

## Record Summary for Board of Adjustments

### Record

Record #	Status	Opened Date
BOA-25-000105	In Review	12/26/2025

### Application Name

### Detailed Description

Application is made to the Board of Adjustment in accordance with Ordinance No. 25984 and the provisions of the Dallas Development Code Section 51A-4.112(f) to grant a Special Exception for an Accessory Dwelling Unit (ADU) for rent, as such use is not permitted by right within the zoning district.

The Applicant and Property Owner proposes the conversion of an existing attached pool house/garage located at the rear of the property into an Accessory Dwelling Unit. The proposed project maintains the existing building footprint, with no expansion of the building envelope and no increase in lot coverage.

The proposed ADU is 459 square feet, representing approximately 23.26% of the primary dwelling, ensuring the unit remains clearly subordinate in size, scale, and use to the main residence. The property provides sufficient on-site parking to serve both the primary residence and the ADU, and no changes to existing access points or traffic patterns are proposed.

The proposed use will not adversely affect adjacent properties with respect to traffic, parking, noise, privacy, light, or air, and will not alter the residential character of the neighborhood, as it utilizes an existing structure and remains visually unobtrusive from the public right-of-way.

The requested Special Exception represents the minimum relief necessary to allow reasonable use of the property consistent with the intent of the zoning ordinance and supports adaptive reuse of an existing structure while complying with all other applicable development standards.

### Assigned To Department

Board of Adjustment

### Assigned to Staff

Diana Barkume

### Record Type

Board of Adjustments

### Custom Fields

#### INTERNAL USE ONLY

Source of Request	Conservation District
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	0.26

#### PDOX INFORMATION

PDox Number	-
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#### PROPERTY INFORMATION

Existing Zoning	CD
Lot Number	4
Lot Size (Acres)	0.26
Block Number	2/5924
Lot Size (Sq. Ft)	11560.00
How many streets abut the property?	2
Land Use	Single-Family Residential
Is the property platted?	Yes

Status of Project	Proposed
Status of Property	Owner Occupied
Previous Board of Adjustment case filed on this property	No
Accommodation for someone with disabilities	No
File Date	12/24/2025
Seleccione si necesitara un interprete	-
Case Number	-
Are you applying for a fee waiver?	No
Have the standards for variance and or special exception been discussed?	Yes
Has the Notification Sign Acknowledgement Form been discussed?	Yes
Referred by	Self (Property Owner)

## Custom Lists

### Board of Adjustment Request

1

Type of Request	Special Exception
Request Description	Accessory dwelling unit-for rent
Application Type	Single Family/Duplex Variance or Special Exception
Affirm that an appeal has been made for	Additional Dwelling Unit (For Rent)
Application is made to BOA to grant the described appeal	Ord. 25984 and City Code 51A-4.112(1) allow only for single family and handicap group dwelling, do not allow for ADU without special exception.

### Case Information

1

Full Request	ADU-for rent
Brief Request	ADU-for rent
Zoning Requirements	ADU-for rent
Relevant History	NA
BOA History	No

### GIS Information

1

Census Tract Number	22
Council District	1

### Street Frontage Information

1

Street Frontage	Front
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Linear Feet (Sq. Ft)

75

2

Street Frontage

Side

Linear Feet (Sq. Ft)

147

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**Contact Information**

Name	Organization Name	Contact Type	Phone
Kiara Marie Medina		Applicant	9175823347
Email: kiarammedina@gmail.com			
802 W Greenbriar Ln, Dallas, TX 75208			

Name	Organization Name	Contact Type	Phone
Kiara Marie Medina		Property Owner	9175823347
Email: kiarammedina@gmail.com			
802 W GREENBRIAR LN, DALLAS, TEXAS 752082620			

---

**Address**

802 W GREENBRIAR LN, Dallas, TX 75208

---

**Parcel Information**

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000045907600000							
0							

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**Owner Information**

Primary	Owner Name	Owner Address	Owner Phone
Y	MEDINA KIARA MARIE	802 W GREENBRIAR LN, DALLAS, TEXAS 752082620	

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**Status History**

Status	Comment	Assigned Name	Status Date
Payment Due		Diana Barkume	12/30/2025
In Review	Updated By Script	Accela Administrator	12/31/2025
In Review		Anna Brickey	12/31/2025





# Planning & Development Department

320 E Jefferson Blvd,  
Dallas TX 75203  
(214) 948-4480

Board of Adjustment:  
1500 Marilla Street, 5CN  
Dallas Tx 75201  
(214) 948-4480

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

### OFFICE USE ONLY

Case no. \_\_\_\_\_  
Date \_\_\_\_\_

Data Relative to Subject Property: \_\_\_\_\_

Location address: 802 W Greenbriar Ln Zoning District: CD-13

Lot No.: 4 Block No.: 215924 Acreage: 0.26 Census Tract: \_\_\_\_\_

Street Frontage (in Ft.): 1) \_\_\_\_\_ 2) \_\_\_\_\_ 3) \_\_\_\_\_ 4) \_\_\_\_\_ (5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Kiara Marie Medina

Applicant: Kiara Marie Medina Telephone: 917 582 3347

Mailing Address: 802 W Greenbriar Ln Zip Code: 75208

E-mail Address: Kiarammedina@gmail.com

Represented by: \_\_\_\_\_ Telephone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Zip Code: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Affirm that an appeal has been made for a ☐ Variance or ☒ Special Exception, of:

Accessory Dwelling Unit (For Rent)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Ord. 25984 and City Code 51A-4.112(f) allow only for single family + handicap group

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

group dwelling,  
do not allow for  
ADU without  
special  
exception

### Affidavit

Before me, the undersigned on this day personally appeared Kiara Marie Medina  
(Affiant/Applicant's name printed)

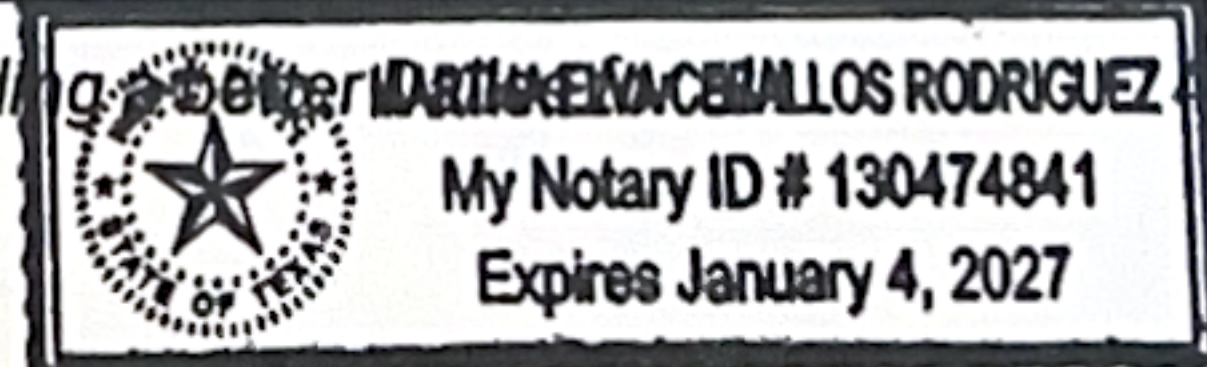
who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature]  
(Affiant/ Applicant's signature)

Subscribed and sworn to before me this 26<sup>th</sup> day of December, 2025

Notary Public in and for Dallas County, Texas

Together we are planning and building a better future. DARIN ACEVALLOS RODRIGUEZ 12/30/2025





SHIPPED  
DATE: 6-6-96  
RECEIVED  
DATE: 9-16-96

# CITY OF DALLAS PLAT BOOKS

ANNEXED MAY 16, 1945 ORD. NO. 3626  
SURVEY AARON OVERTON ABST. 1101

ADDITION SAM DEALEY ESTATES

1 THRU 6  
BLOCKS 5924 & 5925

SCALE 100 FT. EQUALS 1 INCH

SCHOOL DIST. DALLAS

RECORDED 3-4-46  
REVISION PT. BLK. 4 -  
REVISION PT. BLK. 5 -  
3  
5926 KESSLER

UNDEDICATED 248' STREET

ADDITION  
14  
3801

PARK

KESSLER

16  
3803

CANTERBURY COURT

5925  
5.62 AC.

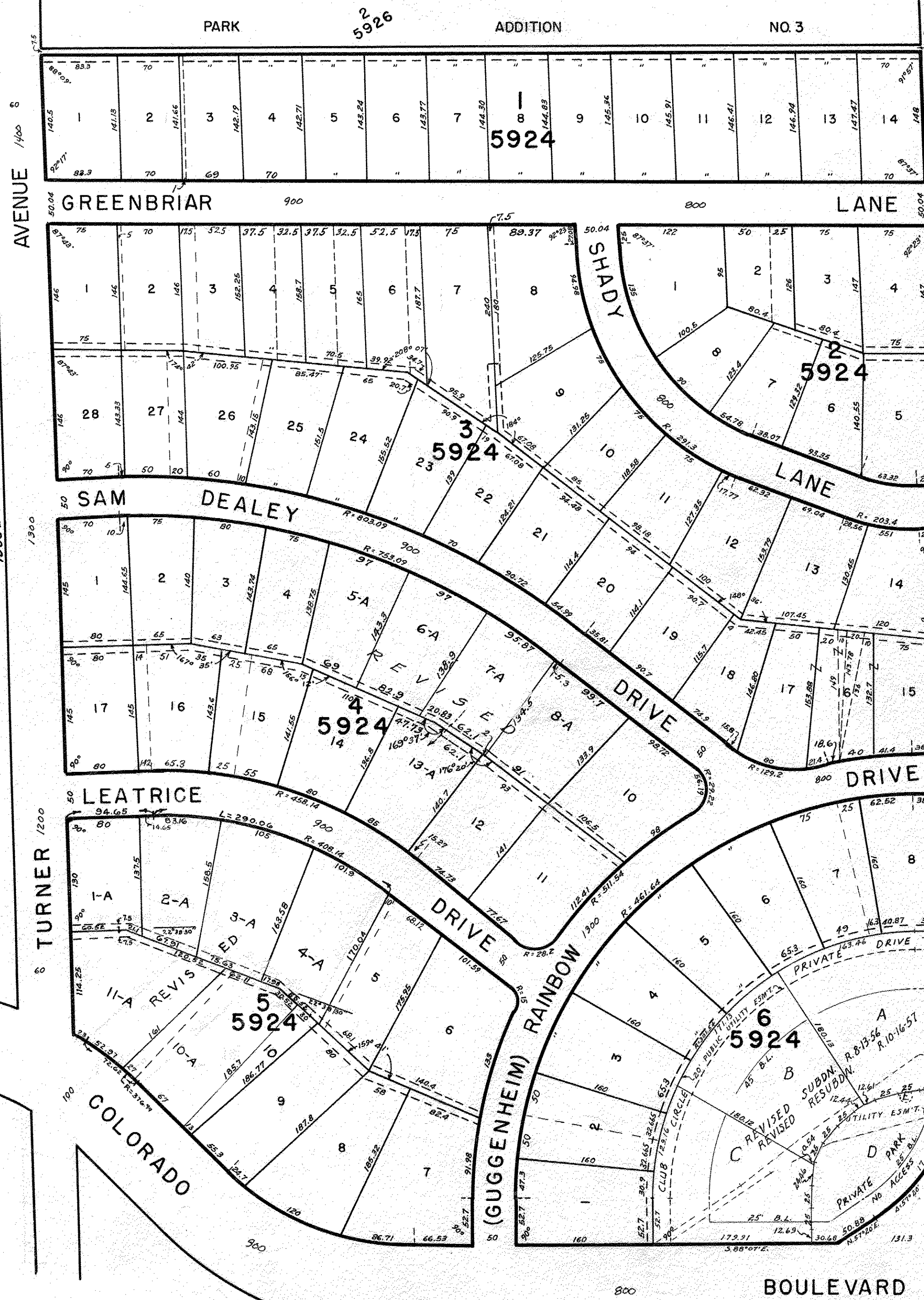
3792

WINNETKA  
AVE.

3794

KESSLER SQUARE ADDN.

3842





# PROJECT INFORMATION

## T THE GREENBRIAR RESIDENCE

## ABBREVIATIONS

REFR:	REFRIGERATOR
ELEV:	ELEVATION
REIN:	REINFORCED
EQUAL:	EQUAL
REQD:	REQUIRED
RIGHT OF WAY:	RIGHT OF WAY
EXISTING:	EXISTING
ROOM:	ROOM
EXPANSION BOLT:	EXPANSION BOLT
ROUGH OPENING:	ROUGH OPENING
EMBR:	EMBRACE
RUBBER BASE:	RUBBER BASE
EXPANSION JOINT:	EXPANSION JOINT
EXTERIOR:	EXTERIOR
SIMILAR:	SIMILAR
END RAIL:	END RAIL
SHEET:	SHEET
EXTERIOR INSULATION:	EXTERIOR INSULATION
FINISH SYSTEM:	FINISH SYSTEM
SUSPENDED ACOUSTICAL:	SUSPENDED ACOUSTICAL
EQUIP:	EQUIPMENT
STEEL:	STEEL
EXPPOSED:	EXPPOSED
SPECIFICATION:	SPECIFICATION
FACE OF:	FACE OF
SQUARE FEET:	SQUARE FEET
FOC:	FACE OF CONCRETE
STOR:	STORAGE
FOF:	FACE OF FRAMING
SUSP:	SUSPENDED
FINISH:	FINISH
SYSTEM:	SYSTEM
FIRE EXTINGUISHER:	FIRE EXTINGUISHER
TELEPHONE:	TELEPHONE
FINISH FLOOR:	FINISH FLOOR
TONGUE & GROOVE:	TONGUE & GROOVE
FIRE EXTINGUISHER AND CABINET:	FIRE EXTINGUISHER AND CABINET
THICK:	THICK
FLOOR DRAIN:	FLOOR DRAIN
TOWEL BAR:	TOWEL BAR
FLOOR OR FLOORING:	FLOOR OR FLOORING
TOB:	TOP OF BEAM
FOOTING:	FOOTING
TOP OF SILL:	TOP OF SILL
TOP OF WALL:	TOP OF WALL
FOUNDATION:	FOUNDATION
TPD:	TOILET PAPER DISP.
FURNISHED BY OWNER:	FURNISHED BY OWNER
INSTALLED BY CONTRACTOR:	INSTALLED BY CONTRACTOR
TOP PLATE:	TOP PLATE
TOF:	TOP OF
GAGE:	GAGE
TYPICAL:	TYPICAL
GALV:	GALVANIZED
UNO:	UNLESS NOTED OTHERWISE
GB:	GRAB BAR
UR:	URINAL
GEN:	GENERATOR
VAPOR BARRIER:	VAPOR BARRIER
GL:	GLASS
VENTILATION:	VENTILATION
GLU-LAM BEAM:	GLU-LAM BEAM
VERT:	VERTICAL
GUARD RAIL:	GUARD RAIL
VERTICAL GRAIN:	VERTICAL GRAIN
GYP:	GYPSONUM WALL BOARD
GYP:	GYPSONUM
WP:	WATERPROOF(ING)
HOB:	HOT WATER
WELDED WIRE FABRIC:	WELDED WIRE FABRIC
HANDICAPPED:	HANDICAPPED
WR:	WATER RESISTANT
HOLD DOWN:	HOLD DOWN
WIND:	WINDOW
HDR:	HEADER
WOOD:	WOOD
NOTE:	

IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE AND THERE IS ANY QUESTION AS TO ITS' INTENDED MEANING, NOTIFY THE ARCHITECT IMMEDIATELY.

