

Record Summary for Board of Adjustments

Record

Record #	Status	Opened Date
BOA-26-000022	Pending	04/01/2026

Application Name

Detailed Description

6 foot fence in the front yard setback

Assigned To Department

Assigned to Staff

Record Type

Board of Adjustments

Custom Fields

INTERNAL USE ONLY

Source of Request	-
Fee Waiver Granted	-
Number of Parking Spaces	-
Lot Acreage	-

PDOX INFORMATION

PDox Number	-
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PROPERTY INFORMATION

Existing Zoning	-
Lot Number	4B
Lot Size (Acres)	1.45
Block Number	C/5531
Lot Size (Sq. Ft)	65929.5
How many streets abut the property?	2
Land Use	Single Family Residence
Is the property platted?	Yes
Status of Project	Under Construction
Status of Property	Non-Owner Occupied
Previous Board of Adjustment case filed on this property	-
Accommodation for someone with disabilities	No
File Date	-
Seleccione si necesitara un interprete	UNCHECKED
Case Number	-
Are you applying for a fee waiver?	No

Have the standards for variance and or special exception been discussed?	Yes
Has the Notification Sign Acknowledgement Form been discussed?	Yes
Referred by	Sergio Velasco

Custom Lists

Board of Adjustment Request

1	Type of Request	Variance
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Street Frontage Information

1	Street Frontage	Front
	Linear Feet (Sq. Ft)	245

Contact Information

Name	Organization Name	Contact Type	Phone
Kamran Malek	ROKA MANAGEMENT LLC	Applicant	

Name	Organization Name	Contact Type	Phone
M A	M A FAMILY INVESTMENTS LTD	Property Owner	
10011 LENNOX LN, DALLAS, TEXAS 752296559			

Address

10011 LENNOX LN, Dallas, TX 75229

Parcel Information

Parcel No:	Land Value	Legal Description	Book	Page	Lot	Block	Subdivision
0000041625700010							
0							

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Y	M A FAMILY INVESTMENTS LTD	10011 LENNOX LN, DALLAS, TEXAS 752296559	



Planning & Development Department

320 E Jefferson Blvd,
Dallas TX 75203
(214) 948-4480

Board of Adjustment:
1500 Marilla Street, 5CN
Dallas Tx 75201
(214) 948-4480

APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

OFFICE USE ONLY

Case no. The

Date _____

Data Relative to Subject Property: _____

Location address: 10011 Lennox Ln, Dallas, TX 75229

Zoning District: R-1ac(A)

Lot No.: 4B Block No.: C/55 Acreage: _____ Census Tract: _____

Street Frontage (in Ft.): 1) 245' 2) 269.31' 3) _____ 4) _____ (5) _____

To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): M A FAMILY INVESTMENTS LTD

Applicant: Kamran Malek Telephone: [REDACTED]

Mailing Address: 172627 Loveland Dr Dallas TX Zip Code: 75252

E-mail Address: [REDACTED]

Represented by: Kamran Malek Telephone: _____

Mailing Address: 172627 Loveland Dr Dallas TX Zip Code: 75252

E-mail Address: [REDACTED]

Affirm that an appeal has been made for a ☒ Variance or ☐ Special Exception, of:
Fence height and standards

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

The fence in the front setback exceeds 4 feet in height, it is 6 feet.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

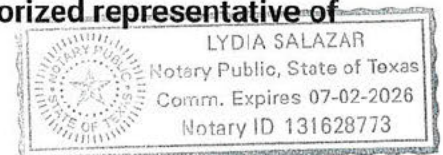
Before me, the undersigned on this day personally appeared Kamran Malek K. Malek

(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

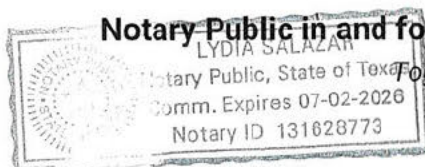
Respectfully submitted: K. Malek

(Affiant/ Applicant's signature)



Subscribed and sworn to before me this 30th day of March, 20 20

Notary Public in and for Dallas County, Texas



LYDIA SALAZAR
Notary Public, State of Texas
Comm. Expires 07-02-2026
Notary ID 131628773

Together we are planning and building a better Dallas for all!

