

City of Dallas, Public Libraries

Immersion & Due Diligence Summary

Completed March 13, 2025

Updated for presentation to Quality of Life, Arts & Culture Committee
October 20, 2025

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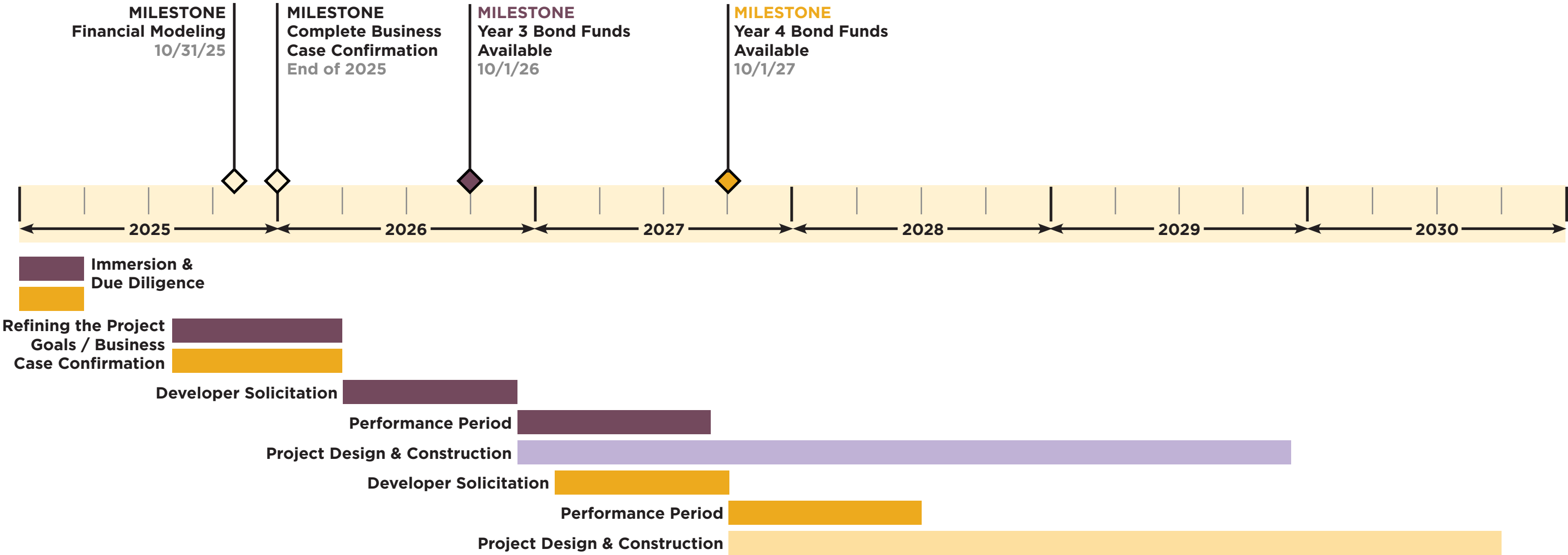
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Project Overview

- PARK FOREST
BRANCH
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BRANCH

GOAL: Understanding the Business Case for Housing

- 1. How many units of affordable housing can we deliver?
- 2. What is the budget impact for delivering the affordable units?



Site #1 - North Oak Cliff Branch Library

Project Location

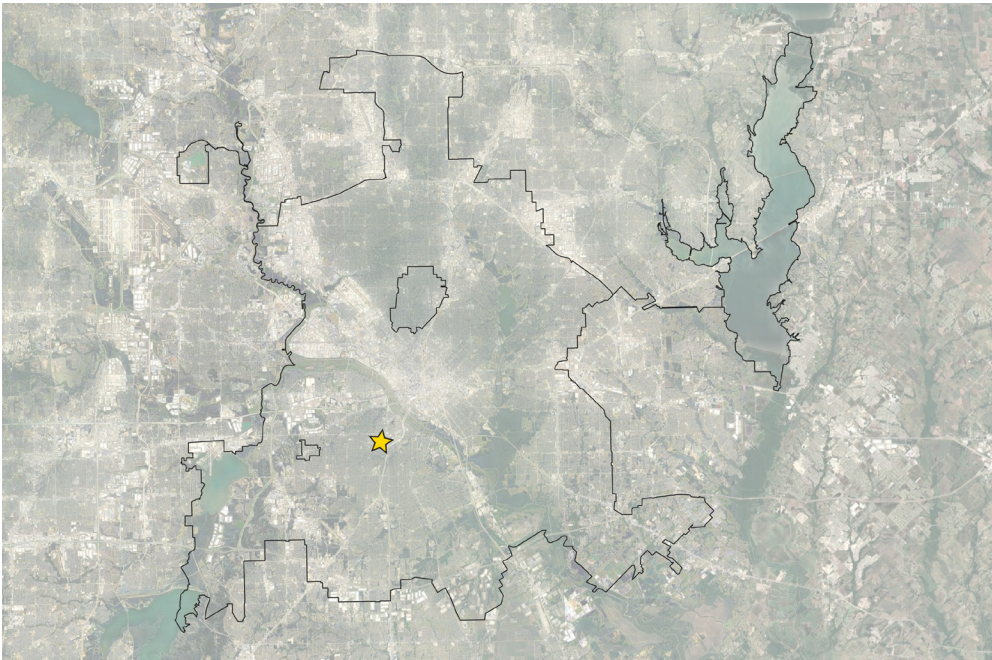
North Oak Cliff Branch Library

Project Address

302 W. 10th St.
Dallas, TX 75208

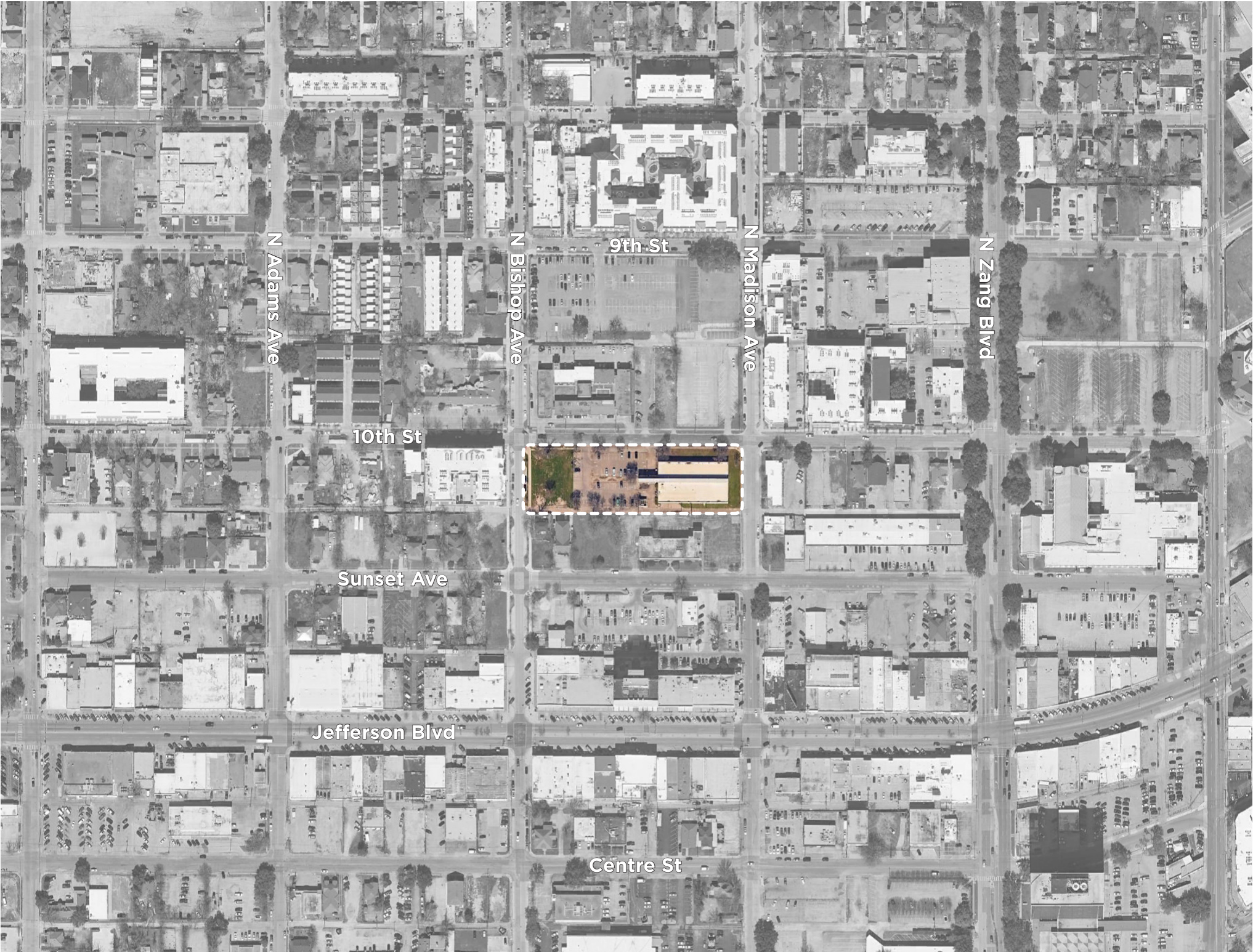
Project Location

The North Oak Cliff Branch Library is located just a few blocks south of the heart of the Bishop Arts District, and 1.5 blocks north of Jefferson Boulevard.



