

Record Summary for Board of Adjustments

Record

Record #	Status	Opened Date
BOA-25-000105	In Review	12/26/2025

Application Name

Detailed Description

Application is made to the Board of Adjustment in accordance with Ordinance No. 25984 and the provisions of the Dallas Development Code Section 51A-4.112(f) to grant a Special Exception for an Accessory Dwelling Unit (ADU) for rent, as such use is not permitted by right within the zoning district.

The Applicant and Property Owner proposes the conversion of an existing attached pool house/garage located at the rear of the property into an Accessory Dwelling Unit. The proposed project maintains the existing building footprint, with no expansion of the building envelope and no increase in lot coverage.

The proposed ADU is 459 square feet, representing approximately 23.26% of the primary dwelling, ensuring the unit remains clearly subordinate in size, scale, and use to the main residence. The property provides sufficient on-site parking to serve both the primary residence and the ADU, and no changes to existing access points or traffic patterns are proposed.

The proposed use will not adversely affect adjacent properties with respect to traffic, parking, noise, privacy, light, or air, and will not alter the residential character of the neighborhood, as it utilizes an existing structure and remains visually unobtrusive from the public right-of-way.

The requested Special Exception represents the minimum relief necessary to allow reasonable use of the property consistent with the intent of the zoning ordinance and supports adaptive reuse of an existing structure while complying with all other applicable development standards.

Assigned To Department

Assigned to Staff

Board of Adjustment

Diana Barkume

Record Type

Board of Adjustments

Custom Fields

INTERNAL USE ONLY

Source of Request	Conservation District
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	0.26

PDOX INFORMATION

PDox Number	-
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PROPERTY INFORMATION

Existing Zoning	CD
Lot Number	4
Lot Size (Acres)	0.26
Block Number	2/5924
Lot Size (Sq. Ft)	11560.00
How many streets abut the property?	2
Land Use	Single-Family Residential
Is the property platted?	Yes

Status of Project	Proposed
Status of Property	Owner Occupied
Previous Board of Adjustment case filed on this property	No
Accommodation for someone with disabilities	No
File Date	12/24/2025
Seleccione si necesitara un interprete	-
Case Number	-
Are you applying for a fee waiver?	No
Have the standards for variance and or special exception been discussed?	Yes
Has the Notification Sign Acknowledgement Form been discussed?	Yes
Referred by	Self (Property Owner)

Custom Lists

Board of Adjustment Request

1

Type of Request	Special Exception
Request Description	Accessory dwelling unit-for rent
Application Type	Single Family/Duplex Variance or Special Exception
Affirm that an appeal has been made for	Additional Dwelling Unit (For Rent)
Application is made to BOA to grant the described appeal	Ord. 25984 and City Code 51A-4.112(1) allow only for single family and handicap group dwelling, do not allow for ADU without special exception.

Case Information

1

Full Request	ADU-for rent
Brief Request	ADU-for rent
Zoning Requirements	ADU-for rent
Relevant History	NA
BOA History	No

GIS Information

1

Census Tract Number	22
Council District	1

Street Frontage Information

1

Street Frontage	Front
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Linear Feet (Sq. Ft)	75
2	
Street Frontage	Side

Linear Feet (Sq. Ft) 147

Contact Information

Name	Organization Name	Contact Type	Phone
Kiara Marie Medina		Applicant	9175823347
Email: kiarammedina@gmail.com			
802 W Greenbriar Ln, Dallas, TX 75208			
Name	Organization Name	Contact Type	Phone
Kiara Marie Medina		Property Owner	9175823347
Email: kiarammedina@gmail.com			
802 W GREENBRIAR LN, DALLAS, TEXAS 752082620			

Address

802 W GREENBRIAR LN, Dallas, TX 75208

Parcel Information

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000045907600000							
0							

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Y	MEDINA KIARA MARIE	802 W GREENBRIAR LN, DALLAS, TEXAS 752082620	

Status History

Status	Comment	Assigned Name	Status Date
Payment Due		Diana Barkume	12/30/2025
In Review	Updated By Script	Accela Administrator	12/31/2025
In Review		Anna Brickey	12/31/2025



City of Dallas

Planning & Development Department

320 E Jefferson Blvd,
Dallas TX 75203
(214) 948-4480

Board of Adjustment:
1500 Marilla Street, 5CN
Dallas Tx75201
(214) 948-4480

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT

OFFICE USE ONLY

Case no. _____
Date _____

Data Relative to Subject Property: _____

Location address: 802 W Greenbriar Ln Zoning District: CD-13

Lot No.: 4 Block No.: 215924 Acreage: 0.26 Census Tract: _____

Street Frontage (in Ft.): 1) _____ 2) _____ 3) _____ 4) _____ (5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Kiara Marie Medina

Applicant: Kiara Marie Medina Telephone: 9175823347

Mailing Address: 802 W Greenbriar Ln Zip Code: 75208

E-mail Address: Kiarammedina@gmail.com

Represented by: _____ Telephone: _____

Mailing Address: _____ Zip Code: _____

E-mail Address: _____

Affirm that an appeal has been made for a Variance or Special Exception, of:

Accessory Dwelling Unit (For Rent)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Ord. 25984 and City Code 51A-4.112(f) allow only for single family + handicap

Note to Applicant: If the appeal requested in this application is granted by the Board of group
Adjustment, a permit must be applied for within 180 days of the date of the final action of dwelling,
the Board, unless the Board specifically grants a longer period. do not allow for
ADU without
special
exception

Affidavit

Before me, the undersigned on this day personally appeared Kiara Marie Medina
(Affiant/Applicant's name printed)

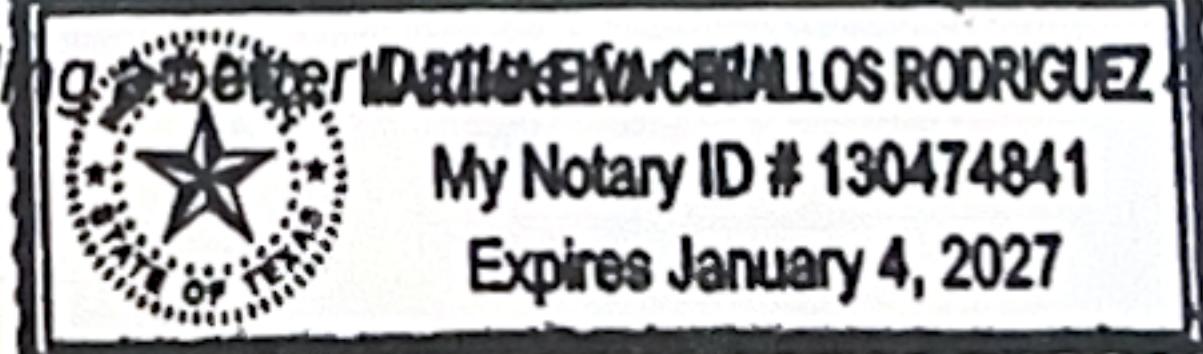
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: Kiara L. Medina Rodriguez
(Affiant/ Applicant's signature)

Subscribed and sworn to before me this 26th day of December, 2025

Notary Public in and for Dallas County, Texas

Together we are planning and building a better Dallas. WE ARE DALLAS NANCY ALLOS RODRIGUEZ 10/30/2025



SHIPPED DATE: 6-6-96 RECEIVED DATE: 9-16-96

ANNEXED MAY 16, 1945 ORD. NO. 3626
SURVEY AARON OVERTON ABST. 1101

CITY OF DALLAS PLAT BOOKS

ADDITION SAM DEALEY ESTATES

SCALE 100 FT. EQUALS 1 INCH

1 THRU 6
BLOCKS 5924 & 5925

SCHOOL DIST. DALLAS

RECORDED 3-4-46
REVISION PT. BLK.4 - REC'D. 6-14-49
REVISION PT. BLK.5 - REC'D. 11-16-49

3
5926 KESSLER
UNDEDICATED 248^{1/2} STREET

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PARK
CANTERBURY COURT
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PROJECT INFORMATION

ADU AT THE GREENBRIAR RESIDENCE

**802 W GREENBRIAR LN,
DALLAS, TX 75208**

ABBREVIATIONS

V:	ABOVE HDW HARDWARE	REFR:	REFRIGERATOR
AFF:	ABOVE FINISHED FLOOR	EL:	ELEVATION
HR:	HAND RAIL	REINF:	REINFORCED
ADJ:	ADJUSTABLE	EQ:	EQUAL
HVAC:	HEATING/VENTILATING/AIR CONDITIONING	REQ'D:	REQUIRED
AB:	ANCHOR BOLT	ROW:	RIGHT OF WAY
HM:	HOLLOW METAL	RM:	ROOM
ALT:	ALTERNATE	RO:	ROUGH OPENING
HORIZ:	HORIZONTAL	EMB:	EMBED
ALUM:	ALUMINUM	RB:	RUBBER BASE
HT:	HEIGHT	EJ:	EXPANSION JOINT
ANOD:	ANODIZED	EXT:	EXTERIOR
HWH:	HOT WATER HEATER	SIM:	SIMILAR
APPROX:	APPROXIMATE	EN:	END NAIL
INSUL:	INSULATION	SHT:	SHEET
BM:	BENCH MARK	EIFS:	EXTERIOR INSULATION
INT:	INTERIOR	SAT:	SUSPENDED ACOUSTICAL
BLK:	BLOCK	TILE:	
JHA:	JURISDICTION HAVING	EQUIP:	EQUIPMENT
AUTHORITY:		STL:	STEEL
BLKG:	BLOCKING	EXP:	EXPOSED
JT:	JOINT	SPEC:	SPECIFICATION
BLDG:	BUILDING	FO:	FACE OF
LAV:	LAVATORY	SF:	SQUARE FEET
BO:	BOTTOM OF	FOC:	FACE OF CONCRETE
LT WT:	LITE WEIGHT	STOR:	STORAGE
CR:	CATCH BASIN	FOF:	FACE OF FRAMING
MAX:	MAXIMUM	SUSP:	SUSPENDED
CLG:	CEILING	FIN:	FINISH
MECH:	MECHANICAL	SYS:	SYSTEM
CT:	CERAMIC TILE	FE:	FIRE EXTINGUISHER
MH:	MANHOLE	TEL:	TELEPHONE
CL:	CENTER LINE	FF:	FINISH FLOOR
MFR:	MANUFACTURER	T&G:	TONGUE & GROOVE
CLR:	CLEAR	FEC:	FIRE EXTINGUISHER AND
MAT:	MATERIAL	THK:	THICK
COL:	COLUMN	FD:	FLOOR DRAIN
MTL:	METAL	TB:	TOWEL BAR
COMP:	COMPOSITE	FLR:	FLOOR OR FLOORING
MIN:	MINIMUM	TOB:	TOP OF BEAM
CONC:	CONCRETE	FTG:	FOOTING
MOLD:	MOLDING	TS:	TOP OF GLL
CMU:	CONCRETE MASONRY	TOW:	TOP OF WALL
UNIT:		FND:	FOUNDATION
CONT:	CONTINUOUS OR	TPD:	TOILET PAPER DISP.
CONTINUE:		FOIC:	FURNISHED BY OWNER
NOM:	NOMINAL	INSTALLED BY CONTRACTOR	
CONST:	CONSTRUCTION	TPL:	TOP PLATE
NIC:	NOT IN CONTRACT	TO:	TOP OF
CJ:	CONTROL JOINT	GA:	GAGE
NTS:	NOT TO SCALE	TYP:	Typical
CPT:	CARPET	GALV:	GALVANIZED
DBL:	DOUBLE	UNO:	UNLESS NOTED
O/C:	ON CENTER	OTHERWISE:	
DEMO:	DEMOLISH/DEMOLITION	GB:	GRAB BAR
OPG:	OPENING	UR:	URINAL
DIA:	DIAMETER	GEN:	GENERATOR
OPP:	OPPOSITE	VB:	VAPOR BARRIER
DIM:	DIMENSION	GL:	GLASS
OH:	OVERHEAD	VENT:	VENTILATION
DISP:	DISPENSER	GLB:	GLU-LAM BEAM
PTD:	PAPER TOWEL DISP.	VERT:	VERTICAL
DR:	DOOR	GR:	GUARD RAIL
PVMT:	PAVEMENT	VG:	VERTICAL GRAIN
DW:	DISHWASHER	GVB:	GYPSUM/WALL BOARD
PERF:	PERFORATED	GYP:	GYPSUM
DWS:	DRAWINGS	WP:	WATERPROOFING
PLAM:	PLASTIC LAMINATE	WB:	WATERPROOFING
DWR:	DRAWER	HB:	HOSE BIB
PVC:	POLYVINYL CHLORIDE	WWF:	WELDED WIRE FABRIC
DF:	DRINKING FOUNTAIN	HC:	HANDICAPPED
PT:	PRESSURE TREATED	WR:	WATER RESISTANT
DS:	DOWN SPOUT	HD:	HOLD DOWN
PL:	PROPERTY LINE OR PLATE	WND:	WINDOW
EA:	EACH	HDR:	HEADER
PLY:	PLYWOOD	WD:	WOOD
ELEC:	ELECTRIC	NOTE:	

IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE, AND THERE IS ANY QUESTION AS TO ITS' INTENDED MEANING, NOTIFY THE ARCHITECT IMMEDIATELY.

RESIDENTIAL GENERAL NOTES

- It is the responsibility of the contractor to fully aware of any and all conditions related to the site and existing conditions that may effect the cost of scheduling construction activities, prior to the start of the bid.
- The contractor shall verify all dimensions and conditions at the job site including soil conditions, and conditions related to the existing utility and services before commencing work and be responsible for same. All discrepancies shall be reported to the owner immediately.
- Dimensions and locations of all existing structures, walls, columns, beams, joists, and other structural elements shall be true to face of framing or center line of columns unless otherwise specified. All dimensions shall be six (6) inches from face of adjacent wall or centered between walls.
- The contractor shall provide a copy of the construction documents to the architect. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and structural engineer.
- Building systems and components not specifically detailed shall be installed, as per minimum manufacturers recommendations. Notify the architect of any resulting conflicts.
- All work shall conform to applicable building codes and ordinances. In case of conflict between the methods or standards of construction and the requirements of the laws or ordinances, the laws or ordinances shall govern.
- Plumbing, mechanical and electrical drawings, etc. are supplementary to the architectural drawings. It shall be the responsibility of each contractor to check the architectural drawings before commencing work. Any discrepancy between the architectural drawings and the contractor's interpretation of the drawings shall be resolved by the architect.
- This project contains glazing that will be subject to federal and local glazing standards and the glazing subcontractor shall be responsible for adherence to these requirements. If the glazing subcontractor finds anything in the documents not in compliance with the standards, he shall advise the architect.
- Provide pressure relief valve for hot water tank. Drain to the outside of the building with drain end no more than 6 feet nor less than 6" above the ground, pointing down.
- Hot water tanks and piping flexible piping connections and over four feet tall shall be strapped down to prevent overturn in an earthquake.
- Provide an approved back flow prevention device at all hose bays.
- Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal.
- Contractor shall provide temporary bracing for the structure and components until final connections have been completed in accordance with the plans.
- Carry all footings to solid, undisturbed original earth. Remove all unsuitable material under footings and slab and replace with concrete or gravel as specified by the architect.
- All wood framing details not shown otherwise shall be constructed to the minimum standards of the IRC.
- All wood in direct contact with concrete or exposed to weather shall be pressure treated with an approved preservative unless decay resistance is otherwise specified.
- Mail gypsum wallboard to all studs, top and bottom plates and blocking with cooler nails @ 7 inches o.c. maximum spacing unless shown otherwise.
- Provide galvanic insulation between dissimilar metals.
- Structural, electrical, mechanical and environmental services to the site prior to beginning any site improvements.
- No materials from the work are to be stock piled on public right-of-ways. All rubbish and debris is to be removed from the site.
- Permit required for all site work. Site plan to be submitted to the city for review and approval.
- All downspouts and root drains to be connected to storm sewer by lightning unless (permitted by local jurisdiction) site conditions allow for drywells or surface drainage and unless noted otherwise in construction documents.
- The contractor shall secure permits required by the fire department for building occupation.
- The contractor shall take necessary precautions to ensure the safety of the occupants and workers at all times during the course of the work.
- Approved plans shall be kept in a plan box and shall not be used by anyone. All construction sets shall reflect the same information as the original set. One set of plans shall be retained in the event of a fire or other uncontrollable circumstances.
- The contractor and/or the sub-contractors shall apply for, obtain and pay for all required permits and fees except for the building permit.
- Coordinate prior to pricing all work as required with the building management including use of temporary storage, loading areas, building systems, keying systems, execution of work or stocking of materials during off hours etc.
- Coordinate all facets of the work and all trades involved so as to avoid conflict in the location, installation, as construction of the work as indicated in the drawings.
- Be responsible for the development coordination and examination of construction methods and procedures.
- Be responsible for checking all field conditions and dimensions and confirming that all details, dimensions, etc. are buildable as shown. If there are questions, the contractor must first obtain clarification from the tenant before proceeding with such work or related construction.
- Verify all existing conditions in the field. All dimensions shall be verified in the field for coordination with existing and new conditions. The contractor shall notify the tenant of any discrepancies between the drawings and the existing conditions prior to pricing, ordering or proceeding with the work.
- Be responsible for correction of all work at his own expense for any work installed in conflict with the drawings, including sequencing or coordination induced errors.
- Responsible for safe removal and disposal of interior construction shown to be removed. General contractor shall be responsible for removal of any damages arising out of demolition work.
- Install all equipment and appliances specified according to manufacturers instructions and specifications. The general contractor shall verify that all clear opening dimensions in associated cabinetry adequately accommodate the specified equipment.
- Refinish entire existing surface as necessary to provide an even finish to match adjacent finishes.
- Provide all necessary blocking, stiffeners, bracing, framing, hangers, or other items in this contract or existing construction requiring the same or for N.I.C. items specifically noted.
- All tenant details are to be coordinated with the base building structural framing and other building components, structural and fireproofing requirements shall comply with all applicable codes and regulations.
- All dimensions are taken from the face of the finished wall, floor, or ceiling unless noted otherwise.
- No dimension shall be taken by scaling from these drawings.
- Datum points must be set with a laser level and remain true and level throughout the space.
- All standard construction shall conform to the standard details for tenant improvement except as superceded by specific details herein.
- Work done for electrical, mechanical, plumbing and sprinklers will be done by sub-contractors with current local license and will follow the current local and state building code.
- Egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort. A readily visible sign on or adjacent to the door on the egress side in one inch high letters shall read "THIS DOOR IS REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED". Locking device is readily distinguished as a lock.
- The fire alarm system is to be in working order and be in compliance with local requirements.
- Materials containing asbestos are not allowed to be used on this project. Contractor is to comply with state asbestos laws. Contractor is to provide materials cut sheets for all materials used.