4/30/2025



M A FAMILY INVESTMENTS LTD

SITE PLAN

10011 LENNOX LN
DALLAS, 75229
MAY 20TH, 2026

SEAL

SHEET INDEX

G0.00	COVER SHEET
C2.01	SITE PLAN
C2.02	FENCE DETAILS
C2.03	FENCE DETAILS

DISCLAIMER

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND.

NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

DISCLAIMER

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, CCI HOUSEPLANS WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

IT IS THE BUILDER/OWNER RESPONSIBILITY TO VERIFY ANY EASEMENTS OR DEED RESTRICTIONS AS WELL AS ALL MEASUREMENTS THAT MAY IMPACT THIS PROJECT PRIOR TO CONSTRUCTION.

BUILDING CODE

01 IRC 2021 INTERNATIONAL RESIDENTIAL CODE

BEFORE YOU BUILD

Call 811 to ensure no underground utilities are on property
Check and Confirm all utility/drainage easements
Check and confirm all meets and bounds for your lot (using survey)
Check and confirm all applicable HOA, Historic, Conservation and Deed restrictions

Inspection Check list Phase One

Termite Treatment (Contact Third Party)
Form Board Survey (Contact your surveyor)
Check for Brick Ledge (If applies)
Uffer Inspection (Electrical Contractor must validate and schedule)
Plumbing Rough (Plumbing Contractor must validate and schedule)
Foundation Inspection (Builder Responsibility)

Inspection Check List Phase Two

Electrical Rough in (Electrical Contractor must schedule)
Mechanical A/C Furnace and duct work must be installed
Plumbing Top out (Plumbing Contractor must schedule)
Energy Inspection (insulation, doors, windows) IECC Energy Code
Framing inspection (all trades must pass green tag prior to closing any walls)

Inspection Check List Phase Three

Electrical Final (Electrical Contractor must schedule)
Mechanical Final (Mechanical Contractor must schedule)
Plumbing Final (Plumbing contractor must schedule)
Customer Service/Zoning Final (if applicable)
Building Final (all appliances, ac compressor, must be installed)

NOTATION
"Running in line with the structure"
17 E. JEFFERSON LN.
DALLAS, TX. 75207
TEL. 14-4-44
FAX. 14-4-44