Project Context

- The area has seen rapid gentrification and increased density moving south from Davis St., including the construction of new apartment buildings immediately adjacent to the site.
- Jefferson Boulevard is home to the Texas Theatre, the Oak Cliff Cultural Center, and many family-owned businesses catering to the Hispanic and Latino communities



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North Oak Cliff Branch Library

Project Address
302 W. 10th St.
Dallas, TX 75208

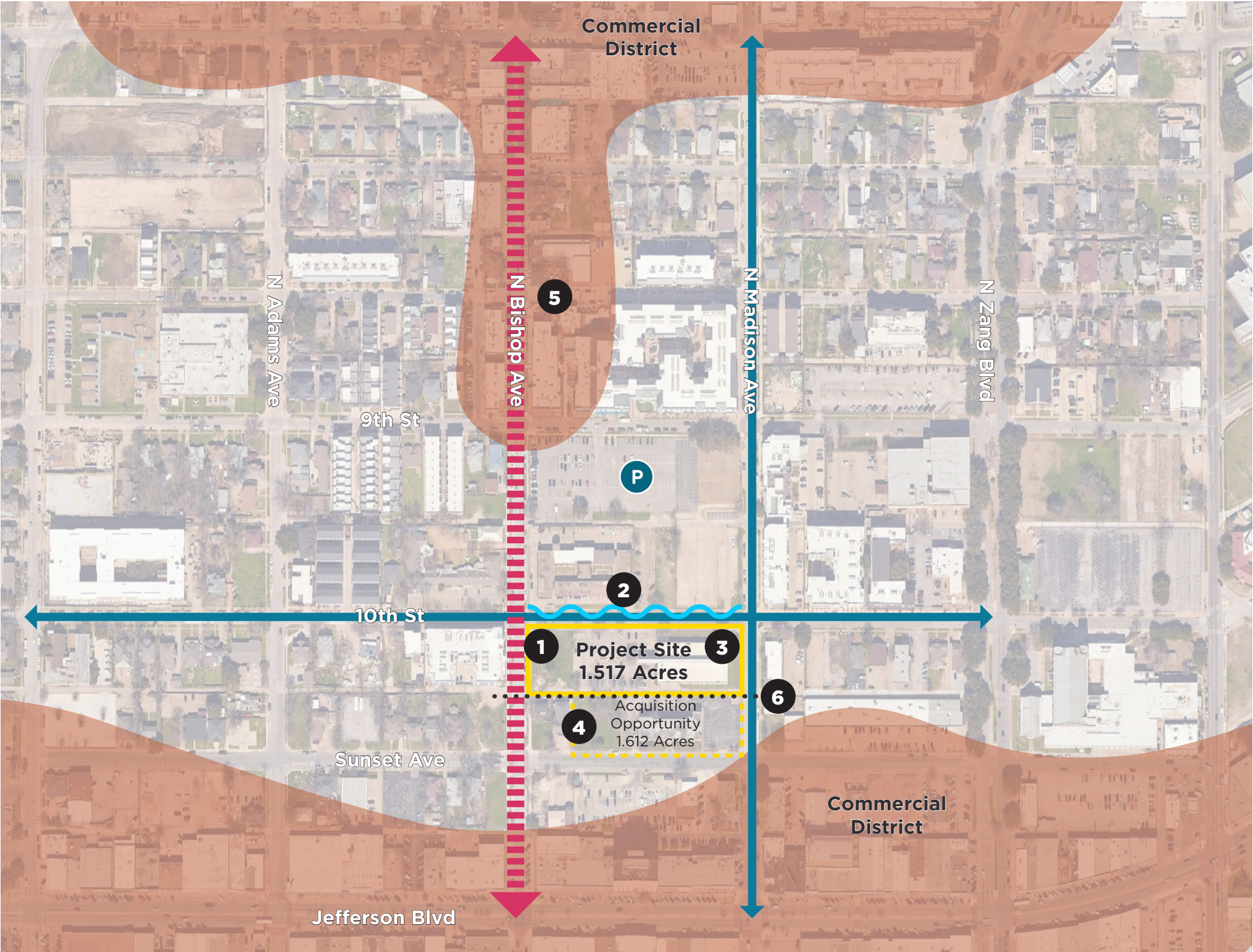
Opportunities

- 1 Site new library facing Bishop Ave. Streetscape improvements and commercial corridor on Bishop make it the preferred connection corridor between Jefferson Blvd. and the Bishop Arts District. Additional opportunity to continue to build up Madison Ave as a residential corridor
- 2 Climate considerations: North-facing façade allows for indirect sunlight which aids in cooling during the hot summer months.
- 3 Option to consider pursuing additional height for apartments, allowing for a stand-alone library. This would provide more opportunity for neighborhood-serving public space at the ground plane, such as a splash pad or park.
- 4 Acquiring adjacent vacant parcels would add 1.162 acres, bringing the total area to 2.679 acres. At 103 units per acre, this **increases the size of the project from 157 units to 277 units.**

Constraints

- 5 Commercial uses are not permitted by zoning; given this fact and the proximity to multiple commercial corridors, commercial uses should not be considered.
- 6 If considering acquisition of adjacent sites, be aware that the existing zoning for these parcels is different from the city-owned parcels on W. 10th St. and that an alley abandonment will be required.

Commercial Pedestrian Connection
Residential Corridor



North Oak Cliff Branch Library

Site Assessment Summary

Prepared by GarzaEMC

GarzaEMC completed a site investigation report that reviewed available zoning and infrastructure information.

Summary of relevant considerations with up-front impact on design approaches:

1. The property is part of a planned development zoning called Davis Street Special Purpose District. It is part of Subarea 3A Bishop Arts Branch Library, which **allows for library development and therefore no change of zoning will be required.** *SS Note: Multifamily is also allowed.*
2. The site is within a Demolition Delay Overlay District and **will need Historic Preservation Office approval for demolition.**
3. The subject tract was previously platted as lots 11A, 19 and 20 as Block 42/3162 per the Dallas Central Appraisal tax parcel records. The records also show 11A to be 1.2167 acres, however development of the subject property with **lots 19 and 20 will require a formal plat to be processed through the City’s Planning and Development department** to remove the interior lot lines for proper site planning and placement of the building and other site improvements that function best with the lot configuration.
4. Stormwater quality treatment is not required for the tract.
5. W 10th St is maintained by the City of Dallas and does not have any future improvements planned.
6. The City of Dallas will require a Traffic Impact Analysis (TIA) if the proposed development is expected to generate more than 1,000 vehicles trips per day, or 100 vehicle trips per hour.
*SS Note: Based on the trip generation worksheet provided by the City of Dallas, **a TIA will be required.***
 - *Library: 1600 trips (80 per 1000 SF)*
 - *Multifamily (136 Units): 952 trips (7 per Dwelling Unit)*

See p. 17 of Site Investigation Report for complete list of conclusions.

Preliminary Geotechnical Exploration Summary

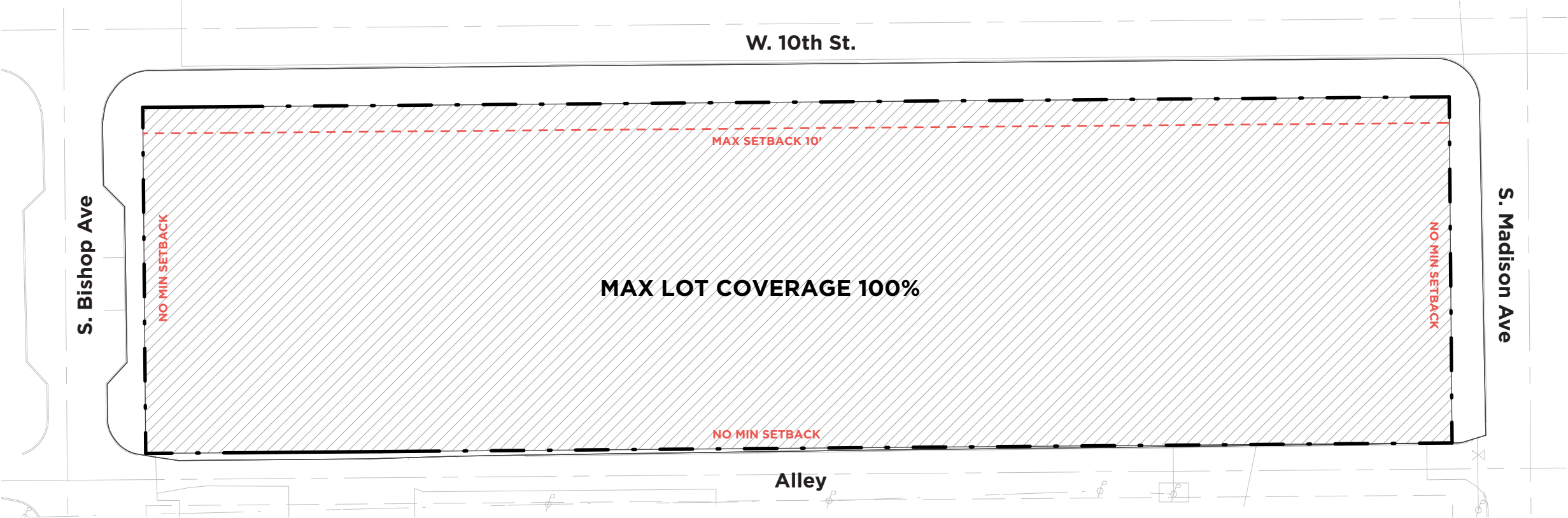
Prepared by UES

UES conducted a preliminary geotechnical exploration consisting of field explorations, laboratory testing, and an engineering interpretation of these with respect to available project characteristics. The results and analyses were used to develop preliminary design information to aid conceptual design of commercial foundations.

