



**CITY OF DALLAS
LANDMARK COMMISSION
MONDAY, NOVEMBER 4, 2013
AGENDA**

BRIEFING:	Dallas City Hall 1500 Marilla St., Room 5/E/S	11:00 A.M.
PUBLIC HEARING:	Dallas City Hall 1500 Marilla St., Council Chambers, 6 th floor	1:00 P.M.

David Cossum, Interim Director
Mark Doty, Sr. Planner Historic Preservation

BRIEFING ITEM

*The Landmark Commission may be briefed on any item on the agenda if it becomes necessary.

1. Residential Architects and Architecture of Dallas, Willis Winters, Director, Park & Recreation Department

CONSENT ITEMS

1. 5617 Tremont

Junius Heights Historic District
CA134-015(MD)
Mark Doty

Request:

Install new wood fence.

Applicant: Keith Peeler

Application Filed: October 3, 2013

Staff Recommendation:

Install new wood fence. Approve - Approve site plan dated 10/16/13 with the finding the proposed work is consistent with the criteria for fences in the preservation criteria Sections 3.6(a)(2), (b)(2), and (c)(1)(3) and (4), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install new wood fence. New fence will be visual asset to the home. Mr. Peeler is actually dropping original placement of west side back from existing location of fence. No quorum. Comments only.

2. 5812 La Vista Court

Edison/La Vista Court Addition Historic District
CA134-013(MD)
Mark Doty

Request:

Install new garage doors.

Applicant: John Narusis

Application Filed: October 3, 2013

Staff Recommendation:

Install new garage doors. Approve - Approve specification and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for fenestrations and openings in the preservation criteria Section 3.10, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install new garage doors. Approve

3. 417 S. Clinton Avenue

Winnetka Heights Historic District
CD134-001(MD)
Mark Doty

Request:

Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance.

Applicant: Don Jenkins

Application Filed: October 3, 2013

Staff Recommendation:

Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance. Approve - The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(D). The structure is noncontributing to the historic overlay district; the structure is newer than the period of historic significance for the historic overlay district; and demolition of the structure will not adversely affect the historic character of the property or the integrity of the historic overlay district.

Task Force Recommendation:

Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance. Approve.

4. 417 S. Clinton Avenue

Winnetka Heights Historic District
CA134-011(MD)
Mark Doty

Request:

Construct new accessory structure in rear yard.

Applicant: Don Jenkins

Application Filed: October 3, 2013

Staff Recommendation:

Construct new accessory structure in rear yard. Approve - Approve drawings and specifications dated 10/16/13 with the finding of fact the work is consistent with the criteria for accessory buildings in the preservation criteria Section 51P-87.111(a)(1), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Construct new accessory structure in rear yard. Approve with conditions - 17 siding to match the home. Garage door needs to match style-wise, the garage door that currently exist. Overhang of roof should be 18 inches. Color/shingles should match existing house.

5. 502 N. Clinton Avenue

Winnetka Heights Historic District
CA134-017(MD)
Mark Doty

Request:

- 1) Install new landscaping along street right-of-way.
- 2) Construct new office, studio and patio addition.

Applicant: Jim Anderson

Application Filed: October 3, 2013

Staff Recommendation:

- 1) Install new landscaping along street right-of-way. Approve with conditions - Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-

87.1117.3(a)(1)(A),(D),and (F) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

- 2) Construct new office, studio and patio addition. Approve with conditions - Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-87.111(a)(1), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

- 1) Install new landscaping along street right-of-way. Approve with conditions - Removal of prickly pear from landscape plan. Color should be black on the lighting.
- 2) Construct new office, studio and patio addition. Approve with conditions - Consider a small 6-8 inch inset on office.

6. 1214 West Davis Street

Winnetka Heights Historic District
CA134-018(MD)
Mark Doty

Request:

Install new landscaping and lighting along the street right-of-way.

Applicant: Jim Anderson

Application Filed: October 3, 2013

Staff Recommendation:

Install new landscaping and lighting along the street right-of-way. Approve with conditions - Approve drawings and specifications dated 10/26/13 with the conditions that all other applicable development code issues are addressed and resolved with the finding of fact the proposed work is consistent with the criteria for landscaping in the preservation criteria Section 51P-87.111(b)(1), (4), (5), (6) and (9)(A)(ii), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Install new landscaping and lighting along the street right-of-way. Approve with conditions - Removal of prickly pear from landscape plan. Color should be black on the lighting.

7. 306 N. Windomere Ave.

Winnetka Heights Historic District
CA134-010(MD)
Mark Doty

Request:

Install new railing on first floor porch.

Applicant: Crystal Gonzalez

Application Filed: October 3, 2013

Staff Recommendation:

Install new railing on first floor porch. Approve - Approve drawings dated 10/16/13 with the finding the proposed work is compatible with the historic overlay district, Section 51P-87.111(a)(11)(A) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Install new railing on first floor porch. Approve.

8. 500 N. Winnetka Ave.

Winnetka Heights Historic District
CA134-009(MD)
Mark Doty

Request:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'.

Applicant: Mango Properties

Application Filed: October 3, 2013

Staff Recommendation:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'. Approve - Approve paint specification dated 10/21/13 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'. Approve.

9. 509 N. Winnetka Ave.

Winnetka Heights Historic District
CA134-016(MD)
Mark Doty

Request:

- 1) Install new landscaping along street right-of-way.
- 2) Construct new covered patio on rear of structure.

Applicant: Jim Anderson

Application Filed: October 3, 2013

Staff Recommendation:

- 1) Install new landscaping along street right-of-way. Approve with conditions – Approve drawings and specifications dated 10/26/13 with the conditions that all other applicable development code issues are addressed and resolved with the finding of fact the proposed work is consistent with the criteria for landscaping in the preservation criteria Section 51P-87.111(b)(1), (4), (5), (6) and (9)(A)(ii), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Construct new covered patio on rear of structure. Approve with conditions – Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-87.117.3(a)(1)(A), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

Task Force Recommendation:

- 1) Install new landscaping along street right-of-way. Approve with conditions – Removal of prickly pear from landscape plan. Color should be black on the lighting.
- 2) Construct new covered patio on rear of structure. Approve.

DISCUSSION ITEMS:

1. 3333 Elm Street

Continental Gin Historic District
CA134-008(MD)
Mark Doty

Request:

Exterior renovations to Continental Gin buildings.

Applicant: IV Architecture, Inc.

Application Filed: October 3, 2013

Staff Recommendation:

Exterior renovations to Continental Gin buildings. Deny without prejudice - The submitted drawings do not reflect potential National Park Service comments as part of a Federal Tax Credit review. Staff would like to see those comments incorporated into a later submittal.