PLUMBING NOTES

- All plumbing work is to be BIDDER DESIGNED. The final design shall be based on the mechanical drawings and specifications contained in this set, and shall comply with all applicable CODES, including but not limited to the CODES referenced in General Notes.
- The plumbing work must adhere to all requirements of the construction documents and performance specifications. Additional notes are contained in the drawings.
- It shall be the responsibility of each Contractor to check with the Architectural drawings before installation of their work. Any discrepancy between the Architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the Architect's attention in writing.
- Each Contractor shall obtain their ancillary permit(s) as required.
- Provide pressure relief valve for hot water tank. Drain to the outside of the building with drain end no more than 6 feet nor less than 6" above the ground, pointing down.
- Hot water tanks and piping flexible piping connections and over four feet tall shall be strapped down to prevent overturn in an earthquake.
- Provide an approved back flow prevention device at all hose bays.
- Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal.
- Contractor to provide horizontal drainage piping that meets the UPC/IPC for slope requirements.

THE GENERAL CONTRACTOR SHALL

- BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST DISTURBANCE TO THE PUBLIC.
- COORDINATE PRIOR TO PRICING ALL WORK AS REQUIRED WITH THE BUILDING MANAGEMENT INCLUDING USE OF TEMPORARY STORAGE, LOADING AREAS, BUILDING SYSTEMS, KEYING SYSTEMS, EXECUTION OF WORK OR STOCKING OF MATERIALS DURING OFF HOURS ETC.
- COORDINATE ALL FACETS OF THE WORK AND ALL TRADES INVOLVED SO AS TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AS CONSTRUCTION OF THE WORK AS INDICATED IN THE DRAWINGS.
- BE RESPONSIBLE FOR THE DEVELOPMENT COORDINATION AND EXAMINATION OF CONSTRUCTION METHODS AND PROCEDURES.
- BE RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT ALL DETAILS, DIMENSIONS, ETC. ARE BUILDABLE AS SHOWN. IF THERE ARE QUESTIONS, THE CONTRACTOR MUST FIRST OBTAIN CLARIFICATION FROM THE TENANT BEFORE PROCEEDING WITH SUCH WORK OR RELATED CONSTRUCTION.
- VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD FOR COORDINATION WITH EXISTING AND NEW CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE TENANT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS PRIOR TO PRICING, ORDERING OR PROCEEDING WITH THE WORK.
- BE RESPONSIBLE FOR CORRECTION OF ALL WORK AT HIS OWN EXPENSE FOR ANY WORK INSTALLED IN CONFLICT WITH THE DRAWINGS, INCLUDING SEQUENCING OR COORDINATION INDUCED ERRORS.
- RESponsible for safe removal and disposal of interior construction shown to be removed. General contractor shall be responsible for removal of any damages arising out of demolition work.
- INSTALL ALL EQUIPMENT AND APPLIANCES SPECIFIED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL CLEAR OPENING DIMENSIONS IN ASSOCIATED CABINETRY ADEQUATELY ACCOMMODATE THE SPECIFIED EQUIPMENT.
- REFINISH ENTIRE EXISTING SURFACE AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
- PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS, OR OTHER ITEMS IN THIS CONTRACT OR EXISTING CONSTRUCTION REQUIRING THE SAME OR FOR N.I.C. ITEMS SPECIFICALLY NOTED.
- ALL TENANT DETAILS ARE TO BE COORDINATED WITH THE BASE BUILDING STRUCTURAL FRAMING AND OTHER BUILDING COMPONENTS, STRUCTURAL AND FIREPROOFING REQUIREMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- ALL DIMENSIONS ARE TAKEN FROM THE FACE OF THE FINISHED WALL, FLOOR, OR CEILING UNLESS NOTED OTHERWISE.
- NO DIMENSION SHALL BE TAKEN BY SCALING FROM THESE DRAWINGS.
- DATUM POINTS MUST BE SET WITH A LASER LEVEL AND REMAIN TRUE AND LEVEL THROUGHOUT THE SPACE.
- ALL STANDARD CONSTRUCTION SHALL CONFORM TO THE STANDARD DETAILS FOR TENANT IMPROVEMENT EXCEPT AS SUPERCEDED BY SPECIFIC DETAILS HEREIN.
- WORK DONE FOR ELECTRICAL, MECHANICAL, PLUMBING AND SPRINKLERS WILL BE DONE BY SUB-CONTRACTORS WITH CURRENT LOCAL LICENSE AND WILL FOLLOW THE CURRENT LOCAL AND STATE BUILDING CODE.
- EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR ON THE EGRESS SIDE IN ONE INCH HIGH LETTERS SHALL READ "THIS DOOR IS REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED". LOCKING DEVICE IS READILY DISTINGUISHED AS A LOCK.
- THE FIRE ALARM SYSTEM IS TO BE IN WORKING ORDER AND BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
- MATERIALS CONTAINING ASBESTOS ARE NOT ALLOWED TO BE USED ON THIS PROJECT. CONTRACTOR IS TO COMPLY WITH STATE ASBESTOS LAWS. CONTRACTOR IS TO PROVIDE MATERIALS CUT SHEETS FOR ALL MATERIALS USED.

SCOPE OF PROJECT:

CONVERT THE EXISTING ATTACHED POOL HOUSE INTO AN ACCESSORY DWELLING UNIT (ADU) at 802 W GREENBRIAR LN, DALLAS, TX, MAINTAINING THE EXISTING BUILDING FOOTPRINT AND PRIMARY STRUCTURE WHILE RECONFIGURING THE INTERIOR TO PROVIDE A LIVING/SLEEPING AREA, KITCHENETTE, AND FULL BATHROOM WITH NEW PARTITIONS, FINISHES, DOORS, AND WINDOWS AS NEEDED. WORK INCLUDES UPGRADING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS WITH NEW FIXTURES, LIGHTING, OUTLETS, HVAC, AND UTILITY CONNECTIONS TO COMPLY WITH CURRENT APPLICABLE CODES. THE BUILDING ENVELOPE WILL BE IMPROVED AS REQUIRED (UPGRADE EXTERIOR ENVELOPE, EXTERIOR SURFACES) TO MEET CURRENT ENERGY AND LIFE-SAFETY STANDARDS. ASSOCIATED SITE WORK WILL PROVIDE CODE-COMPATIBLE ACCESS, PARKING, AND ANY NECESSARY GRADING/DRAINAGE AND UTILITY ADJUSTMENTS RELATED TO THE ADU USE, ALONG WITH INSTALLATION OF A NEW 8'-0" PERIMETER PRIVACY FENCE.

SQUARE FOOTAGE TABULATION	
EXISTING MAIN DWELLING	
LIVING AREA: 1,885 SF	
COVERED PATIO: 45 SF	
COVERED PORCH: 43 SF	
TOTAL EXISTING: 1,973 SF	
REMODEL	
CONVERTED GARAGE TO ADU: 459 SF	
TOTAL REMODEL: 459 SF	
TOTAL AUR: 2,432 SF	

All construction shall comply with:

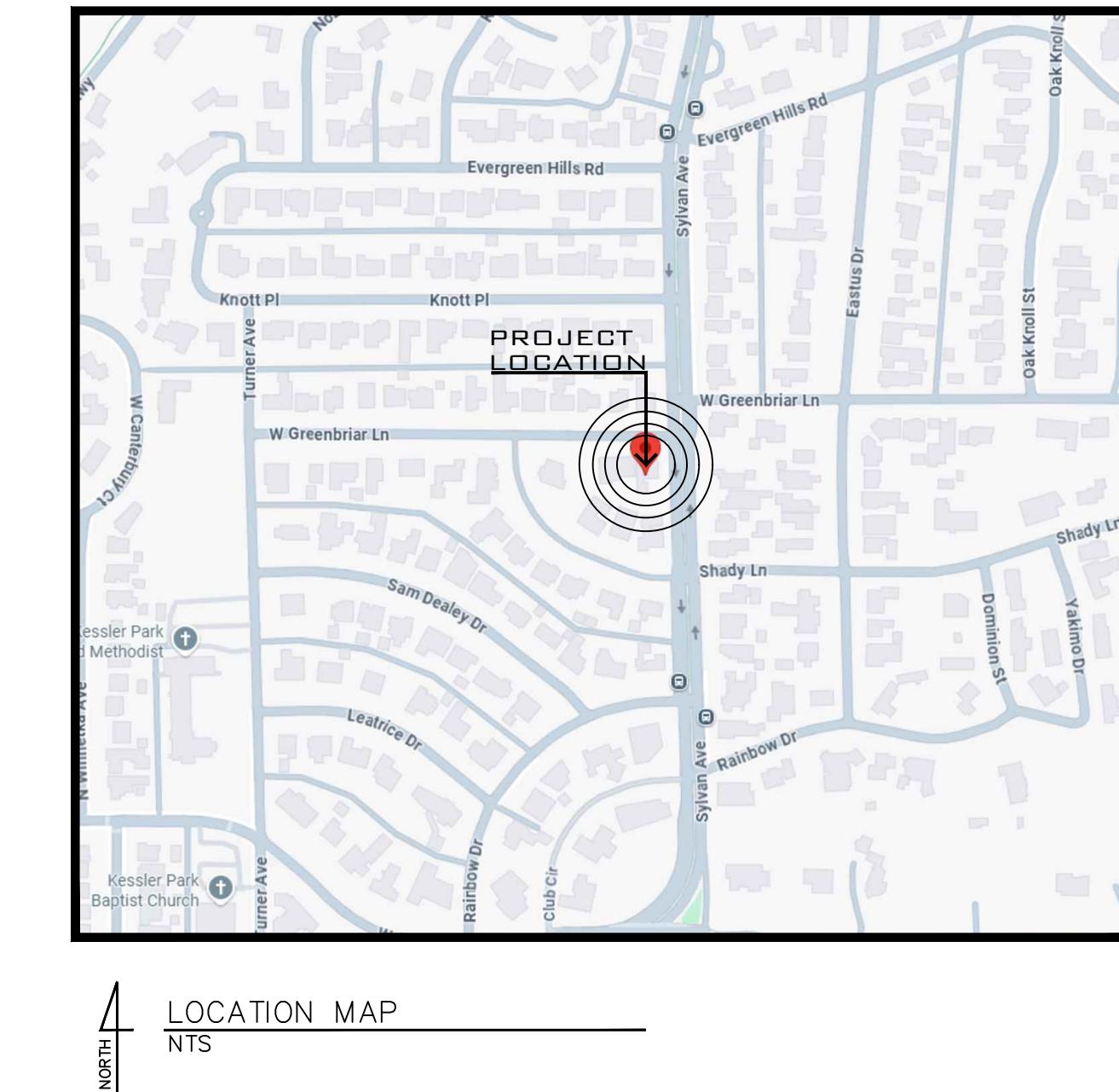
- 2021 International Residential Code (IRC) with statewide amendments
- 2021 International Mechanical Code (IMC) with statewide amendments
- 2021 International Fuel Gas Code both (IFGC), with state amendments
- 2021 International Plumbing Code (IPC) with statewide amendments
- 2021 International Fire Code (IFC) with statewide amendments,
- 2020 National Electrical Code (NEC) (NFPA 70)
- 2021 International Energy Code (IEC) with statewide amendments

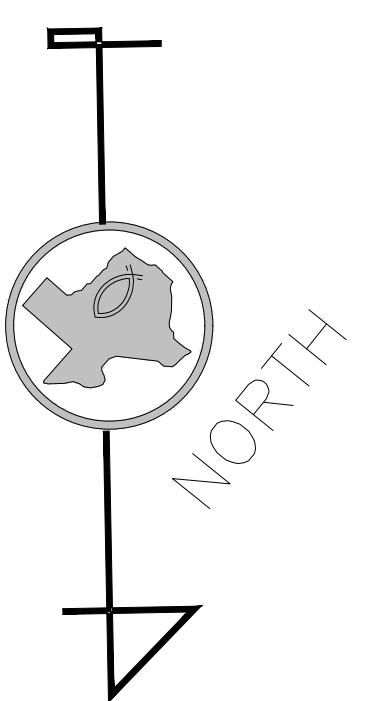
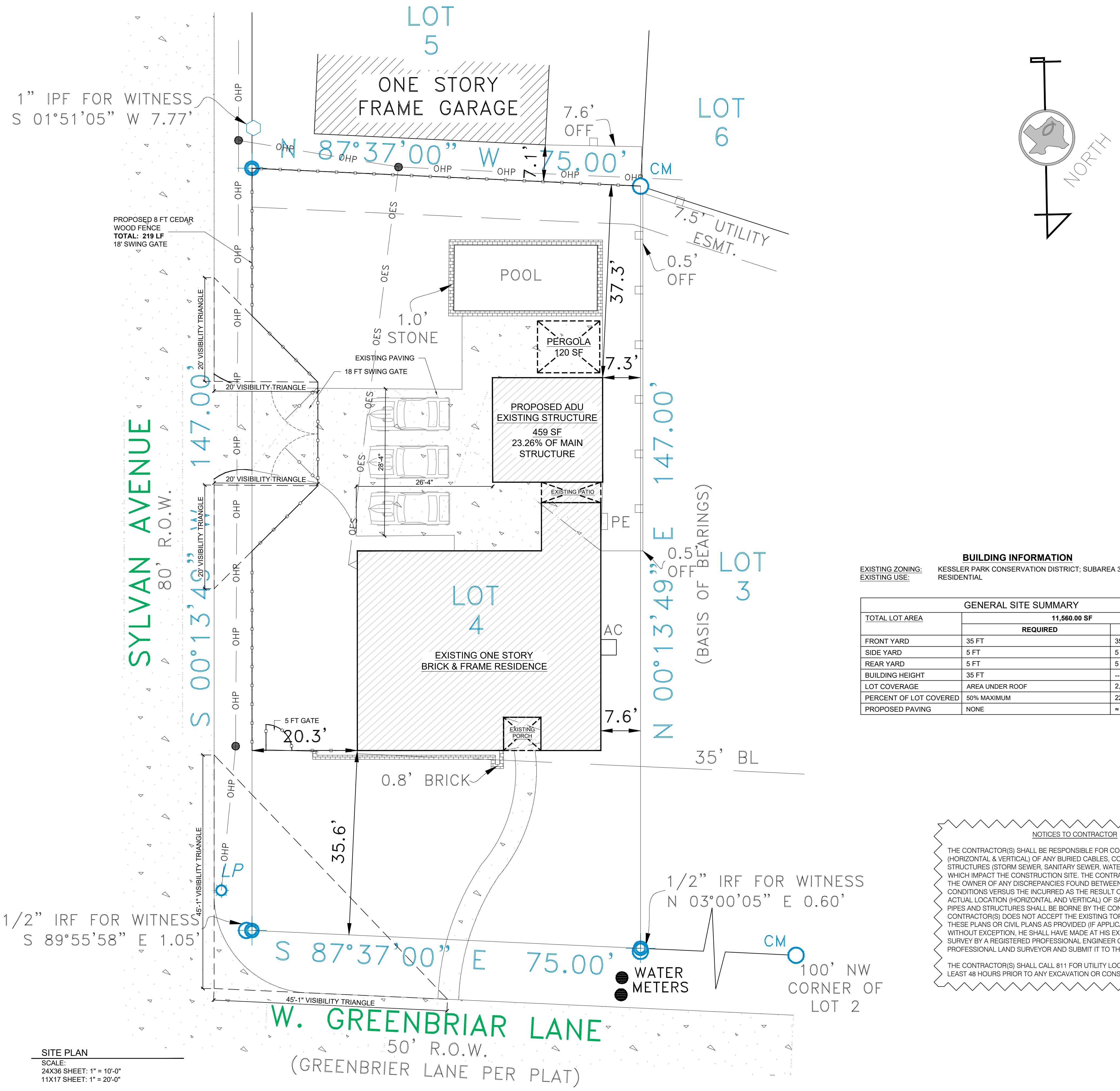
AND all applicable local and municipal codes, ordinances and standards.