Summary of preliminary design recommendations

1. Recommend more extensive boring
2. Subgrade improvement will be required
 - This is a typical condition, not out of the ordinary
3. Drilled, straight-shaft pier foundation recommended
 - Alternate: shallow footings
4. Ventilated crawl space preferred
 - Alternate: soil-supported slab on improved soils
5. Maintaining positive surface drainage will be essential

North Oak Cliff Branch Library



Project Address
302 W. 10th St.
Dallas, TX 75208

Summary

- **Library and residential uses are permitted by right**, as well as a limited number of institutional and recreational uses.
- There is **no maximum residential density** or FAR, and **no minimum required open space**
- **Architectural design standards do not apply** to the subdistrict

Key Considerations

- Parking requirements are subject to a number of reduction opportunities as well as remote parking options
- If exploring acquisition of adjacent parcel(s) to increase development opportunity, keep in mind that these parcels have different zoning

Base Zoning	PD-830, Subdistrict 3A	Davis Street Special Purpose District
Max Height	Feet	Stories
	50'	5
Lot Size & Coverage	Required Setbacks	Lot Coverage
	Front: Max 10' Sides, Rear: None	Max 100%
Density	FAR	Dwelling Units
	No max	No Max



North Oak Cliff Branch Library

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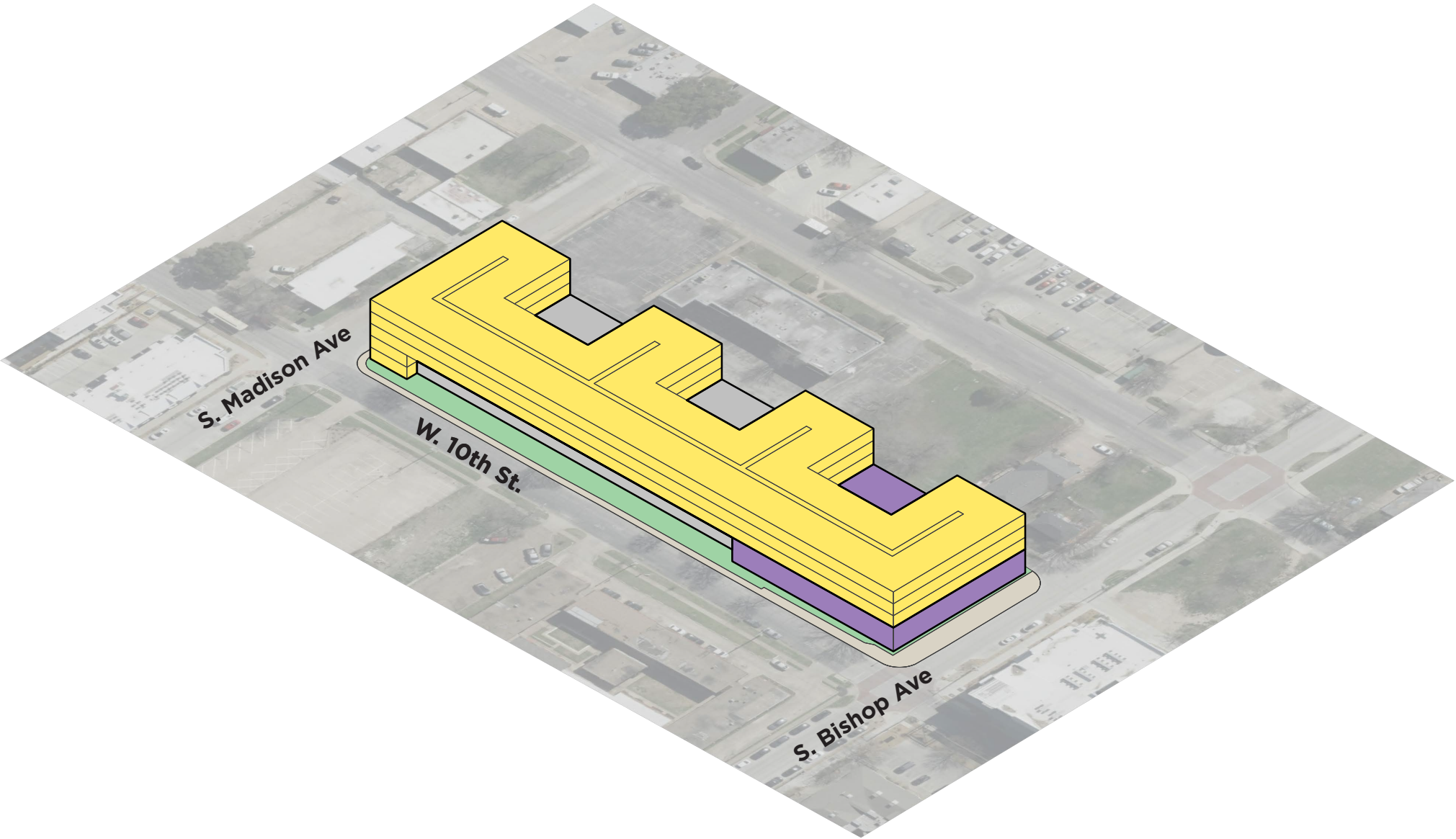
Summary

- Five-story mixed-use apartment building with ground floor library and shared structured parking
- New library entrance on Bishop Ave.

Key Considerations

- This scenario is permitted by right
- Building height is similar to new apartments on adjacent parcels
- Parking reductions are available; confirms extents via a Zoning Consultation

Use	SF / Units	Parking Required	Parking Provided
Library	20,000 SF	40	40
Multifamily Residential	136 Units	170	170

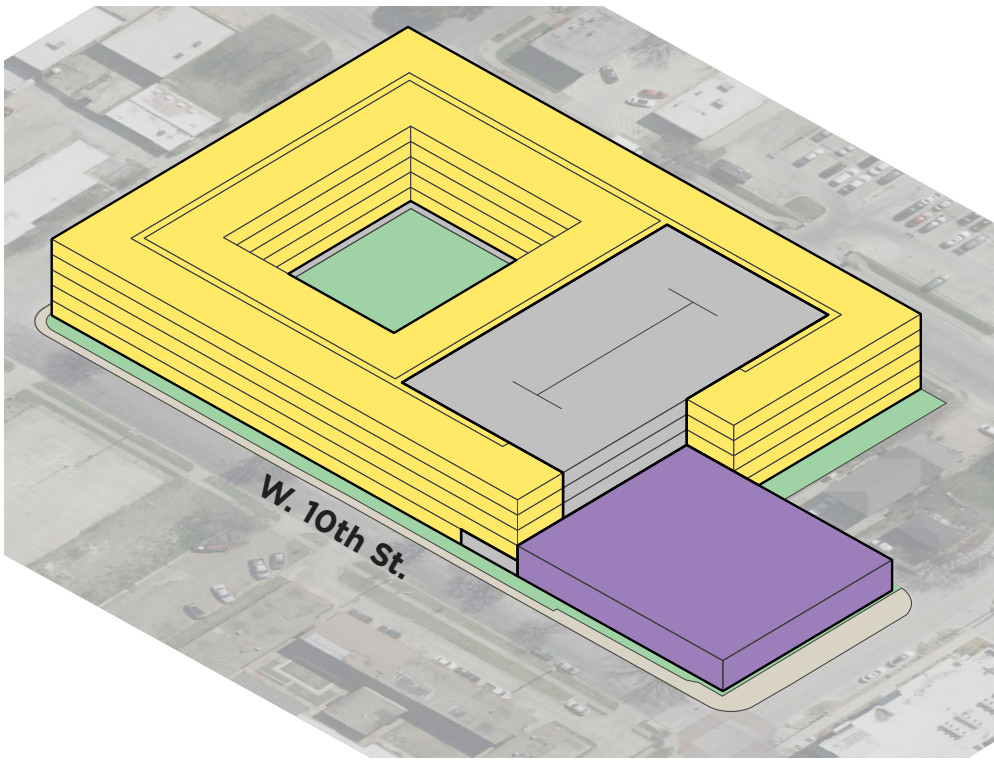
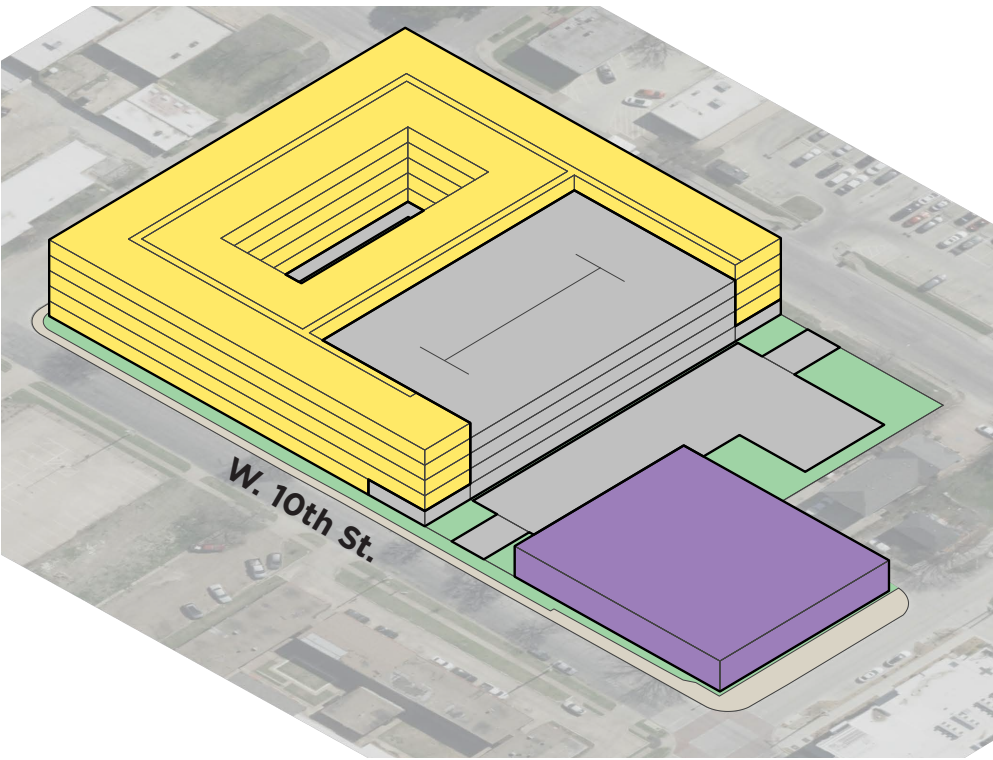


