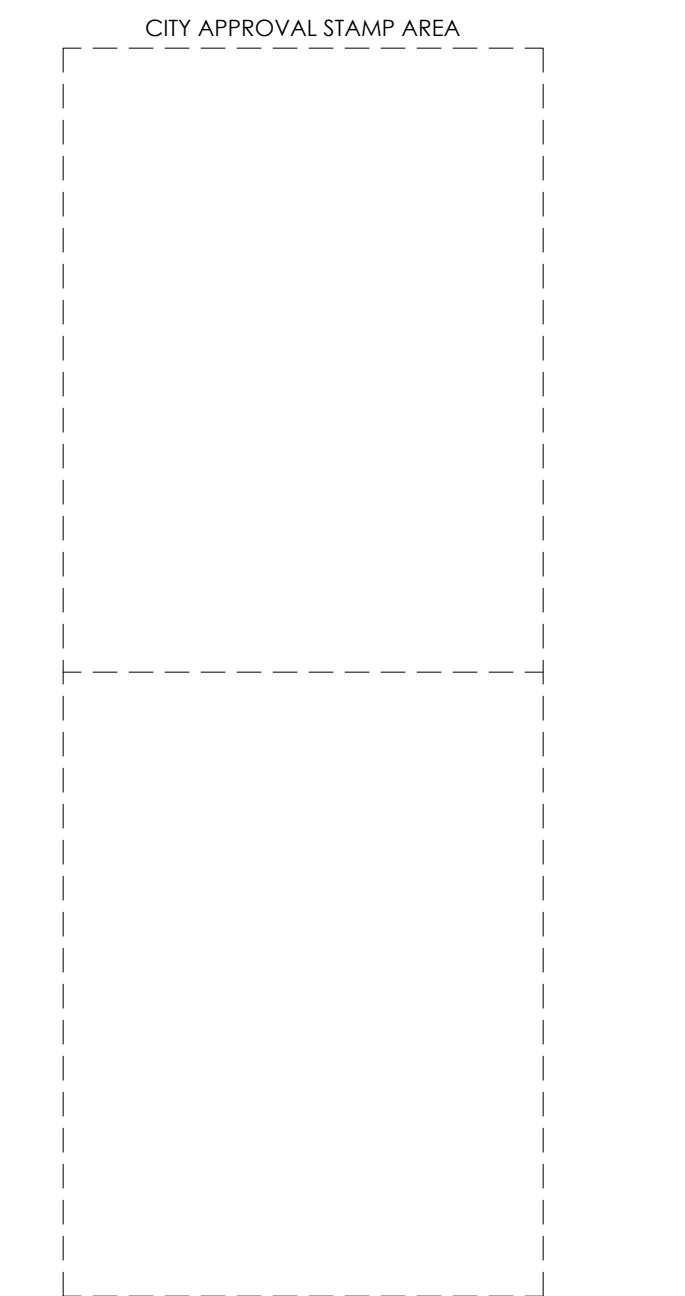
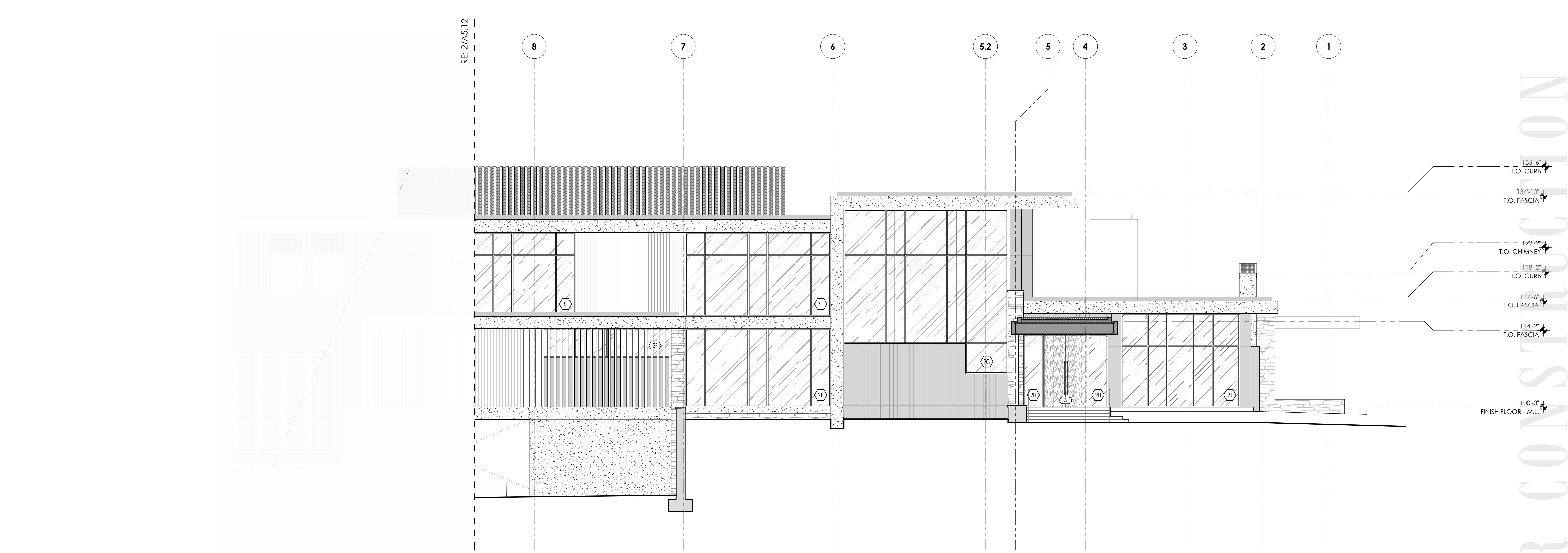