Task Force Recommendation:

Exterior renovations to Continental Gin buildings. Deny without prejudice - Resubmittal to include the response to the letter dated 9/20/2013 from IV Architecture, Inc. from the National Park Service, with their comments. Also include colors & other descriptive information with the next submittal.

2. 601 N. Marsalis Ave.

Lake Cliff Historic District
CA134-012(MD)
Mark Doty

Request:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness.

Applicant: Rising Tide, L.P.

Application Filed: October 3, 2013

Staff Recommendation:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness. Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) that states repair or maintenance of protected facades must be appropriate and must employ materials similar to the historic materials in texture, color, pattern, grain, and module size. Preservation criteria Section 1.5, 4.1(b) and (d), and Preservation Brief 2.

Task Force Recommendation:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness. Deny - Mortar needs to be repointed and replaced to match in a color that is significantly closer to the existing structure.

3. 4801 Worth St.

Peak's Suburban Addition Neighborhood
Historic District
CA134-021(MD)
Mark Doty

Request:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness.

Applicant: John Bryant

Application Filed: October 3, 2013

Staff Recommendation:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness. Approve with conditions - Approve work as completed with the condition that vine or other type of landscaping is installed to cover the retaining wall with the finding the completed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

Task Force Recommendation:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness. Approve with conditions - Paint concrete 'Lamberts' green or similar (too close to sidewalk to veneer). Plant trailing vines (climbing fig or sim) along top to cascade and cover concrete ASAP.

4. 220 N. Cliff Street

Tenth Street neighborhood Historic District
CD123-019(MD)
Mark Doty

Request:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

Applicant: City Attorney's Office

Application Filed: May 2, 2013

Staff Recommendation:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

Approve - The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the City Attorney has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

Task Force Recommendation:

Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). Recommend initial suspension period. Alonzo Harris recused. (This recommendation is from the May 2, 2013 Task Force meeting. The Task Force does not review the application again once it enters into a suspension period.)

Continuing Suspension

OTHER BUSINESS ITEMS

1. Minutes from the October 14, 2013 Meeting.

ADJOURNMENT

DESIGNATION COMMITTEE:

The Landmark Commission Designation Committee is scheduled to meet on Wednesday, November 21, 2013, 5:45 p.m., at the Wilson House Dining Room (Preservation Dallas), 2922 Swiss Avenue.

Note: The official Designation Committee Agenda will be posted in the City Secretary's Office and City Website at www.ci.dallas.tx.us/cso/boardcal.shtml. Please review the official agenda for location and time.

EXECUTIVE SESSION NOTICE

The Commission may hold a closed executive session concerning one or more of the following topics:

- a. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the commission's attorney to his client under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act; [Texas Government Code §551.071]*
- b. deliberating the purchase, exchange, lease, or value of real property if deliberation in open meeting would have a detrimental effect on the position of the city in negotiations with a third person; [Texas Government Code §551.072]*
- c. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person; [Texas Government Code §551.073]*
- d. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee, or to the hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation requests a public hearing; or [Texas Government Code §551.074]*
- e. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Texas Government Code §551.076]*
- f. Discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay, or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Texas Government Code §551.086]*

**LANDMARK COMMISSION****NOVEMBER 4, 2013**

FILE NUMBER: CA134-015(MD)
LOCATION: 5617 Tremont Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: PD-397, Tract D

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Junius Heights
MAPSCO: 46-C
CENSUS TRACT: 0013.01

APPLICANT: Keith Peeler

REPRESENTATIVE: None.

OWNER: PEELER KEITH

REQUEST:

Install new wood fence.

BACKGROUND / HISTORY:

8/16/13 – Staff approved a 'Routine Maintenance' CA for the fence along the rear 50% of the interior side yards and rear yard. (CA123-625(MD)).

ANALYSIS: The proposed work meets the requirements for fencing in the Junius Heights preservation criteria, so Staff recommends approval.

STAFF RECOMMENDATION:

Install new wood fence. – Approve - Approve site plan dated 10/16/13 with the finding the proposed work is consistent with the criteria for fences in the preservation criteria Sections 3.6(a)(2), (b)(2), and (c)(1)(3) and (4), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install new wood fence. New fence will be visual asset to the home. Mr. Peeler is actually dropping original placement of west side back from existing location of fence. No quorum. Comments only.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 134 - 015 (MD)
 Office Use Only

Name of Applicant: Keith Peeler _____
 Mailing Address : 5617 Tremont Street _____
 City, State and Zip Code: Dallas, TX 75214 _____
 Daytime Phone: 214-681-3440 _____ Fax: _____
 Relationship of Applicant to Owner: Owner of 5617 Tremont Street _____
PROPERTY ADDRESS: 5617 Tremont Street, Dallas, TX 75214 _____
Historic District: Junius Heights Historic District _____

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials _____

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Please see second page of document for description.

RECEIVED BY

OCT 03 2013

Current Planning

Signature of Applicant: [Signature] Date: 10/1/13
 Signature of Owner: [Signature] Date: _____
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

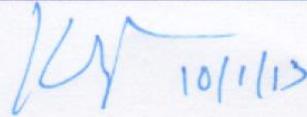
Sustainable Construction and Development _____ Date _____

Certificate of Appropriateness City of Dallas Historic Preservation
 Rev. 111408

We are requesting the addition of two fence sections to our current property. Prior approval of replacement of old fence has been executed and constructed. Photographs of newly constructed fence are attached. Approval is being sought to come forward of the house's 50% line on both sides of the home by 4 feet on the West side and 3 feet on the East side. On the west side it is to ensure security of two A/C units and to hide their appearance. Current old fence covers these units and goes to the very front of the home. The front portion of fence will be eliminated revealing a greater portion of the West side of the home while improving the beauty by hiding the A/C units.

On the East side of the home, the fence request is to enclose back yard where the driveway ends. The difference in lengths will not be noticeable from either angle due to their very slight difference. Each side of the fence will maintain balance and quality of the view of the home from either side. The gate on the driveway will simply appear as a solid fence. The design of the gate is simulated on attached photographs.

Photos and survey of property attached. Thank you for your consideration! This will be a great addition to the beauty of the home while also adding needed security where the current sections are compromised.

 10/1/13



Proposed fence location.





Existing fence location.



Proposed fence location.