North Oak Cliff Branch Library

Project Address
302 W. 10th St.
Dallas, TX 75208

- Summary**
- Acquiring adjacent vacant parcels adds a level of complexity to this deal but ultimately makes the development proposition much more competitive

- Key Considerations**
- Increased yield/number of units makes the project more attractive to national developers, otherwise you're looking at smaller, local operators
 - One approach could allow enough space to build library and apartments as standalone projects, which simplifies construction type and reduces risk
 - A standalone library project could allow more flexibility in providing ground-floor public space such as a plaza, pocket park, or splash pad.



- Consolidation - Alternate A**
- Clean split between standalone library parcel with surface parking and apartment building lot

Use	SF / Units	Parking Required	Parking Provided
Library	20,000 SF	40	40
Multifamily Residential	186 Units	233	233

- Consolidation - Alternate B**
- Mixed-use, shared structured parking

Use	SF / Units	Parking Required	Parking Provided
Library	20,000 SF	40	40
Multifamily Residential	246 Units	308	308



Rooftop Community Space

SPRINGFIELD COMMUTER PARKING GARAGE & COMMUNITY EVENT SPACE



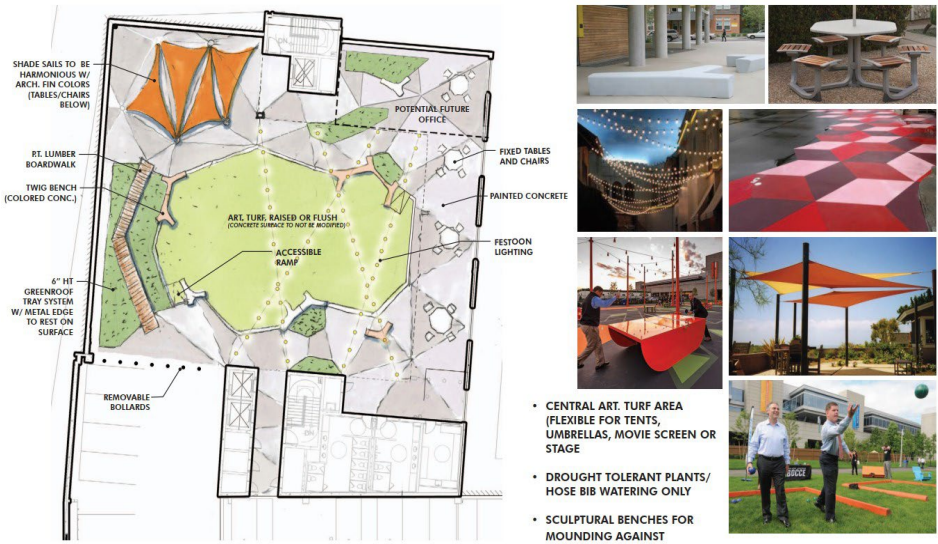
The Springfield Commuter Parking Garage, opening in September 2024, is designed to serve as a multi-modal transit center, as well as a hub for community activities. The facility includes 1,100 parking spaces, bike storage, commuter slug loading zones and Connector bus transit center. For more information, please visit <https://www.fairfaxcounty.gov/connector/park-and-ride>

The facility also has two flexible event spaces for use by community groups, County agencies and private vendors. These public spaces include a street-level open plaza, available for use on evening and weekends for food trucks, farmers markets or small community gatherings. In addition, there is a roof-top park available all days of the week for a range of activities, including arts and entertainment performances, exercise classes, corporate events and other communal outdoor activities.

Fairfax County intends to make these new public spaces available for community activities and other public uses starting in 2025.

(see back for details)

Rooftop Plaza and Event Space



The top deck of the new garage will feature an innovative “green roof” plaza that will be made available for community events and activities, such as:

- Arts and entertainment performances
- Exercise classes
- Corporate events
- Communal outdoor activities

Amenities include a central green, permanent tables and seating, a roof garden, restrooms, catering kitchen and three elevators for ease of access from the ground floor. For more information about reserving the roof plaza, please contact Doug Loescher at douglas.loescher@fairfaxcounty.gov



North Oak Cliff Branch Library

Primary Area Demographics

- Young families
- Single professionals
- Spanish-speaking & bilingual

Base Program Summary

NOTE: SF requirements are based on the strategic plan

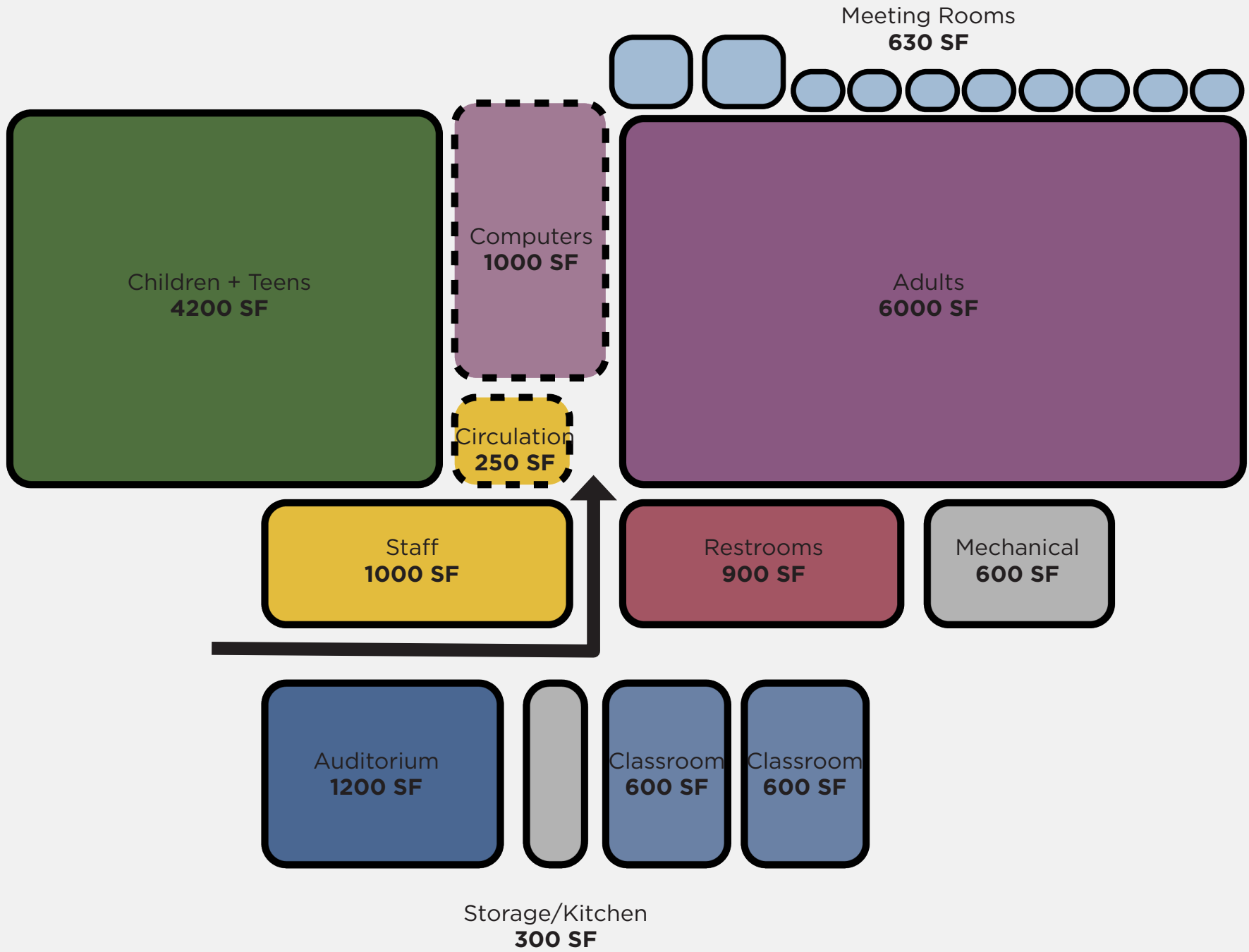
USE	SF
Main Reading Room (Adults)	6000
Children + Teens	4200
Staff + Circulation Desk	1250
Auditorium	1200
Classrooms	1200
Computers	1000
Restrooms	900
Meeting Rooms	630
Mechanical	600
Storage/Kitchen	300
Total SF	17,280