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GREATER CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN CONSTRUCTION METHODS AND MATERIALS USED, THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO DESIGN OMISSIONS OR DEFICIENCIES. THESE PLANS OWNERS/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS PROJECT. ANY ALTERATION, ADDITION, REMOVAL, OR TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

SCALE: 24X36 1/4" x 1'-0" || 11X17 1/8" x 1'-0"





BUILDING INFORMATION

GENERAL SITE SUMMARY		
TOTAL LOT AREA	11,560.00 SF	
	REQUIRED	PROVIDED
FRONT YARD	35 FT	35 FT
SIDE YARD	5 FT	5 FT
REAR YARD	5 FT	5 FT
BUILDING HEIGHT	35 FT	-- FT
LOT COVERAGE	AREA UNDER ROOF	2,552 SF
PERCENT OF LOT COVERED	50% MAXIMUM	22.08%
PROPOSED PAVING	NONE	≈ 0 SF

GENERAL NOTES

1. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
2. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
3. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE DESIGNER FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
4. CONTRACTOR SHALL ENSURE THAT ALL EMPLOYEES, AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.
5. COORDINATE TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEMS. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
6. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
7. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN, IN CASE OF CONFLICT, CONSULT THE DESIGNER.
8. PARTITIONS ARE DIMENSIONED FROM FACE OF STUD TO FACED OF STUD U.N.O.. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
9. CONTRACTOR TO FIELD TO VERIFY ALL EXISTING SIZES, LOCATIONS, AND CHARACTERISTICS OF EXISTING EQUIPMENT BEFORE CONSTRUCTION AND TO FULLY COORDINATE TO DESIGN DOCUMENTS TO CORRECT ANY FIELD CONDITIONS OR CONFLICTS AS REQUIRED.
10. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4-INCH, U.N.O..
11. PROVIDE CEILING BRACING, WHERE REQUIRED, IN ACCORDANCE WITH REQUIREMENTS OR APPLICABLE CODES AND AS INDICATED ON DRAWINGS.
12. GLAZING SHALL CONFORM WITH ALL FEDERAL AND LOCAL GLAZING CODES AND ORDINANCES.
13. FIELD VERIFY DIMENSIONS, UTILITY LOCATIONS AND CONDITIONS PRIOR TO AND DURING CONSTRUCTION.

FILE PROTECTION NOTES

1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CHAIN LINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREA OTHER THAN SHOWN ON THE PLAN WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
2. DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
5. NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE

SCALE:

AS NOTED
DATE: 12/09/20

12/09/23

SITE PLAN

1

A1-0

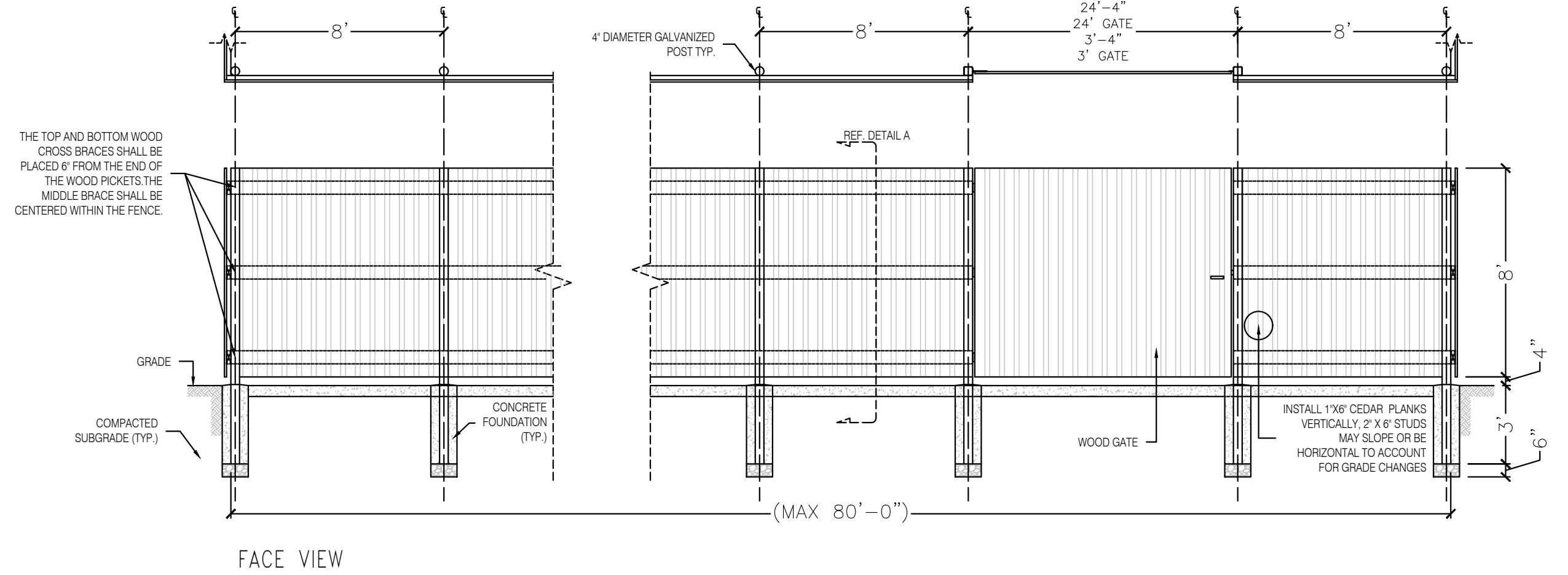
Maintenance Notes

1. FENCE TO BE MAINTAINED AND REPAIRED AS NEEDED DURING CONSTRUCTION.
2. NO CONSTRUCTION TRAFFIC, GRADING, STORAGE OR WASTE DISPOSAL ALLOWED WITHIN THE FENCED AREA AROUND TREES.

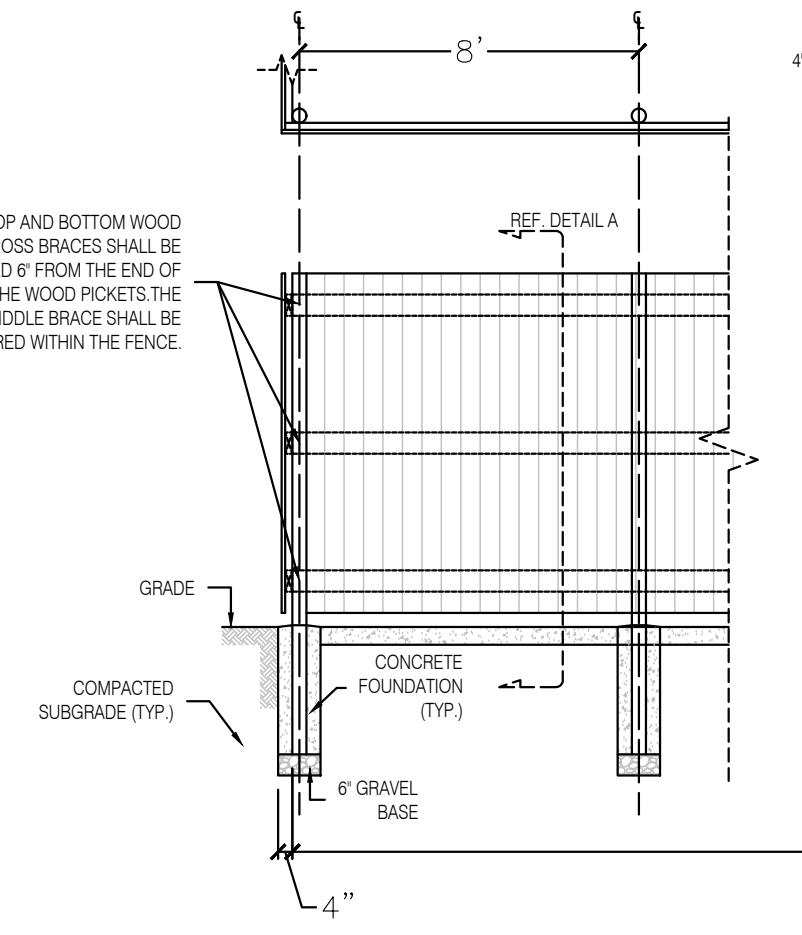
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GREAT CARE AND EFFORT HAVE GONE IN THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE CREATOR OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS OR DEFICIENCIES ON THESE PLANS. THE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

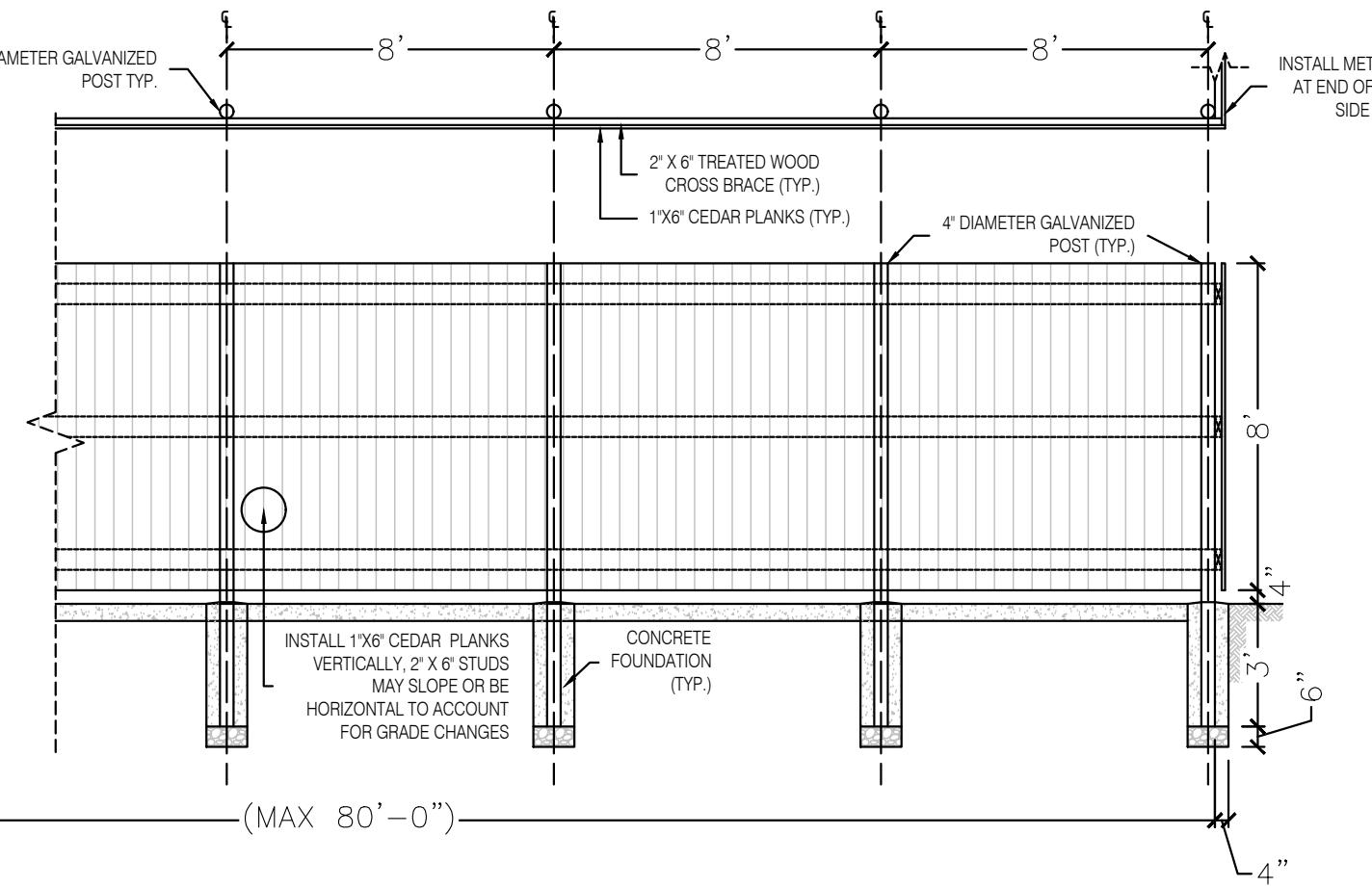
SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1-0"



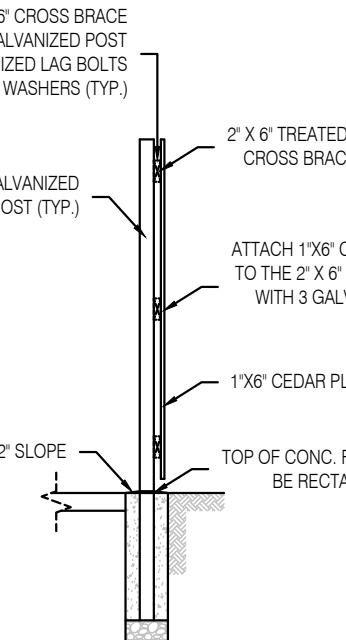
FACE VIEW



FACE VIEW



DETAIL A SECTION VIEW



ADDRESS: 802 W 11th

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BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

CALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1-0"

802 W GREENBRIAR LN,
DALLAS, TX 75208

V0 - 07/30

PROJECT DATA: [REDACTED] CONSULTANT: [REDACTED] REVISIONS: [REDACTED] ADDRESS: [REDACTED]

LEGAL DESCRIPTION:
DEALEY SAM EST
BLK 2/5924 LOT 4

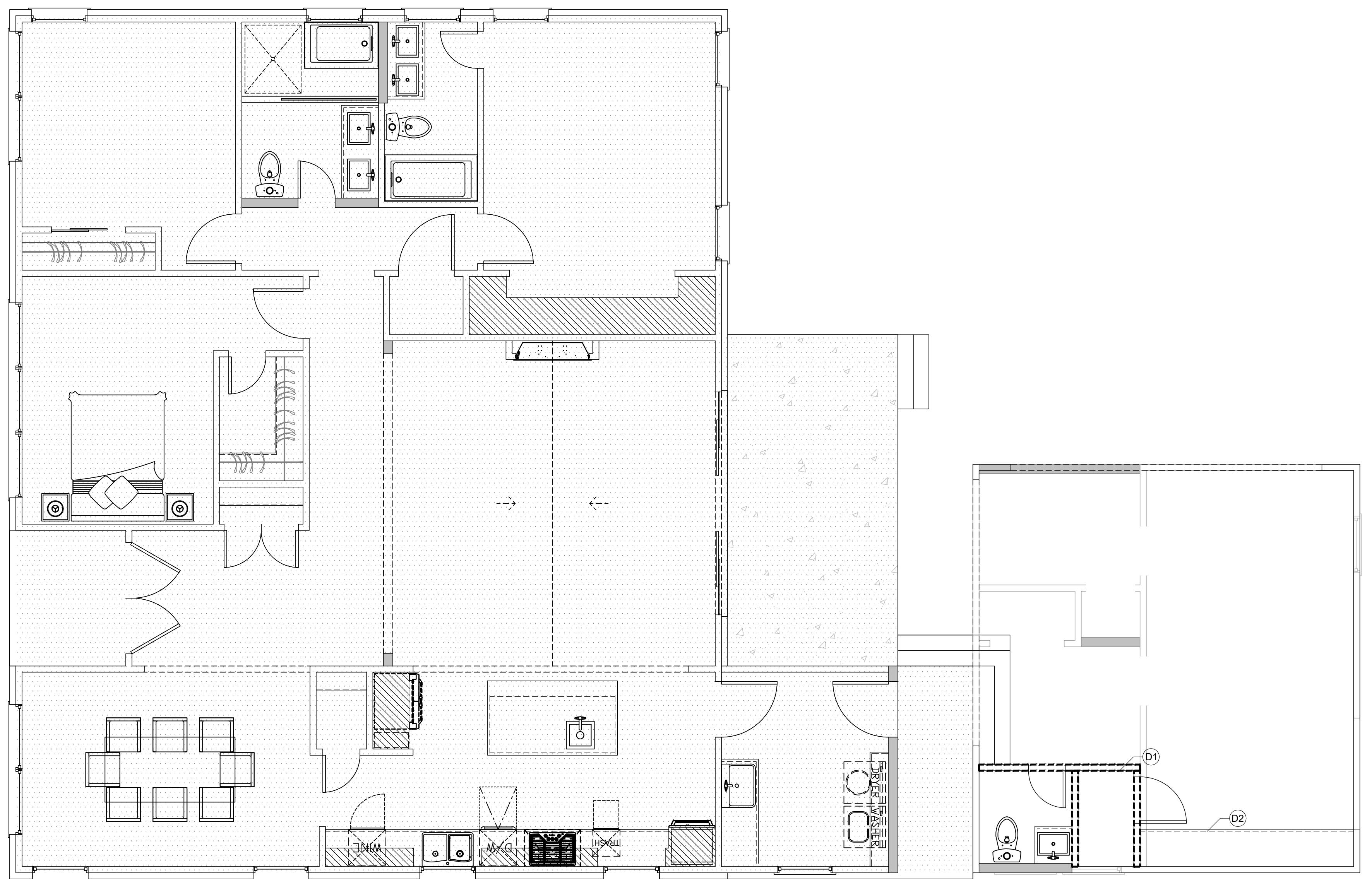
SCALE:
AS NOTED
DATE:
12/09/25
FLOOR
PLAN

A2-0

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS ARE NOT DRAWN AND CHECKED BY THE BUILDER, HOMEOWNER, AND DO NOT CONSTITUTE A CONTRACT. THE BUILDER OR CONTRACTOR SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND PLUMBING PLANS PRIOR TO COMMENCING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS PRECEDENCE OVER ANY PART OF THESE PLANS.