REVISION	
DATE	DESCRIPTION

ADDRESS:
11111 LENNOX LN.
DALLAS, TEXA
75229

DATE:
5/22/26

DRAWN BY:
JAHQ

CHECKED BY:
ER

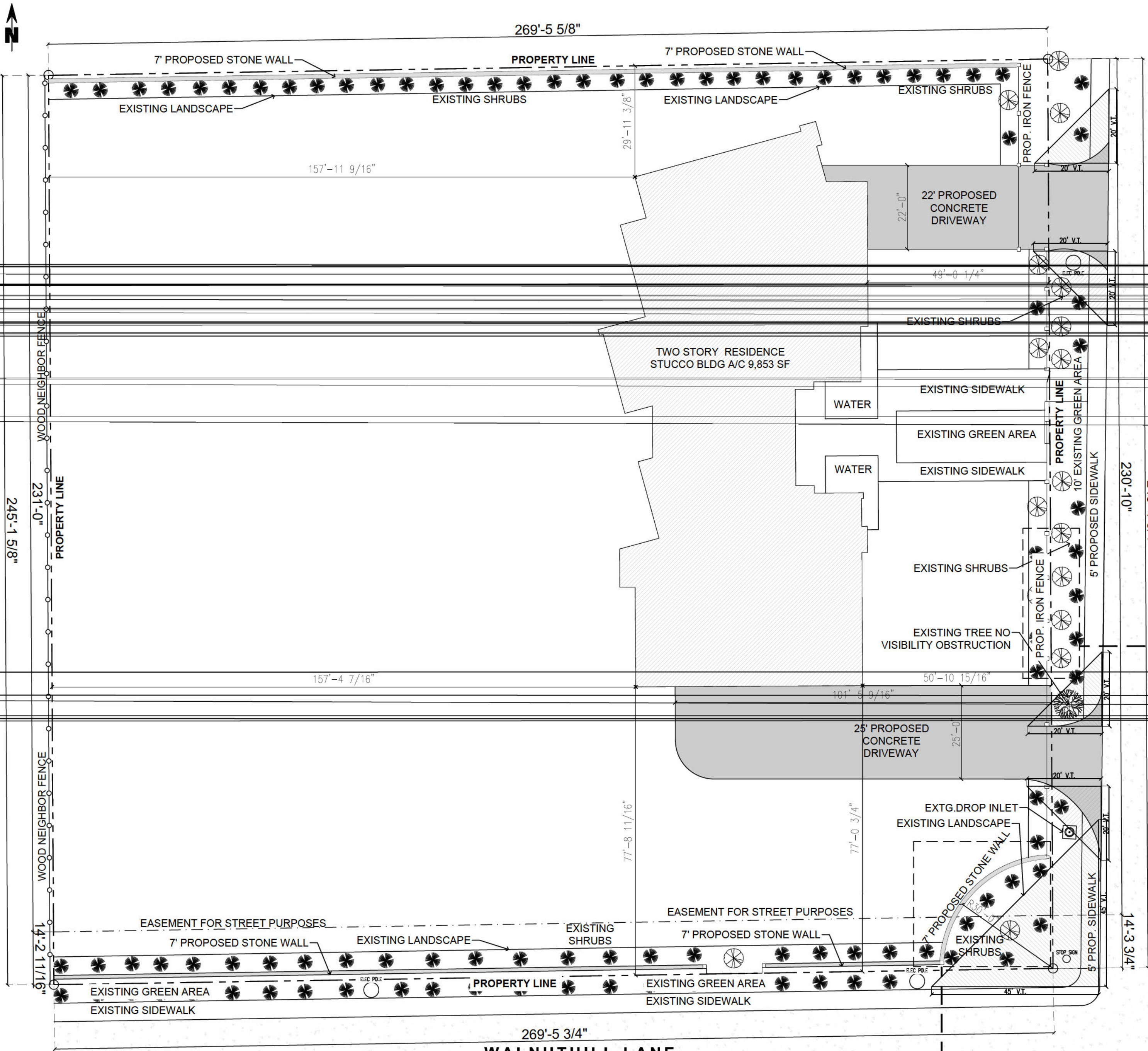
DESCRIPTION:
SITE PLAN

SCALE:
NTS

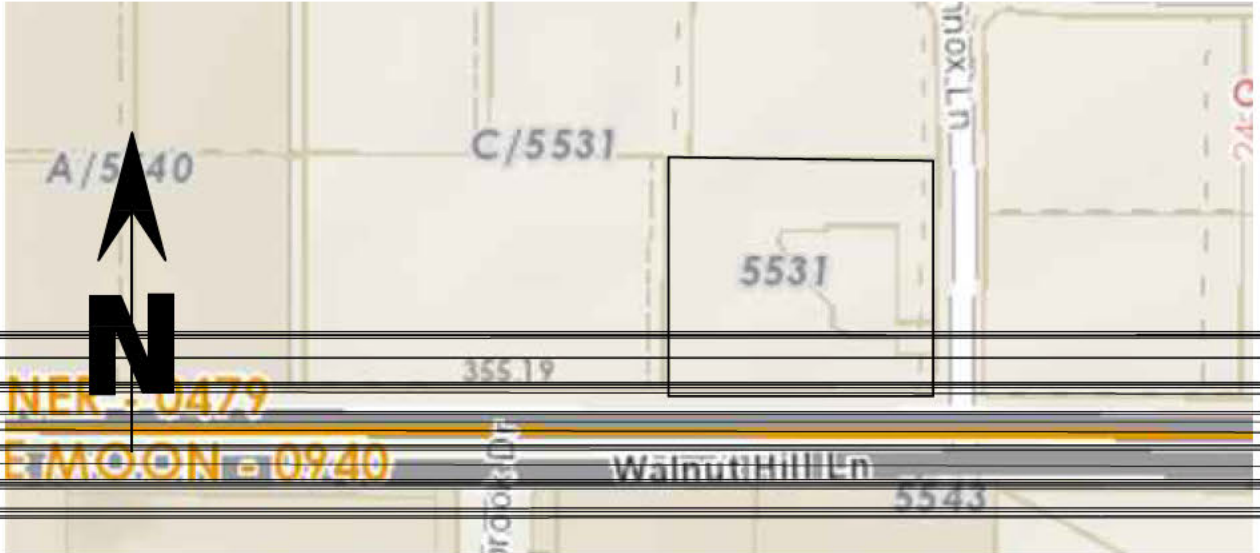
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COVER PAGE