Supplemental Use Considerations

- Black box theater (200 seats)
- Maker Space
- Podcasting / recording studios
- Teen media space
- Rooftop garden
- Bi-lingual preschool
- Commercial kitchen



FOR ILLUSTRATION PURPOSES ONLY



Site #2 - Park Forest Branch Library

Project Location

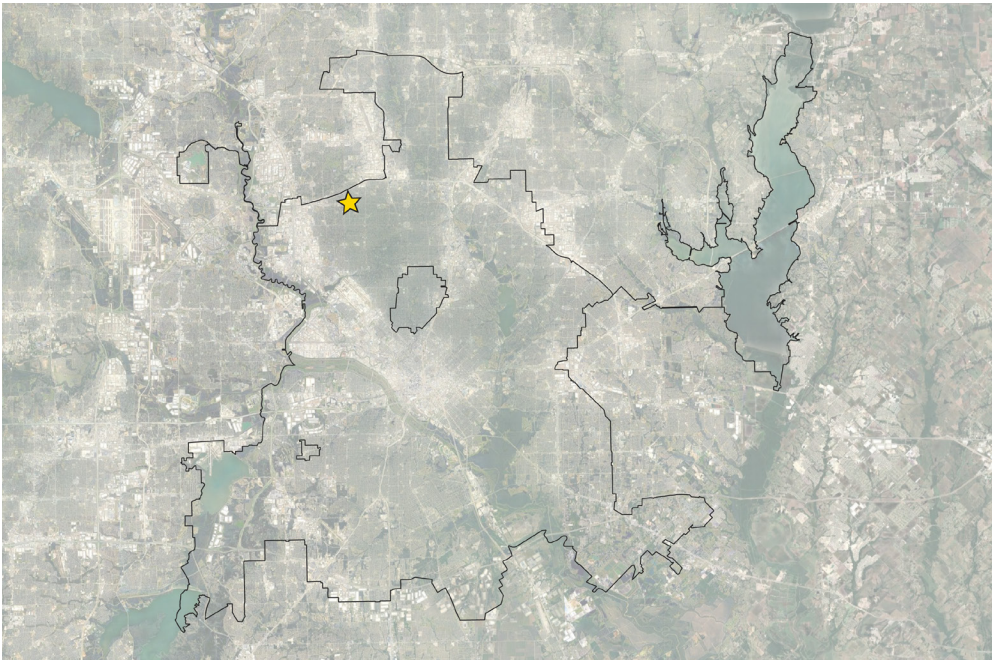
Park Forest Branch Library

Project Address

3728 High Vista Dr.
Dallas, TX 75244

Project Location

The future site of the Park Forest Branch Library is located in North Callas, just one block off of the main commercial corridor (Forest Ln.).



Project Context

- Located on the edge of a commercial corridor, nestled at the corner of a residential street and a larger residential collector.
- Marsh Lane, the western boundary of the site, is a six-lane primary arterial road
- Adjacent residential typology is low-rise single family, with the exception of a small apartment complex immediately adjacent to the site.
- Immediately to the south is an auto-centric commercial district



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Park Forest Branch Library

Project Address
3728 High Vista Dr.
Dallas, TX 75244

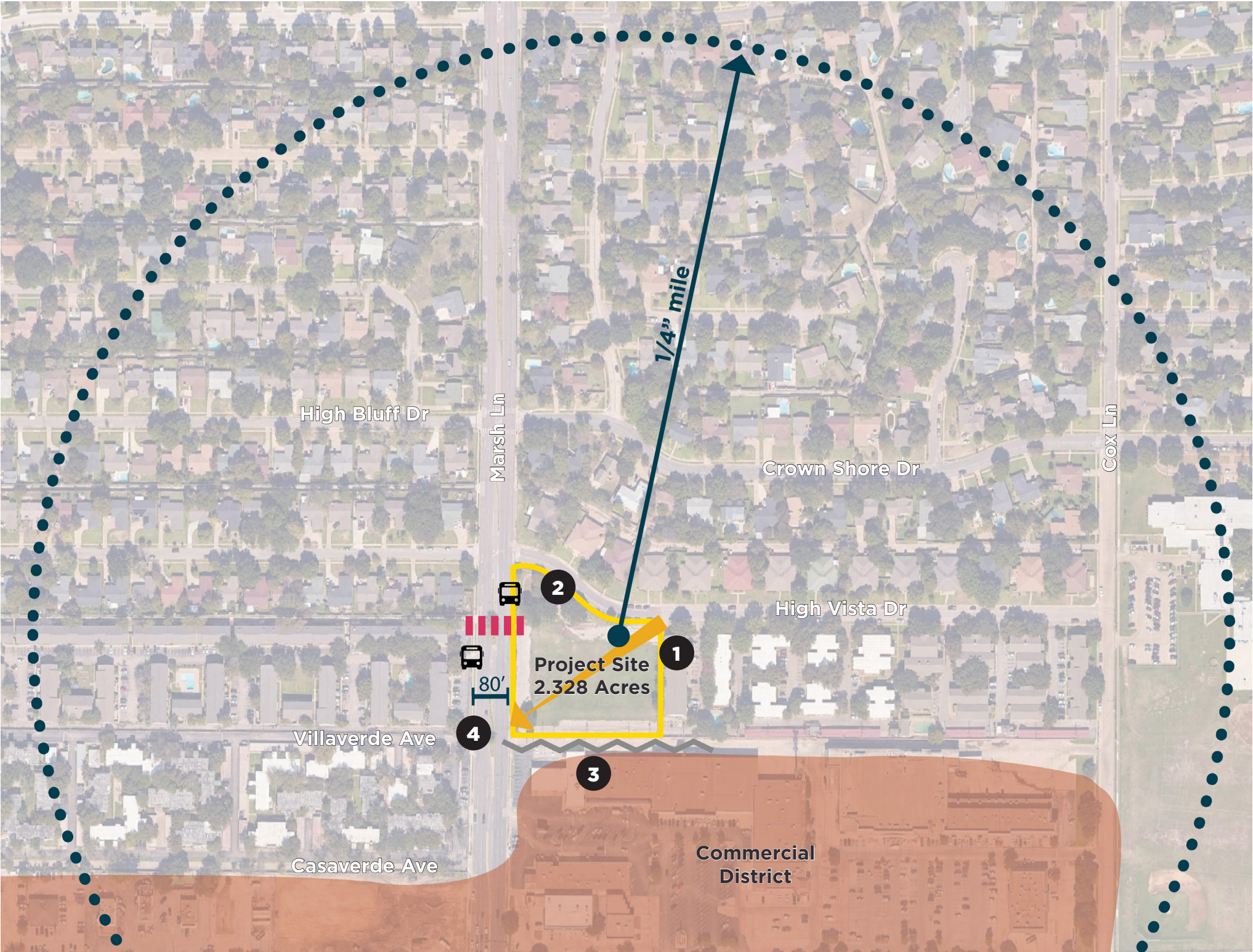
Opportunities

- 1** The project site slopes down 10’ across its length toward the southwest. Thus, there is an opportunity to pursue additional height along Marsh Lane with minimal impact to the overall scale of the development. An additional story of the current configuration **would add approximately 20 units, bringing the total unit count to 73.**
- 2** The park at the north edge of the site offers an additional visual buffer between multifamily and the adjacent single-family homes, softening the transition.

Constraints

- 3** The south side of the parcel faces the unsightly back and loading area of a commercial strip; minimize dwelling units that directly face this direction.
- 4** Marsh Lane is a wide, six-lane thoroughfare. Crossing Marsh on foot from the west, whether from the adjacent neighborhoods or from the bus stop directly across the street, is a dangerous proposition under current conditions.

 Pedestrian Connection
 Walk Radius



Park Forest Branch Library

Site Assessment Summary

Prepared by GarzaEMC

GarzaEMC completed a site investigation report that reviewed available zoning and infrastructure information.