## RESIDENTIAL GENERAL NOTES

- [illegible]

IF AN ABBREVIATION IS FOUND IN THE SET OF PLANS, IS NOT LISTED ABOVE AND THERE IS ANY QUESTION AS TO ITS' INTENDED MEANING, NOTIFY THE ARCHITECT IMMEDIATELY.

## PLUMBING NOTES

1. All plumbing work is to be BIDDER DESIGNED. The final design shall be based on the mechanical drawings and specifications contained in this set, and shall comply with all applicable CODES, including but not limited to the CODES referenced in General Notes.
2. The plumbing work must adhere to all requirements of the construction documents and performance specifications. Additional notes are contained in the drawings.
3. It shall be the responsibility of each Contractor to check with the Architectural drawings for coordination of their work. Any discrepancy between the Architectural drawings and the consulting engineer(s) or other supplementary drawings shall be brought to the Architect's attention in writing.
4. Each Contractor shall obtain his/her ancillary permit(s) as required.
5. Provide pressure relief valve for hot water tank. Drain to the outside of the building with drain end not more than two feet nor less than 6" above the ground, pointing down.
6. Hot water tanks having flexible pipe connections and over four feet tall shall be strapped down to prevent overturn in an earthquake.
7. Provide an approved back flow prevention device at all hose bibs.
8. Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal.
9. Contractor to provide horizontal drainage piping that meets the UPC/IPC for slope requirements.

THE GENERAL CONTRACTOR SHALL

1. BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
2. EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST DISTURBANCE TO THE PUBLIC.
3. COORDINATE PRIOR TO PRICING ALL WORK AS REQUIRED WITH THE BUILDING MANAGEMENT INCLUDING USE OF TEMPORARY STORAGE, LOADING AREAS, BUILDING SYSTEMS, KEYING SYSTEMS, EXECUTION OF WORK OR STOCKING OF MATERIALS DURING OFF HOURS ETC.
4. COORDINATE ALL FACETS OF THE WORK AND ALL TRADES INVOLVED SO AS TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AS CONSTRUCTION OF THE WORK AS INDICATED IN THE DRAWINGS.
5. BE RESPONSIBLE FOR THE DEVELOPMENT COORDINATION AND EXAMINATION OF CONSTRUCTION METHODS AND PROCEDURES.
6. BE RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT ALL DETAILS, DIMENSIONS, ETC. ARE BUILDABLE AS SHOWN. IF THERE ARE QUESTIONS, THE CONTRACTOR MUST FIRST OBTAIN CLARIFICATION FROM THE TENANT BEFORE PROCEEDING WITH SUCH WORK OR RELATED CONSTRUCTION.
7. VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD FOR COORDINATION WITH EXISTING AND NEW CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE TENANT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS PRIOR TO PRICING, ORDERING OR PROCEEDING WITH THE WORK.
8. BE RESPONSIBLE FOR CORRECTION OF ALL WORK AT HIS OWN EXPENSE FOR ANY WORK INSTALLED IN CONFLICT WITH THE DRAWINGS, INCLUDING SEQUENCING OR COORDINATION INDUCED ERRORS.
9. RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF INTERIOR CONSTRUCTION SHOWN TO BE REMOVED. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGES ARISING OUT OF DEMOLITION WORK.
10. INSTALL ALL EQUIPMENT AND APPLIANCES SPECIFIED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL CLEAR OPENING DIMENSIONS IN ASSOCIATED CABINERY ADEQUATELY ACCOMMODATE THE SPECIFIED EQUIPMENT.
11. REFINISH ENTIRE EXISTING SURFACE AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
12. PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS, OR OTHER ITEMS IN THIS CONTRACT OR EXISTING CONSTRUCTION REQUIRED THE SAME OR FOR N.I.C. ITEMS SPECIFICALLY NOTED.
13. ALL TENANT DETAILS ARE TO BE COORDINATED WITH THE BASE BUILDING STRUCTURAL FRAMING AND OTHER BUILDING COMPONENTS, STRUCTURAL AND FIREPROOFING REQUIREMENTS SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
14. ALL DIMENSIONS ARE TAKEN FROM THE FACE OF THE FINISHED WALL, FLOOR, OR CEILING UNLESS NOTED OTHERWISE.
15. NO DIMENSION SHALL BE TAKEN BY SCALING FROM THESE DRAWINGS.
16. DATUM POINTS MUST BE SET WITH A LASER LEVEL AND REMAIN TRUE AND LEVEL THROUGHOUT THE SPACE.
17. ALL STANDARD CONSTRUCTION SHALL CONFORM TO THE STANDARD DETAILS FOR TENANT IMPROVEMENT EXCEPT AS SUPERCEDED BY SPECIFIC DETAILS HEREIN.
18. WORK DONE FOR ELECTRICAL, MECHANICAL, PLUMBING AND SPRINKLERS WILL BE DONE BY SUB-CONTRACTORS WITH CURRENT LOCAL LICENSE AND WILL FOLLOW THE CURRENT LOCAL AND STATE BUILDING CODE.
19. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR ON THE EGRESS SIDE IN ONE INCH HIGH LETTERS SHALL READ "THIS DOOR TO REMAINED UNLOCKED WHEN BUILDING IS OCCUPIED". LOCKING DEVICE IS READILY DISTINGUISHED AS A LOCK.
20. THE FIRE ALARM SYSTEM IS TO BE IN WORKING ORDER AND BE IN COMPLIANCE WITH LOCAL REQUIREMENTS.
21. MATERIALS CONTAINING ASBESTOS ARE NOT ALLOWED TO BE USED ON THIS PROJECT. CONTRACTOR IS TO COMPLY WITH STATE ASBESTOS LAWS. CONTRACTOR IS TO PROVIDE MATERIALS CUT SHEETS FOR ALL MATERIALS USED.

## SCOPE OF PROJECT:

CONVERT THE EXISTING ATTACHED POOL HOUSE INTO AN ACCESSORY DWELLING UNIT (ADU) AT 802 W GREENBRIAR LN, DALLAS, TX, MAINTAINING THE EXISTING BUILDING FOOTPRINT AND PRIMARY STRUCTURE, WHILE BRINGING THE INTERIOR TO MODERN LIVING STANDARDS. THE PROJECT INCLUDES A FULL BATHROOM WITH NEW PARTITIONS, FINISHES, DOORS, AND WINDOWS AS NEEDED. WORK INCLUDES UPGRADING PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS WITH NEW FIXTURES, LIGHTING, OUTLETS, HVAC, AND UTILITY CONNECTIONS. THE BUILDING WILL BE CABLE READY. THE BUILDING ENVELOPE WILL BE IMPROVED AS REQUIRED (INSULATION, WEATHERPROOFING, EXTERIOR REPAIRS, EGRESS TO MEET CURRENT ENERGY AND LIFE-SAFETY COMPLAINTS). ASSOCIATED SITE WORK WILL PROVIDE CODE-REQUIRED ACCESS, PARKING, AND LANDSCAPING. DRAINAGE AND UTILITY ADJUSTMENTS RELATED TO THE ADU CONVERSION WITH INSTALLATION OF A NEW 8'-0" PERIMETER PAVEMENT FENCE.

**SQUARE FOOTAGE TABULATION**

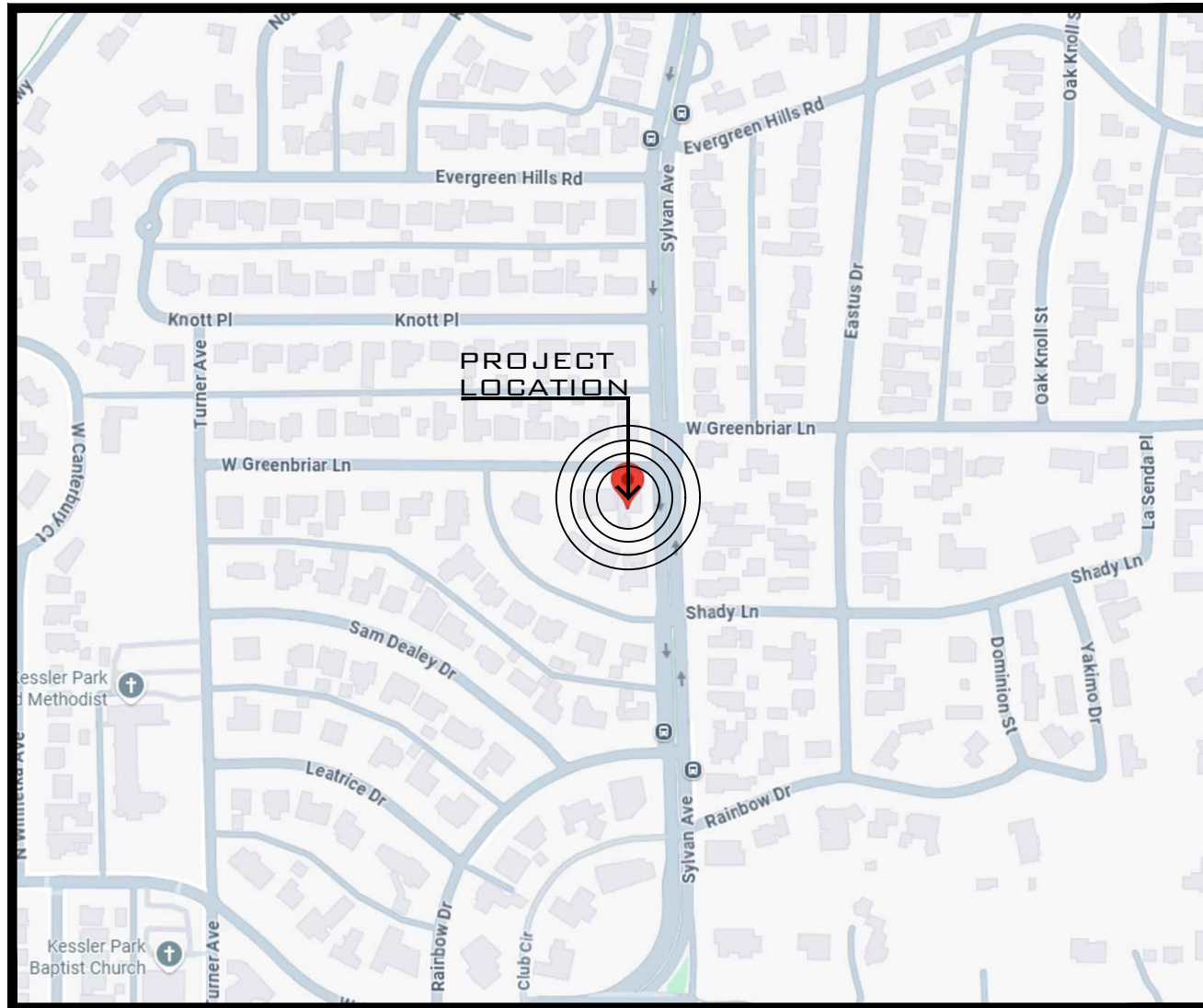
EXISTING MAIN DWELLING  
LIVING AREA: 1,885 SF  
COVERED PATIO: 45 SF  
COVERED PORCH: 43 SF

**TOTAL EXISTING: 1,973 SF**

REMODEL  
CONVERTED GARAGE TO ADU: 459 SF

**TOTAL REMODEL: 459 SF**

**TOTAL AUR: 2,432 SF**



## 4 LOCATION MAP

**All construction shall comply with:**

2021 International Residential Code (IRC) with statewide amendments  
2021 International Mechanical Code (IMC) with statewide amendments  
2021 International Fuel Gas Code both (IFGC), with state amendments  
2021 International Plumbing Code (IPC) with with statewide amendments  
2021 International Fire Code (IFC) with statewide amendments,  
2020 National Electrical Code (NEC) (NFPA 70)  
2021 International Energy Code (IEC) with statewide amendments

**AND all applicable local and municipal codes, ordinances and standards**



**INNOVATION  
DESIGN  
GROUP**

11 W MOCKINGBIRD LN DALLAS, TX 75247  
 972.355.1859 @GMAIL.COM  
 972.394.8059

**3802 W GREENBRIAR LN,  
DALLAS, TX 75208**

REVISIONS:	ADDRESS:
------------	----------

V0 - 07/30

CONSULTANT:

**LEGAL DESCRIPTION:**  
DEALEY SAME EST  
BLK 2/5924 LOT 4

1000 JOURNAL OF CLIMATE

AS NOTED

DATE:

12/09/25

**SHEET DATA:**

COVER SHEET

A0-0

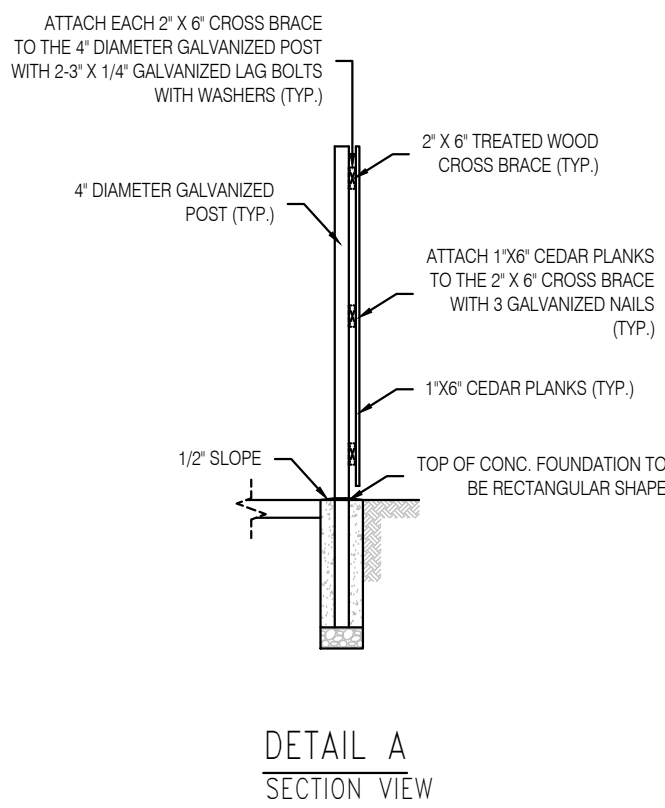
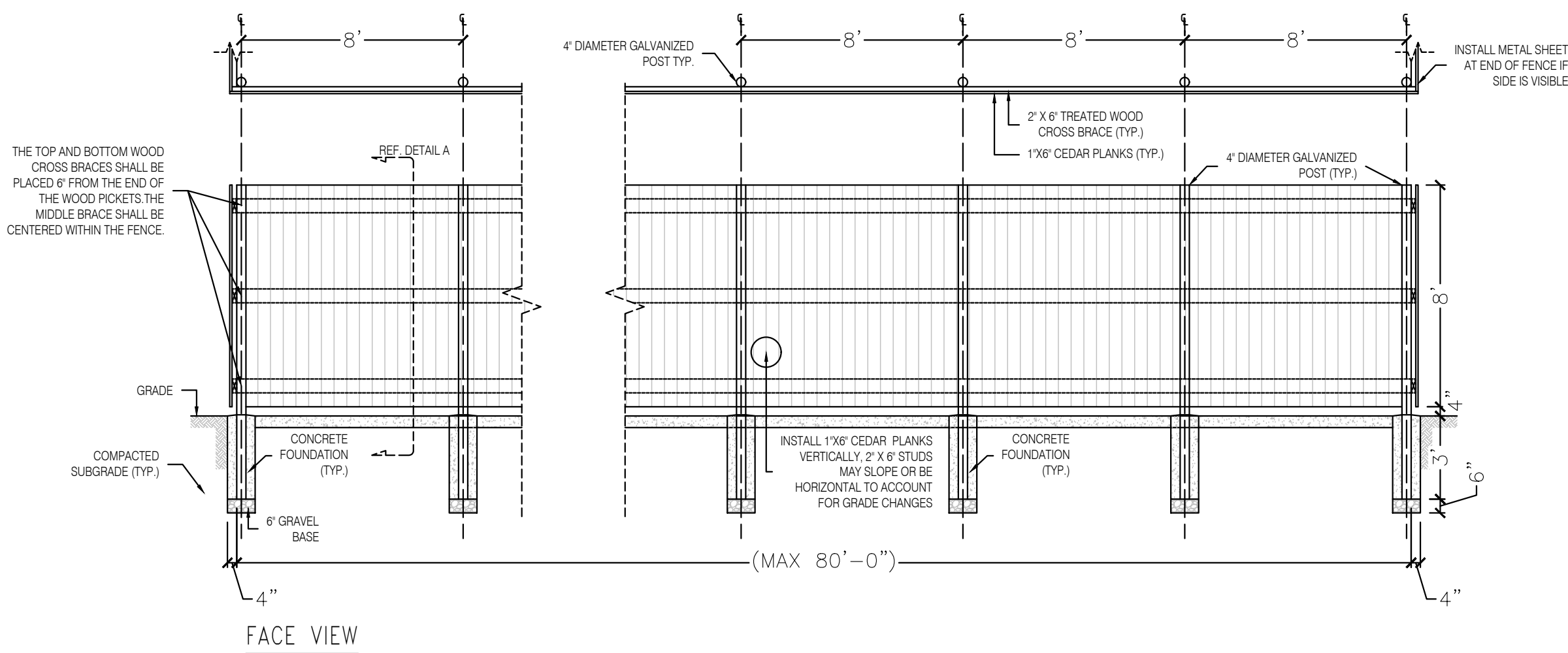
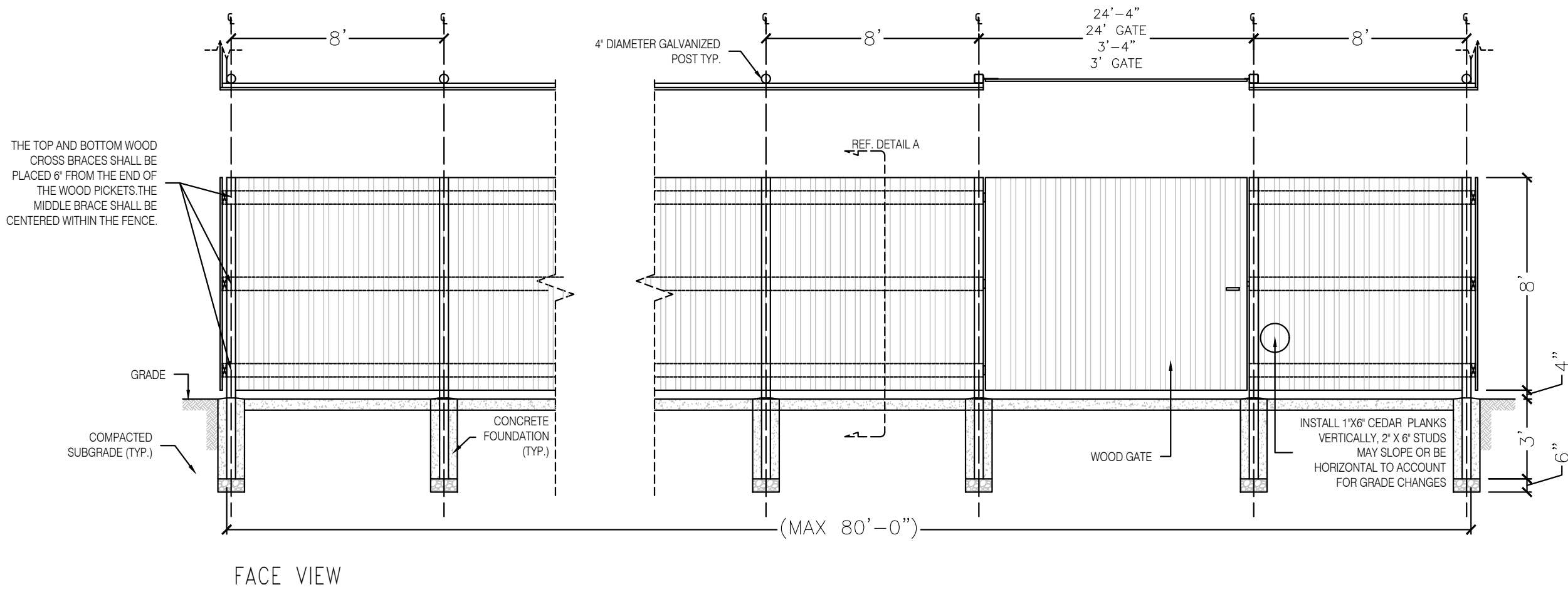
THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, THE CREATOR OF THESE PLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1'-0"



SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1'-0"



FENCE DETAIL



1111 W. ROCKINGBIRD LN DALLAS, TX 75247  
E: LUCAS@IDGMAIL.COM  
P: 972.358.8000

802 W GREENBRIAR LN,  
DALLAS, TX 75208

ADDRESS:

V0 - 07/30

REVISIONS:

CONSULTANT:

PROJECT DATA:

LEGAL DESCRIPTION:  
DEALEY SAMEST  
BLK 2/5924 LOT 4

SCALE:

AS NOTED

DATE:

12/09/25

SHEET DATA:

SITE PLAN

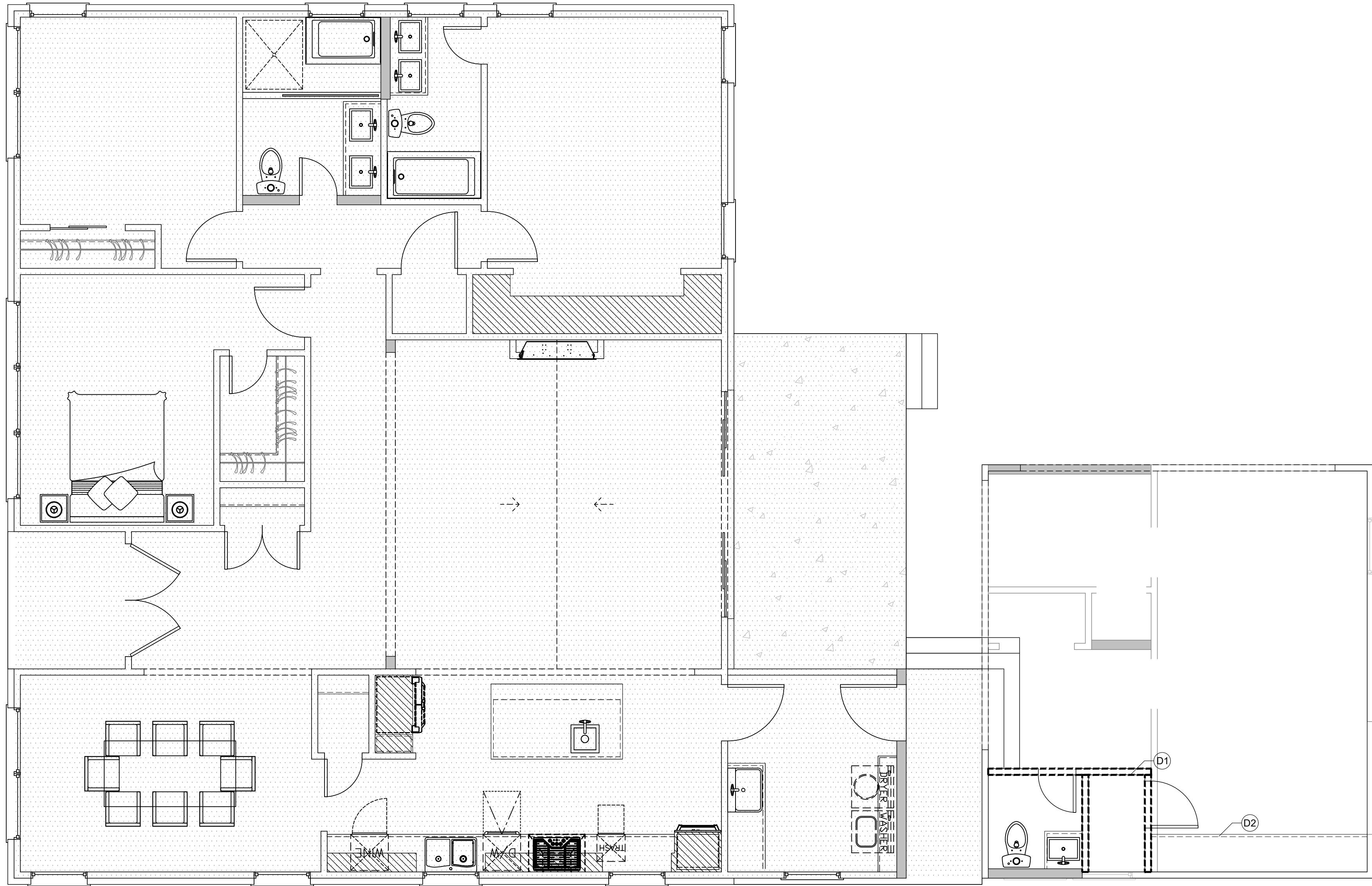
A1-1

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DEMOLITION NOTES BY NUMBER

- D1. DEMO EXISTING POWDER BATH AND EXTEND EXISTING PLUMBING THROUGH WALLS FOR NEW PROPOSED FULL BATHROOM.  
D2. DEMO CABINETRY.

DEMOLITION PLAN LEGEND

	EXISTING PARTITION TO REMAIN.		EXTENT OF DEMOLITION.
	EXISTING PARTITION TO BE REMOVED.		NOT IN CONTRACT.
	PROPOSED WALLS.		PLAN NOTE SYMBOL.
	DENOTES EXISTING TO REMAIN.		CMU BLOCK WALL.
	DENOTES EXISTING TO BE RELOCATED.		PARTIAL WALL PARTITION.
	DENOTES EXISTING TO BE DEMOLISHED.		DEMO AREA, RE NOTES FOR ITEMS TO BE DEMOED.

FLOOR PLAN - AS-BUILT

SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"



© 1111 W ROCKINGBIRD LN DALLAS, TX 75247  
E: LUC@IDGDESIGN.COM  
P: 972.358.4000

802 W GREENBRIAR LN,  
DALLAS, TX 75208

ADDRESS:

V0 - 07/30

REVISIONS:

CONSULTANT:

PROJECT DATA:

LEGAL DESCRIPTION:  
DEALEY SAMEST  
BLK 2/5924 LOT 4

SCALE:

AS NOTED

DATE:

12/09/25

SHEET DATA:

FLOOR  
PLAN

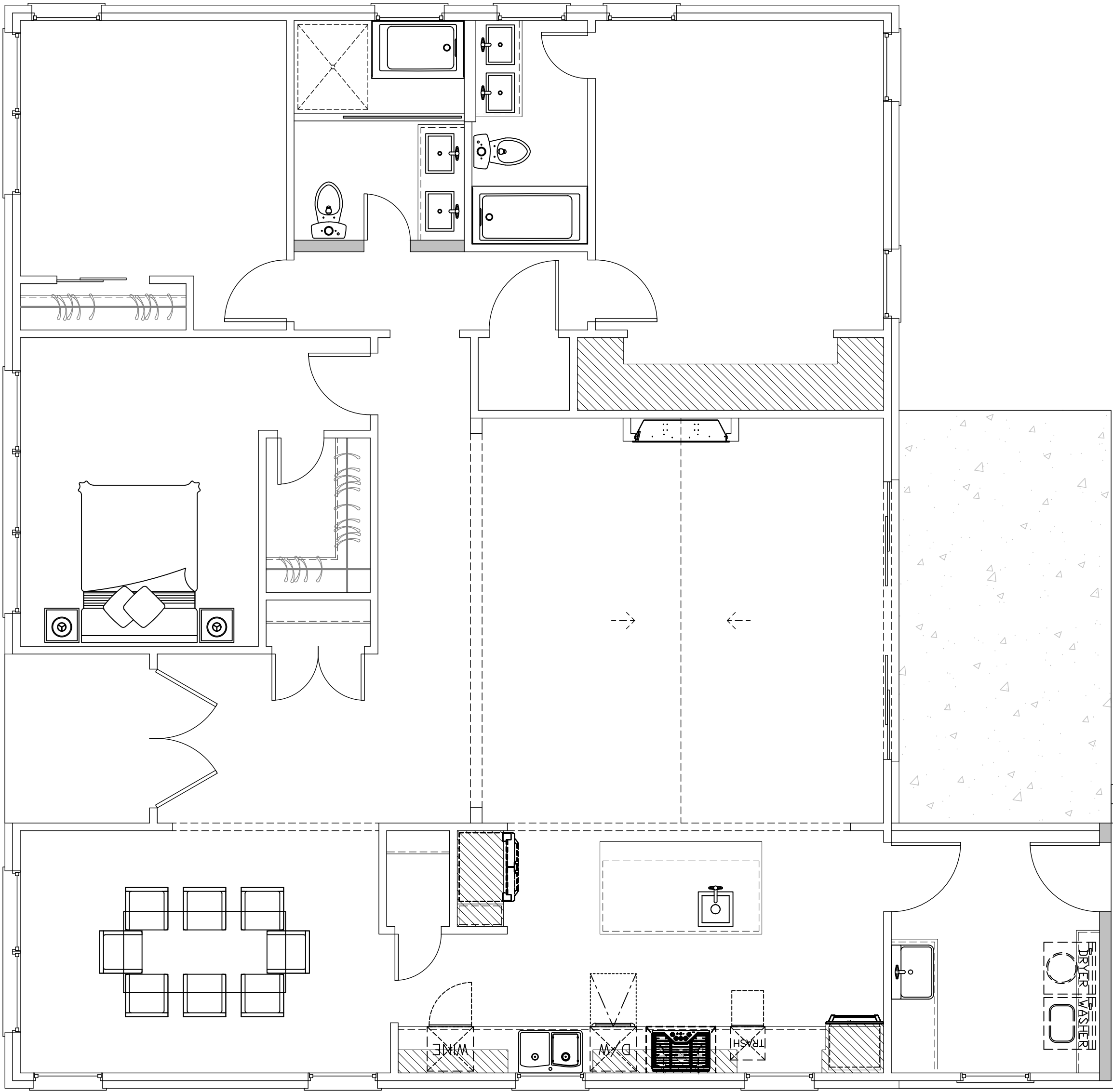
A2-0

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PROPOSED FLOOR PLAN

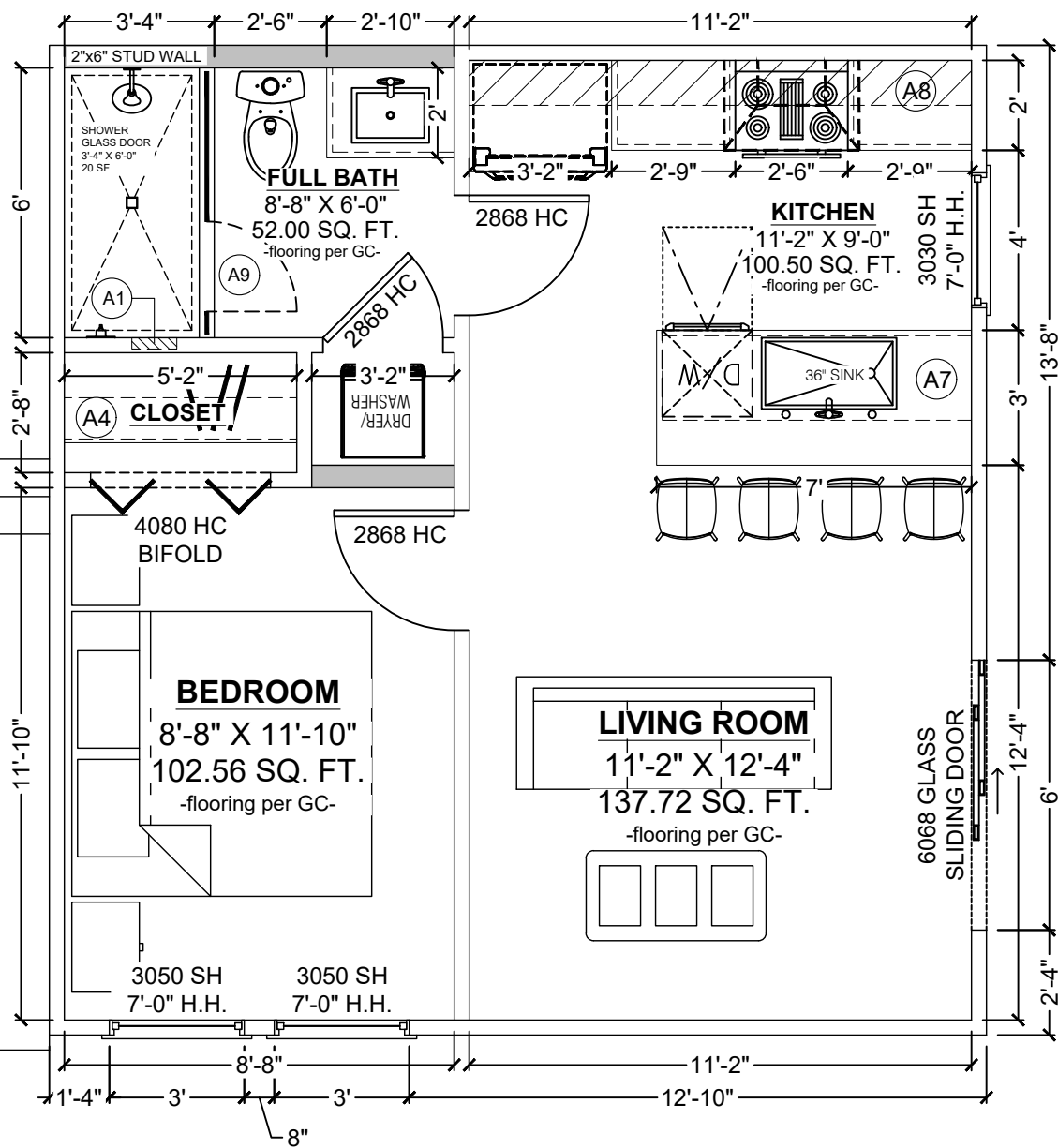
SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"

BUILDING INFORMATION

EXISTING ZONING: KESSLER PARK CONSERVATION DISTRICT; SUBAREA 3  
EXISTING USE: RESIDENTIAL

GENERAL SITE SUMMARY

GENERAL SITE SUMMARY		
TOTAL LOT AREA	11,560.00 SF	
	REQUIRED	PROVIDED
FRONT YARD	35 FT	35 FT
SIDE YARD	5 FT	5 FT
REAR YARD	5 FT	5 FT
BUILDING HEIGHT	35 FT	-- FT
LOT COVERAGE	AREA UNDER ROOF	2,552 SF
PERCENT OF LOT COVERED	50% MAXIMUM	22.08%
PROPOSED PAVING	NONE	≈ 0 SF



PLAN NOTES BY NUMBER

- WALL NICHE. CORRELATE WITH FRAMING CONTRACTOR AND PLUMBING CONTRACTOR. 12" OR 16" WIDE.
- BUILT-IN CABINETS WITH SHELVING. FINAL DESIGN BY CABINET CONTRACTOR.
- 33" HEIGHT VANITY, WIDTH PER PLAN.
- FINAL MASTER CLOSET DESIGN BY OTHERS, MUST FOLLOW BASIC WALK-IN CLOSET DESIGN SHOWN ON FLOOR PLAN.
- ALL COAT CLOSETS, STORAGE, AND LINEN CLOSETS TO HAVE SHELVING AND RODS PER GC/OWNER'S REQUEST. CORRELATE WITH CARPENTER.
- BEDROOM CLOSETS TO BE FITTED WITH 2 SHELVES AND 2 RODS, EQUALLY SPACED APART WITH THE HIGHEST SHELVE BEING 2 FT FROM THE CEILING.
- 3' X 7' PENINSULA. CABINETS UNDERNEATH. FIELD VERIFY LOCATION OF 2" X 6" PARTIAL WALL.
- 34-1/2" HEIGHT COUNTER CABINETS ABOVE AND BELOW.
- GLASS PARTITION 24" DOOR.
- VERIFY IN FIELD (VIF) DIMENSIONS ARE VARIABLE. VERIFY ON SITE.

THESE NOTES ARE ONLY APPLICABLE ON THIS PAGE.

PLAN LEGEND

	PARTIAL HEIGHT WALL.		WALL TYPE.
	2"X6" STUD WALL.		REVISION MARK.
	2"X4" STUD WALL.		CABINETS.
	PLAN NOTE SYMBOL.		WALL NICHE.
	BRICK WALL.		ADDITIONAL INSULATED WALL.
	CEILING HEIGHT		

SQUARE FOOTAGE TABULATION

EXISTING MAIN DWELLING  
LIVING AREA: 1,885 SF  
COVERED PATIO: 45 SF  
COVERED PORCH: 43 SF

**TOTAL EXISTING: 1,973 SF**

REMODEL  
CONVERTED GARAGE TO ADU: 459 SF

**TOTAL REMODEL: 459 SF**

**TOTAL AUR: 2,432 SF**

WINDOW AND DOOR SCHEDULE SYMBOL

2068 REPRESENTS A 2'-8" WIDE X 6'-8" HIGH WINDOW AND DOOR

T.O.S. REPRESENTS "TOP OF SILL"

HC REPRESENTS "HOLLOW CORE"

SC REPRESENTS "SOLID CORE"

CS REPRESENTS "CASED OPENING"

BI REPRESENTS "BIFOLD"

H.H. REPRESENTS HEADER HEIGHT

FX REPRESENTS "FIXED"

HT REPRESENTS "HEIGHT"

VIF REPRESENTS "VERIFY IN FIELD"

WALL TYPE

INTERIOR	EXTERIOR	INTERIOR	EXTERIOR
TYPE A	TYPE A	TYPE B	TYPE B



1111 W. ROCKINGBERRY IN DALLAS, TX 75247  
E: LUCY@IDGDESIGN.COM  
P: 469.358.4000

802 W GREENBRIAR LN,  
DALLAS, TX 75208

ADDRESS:

V0 - 07/30

REVISIONS:

CONSULTANT:

PROJECT DATA:

LEGAL DESCRIPTION:  
DEALEY SAM EST  
BLK 2/5924 LOT 4

SCALE:

AS NOTED

DATE:

12/09/25

FLOOR  
PLAN

A2-1

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SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1'-0"

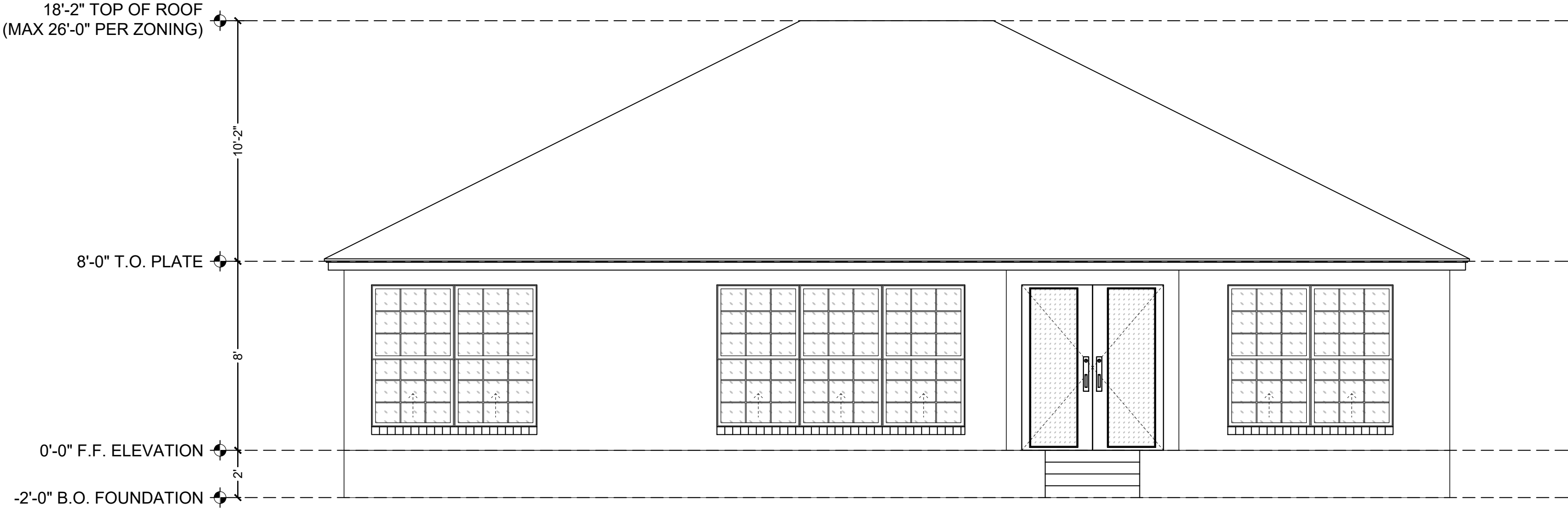


1. ALL CEILINGS TO BE 8'-0" HIGH UNLESS NOTED.
2. BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
3. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
4. HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
5. W.H. IN MECH CLOSET.
6. PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMELY W/ IRC SECTION R308.4.8.

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTION. HEADERS, JOIST AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUDS UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
7. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
8. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
9. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
10. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
11. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
12. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
13. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
14. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
15. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2x4 JOISTS.
16. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
17. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

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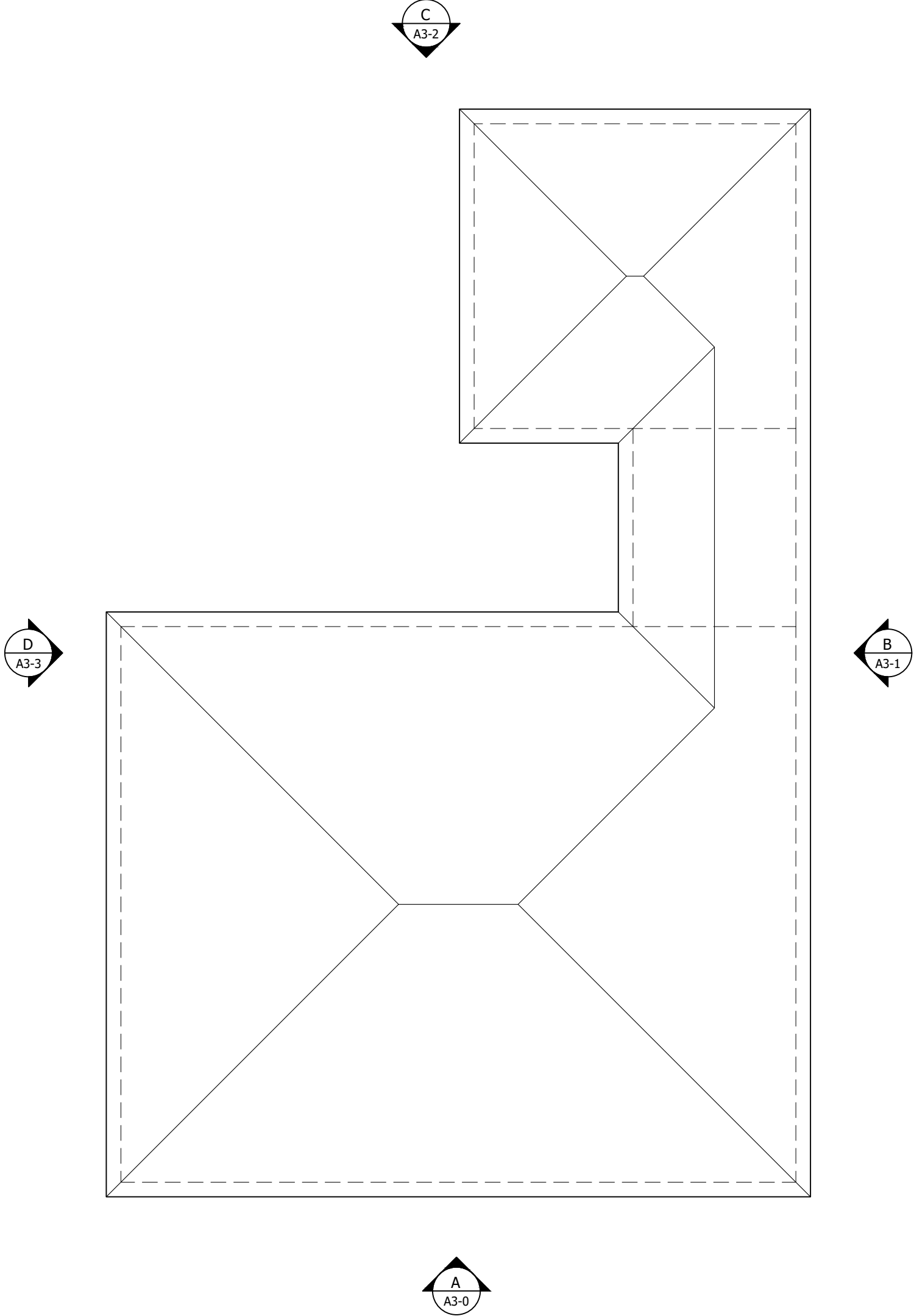




**A** FRONT ELEVATION  
SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
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**GREEN/ENERGY CODE COMPLIANCE OUTLINE 2021 IECC**