TASK FORCE RECOMMENDATION REPORT
JUNIUS HEIGHTS

DATE: 10/10/2013
TIME: 5:30 pm
MEETING PLACE: Lakewood Library, 6121 Worth Street

Applicant Name: Keith Peeler
Address: 5617 Tremont Street
Date of CA/CD Request: 10/3/2013

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments / basis:

*New fence will be a visual asset to the home.
Mr Peeler is actually dropping orig placement
of W side back from existing location of fence.*

Task force members present

<input type="checkbox"/> Rene Schmidt (Chair)	<input type="checkbox"/> Laura Koppang	<input type="checkbox"/>
<input type="checkbox"/> Mary Mesh	<input type="checkbox"/> Sally Johnson	<input checked="" type="checkbox"/> Terri Raith(Alternate)
<input type="checkbox"/> Barbara Cohen	<input type="checkbox"/> Morgan Harrison	<input type="checkbox"/> (Alternate)

Ex Officio staff members Present Mark Doty

Simply Majority Quorum: yes no (four makes a quorum)

Maker:
2nd:

Task Force members in favor:
Task Force members opposed:
Basis for opposition:

~~CHAIR~~, Task Force *Alternate Terri Raith* DATE *Oct 10, 2013*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-013(MD)
LOCATION: 5812 La Vista Court
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 14
ZONING: MF-2(A)

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Edison-La Vista
MAPSCO: 36-X
CENSUS TRACT: 0011.01

APPLICANT: John Narusis

REPRESENTATIVE: None.

OWNER: LUGASH BLAKE

REQUEST:

Install new garage doors.

BACKGROUND / HISTORY:

10/7/13 – Landmark Commission approved new side and rear yard fences. (CA123-671(MD)).

ANALYSIS: The proposed work meets the requirements for the Edison/La Vista historic district.

STAFF RECOMMENDATION:

Install new garage doors. – Approve - Approve specification and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for fenestrations and openings in the preservation criteria Section 3.10, and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install new garage doors. – Approve.



North and partial west elevations.



South (rear) elevation.

**Certificate of Appropriateness (CA)
City of Dallas Landmark Commission**

CA 139 - 013 (MD)
Office Use Only

Name of Applicant: John Narusis
 Mailing Address : 6915 Coronado Ave
 City, State and Zip Code: Dallas, TX 75214
 Daytime Phone: 214-437-7374 Fax: _____
 Relationship of Applicant to Owner: Self

Building
Inspection:
Please see signed
drawings before
issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 5812 La Vista Court
Historic District: Edison / La Vista Court

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Replace garage doors per attached

Repair front porch per attached

RECEIVED BY
OCT 03 2013
Current Planning

Signature of Applicant: John Narusis Date: 2 Oct 2013
 Signature of Owner: _____ Date: _____
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

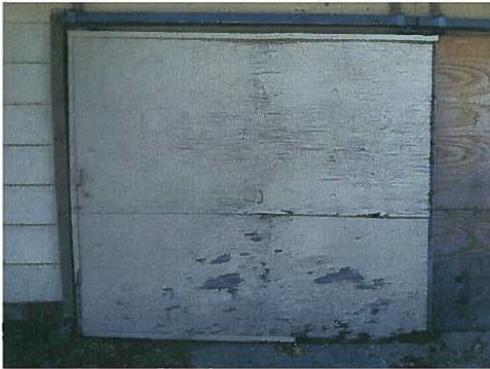
Historic Preservation
Rev. 111408

5812 La Vista Court

Garage doors

Current garage doors are the sliding barn door type, suspended on rollers. The doors themselves are made from sheets of plywood attached to a 2x4 frame.

The east door is unpainted (photo EastDoor). The west door has been painted, but the paint is peeling (photo WestDoor1), and the 2x4 frame is falling apart (photo WestDoor2). Photo BothDoors shows the doors in a larger context.



WestDoor1



WestDoor2



EastDoor



BothDoors

I will keep the sliding door hardware, and just replace the doors themselves. I plan to have someone build an actual barn-type door out of cedar, with an X in the lower portion, and a subtle arch at the top, as in the photo DoorSample.

Proposed design is indicated by dashed lines in the attached drawing. Since the house is about 20 feet back from the front of the garage, and mostly hidden by trees, it is not indicated in the drawing.

Notes

All the other garages on this blockface are the standard paneled overhead door style, as in the photo TypicalDoors.



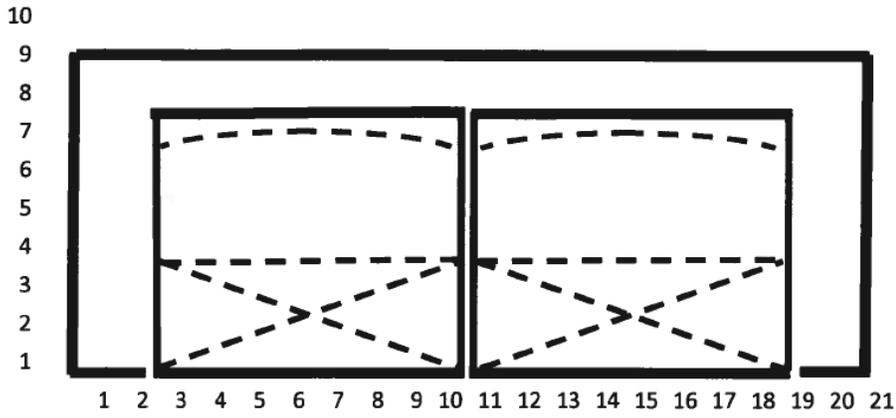
DoorSample



TypicalDoors

10/16/13

5812 - 5814 La Vista Court
Edison/La Vista Historic District



each gridline = 1 foot

10/16/13

TASK FORCE RECOMMENDATION REPORT
PEAK'S SUBURBAN / EDISON - LA VISTA

DATE: 10/9/2013
TIME: 6:15 pm
MEETING PLACE: 400 N. Ervay Street

Applicant Name: John Narusis
Address: 5812 La Vista Ct.
Date of CA/CD Request: 10/3/2013

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments/ basis:

Task force members present

<input checked="" type="checkbox"/> Norm Alston (Chair)	<input type="checkbox"/> David Sacha	<input type="checkbox"/> (Alternate)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch (REFUSE)	<input type="checkbox"/> Jim Anderson (Alternate)
<input checked="" type="checkbox"/> Renee Manes	<input type="checkbox"/> Jennifer Hidden	

Ex Officio staff members Present Mark Doty

Simply Majority Quorum: yes no (four makes a quorum)

Maker: ALSTON
2nd: KARNOWSKI
Task Force members in favor: UNANIMOUS APPROVAL
Task Force members opposed:
Basis for opposition:

CHAIR, Task Force  DATE 10/9/13

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CD134-001(MD)
LOCATION: 417 S. Clinton Avenue
STRUCTURE: Accessory & Non-Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87, Tract 1

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-F
CENSUS TRACT: 0051.00

APPLICANT: Don Jenkins

REPRESENTATIVE: None.