Summary of relevant considerations with up-front impact on design approaches:

- 1. The subject site area is regulated through a Public Library Specific Use Permit (SUP).**
The SUP includes important conditions which will greatly affect the flexibility of site plan changes, if desired. If updates to the site plan are desired, it is likely a minor amendment or zoning amendment to the SUP zoning criteria will be required.
- 2. The subject lots are platted and **there is likelihood that a replatting or new plat will need to be permitted** to develop on this site.**
- 3. There is a high possibility that detention will be required.** There does not appear to be a requirement for stormwater quality treatment on this tract.
- 4. Marsh Lane appears to be part of the City of Dallas’ thoroughfare plan and further council with the City is recommended to understand implications to the site.**
- 5. The City of Dallas will require a Traffic Impact Analysis (TIA) if the proposed development is expected to generate more than 1,000 vehicles trips per day, or 100 vehicle trips per hour.**
*SS Note: Based on the trip generation worksheet provided by the City of Dallas, **a TIA will be required.***
 - Library: 1600 trips (80 per 1000 SF)*
 - Multifamily (57 Units): 399 trips (7 per Dwelling Unit)*
 - MF Alternate (121 Units): 847 trips*

See p. 16 of Site Investigation Report for complete list of conclusions.

Preliminary Geotechnical Exploration Summary

Prepared by UES

UES conducted a preliminary geotechnical exploration consisting of field explorations, laboratory testing, and an engineering interpretation of these with respect to available project characteristics. The results and analyses were used to develop preliminary design information to aid conceptual design of commercial foundations.

Summary of preliminary design recommendations

1. Recommend more extensive boring
2. Subgrade improvement will be required
 - This is a typical condition, not out of the ordinary
3. Drilled, straight-shaft pier foundation recommended
 - Generally a reliable and economical solution for dealing with unstable soils
4. Ventilated crawl space preferred
 - Alternate: soil-supported slab on improved soils
5. Maintaining positive surface drainage will be essential

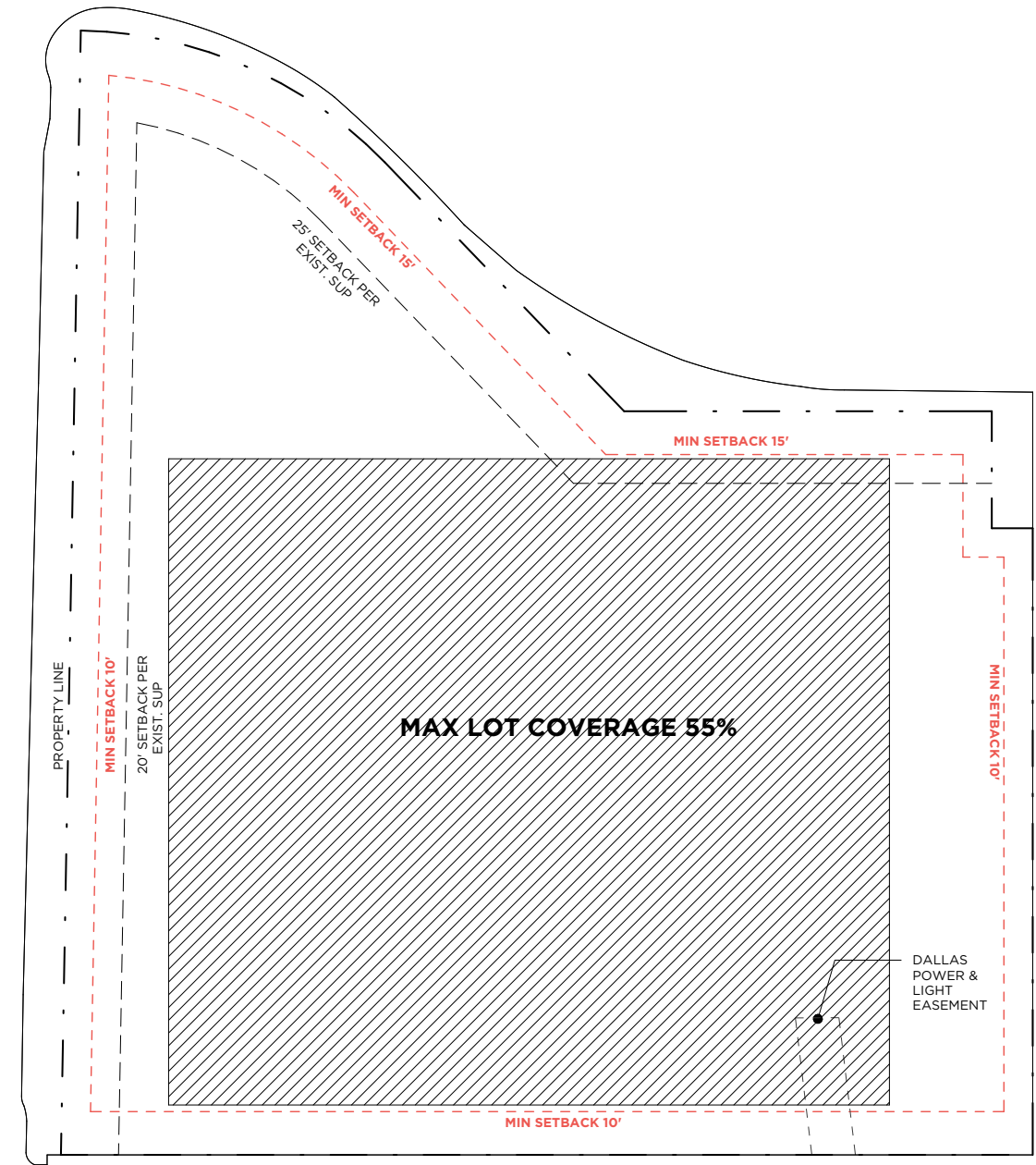
Park Forest Branch Library

Project Address
3728 High Vista Dr.
Dallas, TX 75244

- Summary**
- **Parcel is currently subject to an existing SUP** from 2012 that approves a library use
 - **Primary allowed uses (under base zoning) include residential, institutional, and recreational uses.** Libraries and similar, as well as some other institutional uses (higher ed, hospital) are permitted by SUP
 - Development bonuses available for mixed-income housing under base zoning
 - Commercial, retail, and office uses not permitted under base zoning

- Key Considerations**
- New site plan will trigger a new SUP.

Base Zoning	MF-2(A) - Multifamily District	
Max Height	Feet	Stories
	36'	-
Lot Coverage	Max 60% (R) Max 50% (Non-R)	
Density	FAR	Dwelling Units
	No max	No Max



Required Setbacks	SF	Duplex	Other
Front	15' Min	15' Min	15' Min
Side	None	5' Min	10' Min
Rear	None	10' Min	15' Min

Park Forest Branch Library

Project Address
3728 High Vista Dr.
Dallas, TX 75244

Summary

- Proposing a new site plan and/or uses will require a new or amended SUP. This yield study concept model assumes base zoning requirements unless noted.

- Key Considerations**
- Max lot coverage (base zoning) is 55% for combined residential and non-residential use
 - Green space and Marsh Lane would buffer adjacent single-family homes and soften the transition from apartments
 - Base zoning max height (36') is met

Use	SF / Units	Required	Provided
		Parking	
Library	20,000 SF	40	40
Multifamily Residential	57 Units	72	70
		Open Space	
		45%	50%