1. WATER EFFICIENCY:
  - 1.1. ALL LAV. FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GAL./MIN. OR LOWER
  - 1.3. ALL TOILETS TO BE 1.3 GAL. PER FLUSH OR DUAL FLUSH OR WATER SENSE
2. STORM WATER:
  - 2.1. 70% OF NON-ROOF AREA MUST BE LANDSCAPED, HAVE PERMEABLE PAVING AND SLOPED FOR RUNOFF TO FILTRATION FEATURE
3. POLY SEAL:
  - 3.1. WINDOWS AND DOORS MUST BE SEALED WITH FOAM OR CAULK
  - 3.2. SILL PLATE MUST BE SEALED ON THE INSIDE WITH FOAM OR CAULK
  - 3.3. ALL PENETRATIONS OF TOP PLATE/CEILING INTO ATTIC, MUST BE SEALED WITH FOAM OR CAULK
  - 3.4. ALL WALL PENETRATIONS TO THE EXTERIOR MUST BE SEALED WITH FOAM OR CAULK
  - 3.5. BLOWER DOOR TESTING IS MANDATORY. NOT TO EXCEED 4 AIR CHANGES PER HOUR AT 50 PASCALS
  - 3.6. DUCT TIGHTNESS TESTING IS MANDATORY. TESTED AT 25 PASCALS, TOTAL LEAKAGE, LESS THAN OR EQUAL TO 4 FT<sup>3</sup>/MIN PER 100 SQUARE FOOT OF CONDITIONED FLOOR AREA.
    - 3.6.1. EXCEPT, WHEN THE DUCTS AND AIR HANDLERS ARE ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE
4. INSULATION:
  - 4.1. 2:12 OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RADIANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK OR BE A VEGETATED ROOF
  - 4.2. ALL PIER AND BEAM/ RAISED FLOORS MUST BE INSULATED WITH R - 19 INSULATION OR HIGHER
    - 4.2.1. EXCEPT, UNVENTED CRAWL SPACE WALLS MUST BE INSULATED R - 5 CONTINUOUS OR R - 13 CAVITY INSULATION, WITH VAPOR BARRIER OVER EXPOSED EARTH
  - 4.3. ALL EXTERIOR WALLS MUST BE INSULATED WITH R - 20 CAVITY OR R - 13 CAVITY WITH R - 5 CONTINUOUS INSULATION OR HIGHER
  - 4.4. CEILINGS MUST BE INSULATED WITH R - 49 IF THERE IS ATTIC SPACE AND R - 30 IF NO ATTIC SPACE (CATHERDRAL) AND THAT IS LIMITED TO 500 SQ. FT. TOTAL OR 20% OF CEILING WHICHEVER IS LESS
  - 4.5. ATTIC ACCESS LADDERS AND OR HATCHES, MUST BE INSULATED THE SAME AS THE ATTIC AND HAVE A WEATHER SEAL
5. HVAC/SERVICE WATER:
  - 5.1. ALL DUCTS IN UNCONDITIONED SPACE/ATTICS MUST USE R - 8 DUCTING
  - 5.2. MECHANICAL SYSTEM PIPING CARRYING FLUID OVER 104° OR BELOW 55° MUST BE INSULATED WITH R - 13 INSULATION
6. WINDOWS AND DOORS:
  - 6.1. MUST HAVE A U-FACTOR OF .32 OR LESS
  - 6.2. MUST HAVE A SHGC OF .25 OR LESS
7. LIGHTING:
  - 7.1. ALL CAN LIGHTS MUST BE AIR-TIGHT TYPE
  - 7.2. MINIMUM OF 75% OF LIGHTING MUST BE HIGH EFFICIENCY (ANYTHING BUT INCANDESCENT)



**KEY ROOF PLAN**  
SCALE:  
24X36 SHEET: 1/8" = 1'-0"  
11X17 SHEET: 1/16" = 1'-0"

**802 W GREENBRIAR LN,  
DALLAS, TX 75208**

**V0 - 07/30**

**CONSULTANT:**

**PROJECT DATA:**  
**LEGAL DESCRIPTION:**  
**DEALEY SAMEST**  
**BLK 2/5924 LOT 4**

**SCALE:**  
**AS NOTED**  
**DATE:**  
**12/09/25**

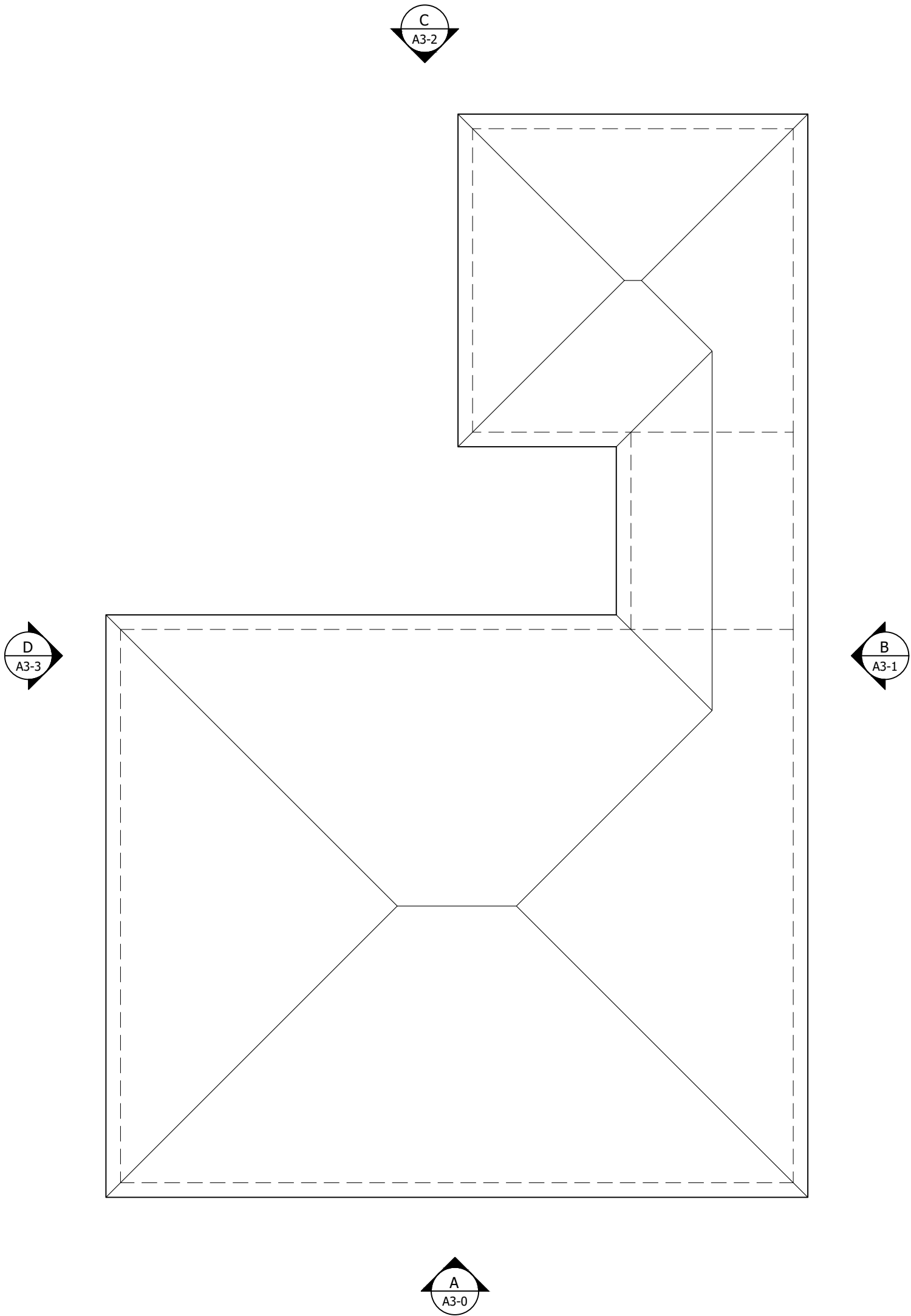
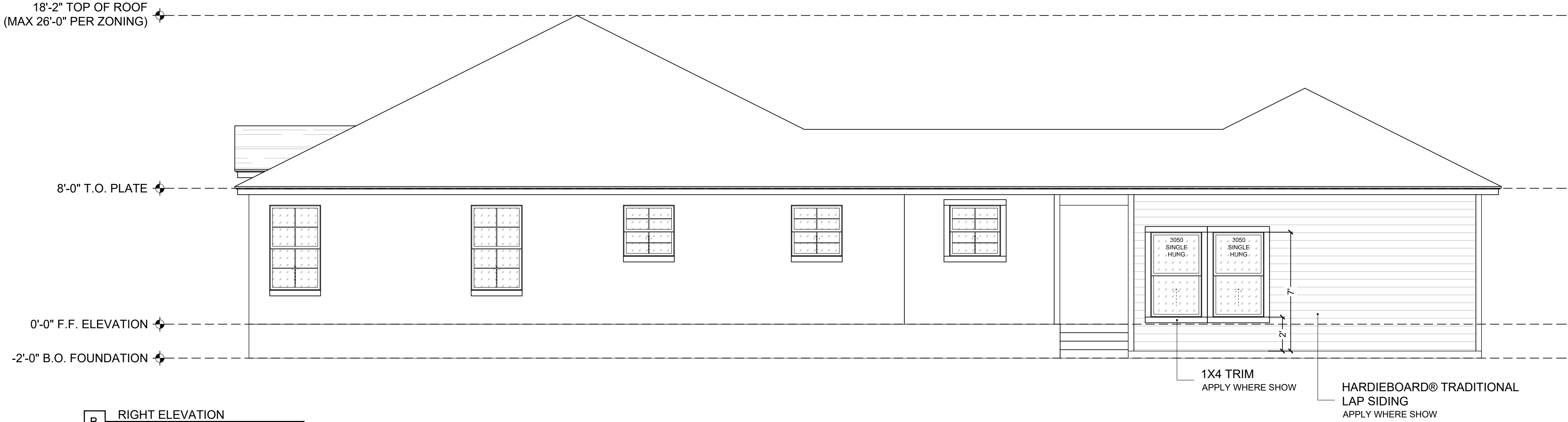
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**ELEVATIONS**

**A3-0**

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KEY ROOF PLAN

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24X36 SHEET: 1/8" = 1'-0"  
11X17 SHEET: 1/16" = 1'-0"



INNOVA  
DESIGN  
GROUP

D: 1111 W ROCKINGBIRD LN DALLAS, TX 75247  
E: LUC@IDGDESIGN.COM  
P: 972.358.4000

REVISIONS:

ADDRESS:

802 W GREENBRIAR LN,  
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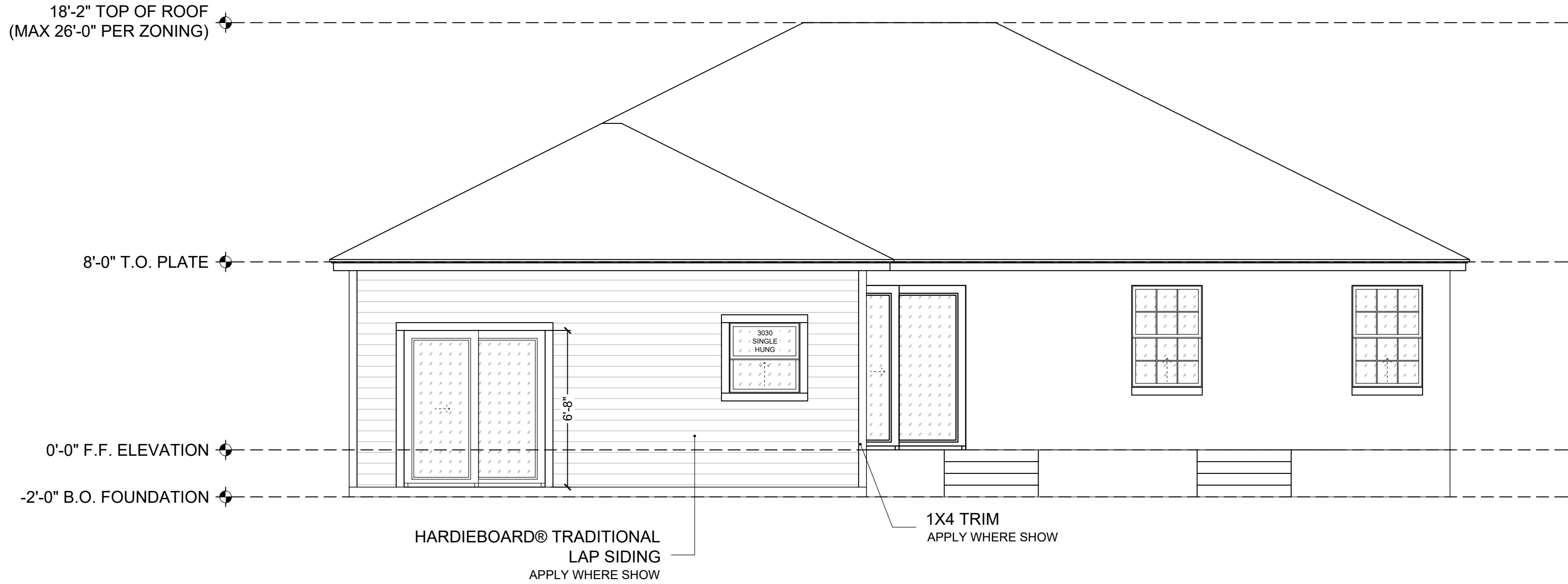
A3-1

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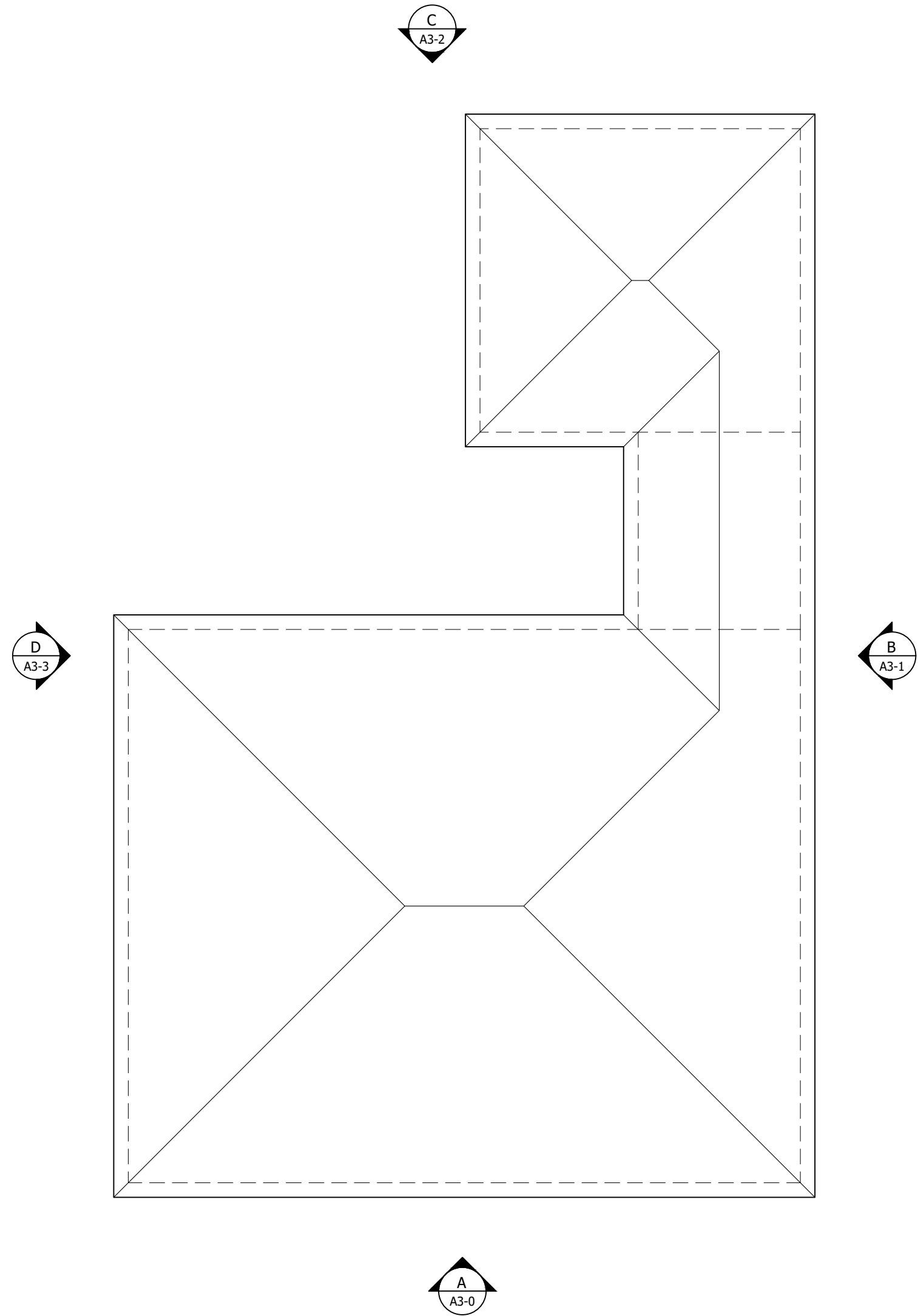
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**C** REAR ELEVATION  
SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"