OWNER: JENKINS DON L &

REQUEST: Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance.

BACKGROUND / HISTORY: None.

ANALYSIS: The information submitted by the Applicant, shown on C3-6 and C3-7, clearly indicates that this structure is not original to the neighborhood.

STAFF RECOMMENDATION: Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance. – Approve - The proposed demolition meets all of the standards in City Code Section 51A-4.501(h)(4)(D). The structure is noncontributing to the historic overlay district; the structure is newer than the period of historic significance for the historic overlay district; and demolition of the structure will not adversely affect the historic character of the property or the integrity of the historic overlay district.

TASK FORCE RECOMMENDATION: Demolish structure due to noncontributing to the historic overlay district because it is newer than the period of historic significance. – Approve.

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD <u>134</u> - <u>001</u> [<u>MD</u>] Office Use Only

1. Name of Applicant: Don Jenkins / John Ferrell
 MAILING Address: 417 S. Clinton Ave City Dallas State Tx Zip 75208
 Daytime Phone: 214 458-6468 Fax: _____
 Relationship of Applicant to Owner: owner
 ADDRESS OF PROPERTY TO BE DEMOLISHED: 417 S. Clinton Ave Dallas, Tx 75208
 Historic District: Winnetha Heights

Proposed Work:

2. Indicate which 'demolition standard(s) you are applying:
 Replace with more appropriate/compatible structure
 No economically viable use
 Imminent threat to public health / safety
 Demolition noncontributing structure because newer than period of significance
 Intent to apply for certificates of demolition pursuant to 51-A-4.501(l) of the Dallas City Code;
 Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

RECEIVED BY
 OCT 03 2013
 Current Planning

3. Describe work and submit required documents for the demolition standard you are applying:
 (please see attached checklist)
Tear down garage from out concrete slab (currently cracked due to age),
pour new concrete and rebuild garage to match original (same color scheme).

Application Deadline:
 This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210, **DO NOT FAX PHOTOGRAPHS.**

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant: Don Jenkins Date: _____
 5. Signature of Owner: Don Jenkins Date: _____
 (IF NOT APPLICANT)

Review the enclosed Review and Action Form
 Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

 Sustainable Development and Construction
 NOTE: THIS APPLICATION WILL EXPIRE 180 DAYS AFTER THE APPROVAL DATE
 Certificate for Demolition & Removal City of Dallas Historic Preservation
 Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05

Affidavit

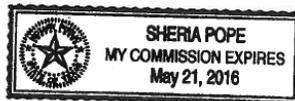
Before me the undersigned on this day personally appeared Donald Jenkins who on his or her oath certifies that the statements contained in the application for a certificate of demolition and removal are true and correct to the best of his or her knowledge and that he or she is the owner, principle, or authorized representative of the subject property.

Donald Jenkins

Affiant's signature

Subscribed and sworn to before me this 2nd day of October 2013

Sheria Pope



Notary Public

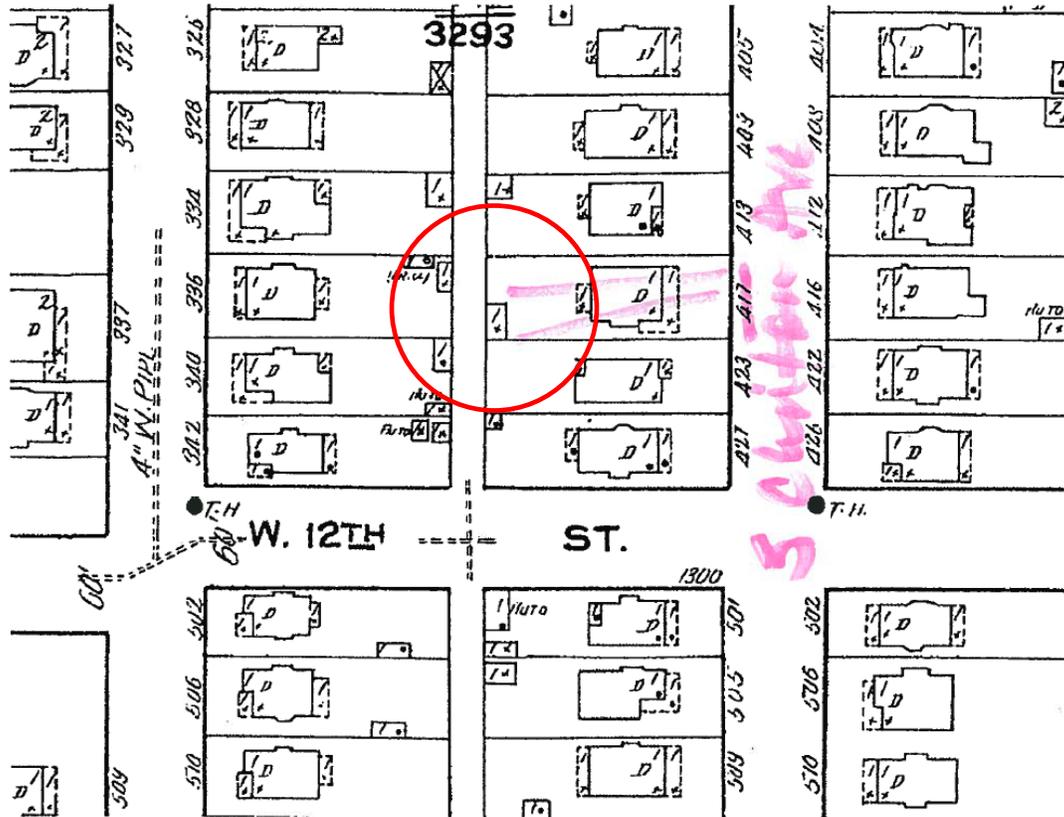


East (front) elevation of main structure and existing accessory structure.



Existing accessory structure.

Sanborn Map 1922



TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Don Jenkins

PROPERTY ADDRESS: 417 S. Clinton

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval _____ Approval with conditions _____ Denial _____ Denial without prejudice

Recommendation / comments/ basis:

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	_____ Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	_____ Jeff Cummings	_____ Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	_____ Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty _____

Simply Majority Quorum: yes _____ no

Maker: *Garth*
2nd: *Fred*
Task Force members in favor: *all*
Task Force members opposed: *none*
Basis for opposition:

CHAIR, Task Force *[Signature]* DATE *10/9/13*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-011(MD)
LOCATION: 417 S. Clinton Avenue
STRUCTURE: Accessory & Non-Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87, Tract 1

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-F
CENSUS TRACT: 0051.00

APPLICANT: Don Jenkins

REPRESENTATIVE: None.