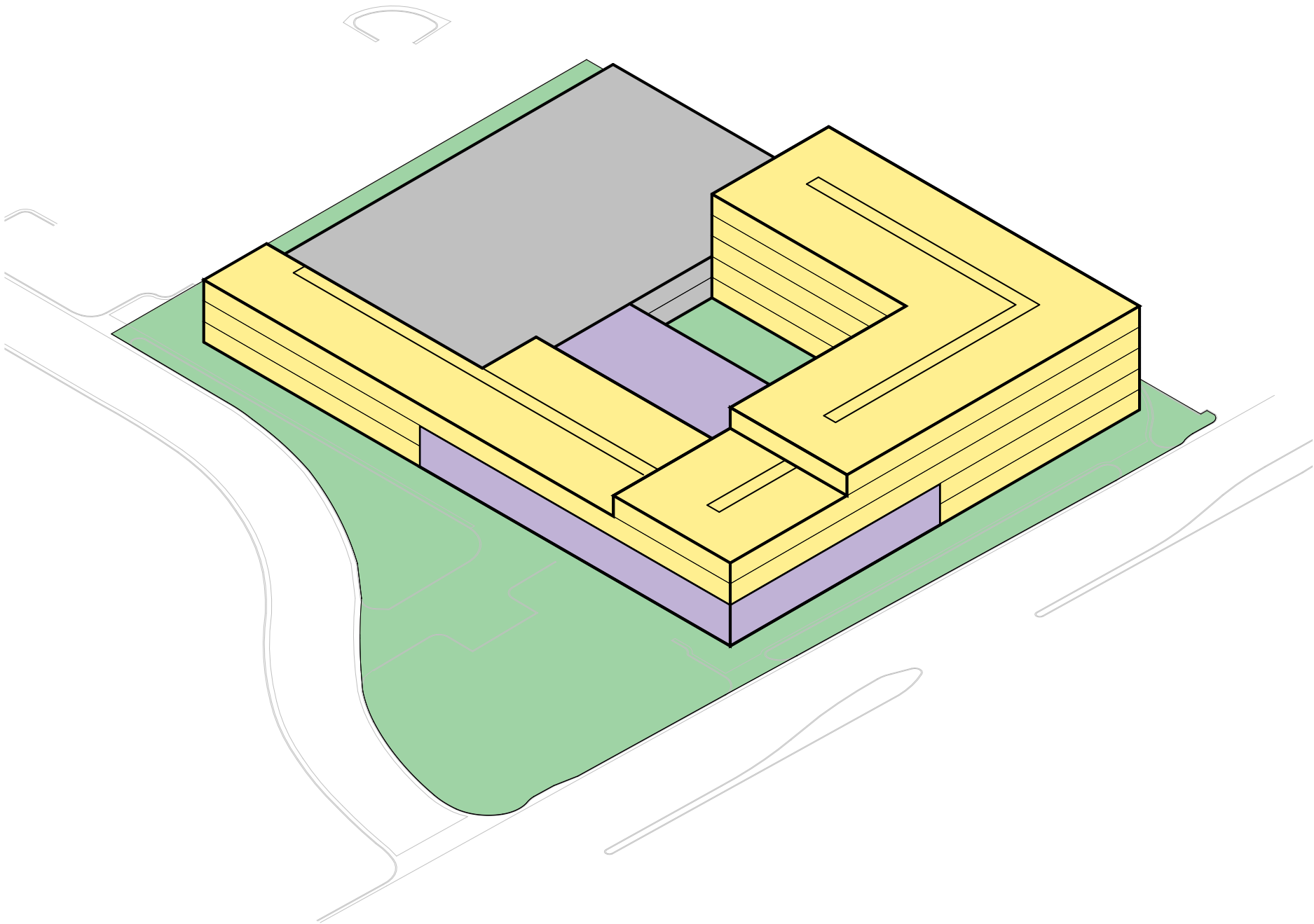
Park Forest Branch Library

Project Address
3728 High Vista Dr.
Dallas, TX 75244

- Summary**
- Given that an SUP is required, this scenario examines the maximum yield potential of a 5-story mixed-use apartment building with a ground-floor library space and structured parking

- Key Considerations**
- Setbacks are based on base zoning requirements
 - Base zoning Max Lot Coverage is exceeded by approx. 11,650 SF
 - Base zoning height limit of 36' is exceeded by approx. 14'
 - October 2025: Massing revised to reflect Residential Proximity Slope

Use	SF / Units	Required	Provided
		Parking	
Library	20,000 SF	40	40
Multifamily Residential	107 Units	103	103
		Open Space	
		45%	33%



Park Forest Branch Library

Project Address
3728 High Vista Dr.
Dallas, TX 75244

- Summary**
- Given that an SUP is required, this scenario examines the maximum yield potential of a 5-story mixed-use apartment building with a ground-floor library space and structured parking

- Key Considerations**
- Setbacks are based on base zoning requirements
 - Base zoning Max Lot Coverage is exceeded by approx. 11,650 SF
 - Base zoning height limit of 36' is exceeded by approx. 14'

Use	SF / Units	Required	Provided
Parking			
Library	20,000 SF	40	40
Multifamily Residential	121 Units	152	152
Open Space			
		45%	33%



Park Forest Branch Library

Primary Area Demographics

- Active seniors
- Families with children

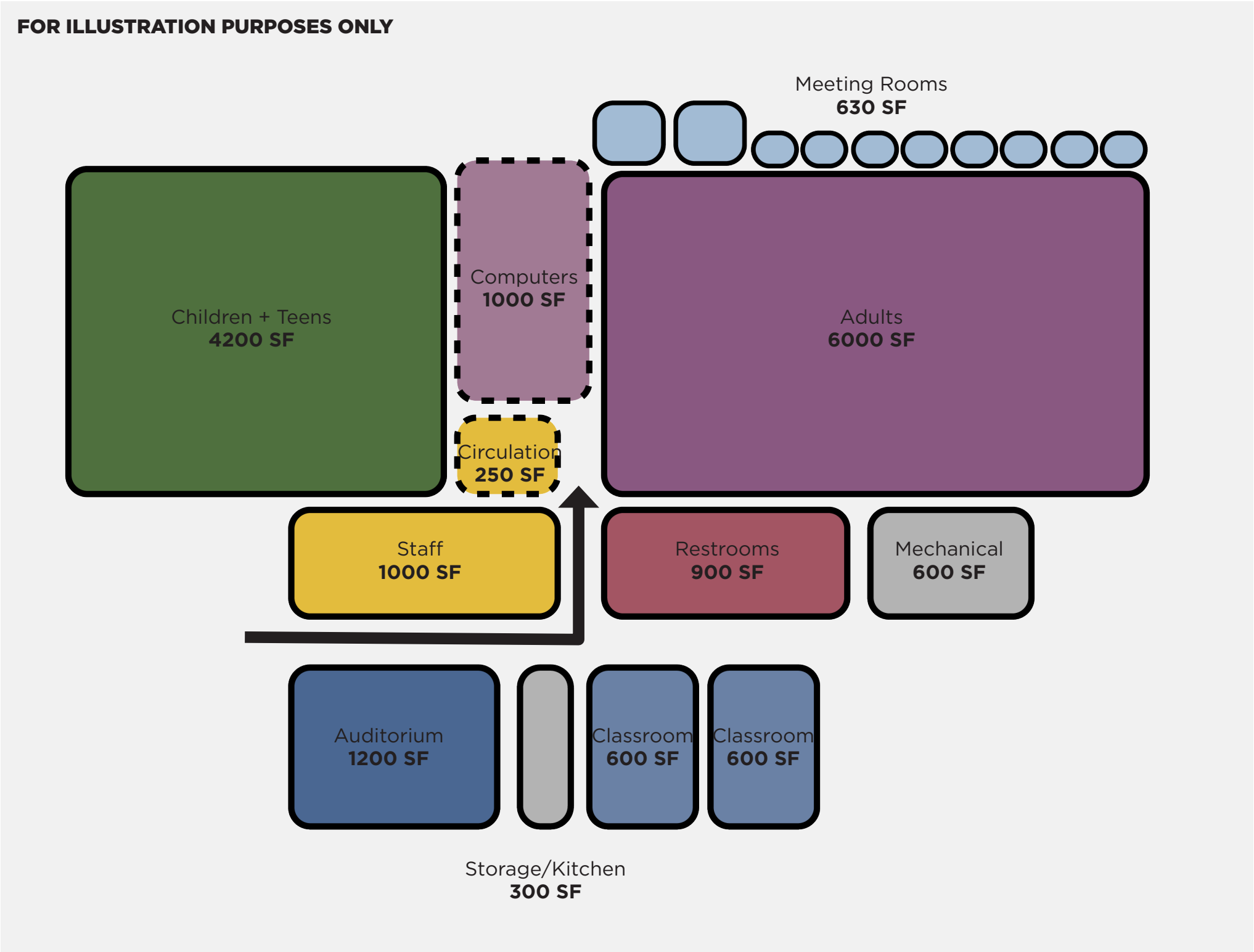
Base Program Summary

NOTE: SF requirements are based on the strategic plan

USE	SF
Main Reading Room (Adults)	6000
Children + Teens	4200
Staff + Circulation Desk	1250
Auditorium	1200
Classrooms	1200
Computers	1000
Restrooms	900
Meeting Rooms	630
Mechanical	600
Storage/Kitchen	300
Total SF	17,280

Supplemental Use Considerations

- Group fitness room
- Community garden
- Auditorium entrance accessible for evening programming



Precedent Findings Summary

Precedents At-A-Glance

	City	Building Area SF	Library SF	# of Units	Senior	Affordable	Market-Rate
Northtown Library	Chicago	65,000	16,000	44	X	X	
Independence Library	Chicago	65,000	16,000	40	X	X	
Little Italy Library & Taylor Apartments	Chicago	78,830	14,000	73		X	X
Inwood Library and The Eliza	New York	175,000	20,000	174		X	
Sunset Park Library	New York	70,000	20,000+	49		X	
West End Library	Boston	186,000	19,000	119		X	

Northtown Library

Project Address
6800 N Western Ave, Chicago, IL 60645

- Project Stats**
- 65,000 SF Total
 - 16,000 SF Library, 2-Stories
 - 44 One-Bedroom Senior Apartments
 - 44 Space Surface Parking Lot

- Amenity Details**
- The south end of the building includes a double-height lobby and community room with a mural by a local artist.
 - The north end of the building offers a YOUmedialab, an innovative tech-centric studio space designated for teens
 - Senior residents enjoy access to a rooftop deck, fitness room, two lounge areas, and on-site laundry