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DEMOLITION NOTES BY NUMBER

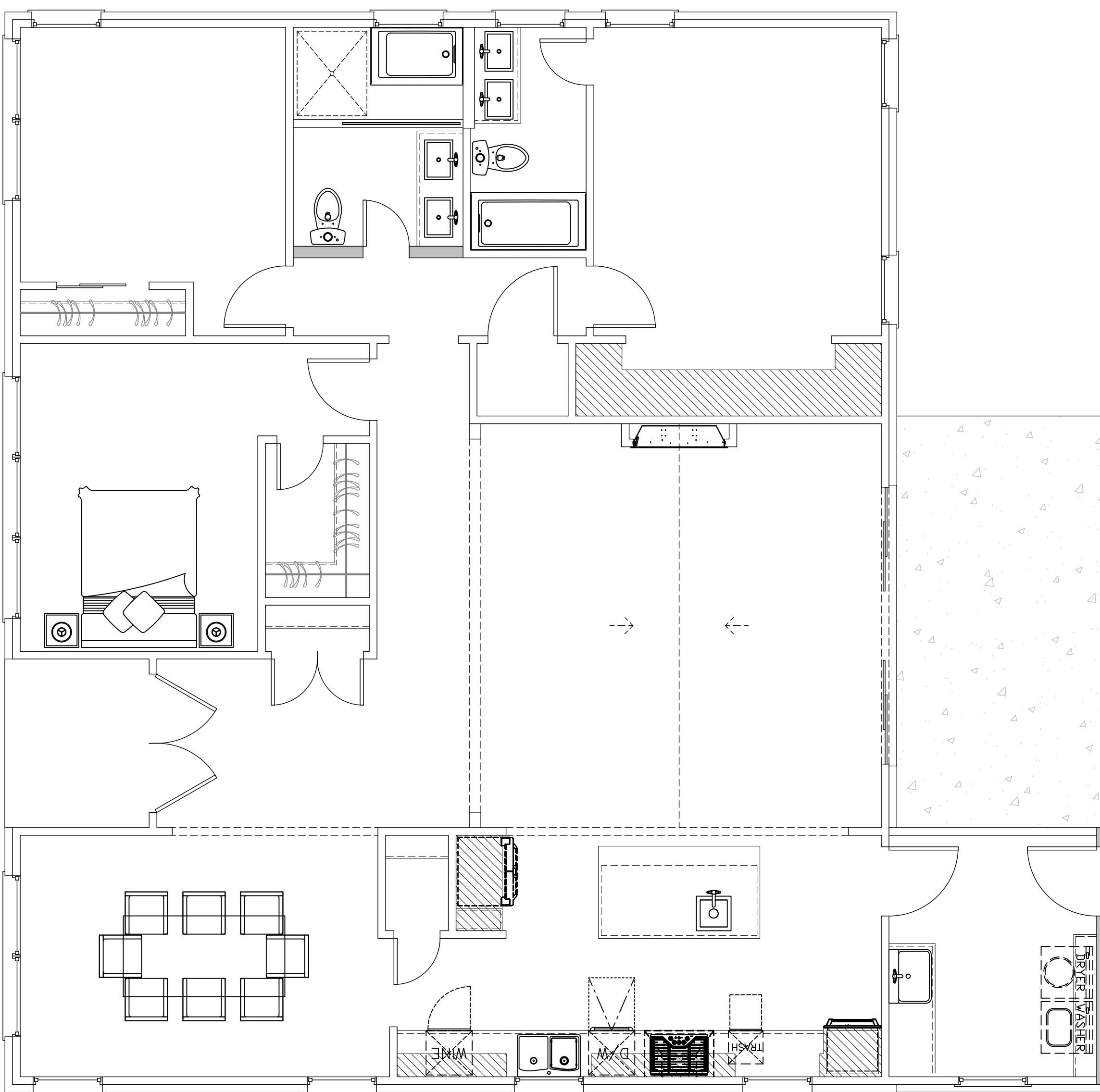
D1. DEMO EXISTING POWDER BATH AND EXTEND EXISTING PLUMBING THROUGH WALLS FOR NEW PROPOSED FULL BATHROOM.
D2. DEMO CABINETRY.

DEMOLITION PLAN LEGEND

=====	EXISTING PARTITION TO REMAIN.	/	EXTENT OF DEMOLITION.
-----	EXISTING PARTITION TO BE REMOVED.		NOT IN CONTRACT.
=====	PROPOSED WALLS.	(DX)	PLAN NOTE SYMBOL.
(E)	DENOTES EXISTING TO REMAIN.	XXXXX	CMU BLOCK WALL.
(R)	DENOTES EXISTING TO BE RELOCATED.		PARTIAL WALL PARTITION.
(D)	DENOTES EXISTING TO BE DEMOLISHED.	[REDACTED]	DEMO AREA, RE NOTES FOR ITEMS TO BE DEMOED.

FLOOR PLAN - AS-BUILT

SCALE:
24X36 SHEET: 1/4" = 1'-0"
11X17 SHEET: 1/8" = 1'-0"



PROPOSED FLOOR PLAN

SCALE:
24X36 SHEET: 1/4" = 1'-0"
11X17 SHEET: 1/8" = 1'-0"

BUILDING INFORMATION

EXISTING ZONING: KESSLER PARK CONSERVATION DISTRICT; SUBAREA 3
EXISTING USE: RESIDENTIAL

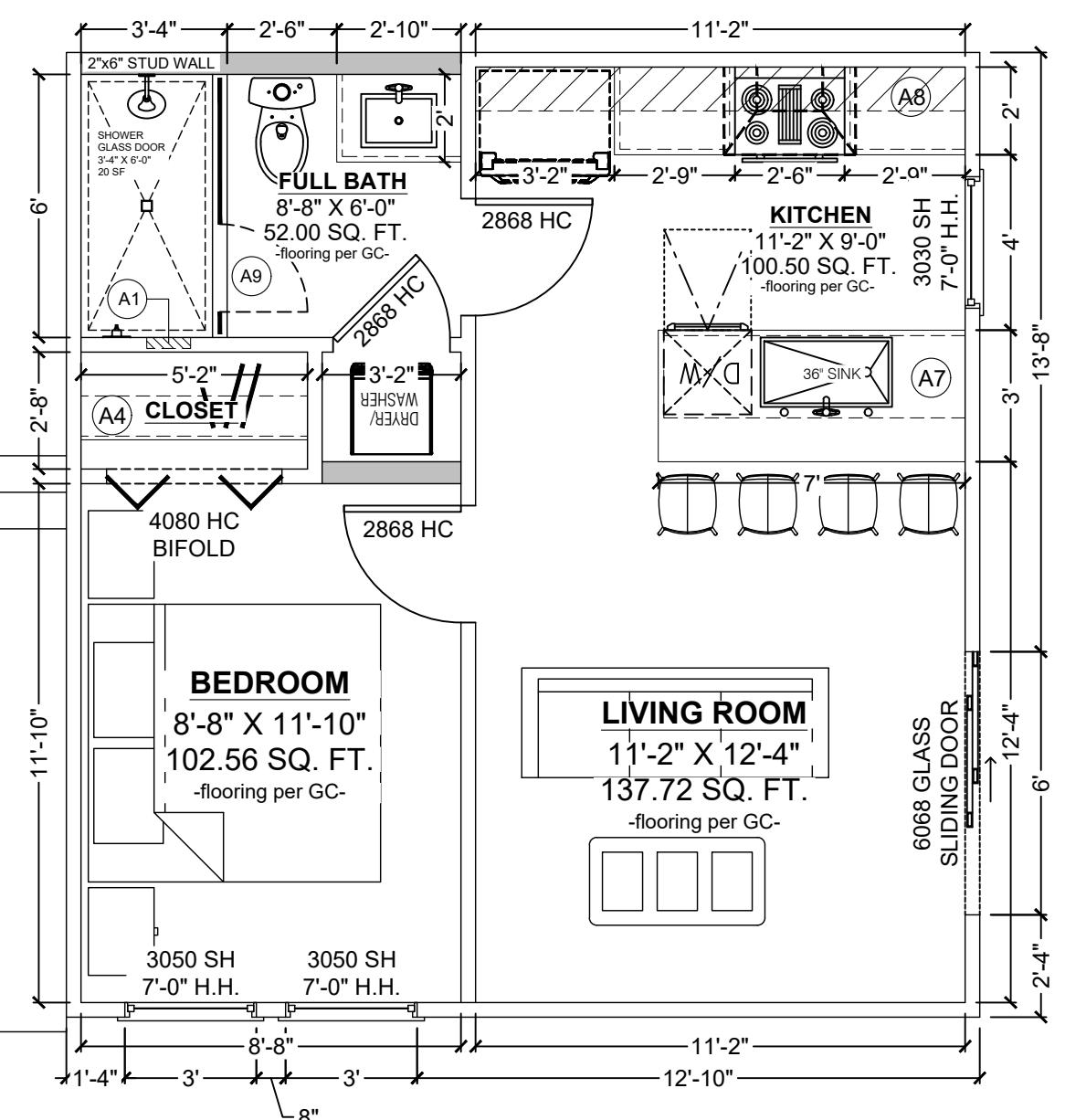
GENERAL SITE SUMMARY

GENERAL SITE SUMMARY		
<u>TOTAL LOT AREA</u>	11,560.00 SF	
	REQUIRED	PROVIDED
FRONT YARD	35 FT	35 FT
SIDE YARD	5 FT	5 FT
REAR YARD	5 FT	5 FT
BUILDING HEIGHT	35 FT	-- FT
LOT COVERAGE	AREA UNDER ROOF	2,552 SF
PERCENT OF LOT COVERED	50% MAXIMUM	22.08%
PROPOSED PAVING	NONE	≈ 0 SF

PLAN NOTES BY NUMBER

- A1. WALL NICHE. CORRELATE WITH FRAMING CONTRACTOR AND PLUMBING CONTRACTOR. 12" OR 16" WIDE.
- A2. BUILT-IN CABINETS WITH SHELVING. FINAL DESIGN BY CABINET CONTRACTOR.
- A3. 33" HEIGHT VANITY, WIDTH PER PLAN.
- A4. FINAL MASTER CLOSET DESIGN BY OTHERS, MUST FOLLOW BASIC WALK-IN CLOSET DESIGN SHOWN ON FLOOR PLAN.
- A5. ALL COAT CLOSETS, STORAGE, AND LINEN CLOSETS TO HAVE SHELVING AND RODS PER GC/OWNER'S REQUEST. CORRELATE WITH CARPENTER.
- A6. BEDROOM CLOSETS TO BE FITTED WITH 2 SHELVES AND 2 RODS, EQUALLY SPACED APART WITH THE HIGHEST SHELVES BEING 2 FT FROM THE CEILING.
- A7. 3' X 7' PENINSULA. CABINETS UNDERNEATH. FIELD VERIFY LOCATION OF 2" X 6" PARTIAL WALL.
- A8. 34-1/2" HEIGHT COUNTER CABINETS ABOVE AND BELOW.
- A9. GLASS PARTITION 24" DOOR.
- A10. VERIFY IN FIELD (VIE) DIMENSIONS ARE VARIABLE. VERIFY ON SITE

THESE NOTES ARE ONLY APPLICABLE ON THIS PAGE.



SQUARE FOOTAGE TABULATION

EXISTING MAIN DWELLING
LIVING AREA: 1,885 SF
COVERED PATIO: 45 SF
COVERED PORCH: 43 SF

TOTAL EXISTING: 1,973 SF

CONVERTED GARAGE TO ADU: 459 SF

TOTAL REMODEL: 459 SF

WINDOW AND DOOR SCHEDULE SYMBOL

2068 REPRESENTS A 2'-8" WIDE X 6'-8"
HIGH WINDOW AND DOOR

T.O.S. REPRESENTS "TOP OF SILL"

HC REPRESENTS "HOLLOW CORE"

SC REPRESENTS "SOLID CORE"

CS REPRESENTS "CASED OPENING"

BI REPRESENTS "BIFOLD"

H.H. REPRESENTS HEADER HEIGHT

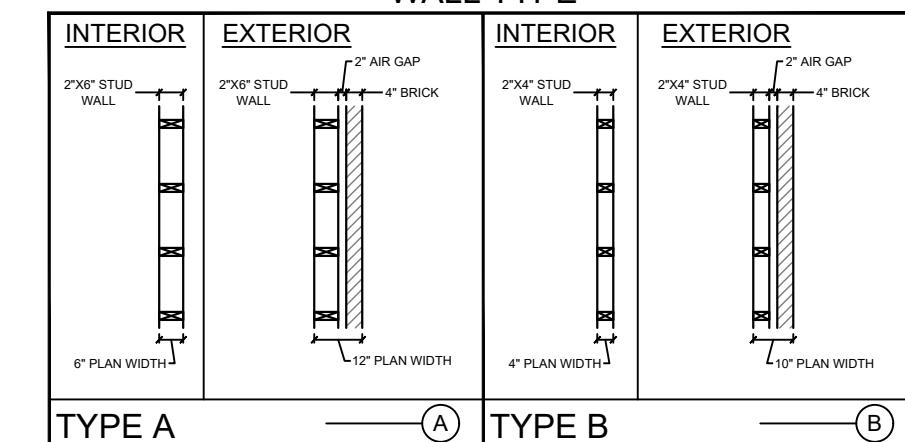
FX REPRESENTS "FIXED"

EXG REPRESENTS "EXISTING"

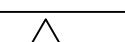
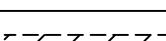
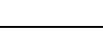
HT REPRESENTS "HEIGHT"

VIF REPRESENTS "VERIFY IN FIELD"

WALL T



PLAN I LEGEND

PLAN LEGEND			
	PARTIAL HEIGHT WALL.		WALL TYPE.
	2"X6" STUD WALL.		REVISION MARK.
	2"X4" STUD WALL.		CABINETS.
	PLAN NOTE SYMBOL.		WALL NICHE.
	BRICK WALL.		ADDITIONAL INSULATED WALL.
	CEILING HEIGHT		

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802 W GREENBRIAR LN,
DALLAS, TX 75208

REVISIONS:	ADDRESS:
	V0 - 07/30
CONSULTANT:	
PROJECT DATA:	LEGAL DESCRIPTION: DEALEY SAM EST BLK 2/5924 LOT 4
SCALE:	AS NOTED
DATE:	12/09/25
FLOOR PLAN NOTES	
SHEET DATA:	A2-2

FLOOR PLAN NOTES:

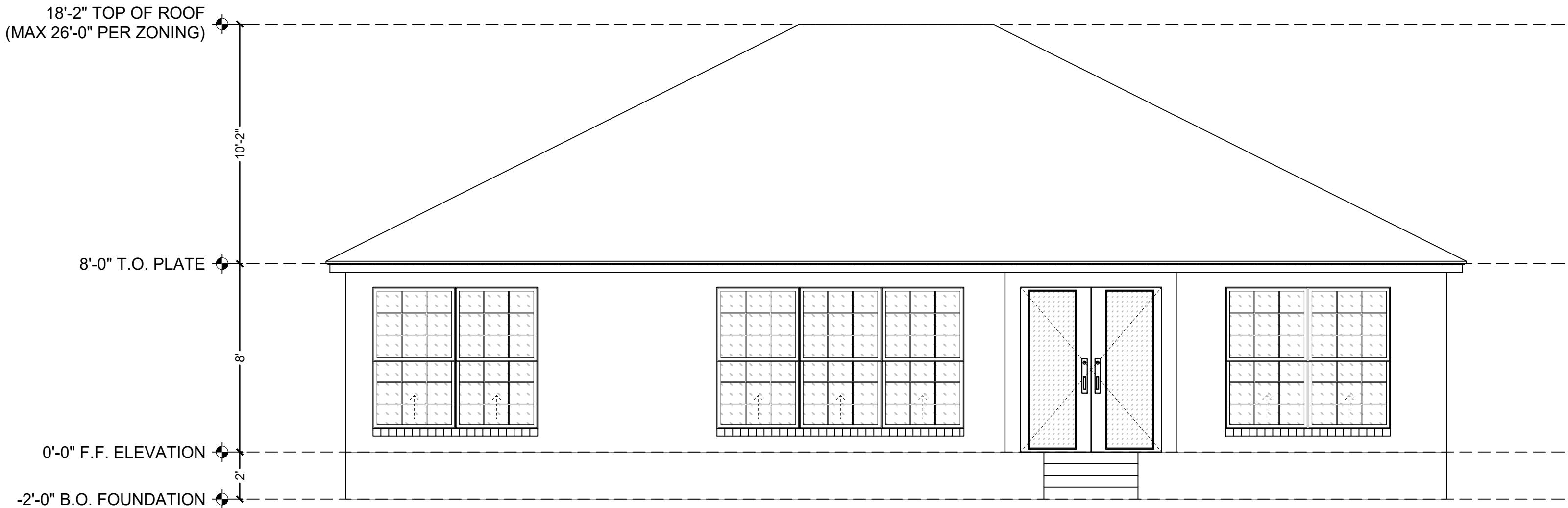
1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTION, HEADERS, JOIST AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUDS UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
7. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
8. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
9. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
10. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
11. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
12. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
13. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
14. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
15. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2x4 JOISTS.
16. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
17. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

NOTE:

1. ALL CEILINGS TO BE 8'-0" HIGH UNLESS NOTED.
2. BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
3. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
4. HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
5. W.H. IN MECH CLOSET.
6. PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMPLY W/ IRC SECTION R308.4.8.