OWNER: JENKINS DON L &

REQUEST:

Construct new accessory structure in rear yard.

BACKGROUND / HISTORY: None

ANALYSIS: The proposed work meets the requirements of the Winnetka Heights preservation criteria and the Applicant provided the information requested at the Task Force meeting, so Staff recommends approval. The only Task Force comment that was not included with the new construction drawings was the request for the 18" overhang. Staff is fine with the overhang as proposed since it will match the existing.

STAFF RECOMMENDATION:

Construct new accessory building in rear yard. – Approve - Approve drawings and specifications dated 10/16/13 with the finding of fact the work is consistent with the criteria for accessory buildings in the preservation criteria Section 51P-87.111(a)(1), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Construct new accessory building in rear yard. – Approve with conditions - 17 siding to match the home. Garage door needs to match style-wise, the garage door that currently exist. Overhang of roof should be 18 inches. Color/shingles should match existing house. Vote: 4:1. Reason for opposition – insufficient information submitted.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 134 - 011 (MD)
 Office Use Only

Name of Applicant: Don Jenkins
 Mailing Address: 417 S. Clinton Ave.
 City, State and Zip Code: Dallas, TX 75208
 Daytime Phone: 214 458-6468 Fax: _____
 Relationship of Applicant to Owner: owner

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials

PROPERTY ADDRESS: 417 S. Clinton Ave, Dallas
 Historic District: Winnette Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

The concrete slab of the garage is cracked and causing the structure to buckle. We will tear down the garage, remove the concrete, pour a new concrete slab and rebuild the garage (same size/dimension and color - main "sand" trim "butters")

Signature of Applicant: Don Jenkins Date: 10/02/2013

Signature of Owner: _____ Date: _____
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON.** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please **do not** release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please **do not** release the building permit or allow work.

 Sustainable Construction and Development Date

Certificate of Appropriateness **City of Dallas** **Historic Preservation**
 Rev. 111408



West (front) elevation.

450
NON INSULATED

451
INSULATED

doorLink
Manufacturing, Inc.®

24 GAUGE

FLUSH PANEL



450

PAINT
1.0
MIL

451

PAINT EFFICIENCY
1.0 **6.85**
MIL R-VALUE

INTERIOR
VINYL
SKIN

Constructed of top quality materials, flush panel with deep woodgrain texture and two coat prefinished paint system all combine to enhance the beauty of your home.

10/16/13

450

NON INSULATED

451

INSULATED

24 GAUGE

FLUSH PANEL

450/451 STANDARD FEATURES

24 GAUGE METAL

Hot dipped galvanized steel construction with hemmed inside return rail provides superior strength and durability.

1.0 MIL PAINT SYSTEM

Includes .25 mil rust inhibiting primer and .75 mil exterior top coat that resists fading and chalking while providing consistent color from panel to panel, and long life.

ROLLED SAFETY EDGES ON SECTION JOINTS

Eliminates sharp edges, and provides extra strength.

19 GAUGE HOT DIPPED GALVANIZED STILES

Heavy duty metal stiles give strong rigid support for all hinges, rollers and operator attachment.

STILES ATTACHED WITH RIVETS

Provides superior strength when compared to common sheet metal joining methods.

TONGUE AND GROOVE MEETING RAILS

For superior strength and better sealing against wind, rain and snow.

RIGID ALUMINUM RETAINER

Provides added strength while securing replaceable u-shaped bottom weatherstrip to help keep the elements out.

451 ADDITIONAL FEATURES

R VALUE 6.85 INSULATION

Enhances your home's energy savings, makes your door operation quieter, and reduces exterior noise in your garage.

CFC FREE EXPANDED POLYSTYRENE

Environmentally friendly insulation that will not degrade with vibration or time.

HIGH IMPACT PLASTIC BACK COVER

Protects the insulation, and enhances the interior look of your garage door.



SIZES AVAILABLE

DOOR WIDTH

8', 9', 10', 12', 14', 15', 16', 17', 18', 20', 22'

HEIGHTS AVAILABLE:

6'6" 6'9" 7'0" 7'6" 7'9" 8'0"

10/16/13

COLORS

WHITE

ALMOND

DESERT TAN

SANDSTONE

BROWN

BROCHURE COLOR
MAY VARY FROM
ACTUAL PRODUCT.

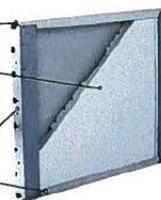
CONSTRUCTION

Tongue and groove meeting rails.

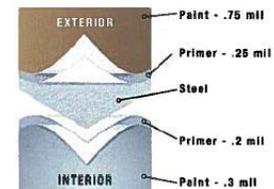
CFC free expanded polystyrene insulation.

19 gauge hot dipped galvanized steel stiles.

Rigid aluminum retainer.



PAINT LAYERS



Your Local Authorized Dealer:

To view this product online:



1501 Taney Street, North Kansas City, MO 64116 Ph: 816-474-3900 Fax: 816-474-3902
© 2012 doorLink Manufacturing, Inc

www.DoorLinkMfg.com

Garage Door Specification

CA134-011(MD)

C 4-6

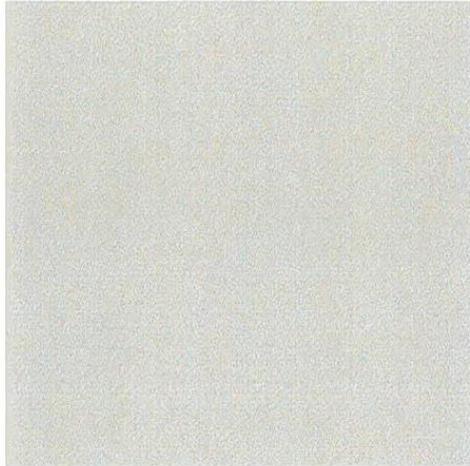
FREE SHIP TO STORE[†] OR HOME*. NOW AVAILABLE ON OVER



More saving.
More doing.