BUILDING ELEVATION - WEST 2

3/32" = 1'-0"



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11.20.25	100% DESIGN DEVELOPMENT
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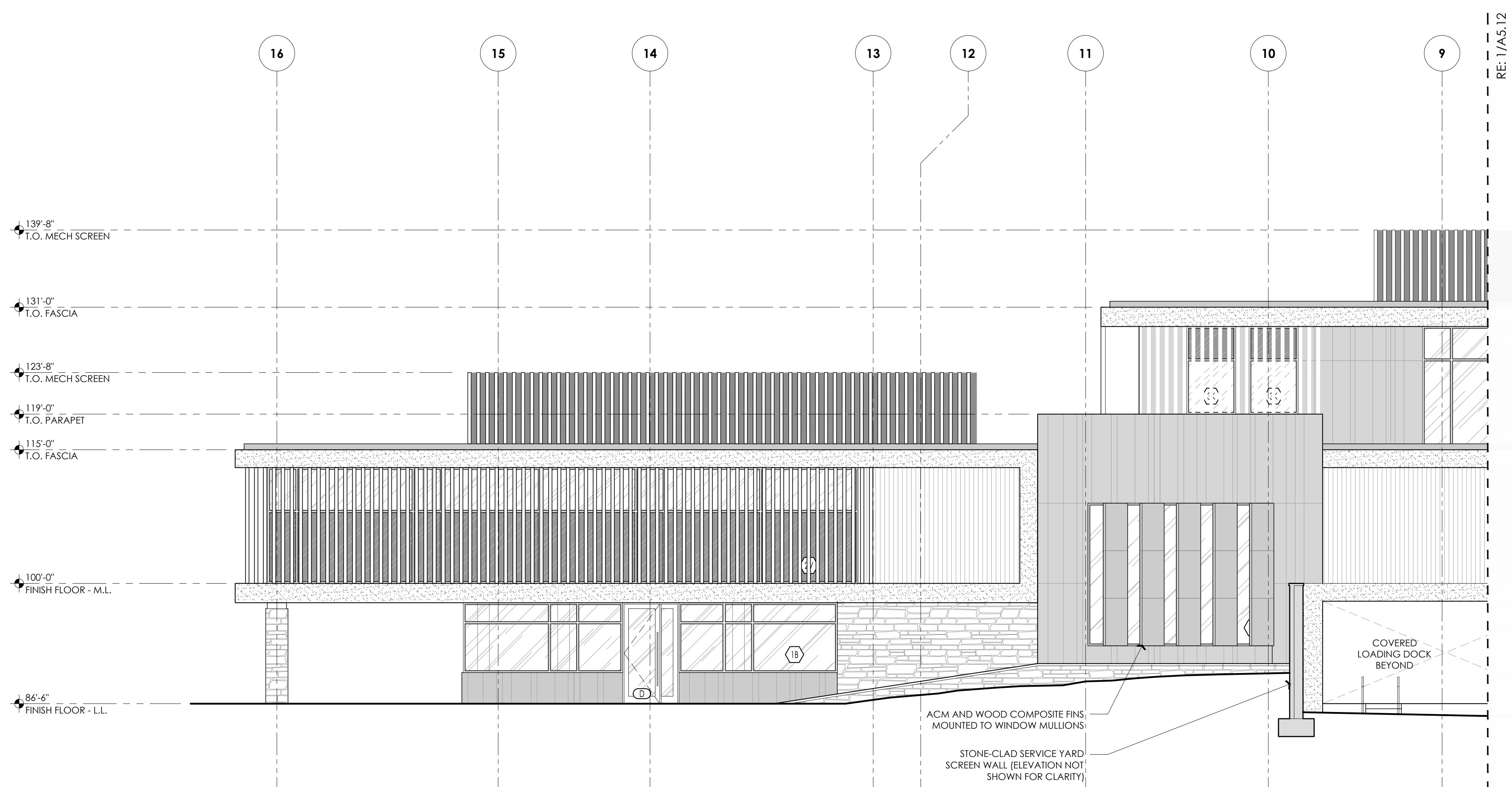