KEY ROOF PLAN

SCALE:  
24X36 SHEET: 1/8" = 1'-0"  
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ELEVATIONS

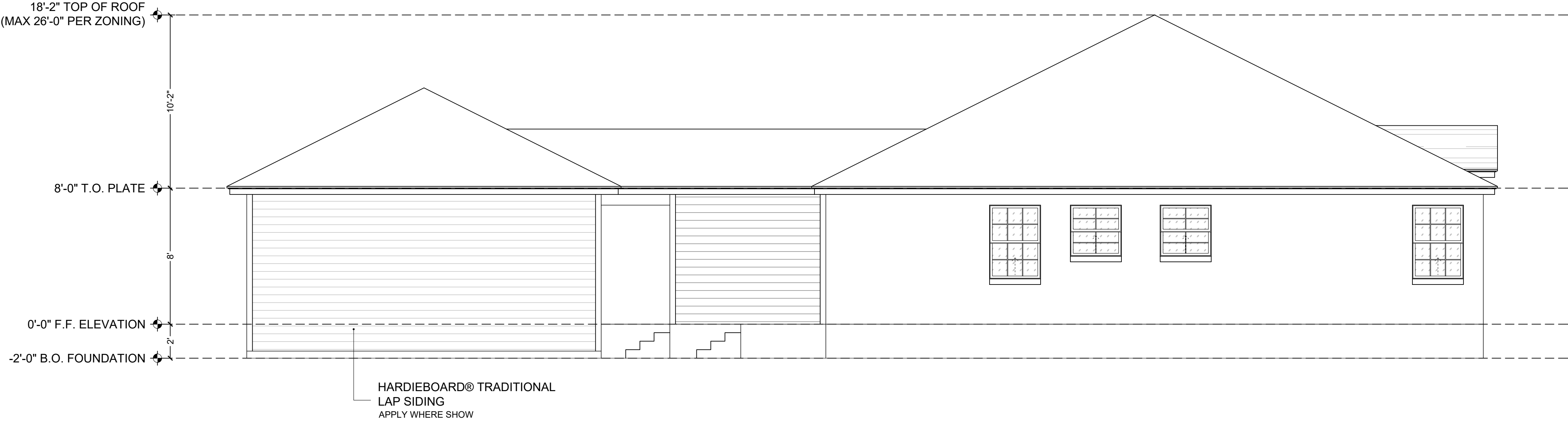
A3-2

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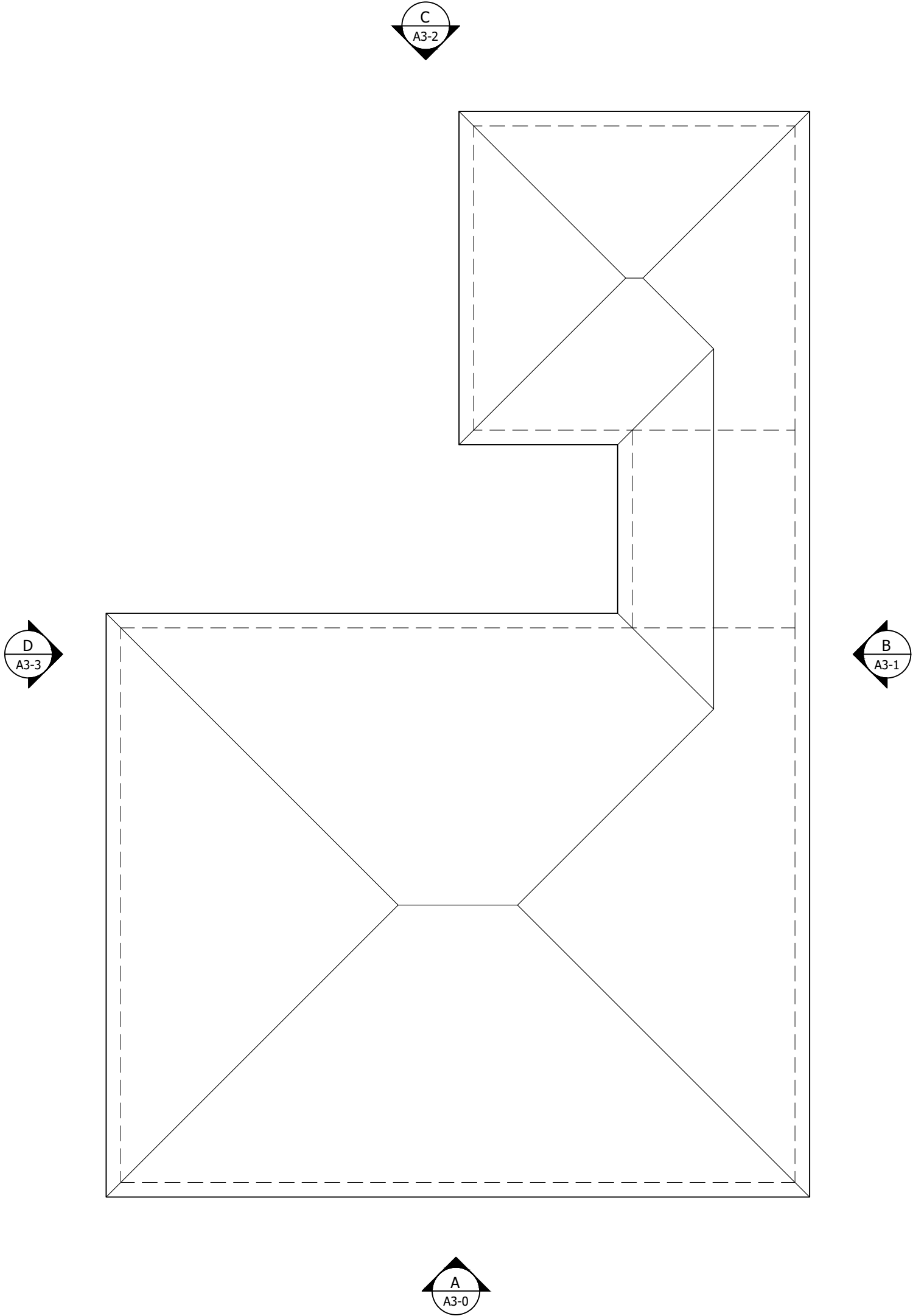
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**D LEFT ELEVATION**  
SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"



**KEY ROOF PLAN**  
SCALE:  
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12/09/25

**SHEET DATA:**  
ELEVATIONS

**A3-3**

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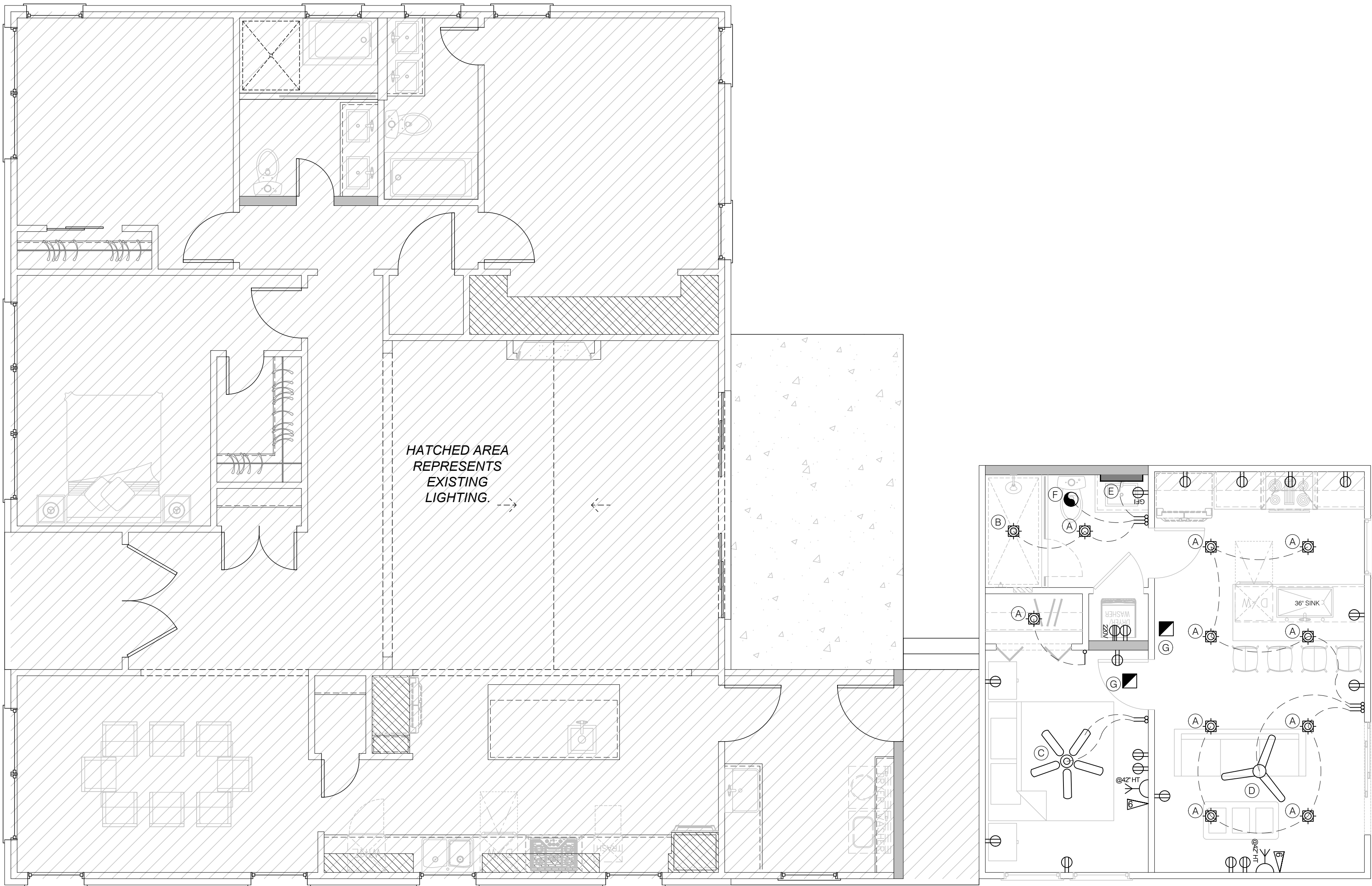
ELECTRICAL  
PLAN

E1-0

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**ELECTRIC KEY NOTES**  
THESE NOTES ONLY REFER TO THIS PAGE

- GC TO VERIFY LIGHTING FIXTURE COUNT DURING BIDDING PROCESS.
- FIELD VERIFY FINAL PANEL REQUIREMENTS WITH LICENSED ELECTRICIAN ON RECORD.
- VERIFY ALL APPLIANCE/FIXTURE POWER REQUIREMENTS WITH APPLIANCE/FIXTURE SPECS AND ELECTRICAL CONTRACTOR.

**ELECTRICAL PLAN - 1ST LVL**

SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"



ELECTRICAL PLAN NOTES FOR PAGE E1-0

ⓧ	LIGHTING & POWER SCHEDULE			
TAG	QUANTITY	DESCRIPTION	BRAND/SUPPLIER	NOTES
LIGHTING				
Ⓐ	10	RECESSED CAN LIGHTS - INTERIOR		
Ⓑ	01	RECESSED CAN LIGHTS - WATERPROOF (ABOVE TUB, PORCH , PATIO)		
Ⓒ	01	FAN WITH LIGHTING FIXTURE		
Ⓓ	01	FAN W/OUT LIGHTING FIXTURE		
Ⓔ	01	VANITY LIGHTS	BY OWNERS	
Ⓕ	01	EXHAUST FAN ( 50cfm min.)	TYPICAL BY ELECTRICIAN	
Ⓖ	02	SMOKE DETECTORS W/ CARBON MONOXIDE	BY OWNERS	
Ⓗ		LED STRIP/ TOE KICK/COVE LIGHT	LED LIGHTING V5-SPEC 3000K	
Ⓙ		UNDER CABINET LIGHTS	LED LIGHTING V5-SPEC 3000K	
Ⓚ		CHANDELIER	BY OWNERS	
Ⓛ		TRACK LIGHTS	BY OWNERS	
Ⓜ		PENDANT/ HANGING LIGHTS	BY OWNERS	
Ⓝ		WALL LIGHTS ( INTERIOR)	BY OWNERS	
Ⓟ		WALL LIGHTS ( EXTERIOR)	BY OWNERS	
Ⓠ		GARAGE LIGHTS	BY OWNERS	
Ⓡ		STEP/CORRIDOR LIGHTS ( MOTION SENSOR)	BY OWNERS	
Ⓢ		EXTERIOR WALL LIGHTS ( MOTION SENSOR)	BY OWNERS	
Ⓣ		4" RECESSED LIGHTING (SOFFIT LIGHTING)	BY OWNERS	
Ⓤ		2" RECESSED CAN LIGHTS - INTERIOR		
Ⓥ				
Ⓦ				
ⓧ				
Ⓨ				
Ⓩ				

LIGHTING SYMBOL LEGEND

	1 GANG LIGHT SWITCH
	2 GANG LIGHT SWITCH
	2 GANG LIGHT SWITCH
	1 GANG - 3 WAY LIGHT SWITCH
	2 GANG - 3 WAY LIGHT SWITCH
	3 GANG - 3 WAY LIGHT SWITCH
	1 GANG - 4 WAY LIGHT SWITCH
	2 GANG - 4 WAY LIGHT SWITCH
	3 GANG - 4 WAY LIGHT SWITCH
	1 GANG - DIMMER SWITCH
	2 GANG - DIMMER SWITCH
	1 GANG - RHEOSTAT SWITCH
	2 GANG - RHEOSTAT SWITCH
	1 GANG PULL CORD LIGHT SWITCH
	EXTERNAL LIGHT
	EXTERNAL LIGHT - BULKHEAD TYPE
	MOTION SENSING 2" WALL LIGHT, HARDWIRE
	LIGHT POINT - PENDANT HOLDER (4 INCH)
	LIGHT POINT - PENDANT HOLDER (6 INCH)
	LIGHT POINT - BATTEN HOLDER
	COOKER SWITCH
	MECHANICAL EXTRACT FAN
	COOKER HOB HOOD
	AUDIO SPEAKER
	MOTION DETECTOR-WALL MOUNT
	CEILING MOUNTED LIGHT
	HANGING LIGHT
	MINI LED 3 LIGHT RECESSED MULTIPLE SPOT LIGHT KIT

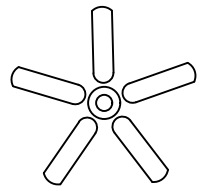
POWER SYMBOL LEGEND

	110 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	110 VOLT IN CEILING
	110 VOLT with GROUND FAULT INTERRUPTER
	110 VOLT IN FLOOR
	220 VOLT RECEPTACLE
	110 VOLT DIRECT HARD WIRE
	SINGLE SWITCHED WALL RECEPTACLE
	DOUBLE SWITCHED WALL RECEPTACLE
	SINGLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
	DOUBLE SWITCHED WALL RECEPTACLE 48" ABOVE FLOOR LEVEL
	DOUBLE SWITCHED FLOOR RECEPTACLE
	TV AERIAL POINT
	TELEPHONE POINT
	CAT 6 DATA SOCKET
	RADIATOR
	THERMOSTAT
	ELEC. PANEL
	HOSE BIBB

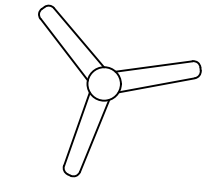
NOTE: VERIFY W/ OWNER - ALL ELECTRICAL AND LIGHTING LOCATIONS AND SPECS...INCLUDING SECURITY, AUDIO/VISUAL, OUTDOOR ELECTRICAL, PANEL LOCATIONS, ETC.