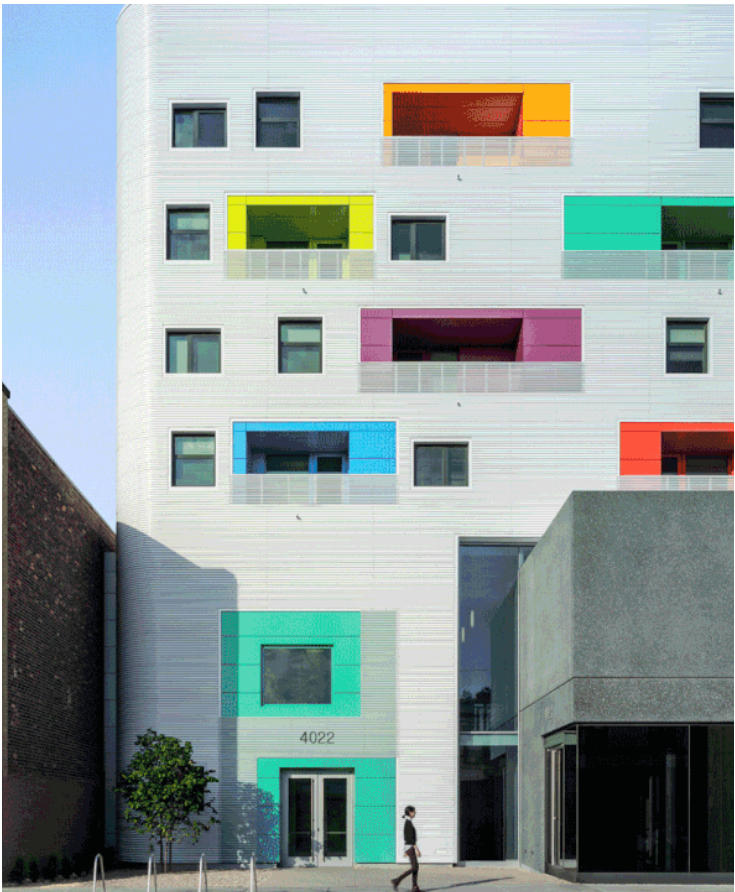
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Independence Library

Project Address
4024 N Elston Ave, Chicago, IL 60618

- Project Stats**
- 65,000 SF Total
 - 16,000 SF Library, 2-Stories
 - 40 One- and Two- Bedroom Senior Apartments

- Amenity Details**
- Large community multi-purpose room which supports public lectures, gatherings, and events; the community room is accessible directly from the street to allow for use when the library is closed
 - The second floor of the library extends over the covered parking as a park-like garden space serving as an outdoor amenity space for residents and library patrons alike



Little Italy Library and Taylor Apartments

Project Address
1336 W Taylor St, Chicago, IL 60607

- Project Stats**
- 72,830 SF Building Gross Area; 7-Stories
 - 14,000 SF Library
 - 73 Apartments (37 CHA Units, 29 Affordable Units, and 7 Market-Rate Units)

- Amenity Details**
- YOUmedia space for teens to explore digital design, music, technology, 3D and 2D making
 - Green roof with native plantings provides additional spaces for tenants to socialize
 - Taylor Street Farms community gardens



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Inwood Library

Project Address
4790 Broadway, New York, NY 10034

- Project Stats**
- 175,000 SF Building
 - 20,000 SF Library, 2-Stories
 - 174 Affordable Apartments

- Amenity Details**
- Resident-only amenity area on the top floor including a lounge, gym, laundry room, and terrace
 - Green roof with programming coordinated through Harlem Grown
 - Library includes a Universal Pre-K center, the ACTS Center with job training, classes, and cultural activities for the community, and a STEM Center with programming from First Robotics



Sunset Park Library

Project Address

5108 4th Ave, Brooklyn, NY 11220

Project Stats

- 70,000 SF Project
- 20,000+ SF Library
- 49 Affordable Housing Units; 6-Stories

Amenity Details

- Largest dedicated space for teens of any library in Brooklyn
- A recording studio, and a community program room available for scheduled community functions both during and outside of library hours
- 2,000 SF second-floor deck to provide outdoor space for the residents’ recreational needs and library programming
- Bicycle storage
- 45-kW rooftop solar array



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West End Library (Expected Completion 2027)

Project Address
151 Cambridge St, Boston, MA 02114

- Project Stats**
- 186,000 SF Building
 - 19,000 SF Library; 2-Stories
 - 119 Income-Restricted Apartments (mix of studios to three-bedrooms), 12-Stories

- Amenity Details**
- Courtyard amenity space for residents, and a shared plaza with the Otis House museum
 - Outdoor gardens, kitchens, intergenerational recreation areas
 - A flexible multipurpose space accommodates a range of activities including workshops, food distribution, fitness classes, movie nights, and passive recreation



STREETSENSE

Next Steps / Key Decisions

North Oak Cliff Branch Library

SUMMARY OF KEY CONSIDERATIONS

- 1. We recommend that the new library entrance be located on Bishop Ave.
- 2. Acquiring adjacent vacant parcels and consolidating adds complexity but makes the development proposition much more competitive
- 3. Mixed-use parking reductions could make a significant impact, but require a Zoning Consultation to clarify how the library can be classified.
- 4. There are trade-offs between providing amenities such as a park or playground as a semi-private rooftop space vs. a more accessible ground floor amenity. A ground level public space, while less controlled, would function as more of a “give-back” to the neighborhood at large.

DECISIONS TO MAKE / INFO TO PROVIDE

- 1. Do you want to pursue assembling the group of parcels on Sunset Ave? If yes, is Alternate Scenario A or B the preferred option?
- 2. Clarify process for scheduling a pre-development meeting/ zoning consultation.
 - Who should lead this?
- 3. Provide clarification around potential public amenity space: secure/rooftop vs. ground floor accessible. Is it either/or, or both?

Park Forest Branch Library

SUMMARY OF KEY CONSIDERATIONS

1. Consider pursuing 5 stories for senior apartments

- The number of possible apartment units when respecting base zoning height and open space requirements is low in terms of project feasibility
- Given the site slope, the scale in relationship to Marsh Lane, a busy and wide corridor, and the softening effect of the park as a buffer to the neighborhood, 5 stories would be appropriate
- A redesign of the site plan necessitates an amended or new SUP anyway, so it's worth considering asking for additional height in the process
- Overall reasonableness may depend on council person's appetite for championing housing

2. We recommend a Zoning Consultation to discuss:

- The plans for Marsh Lane and the potential to provide additional safe crossings
- The potential for rooftop green space to count toward an open space requirement

DECISIONS TO MAKE / INFO TO PROVIDE

1. Pursue a 5-story apartment project (Scenario 2): Yes/No

2. If No, are there options between the base zoning and 5-story project that you'd like to explore further?

3. What base zoning requirements are important to respect?

- Height
- Setbacks
- Open space
- Other

4. Clarify process for scheduling a pre-development meeting/ zoning consultation (as with Site #1)

Project Overview

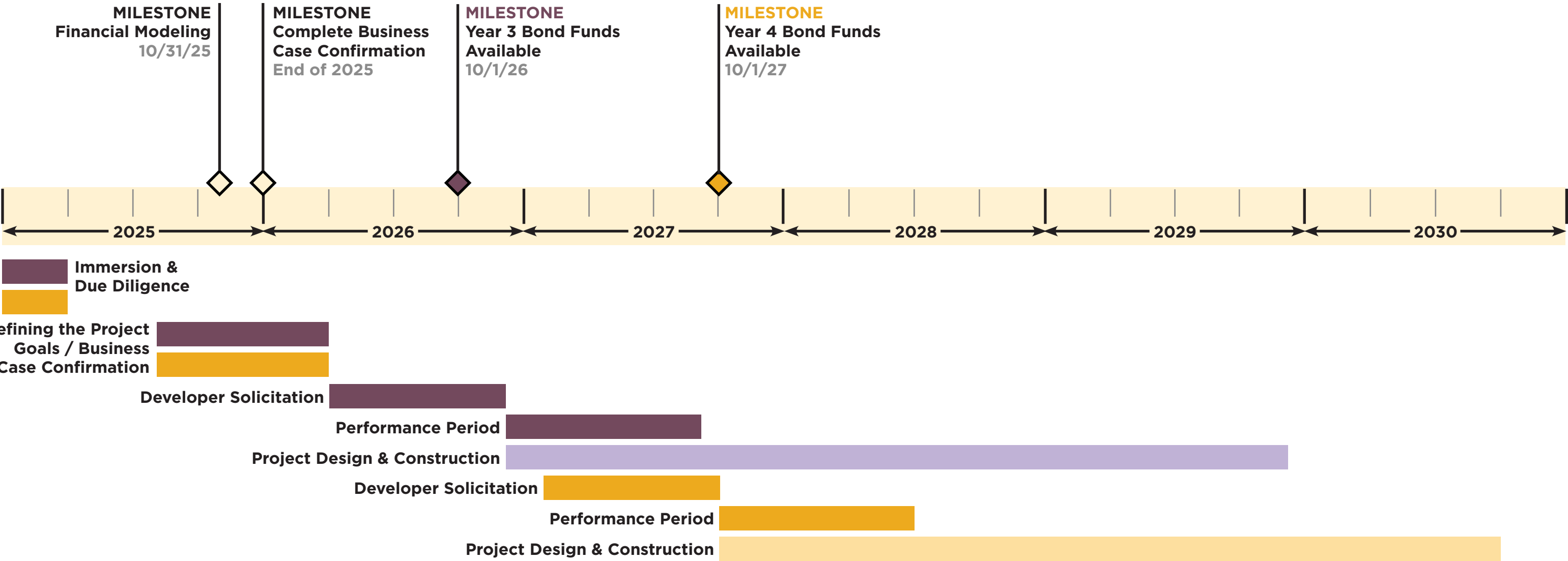
PARK FOREST
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NORTH OAK CLIFF
BRANCH

GOAL: Understanding the
Business Case for Housing

1. How many units of affordable
housing can we deliver?

2. What is the budget impact for
delivering the affordable units?



Thank you