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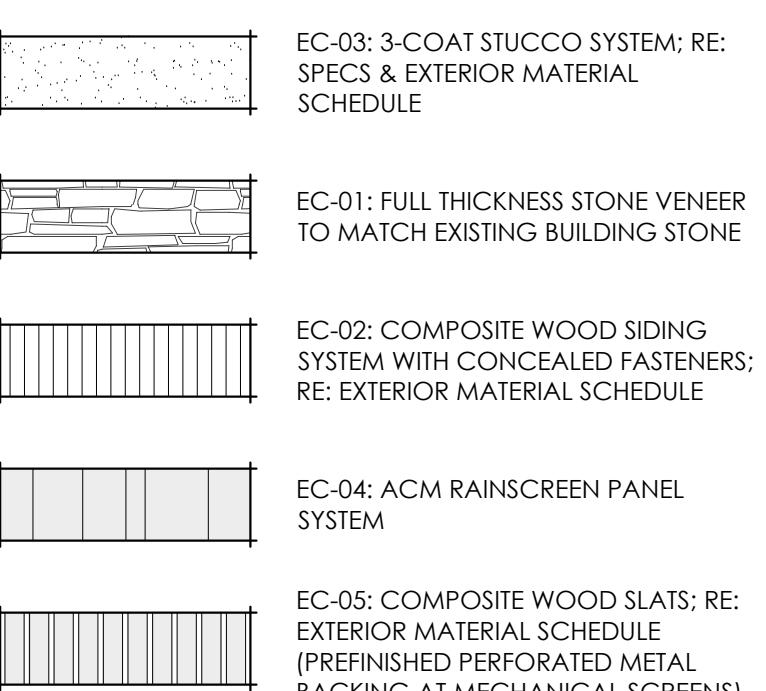
PARTIAL BUILDING ELEVATION - NORTH

1/8" = 1'-0"



PARTIAL BUILDING ELEVATION - NORTH

1/8" = 1'-0"