SHEET #:
G0.00

FILE NAME:
G0.00_COVER_SHEET

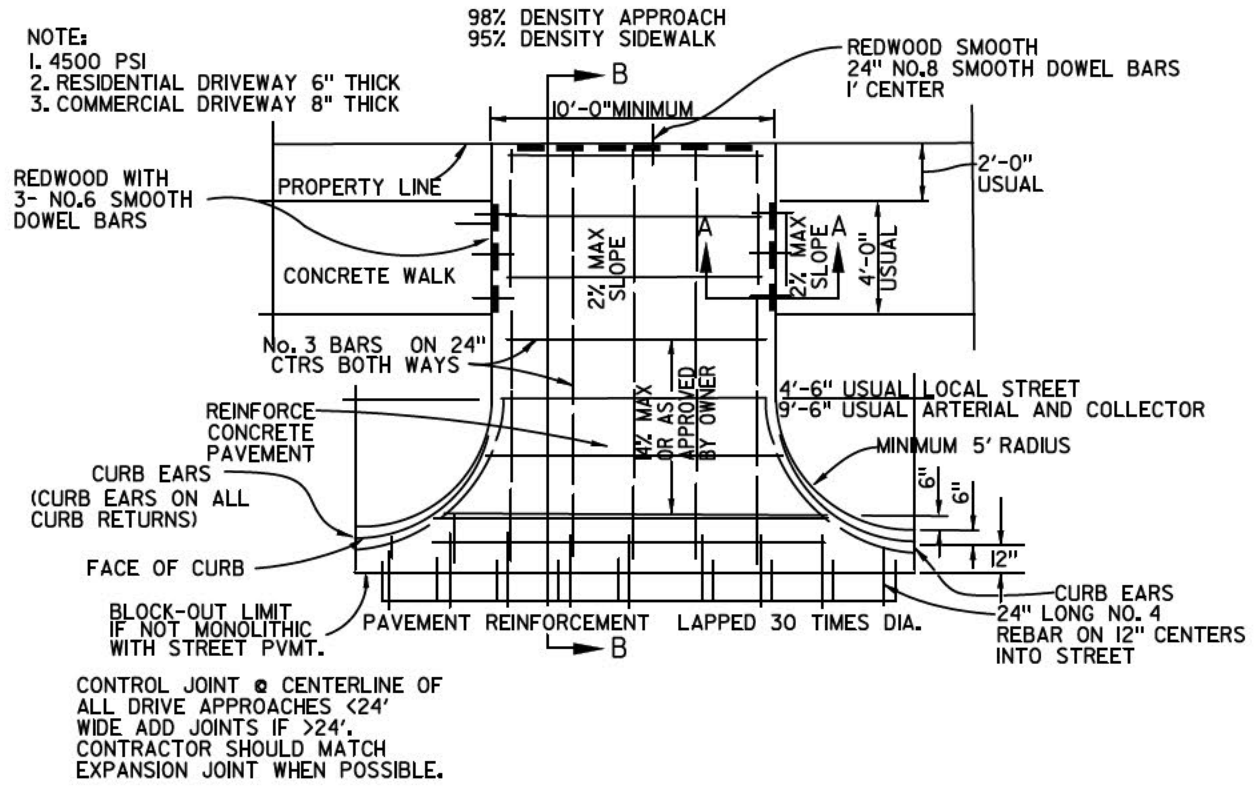


SITE PLAN LEGEND	
---	PROPERTY LINE
---	SETBACK / BL
---	BUILDING FOOTPRINT
---	EASEMENT
---	LOT SUBDIVISION
---	WOOD FENCE
---	IRON FENCE
---	BRICK WALL
---	LOT CORNER
---	UTILITY POLE
---	ELECTRIC POLE
---	WATER METER
---	MAN HOLE
---	LIVING AREA
---	CONCRETE PAVING
---	PAVING



2 VICINITY MAP
C1.02 NTS

EXISTING PLANT SCHEDULE					
SYM	TYPE	COMMON NAME	QUAN.	CALIPER	REMARKS
---	EXTG. TREE	EXISTING	1	-	-
---	EXTG. SHRUB	EXISTING	17	-	36" HEIGHT
---	EXTG. SHRUB	EXISTING	100	-	24" HEIGHT



DRIVEWAY PAVING DETAILS

SEAL

N TRU TI N N EIT IN
" Lunning in l i jning i t t r T m r r w"
17 E. JEFFE \ N LV .
ALLA , TX. 7
TEL. 14 4 -4
FAX. 14 4 - 44