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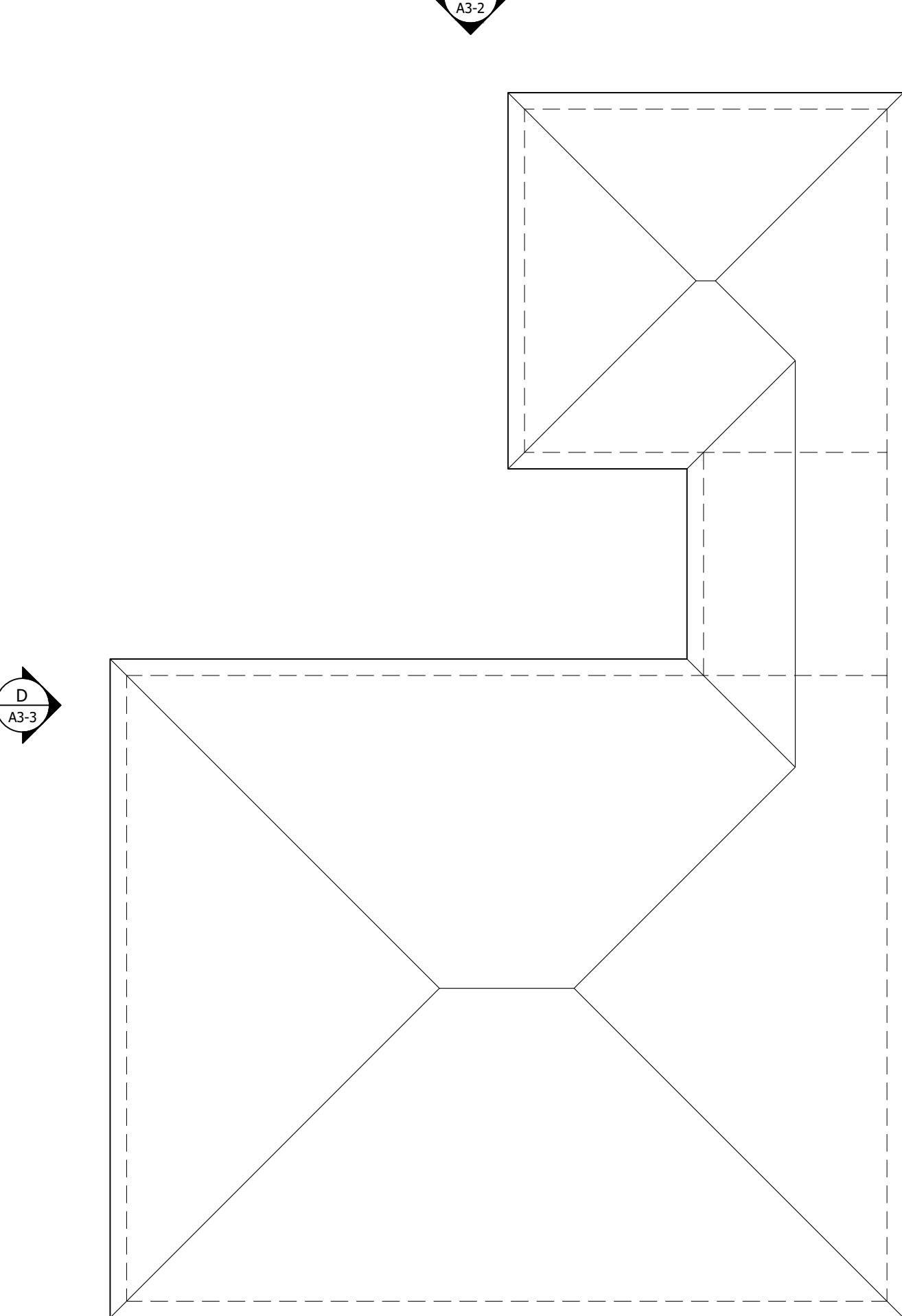
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A FRONT ELEVATION
SCALE:
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11X17 SHEET: 1/8" = 1'-0"

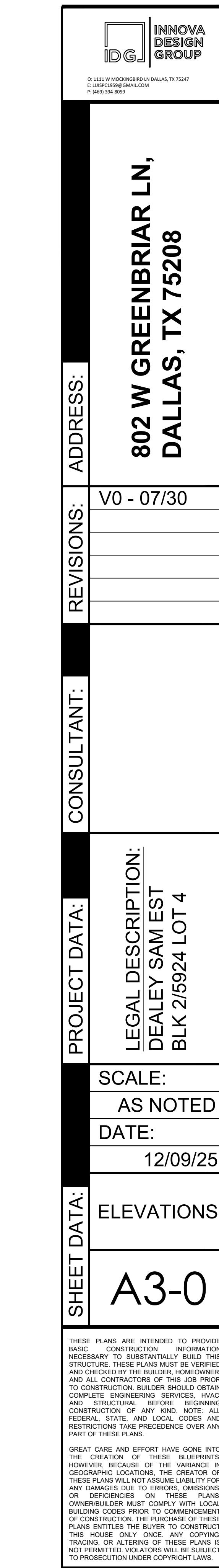
GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC

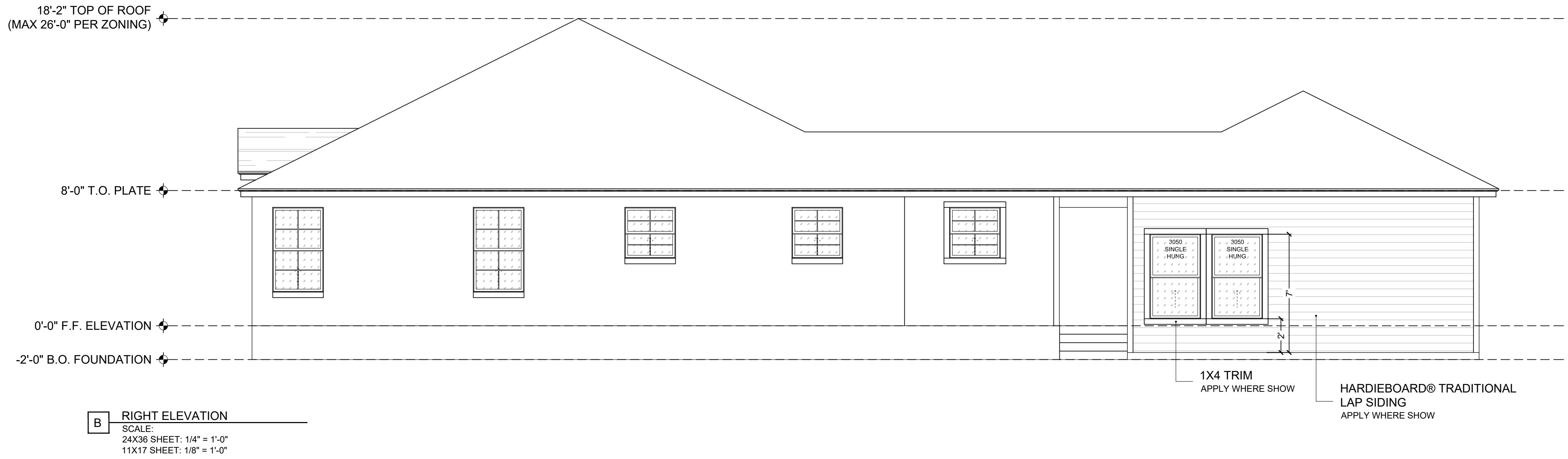
1. WATER EFFICIENCY:
 - 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
 - 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2. STORM WATER:
 - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3. POLY SEAL:
 - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
 - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
 - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
 - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
 - 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
 - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT^3/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
 - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4. INSULATION:
 - 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
 - 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
 - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
 - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
 - 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHERDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
 - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5. HVAC/SERVICE WATER:
 - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
 - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION
6. WINDOWS AND DOORS:
 - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
 - 6.2. MUST HAVE A SHGC OF .25 OR LESS
7. LIGHTING:
 - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
 - 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)

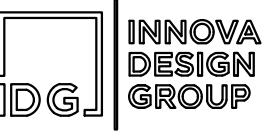


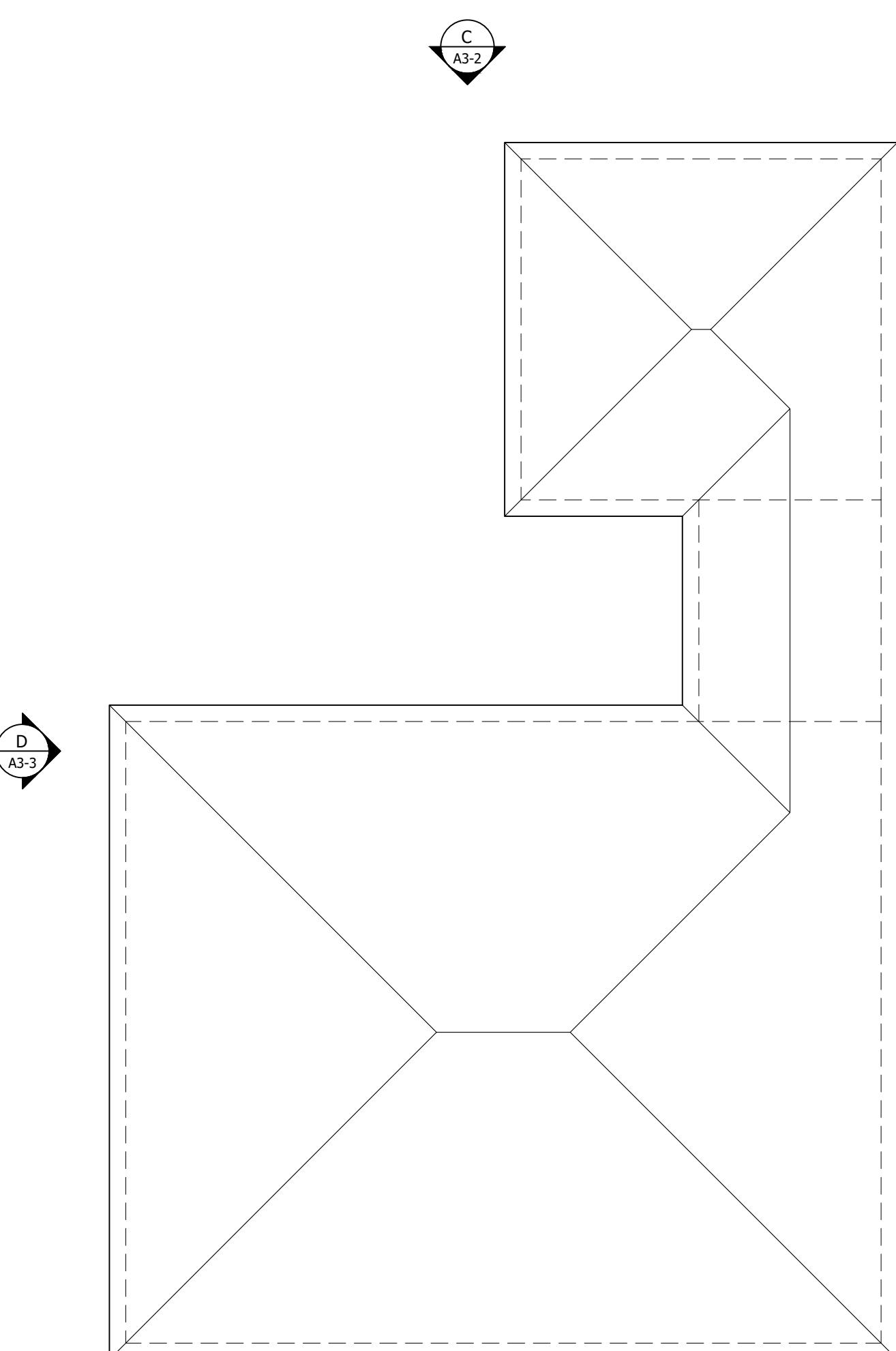
KEY ROOF PLAN

SCALE:
24X36 SHEET: 1/8" = 1'-0"
11X17 SHEET: 1/16" = 1'-0"





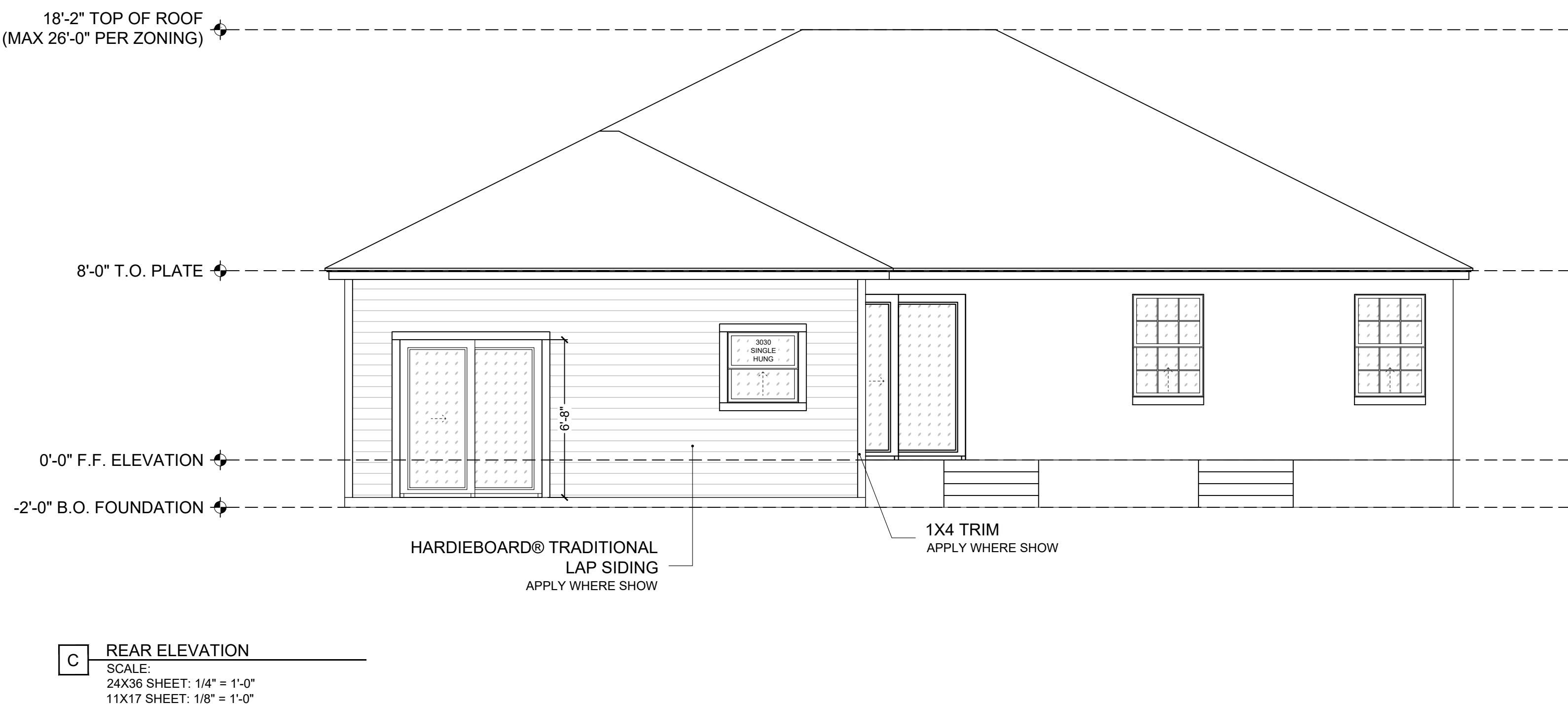
 INNOVA DESIGN GROUP <small>D: 1111 W MOCKINGBIRD IN DALLAS, TX 75247 E: INNOVADG@GMAIL.COM P: (469) 394-8055</small>	
802 W GREENBRIAR LN, DALLAS, TX 75208	
REVISIONS:	
ADDRESS:	
V0 - 07/30	
PROJECT DATA:	CONSULTANT:
SCALE:	DATE:
AS NOTED	12/09/25
ELEVATIONS	
A3-1	
<small>THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS ARE NOT DRAWN AND CHECKED BY THE BUILDER, HOMEOWNER, AND OR CONTRACTOR. IT IS THE DUTY OF THE BUILDER TO CONSTRUCT. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC AND PLUMBING SERVICES FOR PLANNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS PRECENDENCE OVER ANY PART OF THESE PLANS.</small>	
<small>GREATER CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOMETRY AND POSITIONING OF THE PARTS OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DEFECTS DUE TO ERRORS, OMISSIONS OR DEFICIENCIES IN THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS AT THE TIME OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS STRUCTURE. ANY ALTERATION, MODIFYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.</small>	
<small>SCALE: 24X36: 1/4" = 1'-0" 11X17: 1/8" = 1'-0"</small>	



KEY ROOF PLAN
SCALE:
24X36 SHEET: 1/8" = 1'-0"
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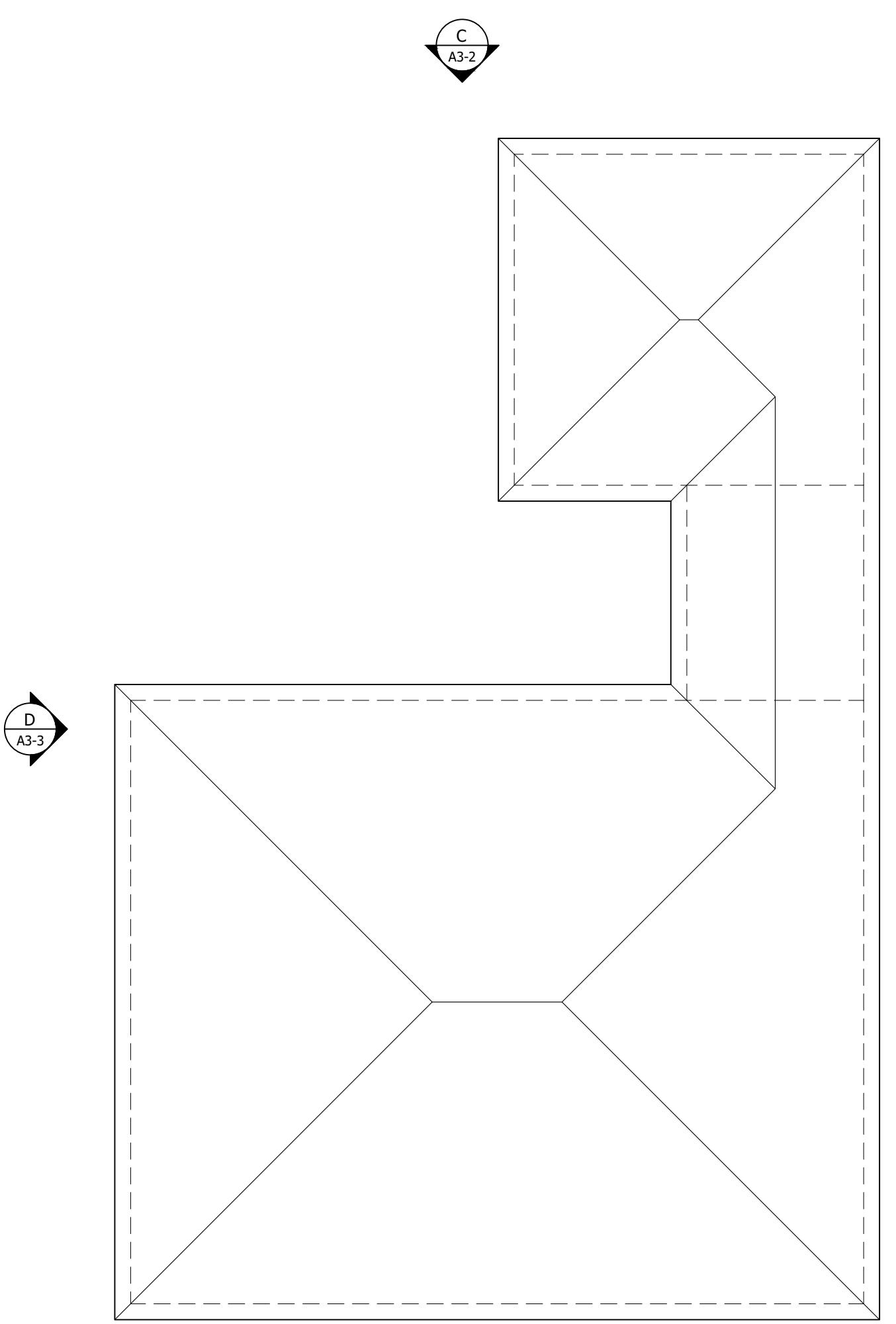
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**802 W GREENBRIAR LN,
DALLAS, TX 75208**