ELEV. / SECT. KEYED NOTES

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CLUBHOUSE

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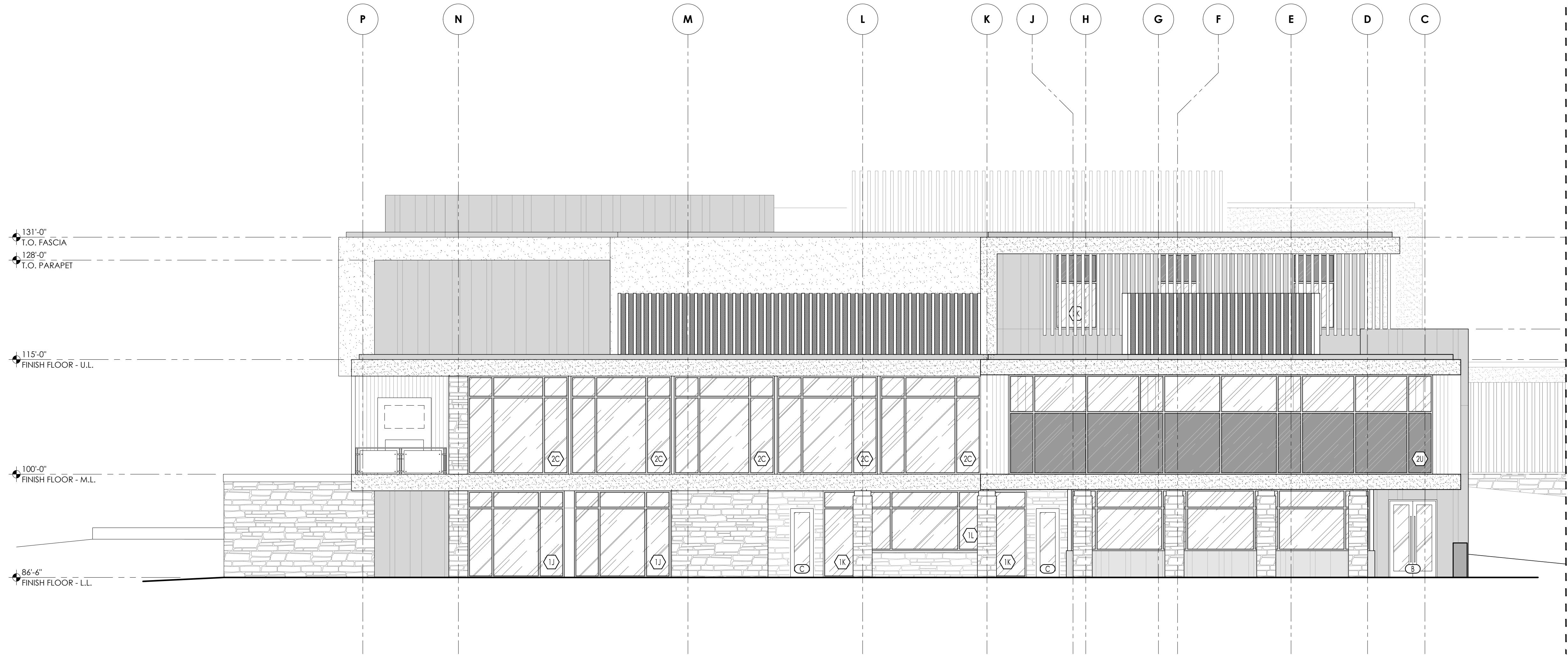
MATTHEW D. KUNKLE
TR REGISTRATION NO.: 26872

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11.20.25 100% DESIGN DEVELOPMENT

MAI PROJECT NO.:

PARTIAL EXTERIOR ELEVATIONS

A5.12

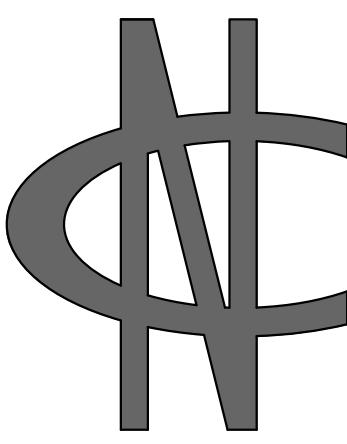


PARTIAL BUILDING ELEVATION - EAST

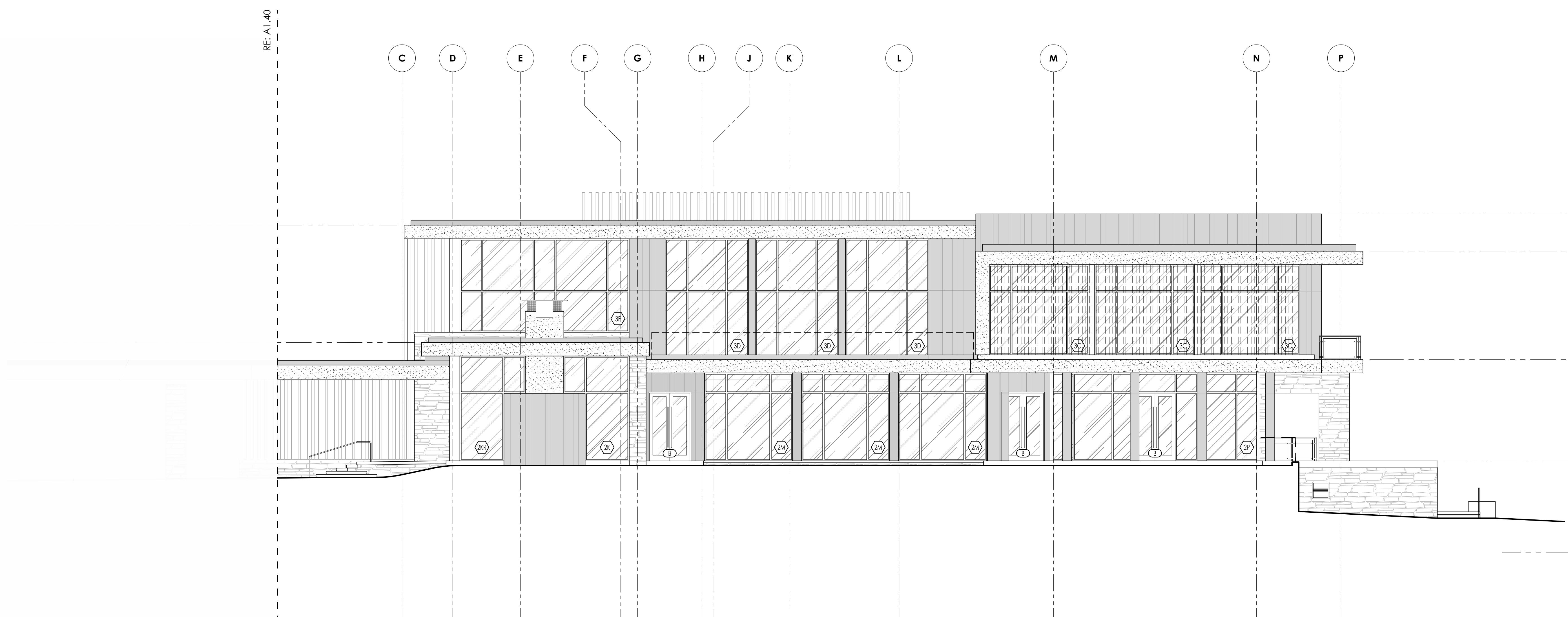
1'-0"

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5. COORDINATE WITH CIVIL/LANDSCAPE FOR PERIMETER PAVING/GRADING TREATMENT AROUND BUILDING.
6. COORDINATE GUTTER AND DOWNSPOUT LOCATIONS WITH ROOF PLAN & OWNER.
7. GRADE LINES INDICATED ON ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL DRAWINGS FOR FINISH GRADE CONTOURS.
8. REFER TO APPROPRIATE SCHEDULES FOR SIZES AND CONFIGURATIONS OF DOORS, WINDOWS, LOUVERS, SHUTTERS, ETC.
9. COORDINATE LANDSCAPING TO SCREEN EXPOSED FOUNDATION.
10. ALL ELEVATION HEIGHTS (DATUMS) ARE IN RELATION TO 100'-0" FINISH FLOOR.