Your Store:
Lemmon Ave #589 (Change)

PRO Site | Tool & Truck Ren



BEHR Premium Plus 8 oz. #290E-2 Oat Interior/Exterior Paint Sample

Model # 290E-2PP Internet # 202179449

\$2.94 / each

This item cannot be shipped to the following state
AK, GU, HI, PR, VI

Free Shipping

Buy Online, Ship to Store

10/16/13

PRODUCT OVERVIEW

The Behr Premium Plus 8 oz. Oat Cake Interior/Exterior Paint Tester # 290E-2 is a premium-quality 100% acrylic-latex paint that provides a long-lasting, tough finish. This flat/matte sheen sample covers up to 16 sq. ft. and may be tested on almost any interior or exterior surface. On-screen and printer color representations may vary from actual colors. Liquid samples are not returnable but are an invaluable resource to help you select the right paint color.

California residents: see [Proposition 65 information](#).

- 8 oz. ready-to-go tester can be tested on almost any interior or exterior surface
- Flat/matte sheen
- Covers up to 16 sq. ft.
- Note: On-screen and printer color representations may vary from actual colors
- Liquid samples are not returnable but are an invaluable resource to help you select the right paint color
- Liquid samples are not returnable but are an invaluable resource to help you select the right paint color
- Actual paint colors may vary from on-screen and printer representations
- Use our online calculator to determine the ideal amount of paint to complete your project
- MFG Model # : 290E-2PP

Info & Guides

Instructions / Assembly

MSDS

Use and Care Manual

You will need Adobe® Acrobat® Reader PDF documents. [Download](#) a free c Adobe Web site.

Paint specification



Roof shingle specification.
Royal Sovereign. 'Golden Cedar'.

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Don Jenkins

PROPERTY ADDRESS: 417 S. Clinton

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

conditions

- *117 siding to match the home*
- *garage door needs to match style-wise, the garage door that currently exist*
- *overhang of roof should be 18 inches*
- *color/shingles should match existing house*

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: *Jeff*
2nd: *Holli*

Task Force members in favor: *Jeff, sandi, holli, froed*

Task Force members opposed: *garth*

Basis for opposition: *insufficient information submitted*

CHAIR, Task Force *[Signature]* DATE *10/9/13*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-017(MD)
LOCATION: 502 N. Clinton
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 3
ZONING: PD-87, Tract 4B

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Jim Anderson

REPRESENTATIVE: None.

OWNER: MAYO SCOGIN

REQUEST:

- 1) Install new landscaping along street right-of-way.
- 2) Construct new office, studio and patio addition.

BACKGROUND / HISTORY:

10/3/11 - Signage approved by Landmark Commission (CA101-372(CH)).
2/4/13 – Landmark Commission approved new signage (CA123-218(MD))

ANALYSIS: At the Task Force meeting, it was recommended that the prickly pear requested be removed, plus create a small reveal between the existing structure and the new construction. Both of those requests were followed by the Applicant, and the request meets the other standards in the Winnetka Heights preservation criteria, therefore, Staff is recommending approval.

STAFF RECOMMENDATION:

- 1) Install new landscaping along street right-of-way. – Approve with conditions - Approve drawings and specifications dated 10/26/13 with the conditions that all other applicable development code issues are addressed and resolved with the finding of fact the proposed work is consistent with the criteria for landscaping in the preservation criteria Section 51P-87.111(b)(1), (4), (5), (6) and (9)(A)(ii), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Construct new office, studio and patio addition. – Approve with conditions - Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-87.1117.3(a)(1)(A),(D),and (F) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

- 1) Install new landscaping along street right-of-way. – Approve with conditions - Removal of prickly pear from landscape plan. Color should be black on the lighting.
- 2) Construct new office, studio and patio addition. – Approve with conditions - Consider a small 6-8 inch inset on office.

CP

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 134 - 017 (MD)
Office Use Only

Name of Applicant: JIM AMORSON
Mailing Address: 4700 SWISS AVENUE
City, State and Zip Code: DALLAS TX 75204
Daytime Phone: 214 620 7870 Fax: 214 821 3936
Relationship of Applicant to Owner: CONSULTANT

Building Inspection:
Please see signed drawings before issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 502-05 N. CLINTON
Historic District: WILBERT HEARDS

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

1. STREET TREES + PAVING TO MATCH PREVIOUSLY APPROVED AT THEATER. REVIEW OF PAVING, BENCHES, PLANTERS/BURNERS, BOLLARDS, BIKE RACKS + LIGHTING IN E-P-U
2. PATIO LOCATED ALONG CLINTON. REVIEW OF PAVING, BENCHES, PLANTERS, LIGHTING TABLES AND CHAIRS.
3. OFFICE ADDITION TO EXISTING OFFICE BUILDING (APPROX 358 SQ FT)
4. DANCE STUDIO ADDITION TO EXISTING OFFICE BUILDING (APPROX 2915 SQ FT)

ON BOTH ADDITIONS BRICK WILL COORDINATE BUT NOT BE AN EXACT MATCH TO EXISTING BRICK.
ROOFS WILL BE FLAT.

Signature of Applicant: [Signature] Date: 10/1/13 RECEIVED BY

Signature of Owner: [Signature] Date: 10/1/13 OCT 6 2013
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Current Planning

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

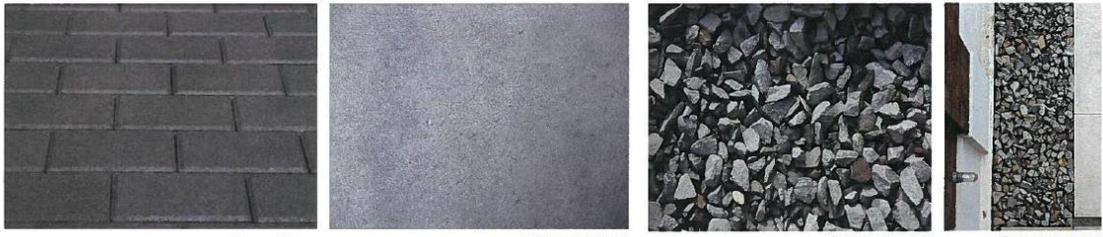
Sustainable Construction and Development _____ Date _____



West elevation.



Partial west and south elevation.



Charcoal Pavers

Reinforced Concrete

Crushed Aggregate:
Silvermist (3/8" minus)

Crushed Aggregate:
Silvermist Rip Rap (2"-6" Dia.)