REVISIONS: ADDRESS:

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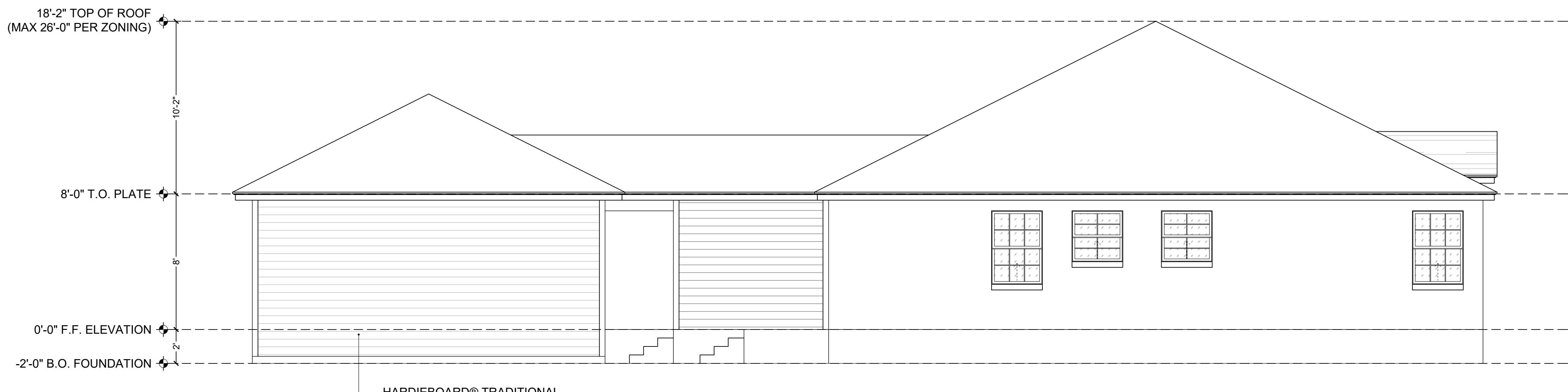


KEY ROOF PLAN

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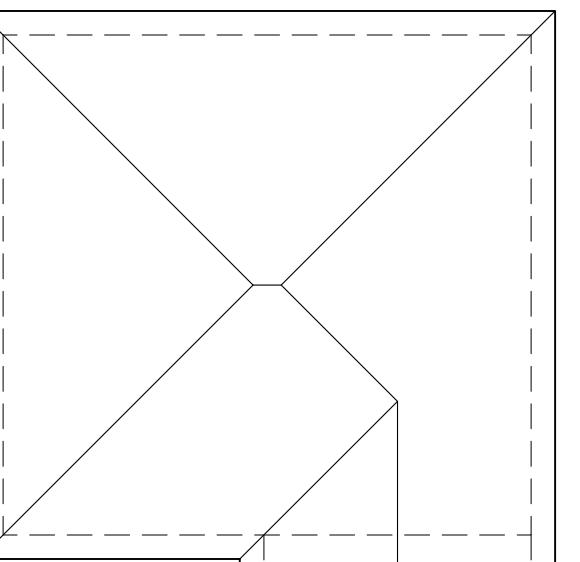
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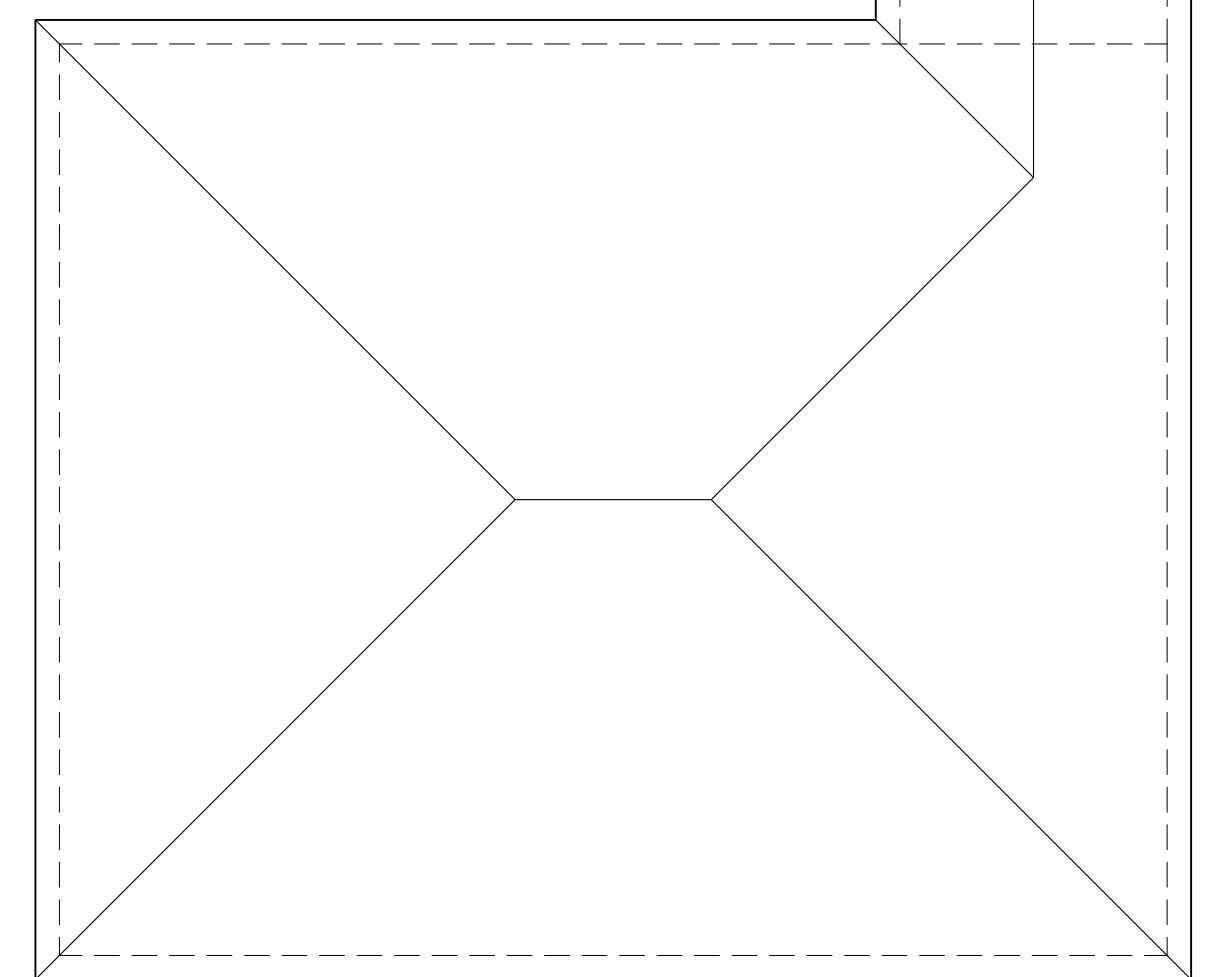
**802 W GREENBRIAR LN,
DALLAS, TX 75208**


D LEFT ELEVATION
SCALE:
24X36 SHEET: 1/4" = 1'-0"
11X17 SHEET: 1/8" = 1'-0"

C
A3-2



D
A3-3



B
A3-1

LEGAL DESCRIPTION:
DEALEY SAM EST
BLK 2/5924 LOT 4

SCALE:
AS NOTED
DATE:
12/09/25
ELEVATIONS

A3-3

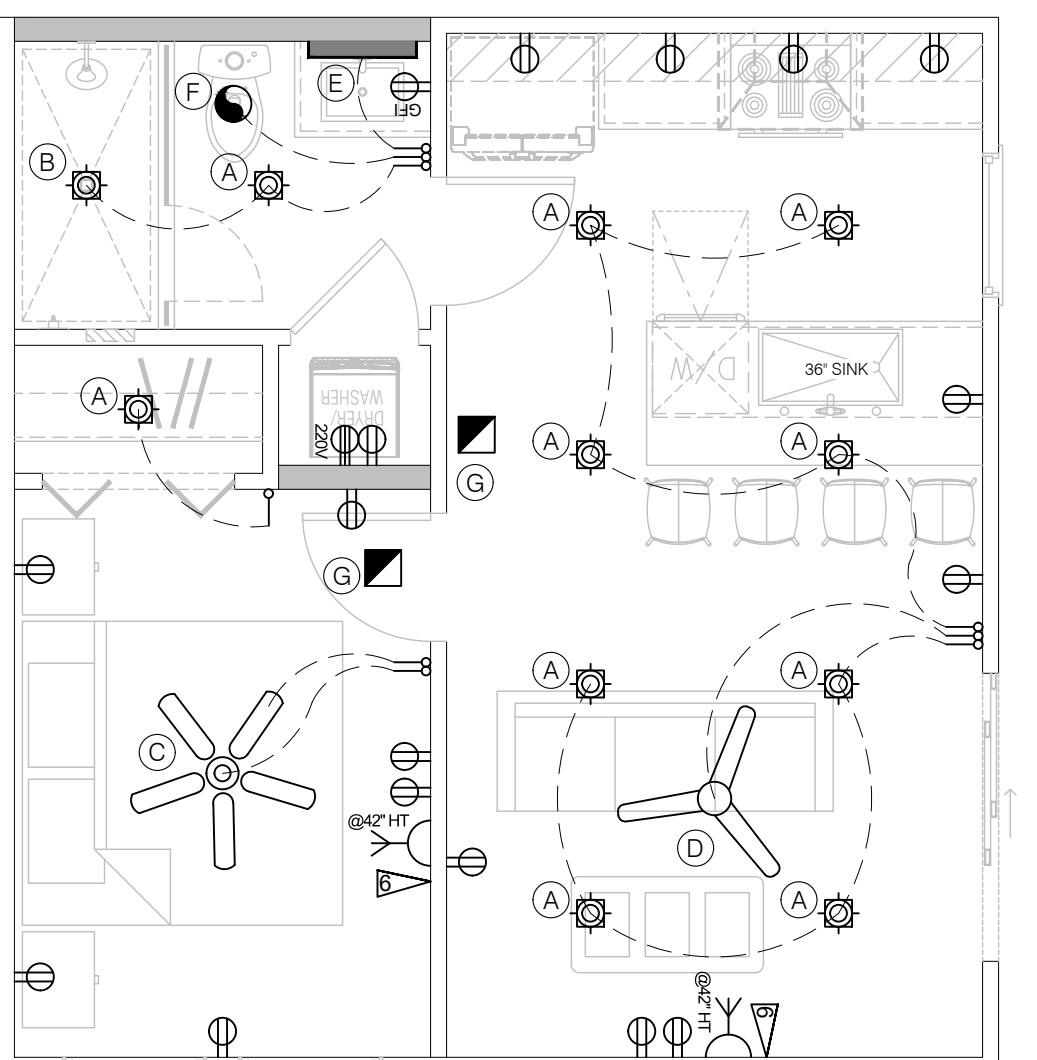
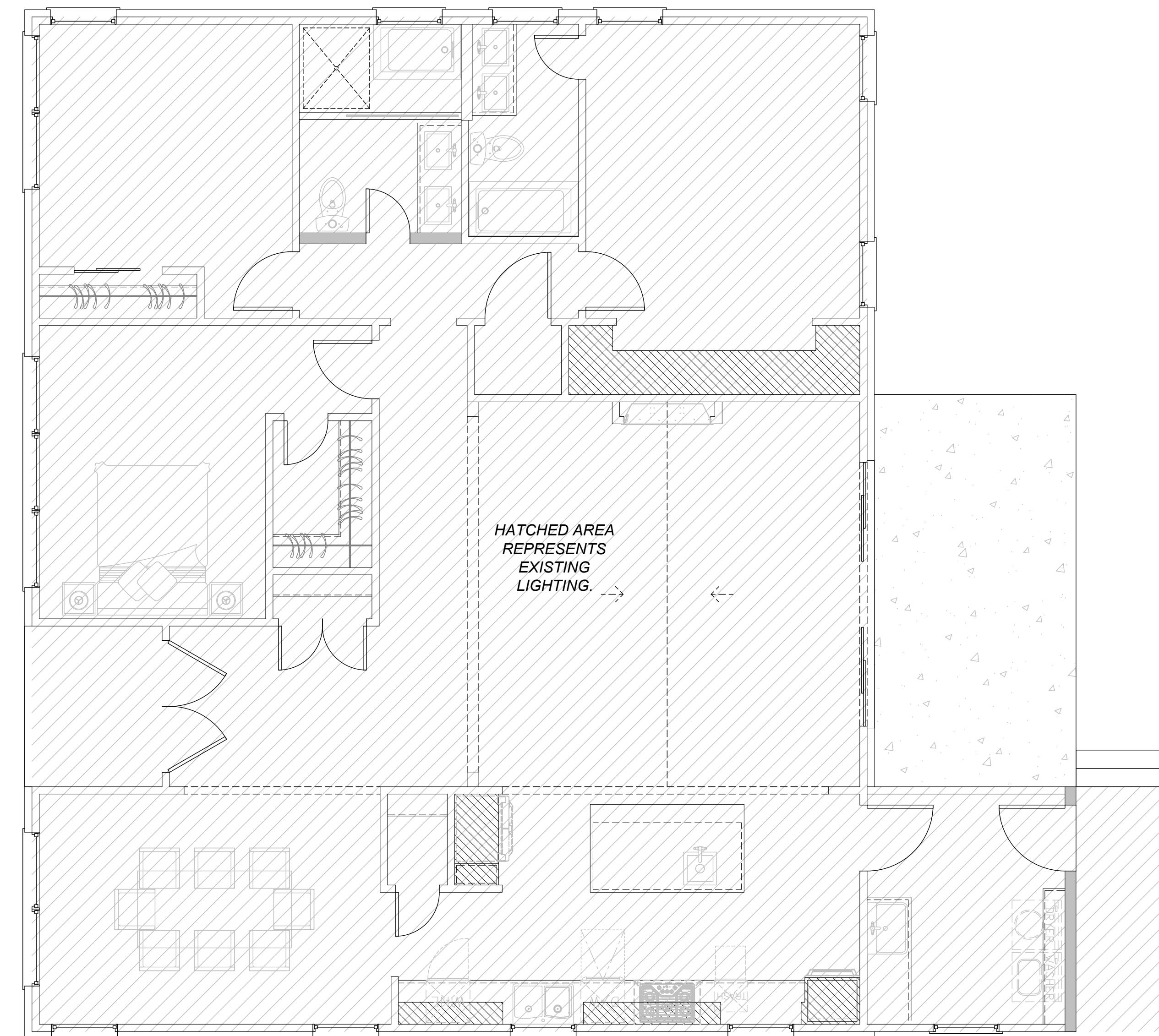
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KEY ROOF PLAN
SCALE:
24X36 SHEET: 1/8" = 1'-0"
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**802 W GREENBRIAR LN,
DALLAS, TX 75208**



ELECTRIC KEY NOTES
THESE NOTES ONLY REFER TO THIS PAGE

1. GC TO VERIFY LIGHTING FIXTURE COUNT DURING BIDDING PROCESS.
2. FIELD VERIFY FINAL PANEL REQUIREMENTS WITH LICENSED ELECTRICIAN ON RECORD.
3. VERIFY ALL APPLIANCE/FIXTURE POWER REQUIREMENTS WITH APPLIANCE/FIXTURE SPECS AND ELECTRICAL CONTRACTOR.

ELECTRICAL PLAN - 1ST LVL

SCALE:
24X36 SHEET: 1/4" = 1'-0"
11X17 SHEET: 1/8" = 1'-0"

V0 - 07/30

PROJECT DATA:	CONSULTANT:	REVISIONS:	ADDRESS:
			V0 - 07/30

LEGAL DESCRIPTION: DEALEY SAM EST BLK 2/5924 LOT 4	SCALE: AS NOTED
	DATE: 12/09/25
	ELECTRICAL PLAN
	E1-0

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS ARE NOT DRAWN AND CHECKED BY THE BUILDER, HOMEOWNER, AND OR ELECTRICAL CONTRACTOR. THE BUILDER OR CONTRACTOR SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC AND PLUMBING PLANS AND DRAWDINGS CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS PRECENDENCE OVER ANY PART OF THESE PLANS.