NORTHWOOD CLUB
6524 Alpha Road
Dallas, TX 75240



PARTIAL BUILDING ELEVATION - WEST

1'-0"

SCHEDULE



EC-01: FULL THICKNESS STONE VENEER TO MATCH EXISTING BUILDING STONE



EC-02: COMPOSITE WOOD SIDING SYSTEM WITH CONCEALED FASTENERS;
RE: EXTERIOR MATERIAL SCHEDULE



EC-04: ACM RAINSCREEN PANEL SYSTEM



EC-05: COMPOSITE WOOD SLATS; RE:
EXTERIOR MATERIAL SCHEDULE
(PREFINISHED PERFORATED METAL
BACKING AT MECHANICAL SCREENS)

ELEV. / SECT. KEYED NOTES

NOTE: NOT ALL NOTES MAY APPLY TO THIS SHEET



DOCUMENTS

THESE DESIGN DOCUMENTS
ARE INCOMPLETE AND ARE INTENDED TO BE USED FOR
REVIEW AND COORDINATION ONLY. THEY MAY NOT BE
USED FOR REGULATORY APPROVAL, PERMIT, PRICING, OR
CONSTRUCTION.

MATTHEW D. KUNKLE

TX. REGISTRATION NO.: 26872

DATE:	ISSUED FOR:
10.03.25	50% DESIGN DEVELOPMENT

MAJOR PROJECT NO.

PARTIAL EXTERIOR ELEVATIONS



Jonathan G. Vinson
(214) 953-5941 (Direct Dial)
(214) 661-6809 (Direct Fax)
jvinson@jw.com

June 11, 2009

Mr. Phil Sikes
Assistant Building Official
Building Inspection Division
Department of Development Services
City of Dallas
320 East Jefferson Boulevard, Room 205
Dallas, Texas 75203

Re: Status of Northwood Club, 6524 Alpha Road

Dear Mr. Sikes:

This letter is to follow up on our recent discussion among you, Ms. Jennifer Hirimoto, Susan Mead of our office, Larry Good of Good, Fulton & Farrell Architects, and me, on the current status of the Northwood Club at 6524 Alpha Road with regard to the specific issues mentioned below.

First, your office has determined that no change or modification in the existing zoning is necessary for the continuation of this use. This use is located in R-1/2ac(A) zoning, and is the holder of a Specific Use Permit, designated as S.U.P. No. 123. It is our understanding that S.U.P. No. 123 is derived from an original "Special Permit" which was issued by the City of Dallas at some point prior to the current Development Code and currently revised Zoning Maps. As we also discussed, neither City Staff nor we have been able to locate any S.U.P. ordinance, conditions or Site Plan for S.U.P. No. 123. Therefore, S.U.P. No. 123 is shown only on the Zoning Map and is deemed to have a permanent time period, without any conditions or S.U.P. Site Plan.

Second, your office has determined that this site qualifies as a "legal building site" pursuant to Section 51A-4.601(a)(2) of the Dallas Development Code, specifically in that it appears that this was separately owned, and this use was present at this location, prior to annexation by the City of Dallas. Therefore, because this site qualifies as a legal building site pursuant to that Subsection, no platting of the subject property is necessary.