"Stay"
by Landscape Forms

"Chase Park"
by Landscape Forms

"Emerson"
by Landscape Forms

10/16/13

Site furniture specifications



Allee Elm

Spreading Rush 'Erk Blue'

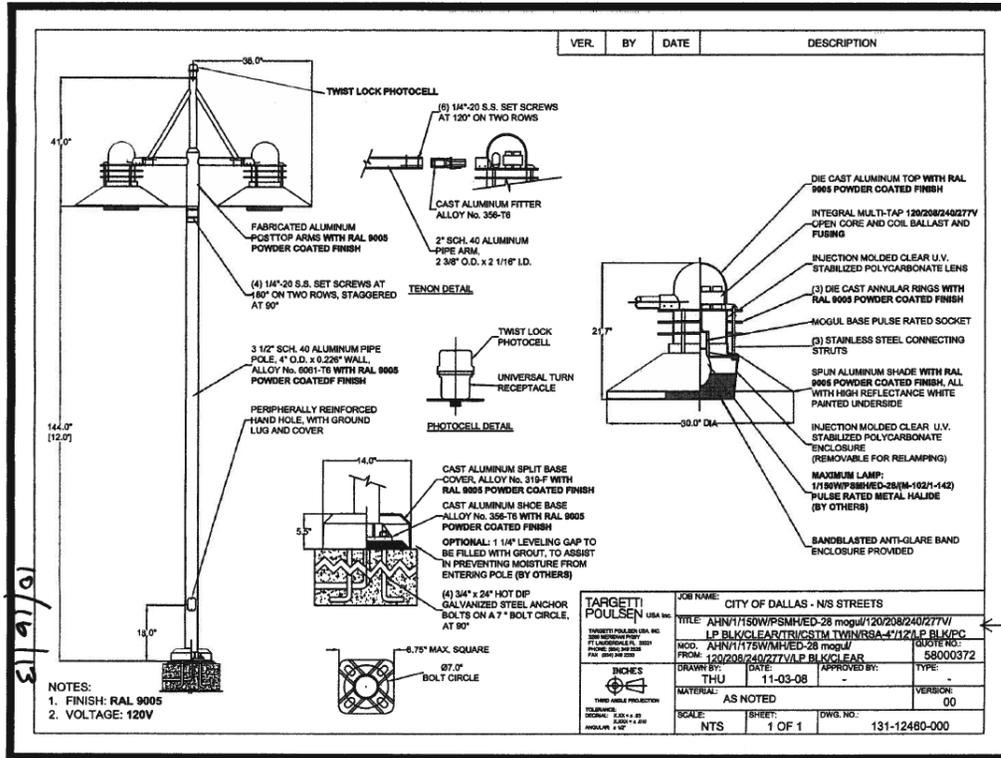


Spineless Prickly Pear

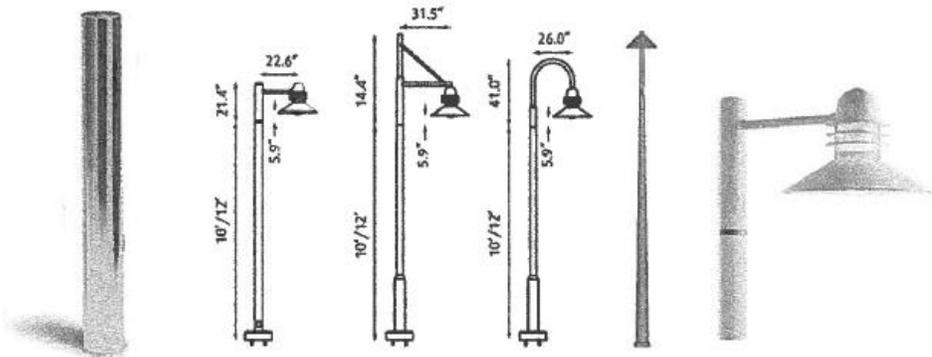
Pink Skullcup

10/16/13

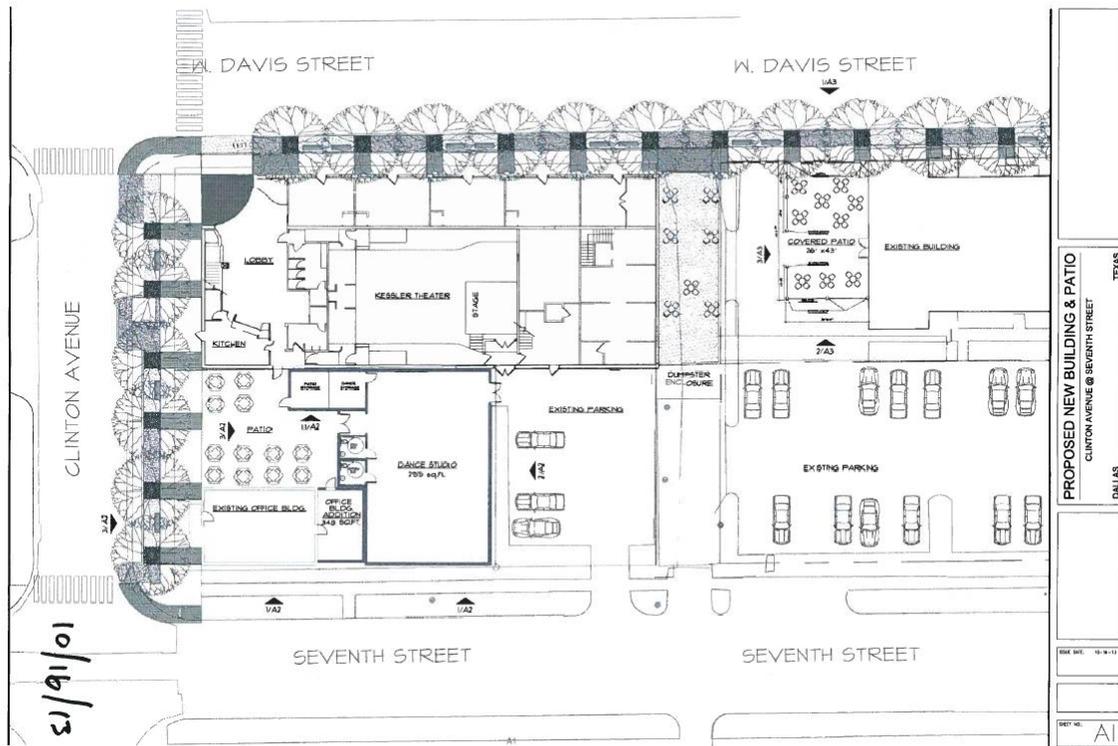
Proposed planting selection.