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SCALE: 24X36: 1/4" = 1'-0" || 11X17: 1/8" = 1'-0"

ELECTRICAL PLAN NOTES FOR PAGE E1-0

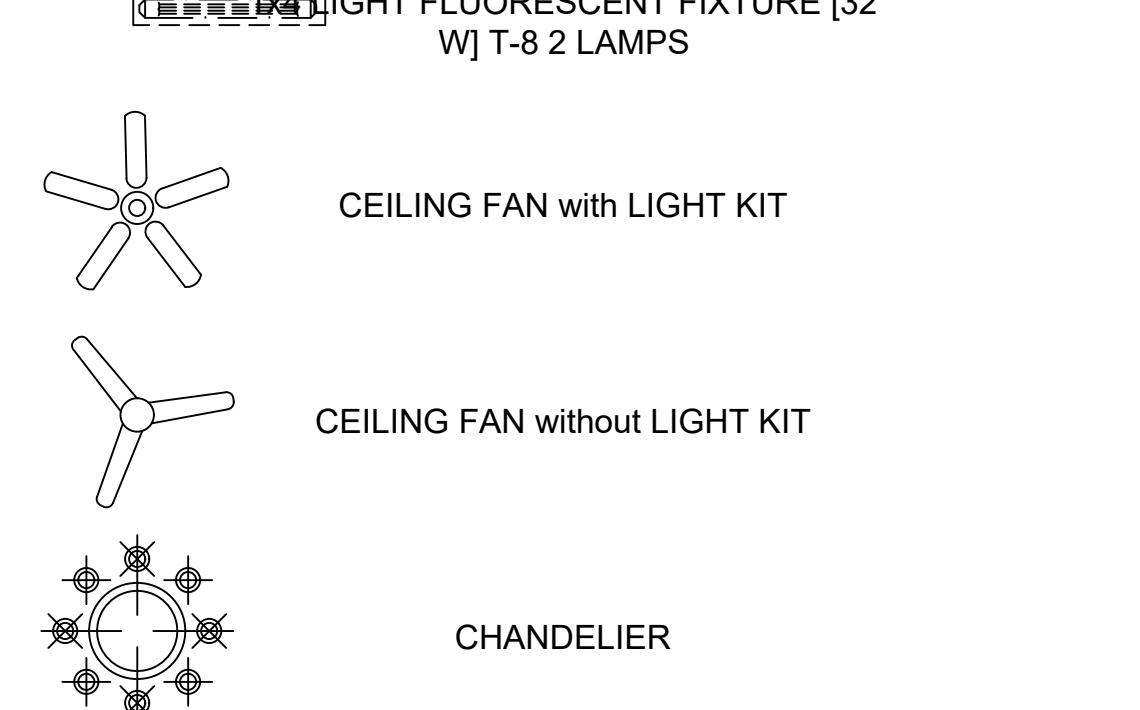
LIGHTING & POWER SCHEDULE				
TAG	QUANTITY	DESCRIPTION	BRAND/SUPPLIER	NOTES
LIGHTING				
(A)	10	RECESSED CAN LIGHTS - INTERIOR		
(B)	01	RECESSED CAN LIGHTS - WATERPROOF (ABOVE TUB, PORCH, PATIO)		
(C)	01	FAN WITH LIGHTING FIXTURE		
(D)	01	FAN W/OUT LIGHTING FIXTURE		
(E)	01	VANITY LIGHTS	BY OWNERS	
(F)	01	EXHAUST FAN (50cfm min.)	TYPICAL BY ELECTRICIAN	
(G)	02	SMOKE DETECTORS W/ CARBON MONOXIDE	BY OWNERS	
(H)		LED STRIP/ TOE KICK/COVE LIGHT	LED LIGHTING V5-SPEC 3000K	
(J)		UNDER CABINET LIGHTS	LED LIGHTING V5-SPEC 3000K	
(K)		CHANDELIER	BY OWNERS	
(L)		TRACK LIGHTS	BY OWNERS	
(M)		PENDANT/ HANGING LIGHTS	BY OWNERS	
(N)		WALL LIGHTS (INTERIOR)	BY OWNERS	
(P)		WALL LIGHTS (EXTERIOR)	BY OWNERS	
(Q)		GARAGE LIGHTS	BY OWNERS	
(R)		STEP/CORRIDOR LIGHTS (MOTION SENSOR)	BY OWNERS	
(S)		EXTERIOR WALL LIGHTS (MOTION SENSOR)	BY OWNERS	
(T)		4" RECESSED LIGHTING (SOFFIT LIGHTING)	BY OWNERS	
(U)		2" RECESSED CAN LIGHTS - INTERIOR		
(V)				
(W)				
(X)				
(Y)				
(Z)				

LIGHTING SYMBOL LEGEND

—	1 GANG LIGHT SWITCH
—	2 GANG LIGHT SWITCH
—	2 GANG LIGHT SWITCH
—	1 GANG - 3 WAY LIGHT SWITCH
—	2 GANG - 3 WAY LIGHT SWITCH
—	3 GANG - 3 WAY LIGHT SWITCH
—	1 GANG - 4 WAY LIGHT SWITCH
—	2 GANG - 4 WAY LIGHT SWITCH
—	3 GANG - 4 WAY LIGHT SWITCH
— ^{DIM}	1 GANG - DIMMER SWITCH
— ^{DIM}	2 GANG - DIMMER SWITCH
— ^{RHEO}	1 GANG - RHEOSTAT SWITCH
— ^{RHEO}	2 GANG - RHEOSTAT SWITCH
—↓	1 GANG PULL CORD LIGHT SWITCH
○	EXTERNAL LIGHT
○	EXTERNAL LIGHT - BULKHEAD
○	TYPE
○	MOTION SENSING 2" WALL LIGHT, HARDWIRE
◆	LIGHT POINT - PENDANT HOLDER (4 INCH)
◆	LIGHT POINT - PENDANT HOLDER (6 INCH)
◆	LIGHT POINT - BATTEN HOLDER
◆◆	COOKER SWITCH
—	MECHANICAL EXTRACT FAN COOKER HOB HOOD
(A)	AUDIO SPEAKER
■	MOTION DETECTOR-WALL MOUNT
○	CEILING MOUNTED LIGHT
○	HANGING LIGHT
○○○	MINI LED 3 LIGHT RECESSED MULTIPLE SPOT LIGHT KIT

LIGHTING SYMBOL LEGEND

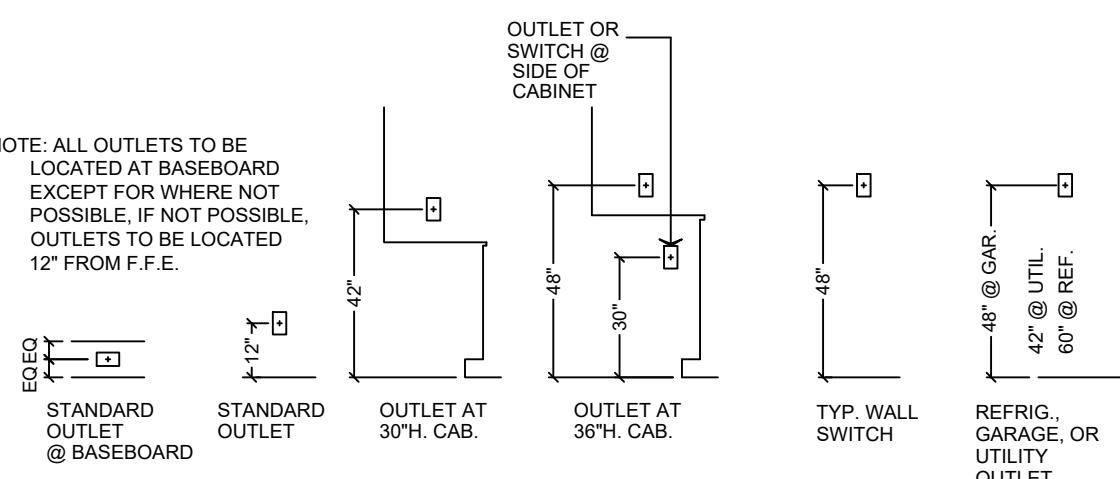
- 6" RECESSED, ADJUSTABLE CAN LIGHT
- WP 6" WATERPROOF RECESSED ADJUSTABLE CAN LIGHT
- INTERIOR - WALL MOUNTED LIGHT
- * LED STRIP LIGHTING, TOE KICK, COVE LIGHTING
- UNDER-CABINET LED FIXTURE
- * TRACK LIGHTING (LENGTH PER PLAN)
- VANITY LIGHT
- EXHAUST FAN (50 cfm MIN.)
- EXHAUST FAN (50 cfm MIN.) W/ LIGHT
- PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)
- SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR (HARD WIRE WITH BATTERY BACKUP)
- CH CHIMES (FOR DOOR BELL)
- EP ELEC. PANEL
-  2x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 4 LAMPS



POWER SYMBOL LEGEND

○	110 VOLT RECEPTACLE
○ WP	WATERPROOF RECEPTACLE
○ CLG	110 VOLT IN CEILING
○ GFI	110 VOLT with GROUND FAULT INTERRUPTER
○ FLR	110 VOLT IN FLOOR
○ 220V	220 VOLT RECEPTACLE
○	110 VOLT DIRECT HARD WIRE
○-	SINGLE SWITCHED WALL RECEPTACLE
○-2	DOUBLE SWITCHED WALL RECEPTACLE
○	SINGLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
○	DOUBLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
○-2	DOUBLE SWITCHED FLOOR RECEPTACLE
○	TV AERIAL POINT
△	TELEPHONE POINT
△6	CAT 6 DATA SOCKET
—○	RADIATOR
○ T	THERMOSTAT
EP	ELEC. PANEL
—#	HOSE BIBB

NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS....INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.



ELECTRIC FIXTURE HEIGHTS (UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES

- 1. ALL WIRING TO BE 12 GAUGE ROMEX WIRE AT A MINIMUM. LOCAL NEC CODE AND AMENDMENTS TO SUPERSEDE THIS REQUIREMENT.**
2. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
3. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
4. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
5. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
6. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
7. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
8. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
9. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE CREATOR OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

CALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1-0"

802 W GREENBRIAR LN,
DALLAS, TX 75208

VO - 07/30

PROJECT DATA: _____

LEGAL DESCRIPTION: _____

DEALEY SAM EST
BLK 2/5924 LOT 4

SCALE:
AS NOTED
DATE:
12/09/25
ELECTRICAL
PLAN

F1 - 1

802 W GREENBRIAR LN,
DALLAS, TX 75208

REVISIONS:

V0 - 07/30

PROJECT DATA:

LEGAL DESCRIPTION:
DEALEY SAM EST
BLK 2/5924 LOT 4

CONSULTANT:

SCALE:
AS NOTED

DATE:

12/09/25

PLUMBING PLAN

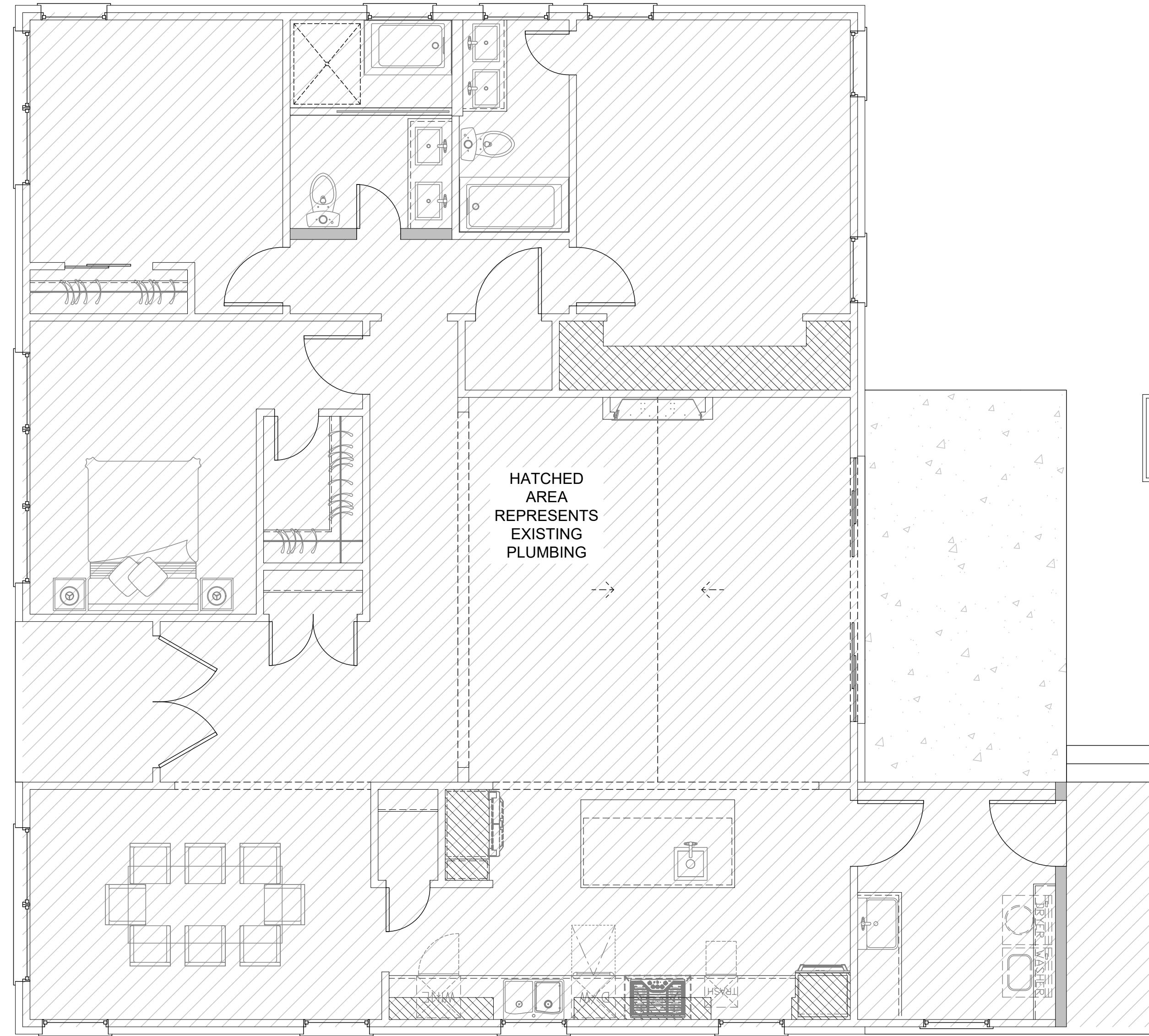
P1-0

SHEET DATA:

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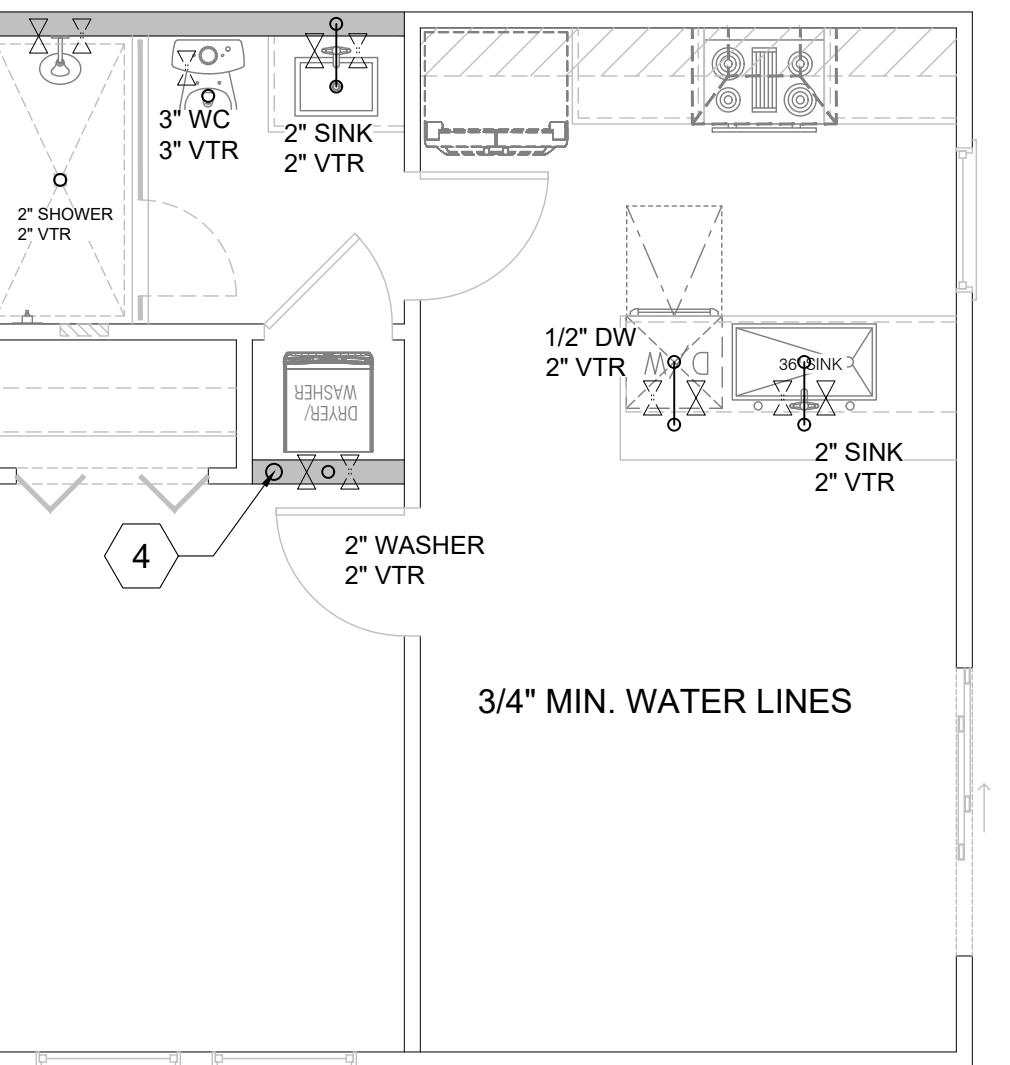
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PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
—	SANITARY SEWER
HW HW	HOT WATER
—	COLD WATER

*SINK/ LAV. PLUMBING NOTE
ALL SINKS AND LAVATORY TO
BE INSTALLED WITH
APPROPRIATE P-TRAP.