REVI I N	
DATE	ENT ATE

ADDRESS:
1 11 LENN X LN.
ALLA , TEXA
7

DATE:
5/22/26

DRAWN BY:
JAHQ

CHECKED BY:
ER

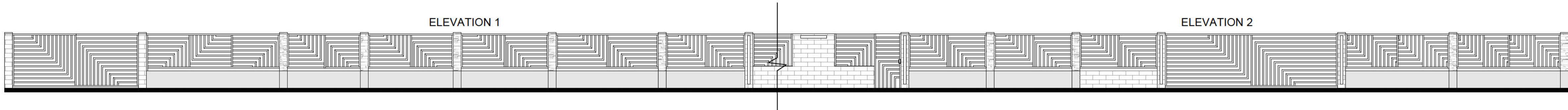
DESCRIPTION:
SITE PLAN

SCALE:
1" = 20' - 0"

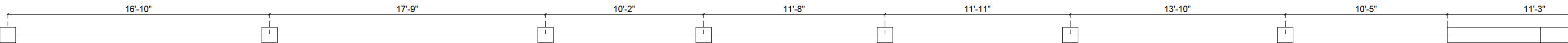
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SITE PLAN

SHEET #:
C1.01

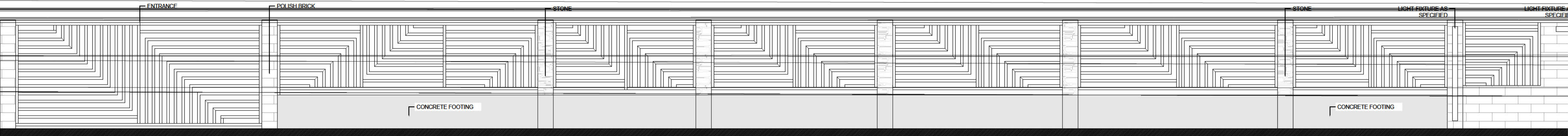
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C1.01_SITE PLAN



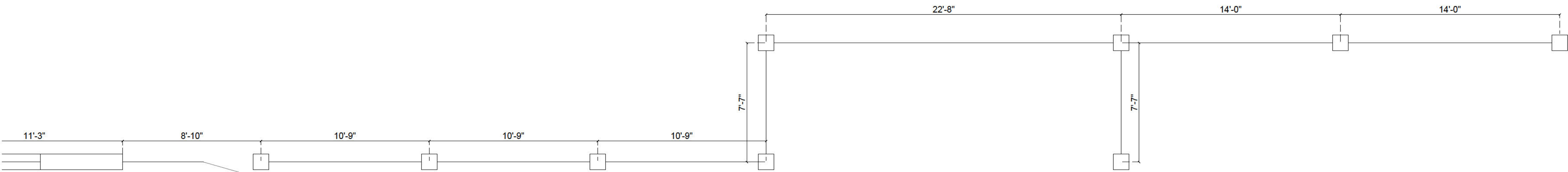
1 FENCE REFERENCE
C2.02 1/8" = 1'-0"



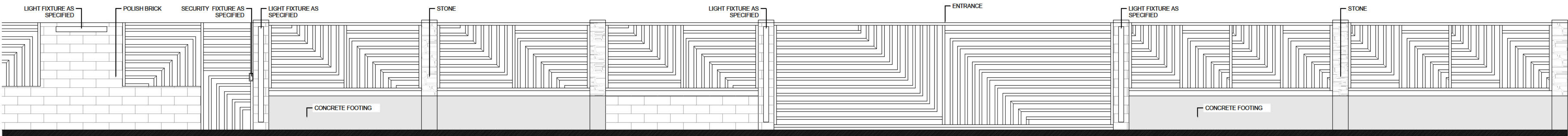
2 FENCE PLAN 1
C2.02 1/4" = 1'-0"



3 FENCE ELEVATION 1
C2.02 1/4" = 1'-0"



4 FENCE PLAN 2
C2.02 1/4" = 1'-0"



5 FENCE ELEVATION 2
C2.02 3/8" = 1'-0"

SEAL

N T R U T I N N E I T I N
" I n n i n j i n l i j n i n j i t t r T m r r w"
17 E. JEFFE N LV
ALLA , TX. 7
TEL. 14 4 -4
FAX. 14 4 - 44