LIGHTING SYMBOL LEGEND

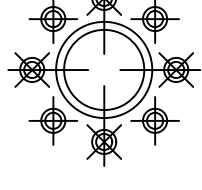
	6" RECESSED, ADJUSTABLE CAN LIGHT
	6" WATERPROOF RECESSED ADJUSTABLE CAN LIGHT
	INTERIOR - WALL MOUNTED LIGHT
	LED STRIP LIGHTING, TOE KICK, COVE LIGHTING
	UNDER-CABINET LED FIXTURE
	TRACK LIGHTING (LENGTH PER PLAN)
	VANITY LIGHT
	EXHAUST FAN (50 cfm MIN.)
	EXHAUST FAN (50 cfm MIN.) W/ LIGHT
	PUSH BUTTON (DOORBELL OR GARAGE DOOR OPENER)
	SMOKE DETECTOR W/ CARBON MONOXIDE DETECTOR (HARD WIRE WITH BATTERY BACKUP)
	CHIMES (FOR DOOR BELL)
	ELEC. PANEL
	2x4 LIGHT FLUORESCENT FIXTURE [32 W] T-8 4 LAMPS
	LIGHT FLUORESCENT FIXTURE [32 W] T-8 2 LAMPS



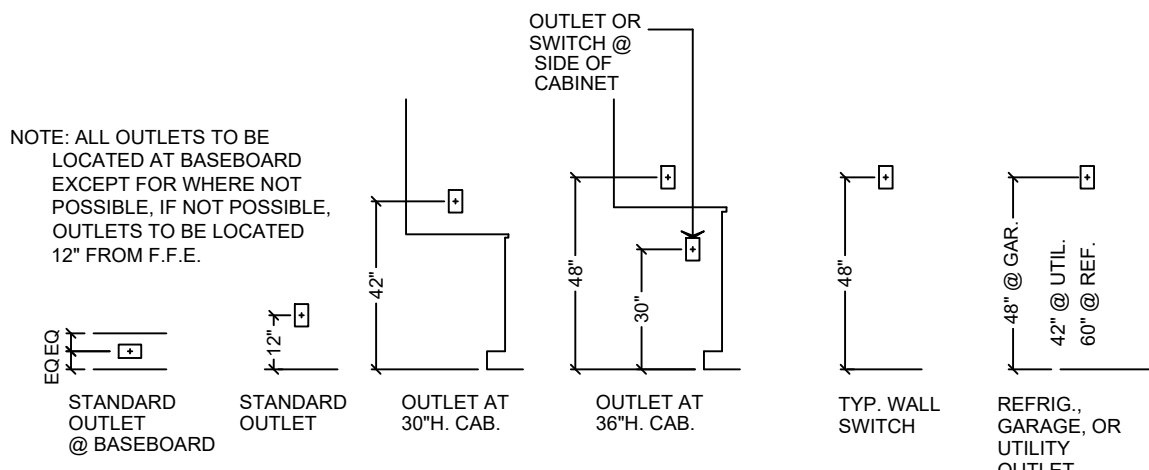
CEILING FAN with LIGHT KIT



CEILING FAN without LIGHT KIT



CHANDELIER



ELECTRIC FIXTURE HEIGHTS (UNLESS NOTED OTHERWISE)

GENERAL ELECTRICAL NOTES

1. **ALL WIRING TO BE 12 GAUGE ROMEX WIRE AT A MINIMUM. LOCAL NEC CODE AND AMENDMENTS TO SUPERSEDE THIS REQUIREMENT.**
2. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARD OF THE GOVERNING ELECTRICAL CODE.
3. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
4. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS.
5. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
6. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) ONE PLATE.
7. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
8. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
9. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.



1111 W ROCKINGBIRD LN DALLAS, TX 75247  
E: LUD@IDGDESIGN.COM  
P: 972.358.8000

802 W GREENBRIAR LN,  
DALLAS, TX 75208

ADDRESS:

REVISIONS: V0 - 07/30

CONSULTANT:

PROJECT DATA:

LEGAL DESCRIPTION:  
DEALEY SAMEST  
BLK 2/5924 LOT 4

SCALE:

AS NOTED

DATE:

12/09/25

SHEET DATA:

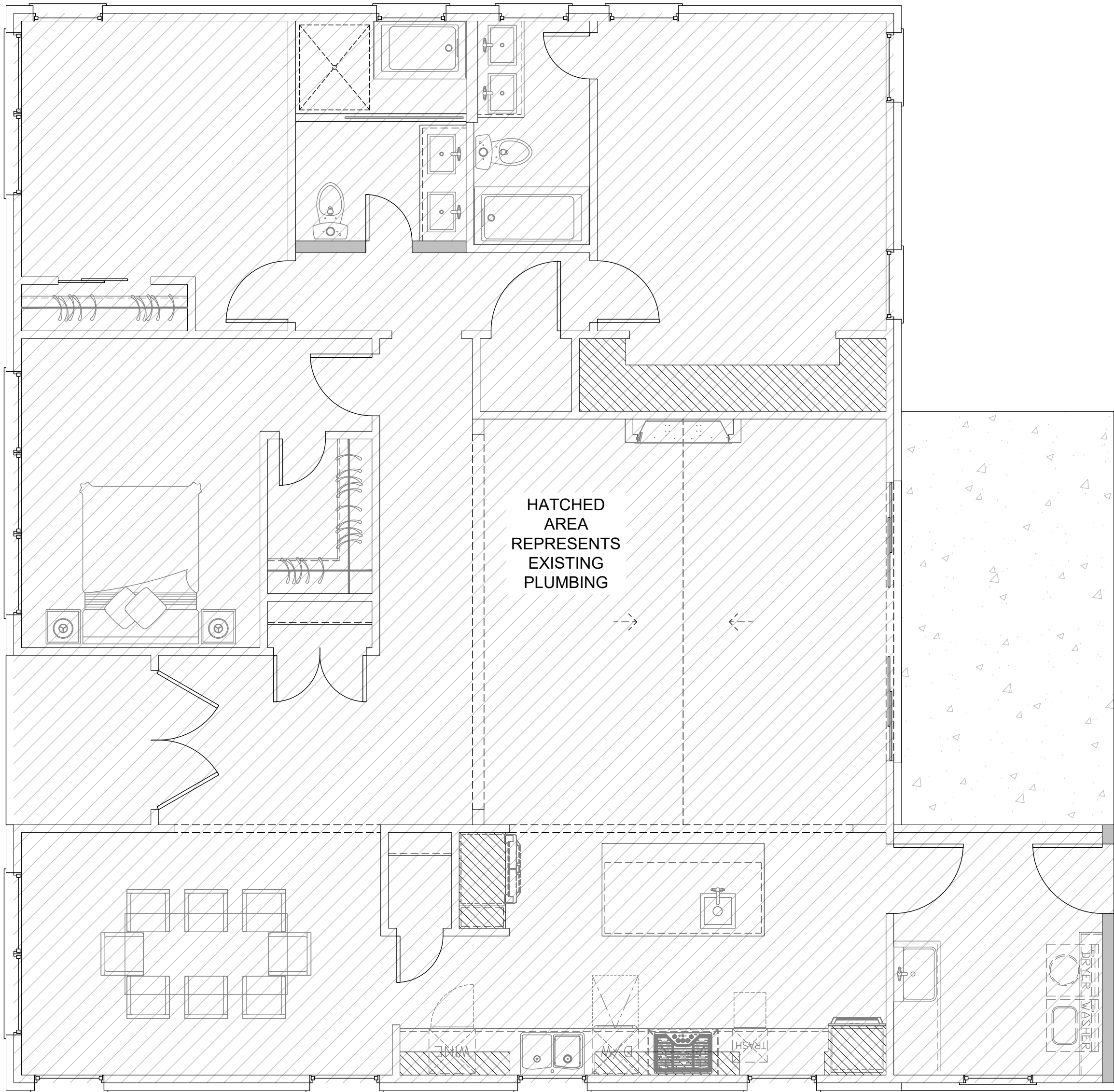
ELECTRICAL  
PLAN  
NOTES

E1-1

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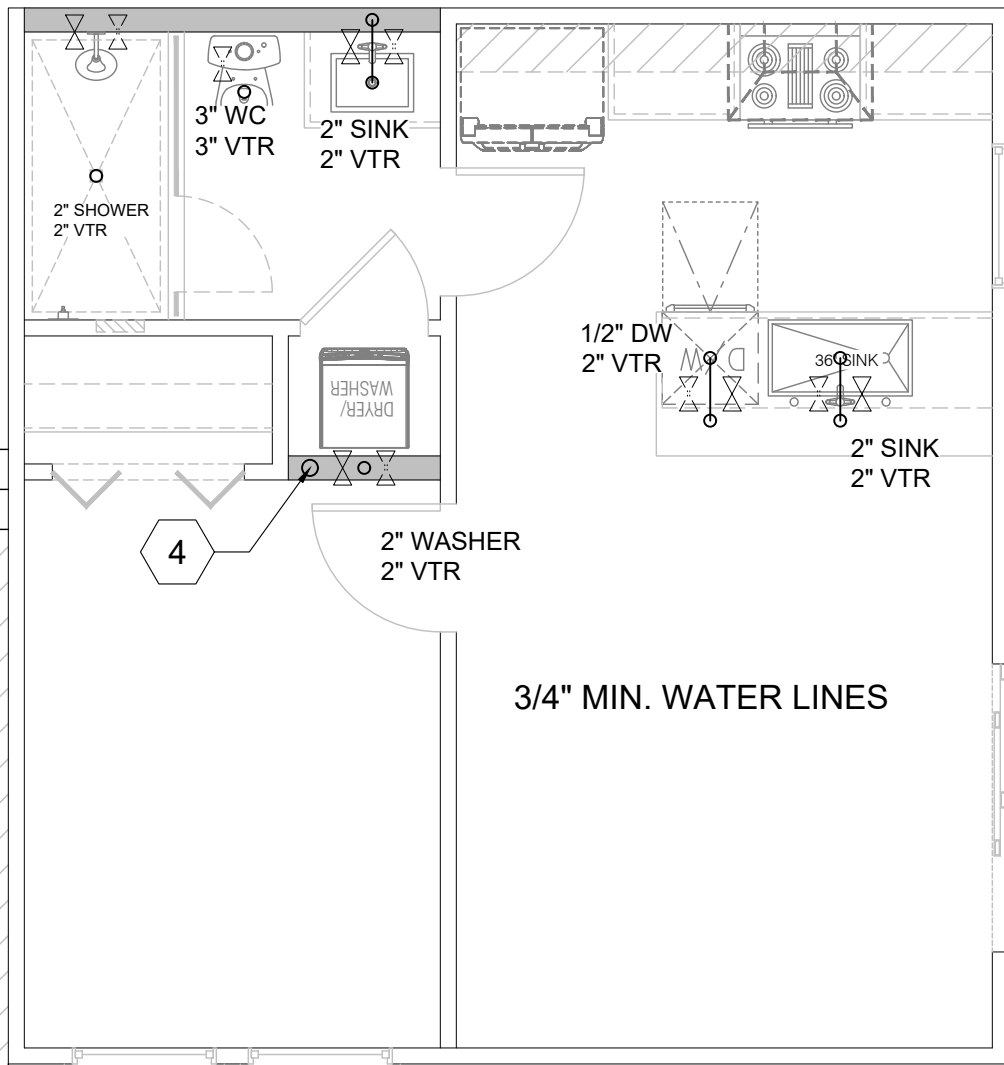
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SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1'-0"



PLUMBING LEGEND	
SYMBOL	ITEM DESCRIPTION
	SANITARY SEWER
	HOT WATER
	COLD WATER

\*SINK/ LAV. PLUMBING NOTE  
ALL SINKS AND LAVATORY TO  
BE INSTALLED WITH  
APPROPRIATE P-TRAP.



PLUMBING PLAN

SCALE:  
24X36 SHEET: 1/4" = 1'-0"  
11X17 SHEET: 1/8" = 1'-0"

PLUMBING KEY NOTES

THESE NOTES ONLY REFER TO THIS PAGE

- CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING SANITARY SEWER LINE.
- CONNECT PROPOSED PLUMBING FIXTURES TO EXISTING WATER LINES, MIN. 3/4" LINES.
- CONNECT PROPOSED FIXTURES TO EXISTING WATER HEATER, FIELD VERIFY WATER HEATER SIZE TO ENSURE CAPACITY FOR NEW FIXTURES.
- MINIMUM 4" DRYER VENT, ROUTE THRU WALL TO CEILING.



D: 1111 W ROCKINGBIRD LN DALLAS, TX 75247  
E: LUC@IDGDESIGN.COM  
P: 972.358.4000

802 W GREENBRIAR LN,  
DALLAS, TX 75208

ADDRESS:

REVISIONS: V0 - 07/30

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PLUMBING  
PLAN

P1-0

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SCALE: 24X36: 1/4" = 1'-0" ||| 11X17: 1/8" = 1'-0"



PLUMBING GENERAL NOTES

1.

ALL PIPING SHALL BE ROUTED ABOVE CEILING UNLESS OTHERWISE INDICATED. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TIGHT TO THE UNDERSIDE OF STRUCTURE.
2.

ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.
3.

EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.
4.

SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.
5.

ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.
6.

WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOFS, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT.
7.

PROVIDE CLEANOUTS AT THE END OF EACH HORIZONTAL RUN, AND AT THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.
8.

ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.
9.

ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION.
10.

INSTALL ALL PIPING AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT.
11.

PROVIDE AN ISOLATING, DIELECTRIC UNION AT ALL CONNECTIONS BETWEEN FERROUS AND NONFERROUS PIPING.
12.

PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEMS FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.
13.

COORDINATE LOCATION OF FLOOR DRAINS IN MECHANICAL ROOMS WITH MECHANICAL EQUIPMENT.
2.

ALL OUTLETS AND CONNECTIONS SHOWN RELATE TO KITCHEN EQUIPMENT ONLY. REFER TO ARCHITECTURAL/ENGINEERING PLANS FOR AREA FLOOR DRAINS OR ADDITIONAL REQUIREMENTS.
3.

ALL DIMENSIONS GIVEN ARE FROM COLUMN CENTERLINES AND/OR FINISHED WALLS AND ARE IN INCHES TO 4'-0". ELEVATIONS GIVEN ARE FROM FINISHED FLOORS. ALL ROUGH-INS SHOWN ARE TO BE RUN INSIDE WALLS (EXCEPT STUB-UPS) LOCATIONS INDICATE POINT OF EXIT FROM WALLS, CEILINGS OR FLOORS.
4.