Third, we have also determined that a parking variance of 99 parking spaces was granted by the City of Dallas Zoning Board of Adjustment under BDA No. 77-299/4393 on December 6, 1977. It appears to us that from that time going forward, numerous Building Permits have been issued by the City of Dallas for additional construction of accessory buildings for this use, based, at least in part, on the granting of that parking variance. We note that one condition was applied

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Mr. Phil Sikes
June 11, 2009
Page 2

to the grant of the parking variance, that is, it was "granted on a two year basis" at which time there was to be a "review of the parking" (January 30, 1978, letter from Jim Self, Board Administrative Coordinator, *copy attached*). On February 13, 1980, Ronald A. Young, P.E., Project Manager, Development Activities, for the City of Dallas, wrote in a Memorandum (*copy attached*) to Ray Couch in Building Inspection that "during our field inspection the 342 existing parking spaces seem to adequately serve the subject facility". Further, based on the fact that variances, once granted, "run with the land" and are effective once a permit necessary to effect the variance is applied for within 180 days, which was done in this instance, your office agrees that this variance continues to be in effect today.

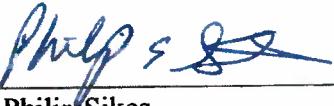
Fourth, this use can continue to utilize the required parking ratio for the "Country club with private membership" use which was in effect at the time of origination of the use for all currently existing structures, rather than that under Chapter 51A of the *Dallas Development Code* as amended from time to time.

Because of the long history of this site, we believe it is advisable for all parties to memorialize all of the foregoing points of agreement with your office for future permitting purposes. Assuming that all of the foregoing statements are accurate and that your office is in agreement with the foregoing, we would very much appreciate it if you would sign this letter in the space provided below to indicate the concurrence of the Building Inspection Division with the foregoing statements. Thank you very much for your assistance with this.

Very truly yours,


Jonathan G. Vinson

AGREED ON JUNE 17, 2009
City of Dallas
Department of Development Services
Building Inspection Division

By: 
Philip Sikes
Assistant Building Official

JGV:rss

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CITY OF DALLAS

January 30, 1978

Northwood Club
by Harry J. Gray
6524 Alpha Road
Dallas, Texas 75240

RF: Board of Adjustment
BDA 77-299/4393

Dear Sir:

The Board of Adjustment at its regularly scheduled meeting on December 6, 1977, granted your application for a permit to erect a chain link fence along both sides of Alpha Road and construct a one story tennis shop and locker room facility containing approximately 2500 square feet and four tennis courts on property located at 6524 Alpha Road, subject to the following conditions:

1. That in line with the memorandum from the City of Dallas regarding existing and/or proposed fence in front, that the Northwood Country Club will relocate the fence in case of any future widening of Alpha Road.
2. That the owners sign an instrument of agreement with the City of Dallas that they will not hold the City liable in the event of any flooding on the property.
3. That in granting this variance the Board requests that the Country Club erect a 6' high fence on the property line bordering the South line of the Country Club, same being on the North line of residential lot owned by the Club.
4. That the parking variance be granted on a two year basis at which time the owners must re-apply and come back before the Board for review of the parking.

Please see Mr. David O'Brien in the Building Inspection Office at 1500 W. Mockingbird Lane to get your building permit which must be obtained within 90 days or prior to March 6, 1978, under Board of Adjustment approval.

If I may be of assistance to you in this matter, please feel free to contact me at 670-4206.

~~Jim Self~~
Jim Self, Administrative Coordinator
Board of Adjustment, City of Dallas

15:10

cc: David O'Brien, Building Inspection
1500 W. Mockingbird, Dallas, Texas

Memorandum



CITY OF DALLAS

DATE

TO: February 13, 1980

Ray Couch
SUBJECT: Bldg. Inspection

B.D.A. #77-299/4393
6524 Alpha Road

During our field inspection the 342 existing parking spaces seem to adequately serve the subject facility. The valet parking concept shown on the attached plan did not seem to be in existence.

Ronald A. Young, P. E.
Project Manager
Development Activities

AH/km
attachment

cc: Jim Self
File

S-N 190-0019