EVI I N	
A F T E \	ENT A T E

ADDRESS:
1 11 LENN X LN.
ALLA , TEXA
7

DATE:
5/22/26

DRAWN BY:
JAHQ

CHECKED BY:
ER

DESCRIPTION:
SITE PLAN

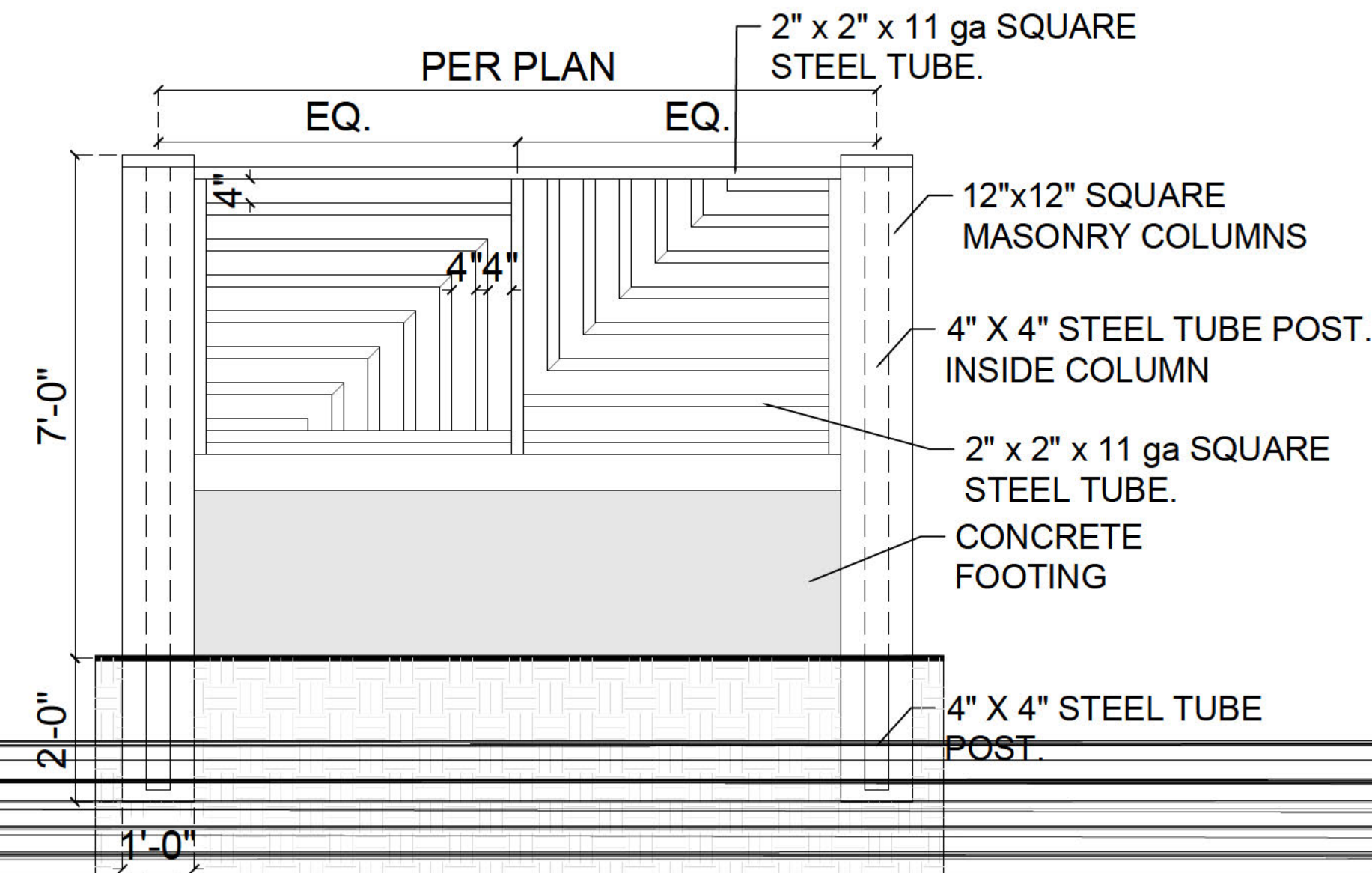
SCALE:
AS SPECIFIED

SHEET TITLE:
FENCE DETAILS

SHEET #:
C2.02

FILE NAME:
C2.02_FENCE_DETAILS

SEAL



IRON FENCE ELEVATION DETAIL
1/2" = 1'-0"