ALL FLOOR DRAINS TO SET 1/2" BELOW FINISHED FLOOR UNLESS OTHERWISE NOTED. DO NOT SLOPE FLOORS SO CLOSE TO DRAINS AS TO CREATE "PITS" OR "DIPS" IN FLOOR. MINIMUM RADIUS OF SLOPE TO BE 24" FROM CENTERLINE OF DRAIN.
5.

PLUMBING CONTRACTOR (P.C.) TO RUN ALL INDIRECT WASTES FROM EQUIPMENT TO FLOOR SINK OR FLOOR DRAIN.
6.

NOT USED.
7.

Waste piping underground and not exposed can be PVC Schedule 40, while that piping exposed (HVAC drains from ceiling units) must be Cast Iron, both materials meeting the 2009 International Plumbing Code.
8.

Drawings on this sheet are for illustration only. Actual routing and arrangements may change in the field and this is the responsibility of the Plumbing Contractor.
9.

Every trap in the plumbing arrangement must be vented to the atmosphere according to the City Plumbing Code. Traps that are close together may be tied to a combined vent as long as it meets Table 912.3, Chapters 9 and 10 of the 2003 International Plumbing Code.
- Air Gaps specified must be at least 6 inches or more.
- Code requirements call for main drain pipes to floor drains must be 2 pipe sizes larger than the floor drain trap.

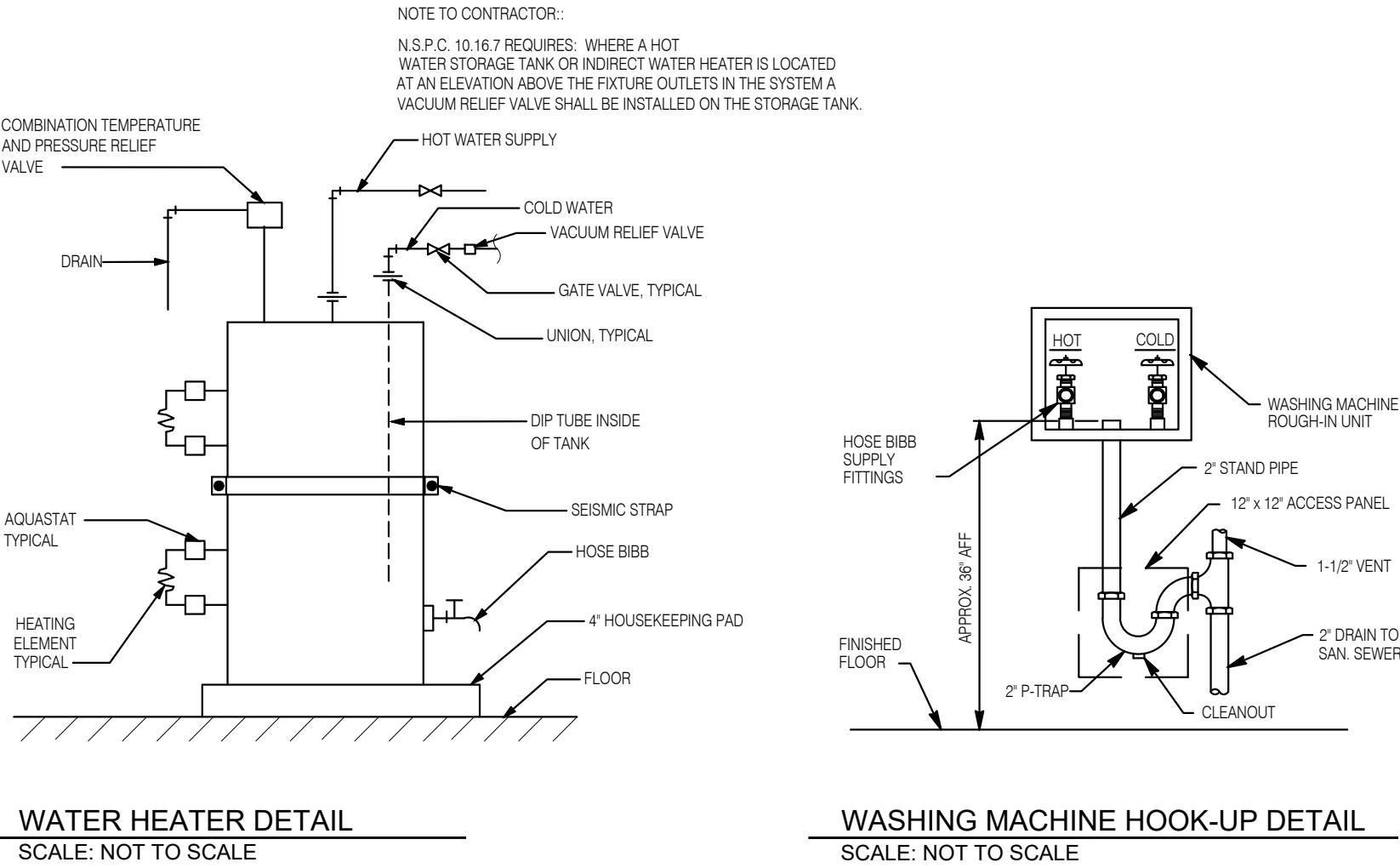
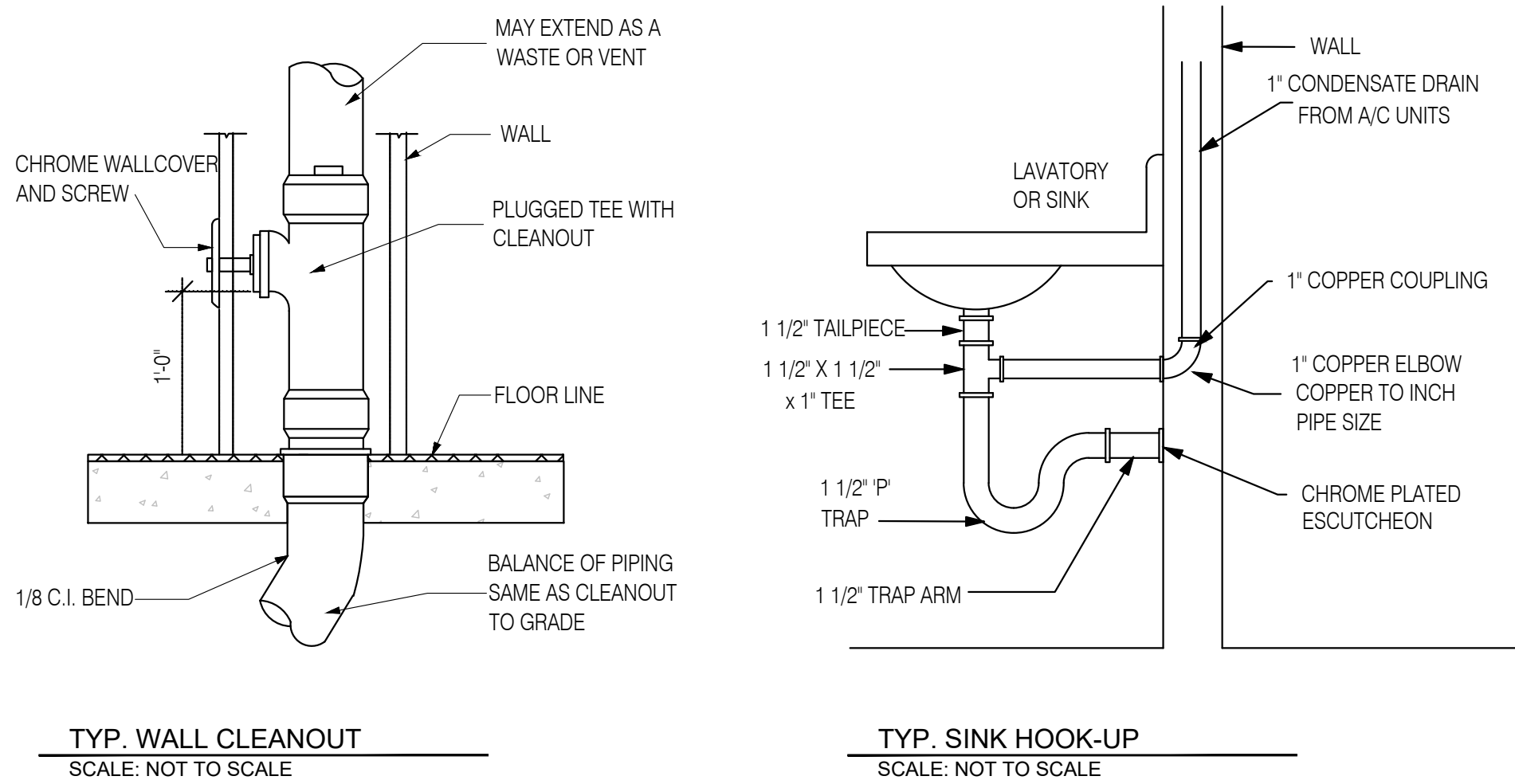
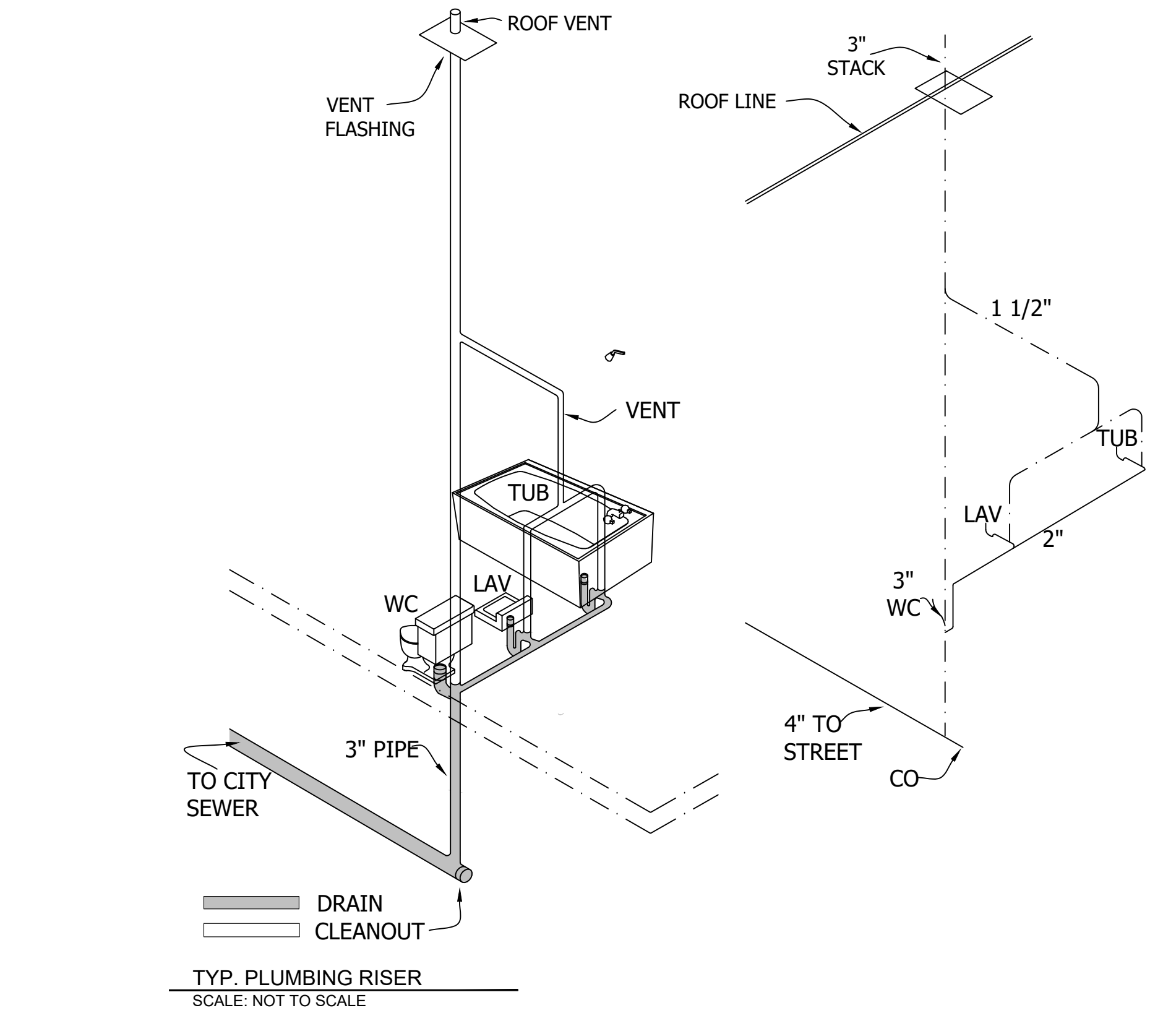
PLUMBING NOTES

1.

PLUMBER TO CONNECT ALL WATER LINES, GAS LINES, WASTE LINES, ETC. TO FULLY CONNECT ALL EQUIPMENT AND RUN CONDENSATE LINES FROM UNITS TO DRAINS AND THESE LINES TO BE NO SMALLER THAN THE STUB-OUT OF THE FIXTURE. PLUMBER TO PROVIDE SHUTOFF VALVES ON ALL WATER AND GAS LINES. ALL VALVES, CUTOFFS, TRAPS, HYDROSTATIC SHOCK ELIMINATORS, PRESSURE REGULATORS AND MATERIALS NECESSARY TO CONNECT ALL LINES, UNLESS OTHERWISE SPECIFIED IN THE ITEM SPECIFICATIONS. FAUCETS, DRAIN OUTLET FITTINGS IN FIXTURES AND SPECIALTY ITEMS ARE TO BE FURNISHED BY THE KITCHEN EQUIPMENT SUPPLIER AS OUTLINED IN THE ITEM SPECIFICATIONS. ALL WORK TO BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES RELATING TO INSTALLATION AND HOOKUP OF EQUIPMENT. OMISSIONS OR ERRORS ON THE SCHEDULE DO NOT RELIEVE THE PLUMBING CONTRACTOR FROM COMPLETE FINAL PLUMBING RESPONSIBILITY.

FIXTURE SCHEDULE					
FIXTURE	DESCRIPTION	CW	HW	WASTE	VENT
TOILET	AMERICAN STANDARD CADET # EL 1.8 GPF 2162-170- WHITE	3/4"	-	4"	4"
LAVATORY	AMERICAN STANDARD "LUCERNE" 0356.015.020 FAUCET: CHICAGO FAUCET - 2 GAL(895-317-E29-327A-60)	3/4"	3/4"	2"	1 1/2"
SHOWER	BY OWNER 2 GPM	3/4"	3/4"	2"	1 1/2"
FLOOR CLEANOUT	PLASTIC ODDITIES #PCO-700-RS W/ SQ. MTL. TOP			4"	
EXT. CLEANOUT	PLASTIC ODDITIES #PCA-4BP W/ RECESSED HEAD BRASS PLUG	-	-	3",4"	-
WALL CLEANOUT	PLASTIC ODDITIES #PCA-4 W/ RECESSED HEAD PLASTIC PLUG INSTALLED IN PVC TEE W/ PLASTIC ODDITIES A-1212 ACCESS	-	-	4"	-
WATER HEATER	OWNER SPECIFIC MODEL (MIN 60 GAL CAPACITY/EQUAL TANKLESS)	-	-	1"	1"

NOTE: 1) PROVIDE FIXTURES SPECIFIED OR EQUALS.



802 W GREENBRIAR LN,  
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PLUMBING  
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