PLUMBING KEY NOTES 

THESE NOTES ONLY REFER TO THIS PAGE

1. CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING SANITARY SEWER LINE.
2. CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING WATER LINES, MIN. 3/4" LINES.
3. CONNECT PROPOSED FIXTURES TO EXISTING WATER HEATER, FIELD VERIFY WATER HEATER SIZE TO ENSURE CAPACITY FOR NEW FIXTURES.
4. MINIMUM 4" DRYER VENT, ROUTE THRU WALL TO CEILING.

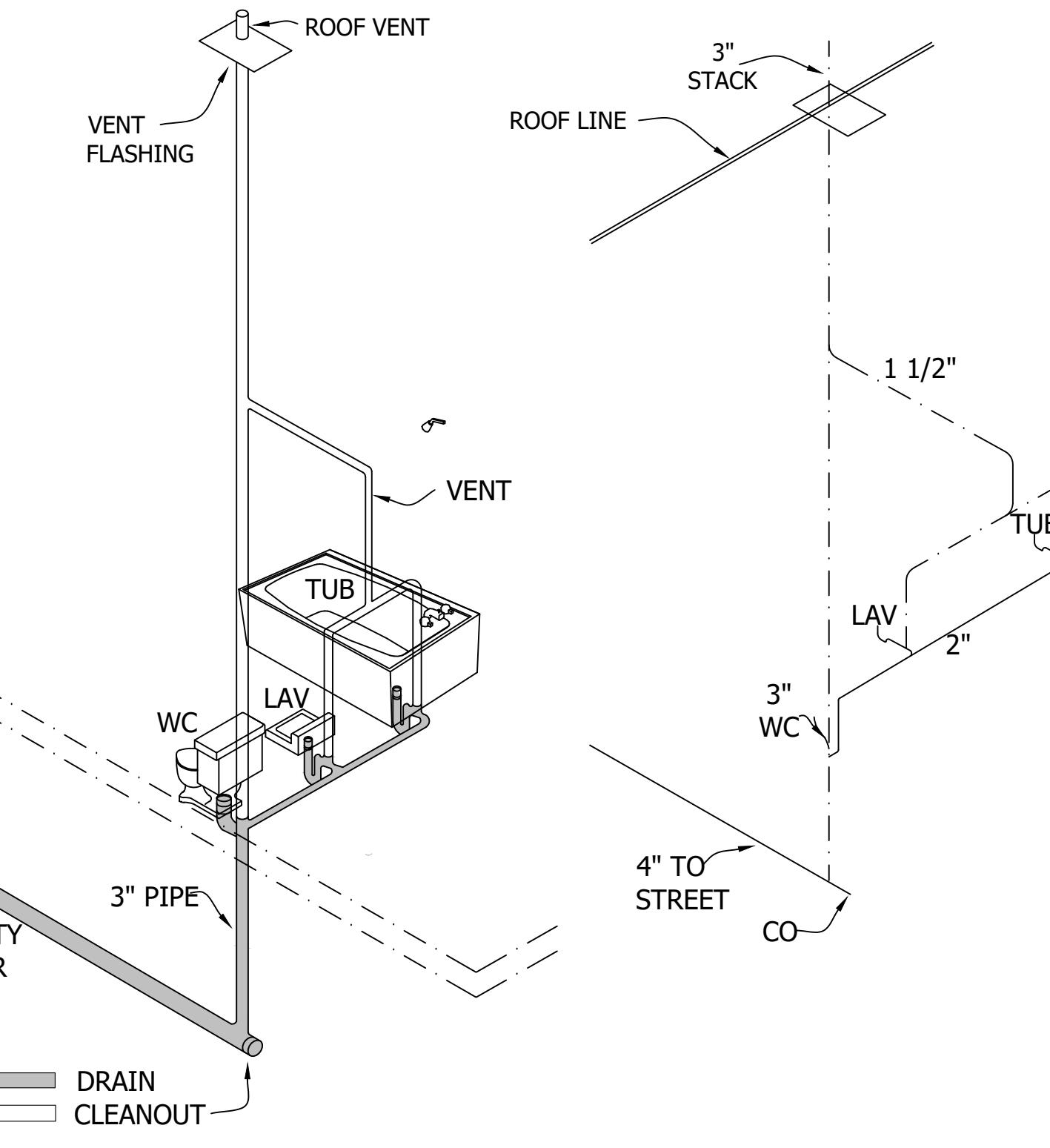
PLUMBING PLAN
SCALE:
24X36 SHEET: 1/4" = 1'-0"
11X17 SHEET: 1/8" = 1'-0"

PLUMBING GENERAL NOTES

- ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
- EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
- SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
- ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
- WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
- PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
- ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
- ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
- INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
- PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
- PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
- COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.

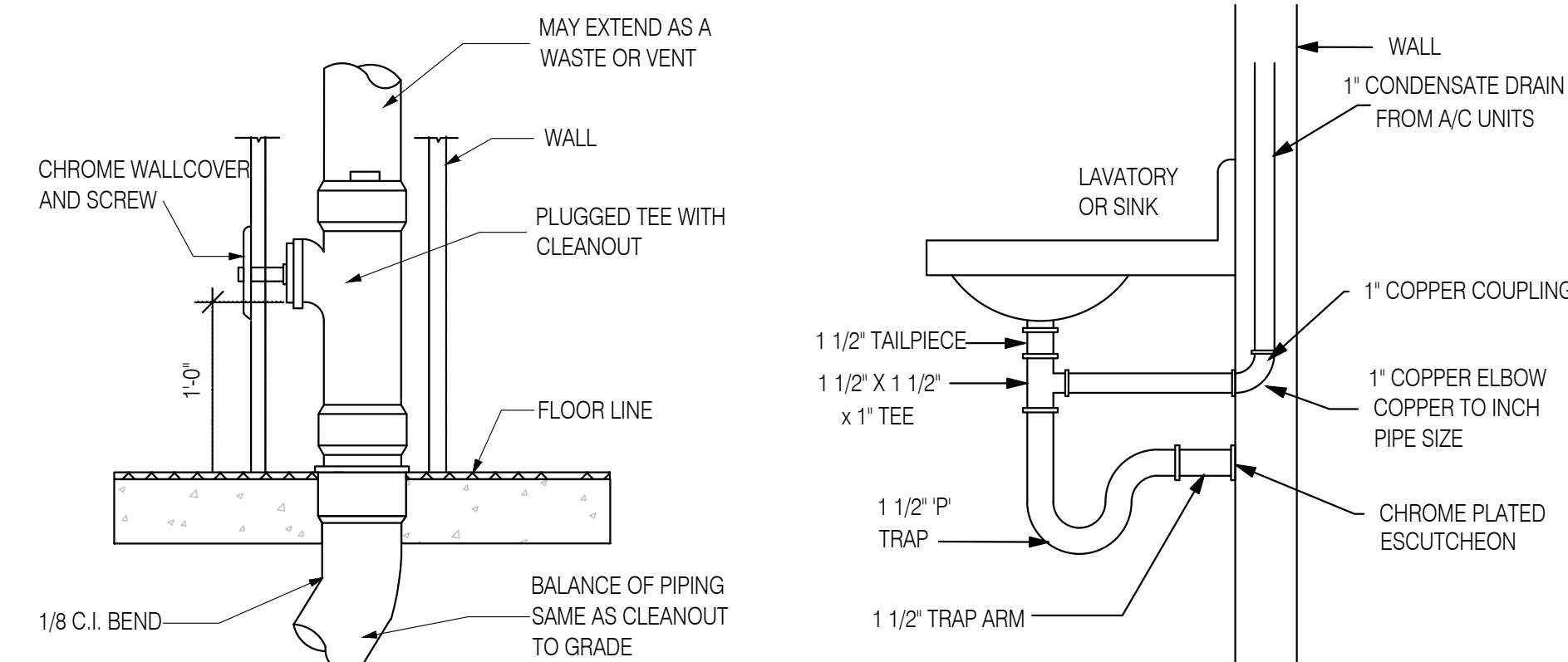
PLUMBING NOTES

- PLUMBER TO CONNECT ALL WATER LINES, GAS LINES, WASTE LINES, ETC. TO FULLY CONNECT ALL EQUIPMENT AND RUN CONDENSATE LINES FROM UNITS TO DRAINS AND THESE LINES TO BE NO SMALLER THAN THE STUB-OUT OF THE FIXTURE. PLUMBER TO PROVIDE SHUTOFF VALVES ON ALL WATER AND GAS LINES, ALL VALVES, CUTOFFS, TRAPS, HYDROSTATIC SHOCK ELIMINATORS, PRESSURE REGULATORS AND MATERIALS NECESSARY TO CONNECT ALL LINES, UNLESS OTHERWISE SPECIFIED IN THE ITEM SPECIFICATIONS. FAUCETS, DRAIN OUTLET FITTINGS IN FIXTURES AND SPECIALTY ITEMS ARE TO BE FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER AS OUTLINED IN THE ITEM SPECIFICATIONS. ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO INSTALLATION AND HOOKUP OF EQUIPMENT. OMISSIONS OR ERRORS ON THE SCHEDULE DO NOT RELIEVE THE PLUMBING CONTRACTOR FROM COMPLETE FINAL PLUMBING RESPONSIBILITY.



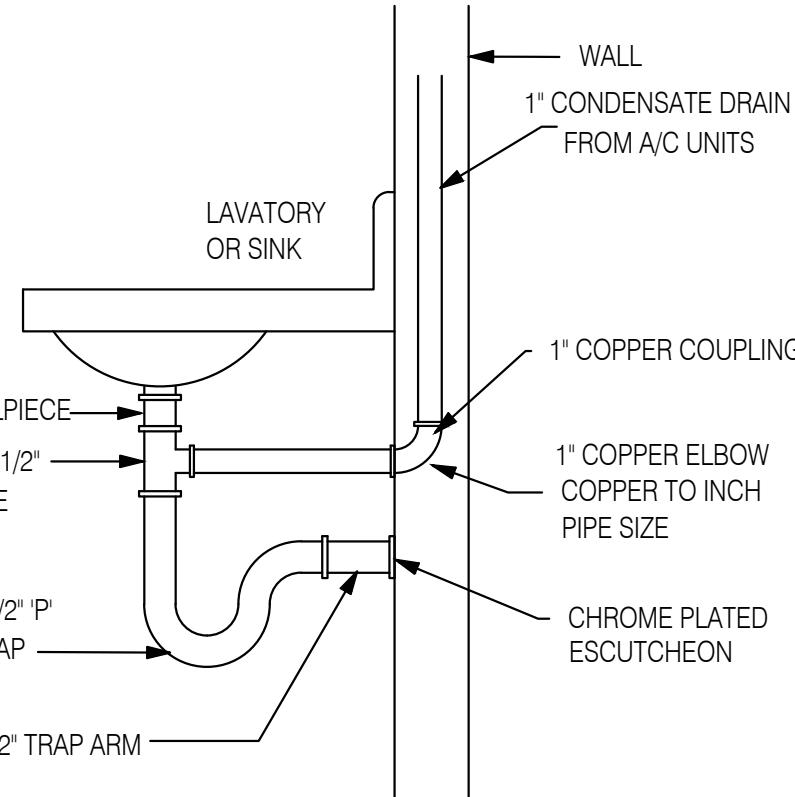
TYP. PLUMBING RISER

SCALE: NOT TO SCALE



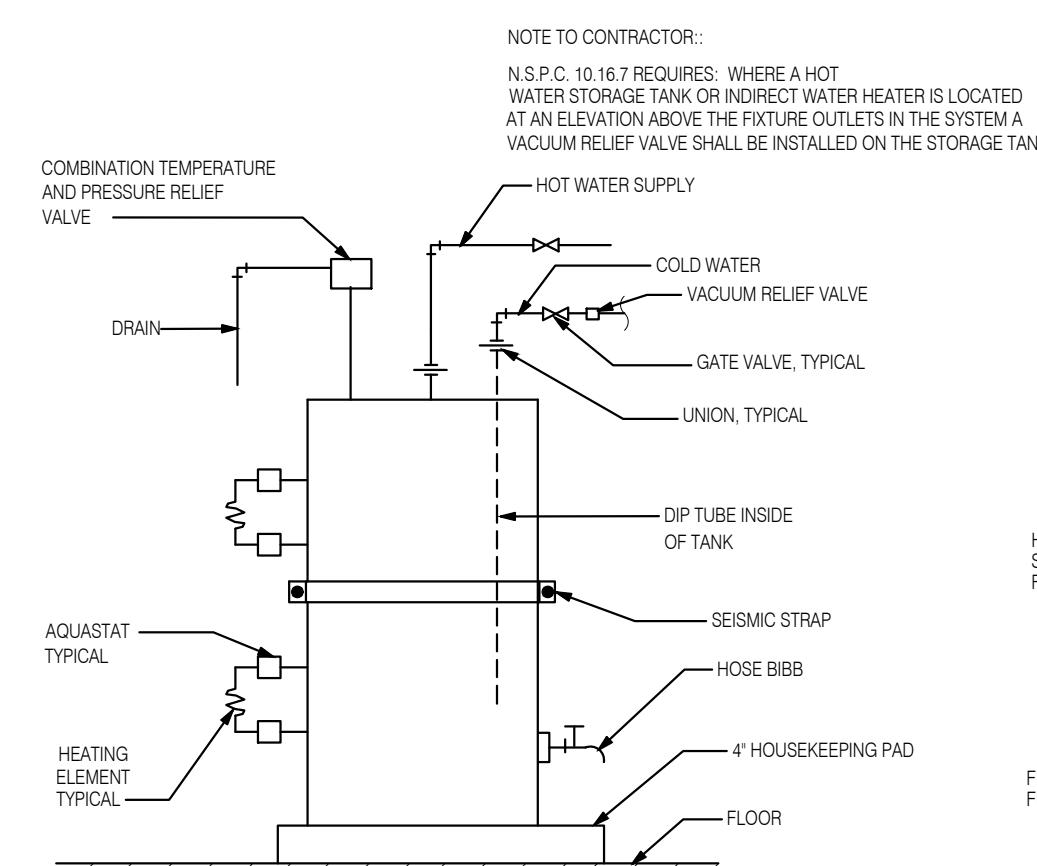
TYP. WALL CLEANOUT

SCALE: NOT TO SCALE



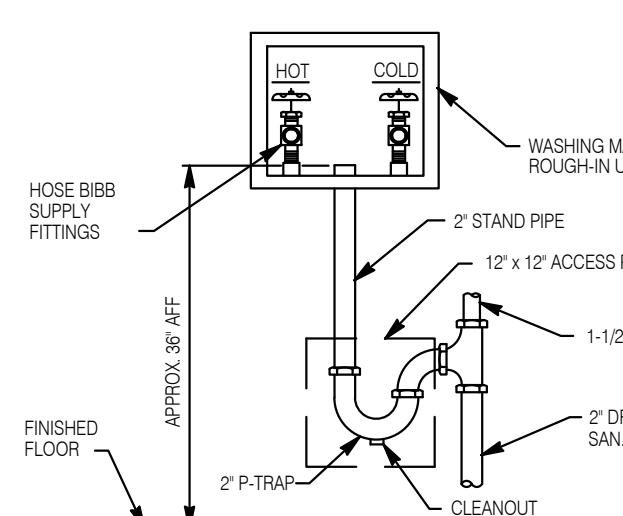
TYP. SINK HOOK-UP

SCALE: NOT TO SCALE



WATER HEATER DETAIL

SCALE: NOT TO SCALE



WASHING MACHINE HOOK-UP DETAIL

SCALE: NOT TO SCALE

Fixture Schedule				
Fixture	Description	CW	HW	Waste
TOILET	AMERICAN STANDARD CADET # EL 1.8 GPF 2162.170- WHITE	3/4"	-	4"
LAVATORY	AMERICAN STANDARD 'LUCERNE' 0356.015.020 FAUCET- CHICAGO FAUCET - 2 GAL(895-317-E29-327A-60)	3/4"	3/4"	2"
SHOWER	BY OWNER 2 GPM	3/4"	3/4"	2"
				1 1/2"
FLOOR CLEANOUT	PLASTIC ODDITIES #PCO-700-RS W/ SQ. MTL. TOP			4"
EXT. CLEANOUT	PLASTIC ODDITIES #PCA-4B# W/RECESSED HEAD BRASS PLUG	-	-	3' 4"
WALL CLEANOUT	PLASTIC ODDITIES #PCA-4 W/ RECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE W/ PLASTIC ODDITIES A-1212 ACES	-	-	4"
WATER HEATER	OWNER SPECIFIC MODEL (MIN 60 GAL CAPACITY/EQUAL TANKLESS)	-	-	1"
				1"

NOTE: 1) PROVIDE FIXTURES SPECIFIED OR EQUALS.

PLUMBING PLAN NOTES

SCALE: AS NOTED
DATE: 12/09/25

P1-1

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS ARE NOT DRAWN AND CHECKED BY THE BUILDER, HOMEOWNER, OR OWNER/BUILDER. THE CONTRACTOR OR CONSTRUCTION BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES. HVAC AND PLUMBING CONTRACTORS HAVING CONSTRUCTION OF ANY KIND NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS PRECEDE AND PRECENDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOMETRY AND DIMENSIONS, THE USE OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DEFICIENCIES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES IN THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS AT THE TIME OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS STRUCTURE. ANY ALTERATION, MODIFYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

SCALE: 24X36: 14" x 1'-0" ||| 11X17: 18" x 1'-0"