N TRU TI N N EIT IN .
" l u n n i n g i n l i g n i n g i t t r T m r r w .
17 E. JEFFE \ N LV .
ALLA , TX. 7
TEL. 14 4 -4
FAX. 14 4 - 44

EVI I N	
\AFTE \	ENT ATE

ADDRESS:
1 11 LENN X LN.
ALLA , TEXA
7

DATE:
5/22/26

DRAWN BY:
JAHQ

CHECKED BY:
ER

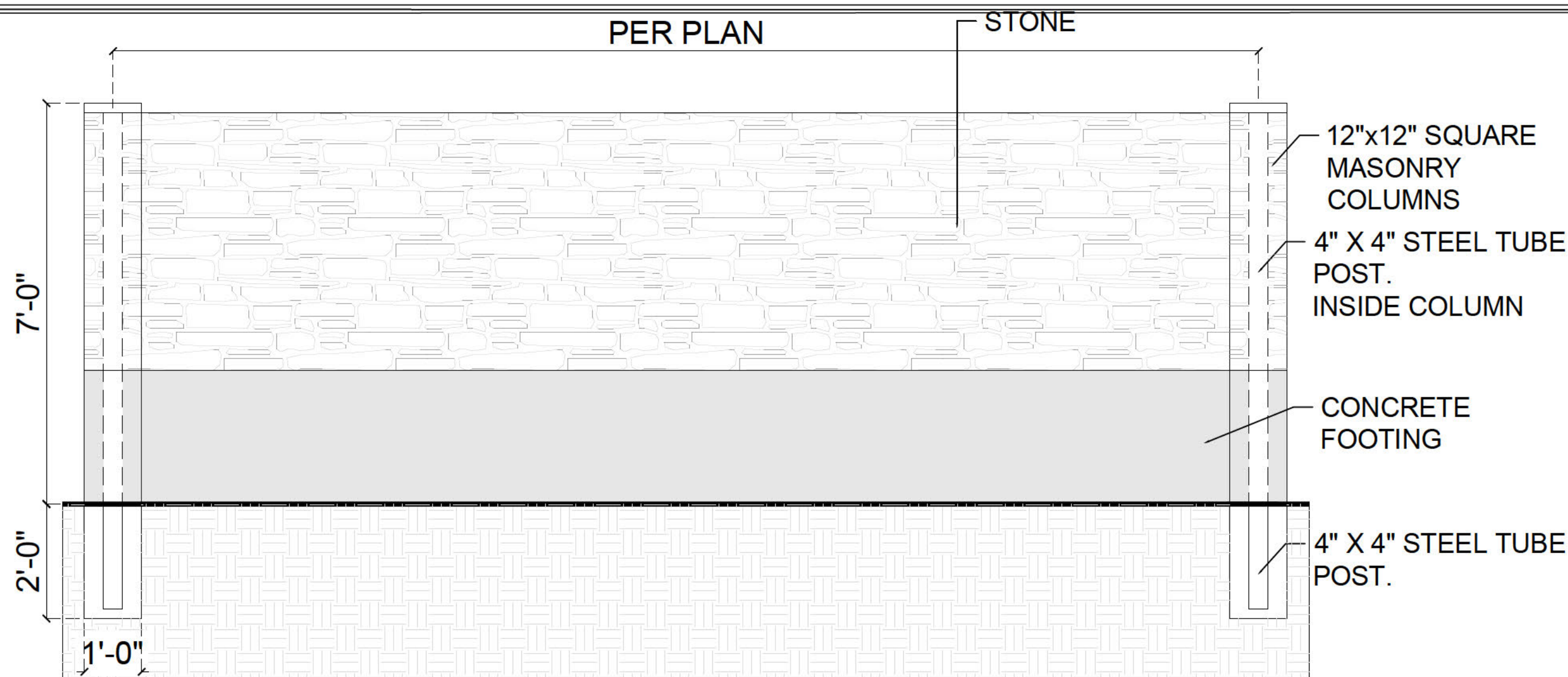
DESCRIPTION:
SITE PLAN

SCALE:
AS SPECIFIED

SHEET TITLE:
FENCE DETAILS

SHEET #:
C2.03

FILE NAME:
C2.03_FENCE_DETAILS



STONE WALL ELEVATION DETAIL
1/2" = 1'-0"

1 IRON FENCE ELEVATION DETAIL
C2.03 1/2" = 1'-0"

2 STONE WALL ELEVATION DETAIL
C2.03 1/2" = 1'-0"