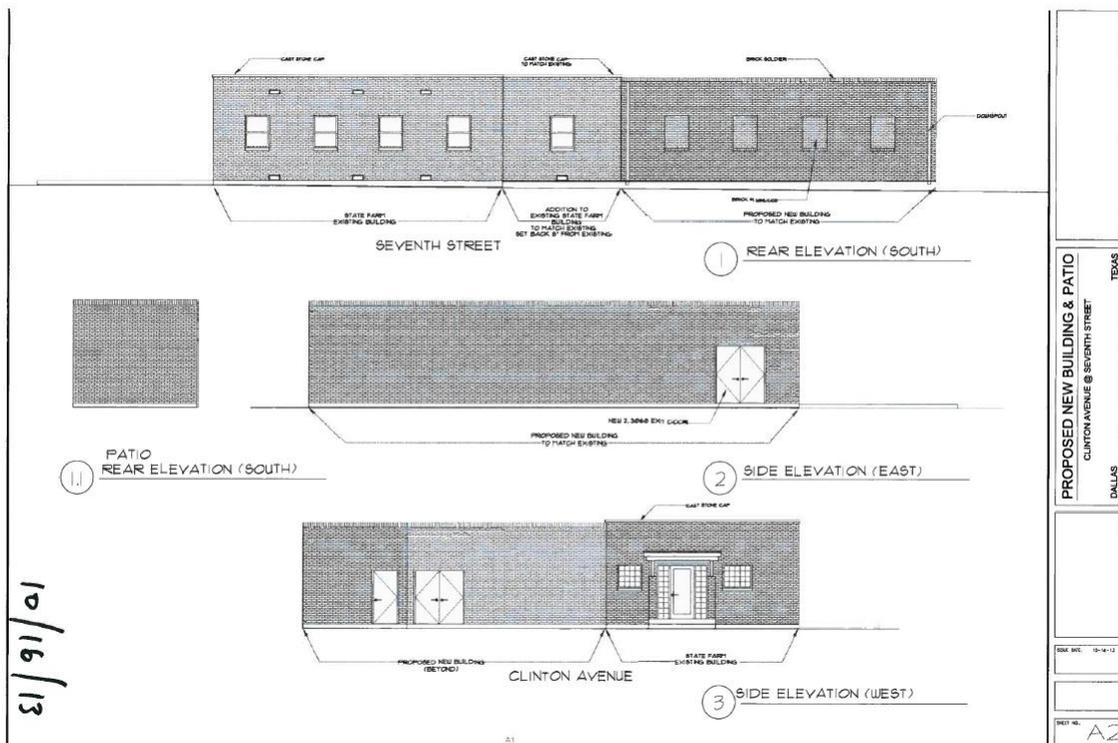
Lighting specification.



10/16/13



Site Plan.



Proposed elevations of new addition.



Brick specification.

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013
TIME: 5:30pm
MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Jim Anderson
PROPERTY ADDRESS: 502 N. Clinton
DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

1) see agenda item 5 for landscape/lighting
2) condition: consider a small 6-8 inch inset on office

Task force members present

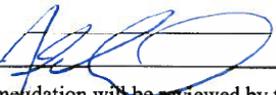
<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: Jeff
2nd: Gundi

Task Force members in favor: all
Task Force members opposed: none
Basis for opposition:

CHAIR, Task Force  DATE 10/9/13

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**NOVEMBER 4, 2013**

FILE NUMBER: CA134-018(MD)
LOCATION: 1214 W. Davis
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87, Tract 4B

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Jim Anderson

REPRESENTATIVE: None.

OWNER: KESSLER THEATER LLC

REQUEST:

Install new landscaping along street right-of-way.

BACKGROUND / HISTORY: None.

ANALYSIS: At the Task Force meeting, it was recommended that the prickly pear requested be removed from the landscaping plans. This request was followed by the Applicant, and the request meets the other standards in the Winnetka Heights preservation criteria, therefore, Staff is recommending approval.

STAFF RECOMMENDATION:

Install new landscaping along street right-of-way. – Approve with conditions - Approve drawings and specifications dated 10/26/13 with the conditions that all other applicable development code issues are addressed and resolved with the finding of fact the proposed work is consistent with the criteria for landscaping in the preservation criteria Section 51P-87.111(b)(1), (4), (5), (6) and (9)(A)(i), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install new landscaping along street right-of-way. – Approve with conditions - Removal of prickly pear from landscape plan. Color should be black on the lighting.

**Certificate of Appropriateness (CA)
City of Dallas Landmark Commission**

CA 134 - 018 (MD)
Office Use Only

Name of Applicant: JIM ANDERSON
 Mailing Address: 4706 SWISS AVENUE
 City, State and Zip Code: DALLAS TX 75209
 Daytime Phone: 214 620 7870 Fax: 214 821 3936
 Relationship of Applicant to Owner: CONSULTANT

Building Inspection:
Please see signed drawings before issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 1230 WEST DAVIS
 Historic District: WINNETKA HEIGHTS

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

1. STREET TREES AND PAVING IN THE RIGHT-OF-WAY PREVIOUSLY APPROVED
2. REVIEW OF BENCHES, PLANTER/URNS, BOLLARDS, BIKE RACKS AND LIGHTING IN THE CITY RIGHT-OF-WAY.

RECEIVED BY
OCT 03 2013

Signature of Applicant: [Signature] Date: 10/1/13 Current Planning
 Signature of Owner: [Signature] Date: 10/1/13
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON.** (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

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Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

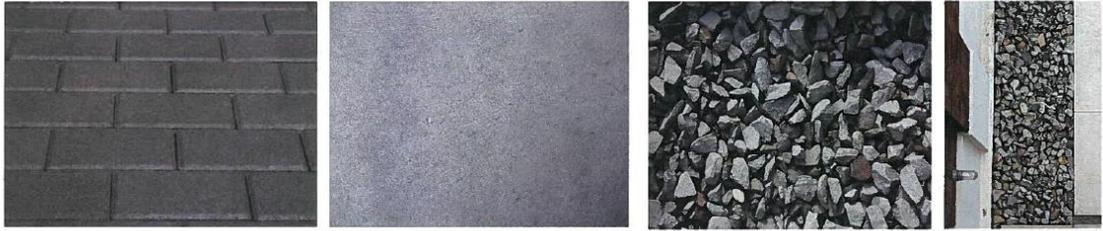
Sustainable Construction and Development _____ Date _____



Partial west and north elevations.



View east down W. Davis.



Charcoal Pavers

Reinforced Concrete

Crushed Aggregate:
Silvermist (3/8" minus)

Crushed Aggregate:
Silvermist Rip Rap (2"-6" Dia.)



"Stay"
by Landscape Forms

"Chase Park"
by Landscape Forms

"Emerson"
by Landscape Forms

10/16/13

Site furniture specifications



Allee Elm

Spreading Rush 'Erk Blue'

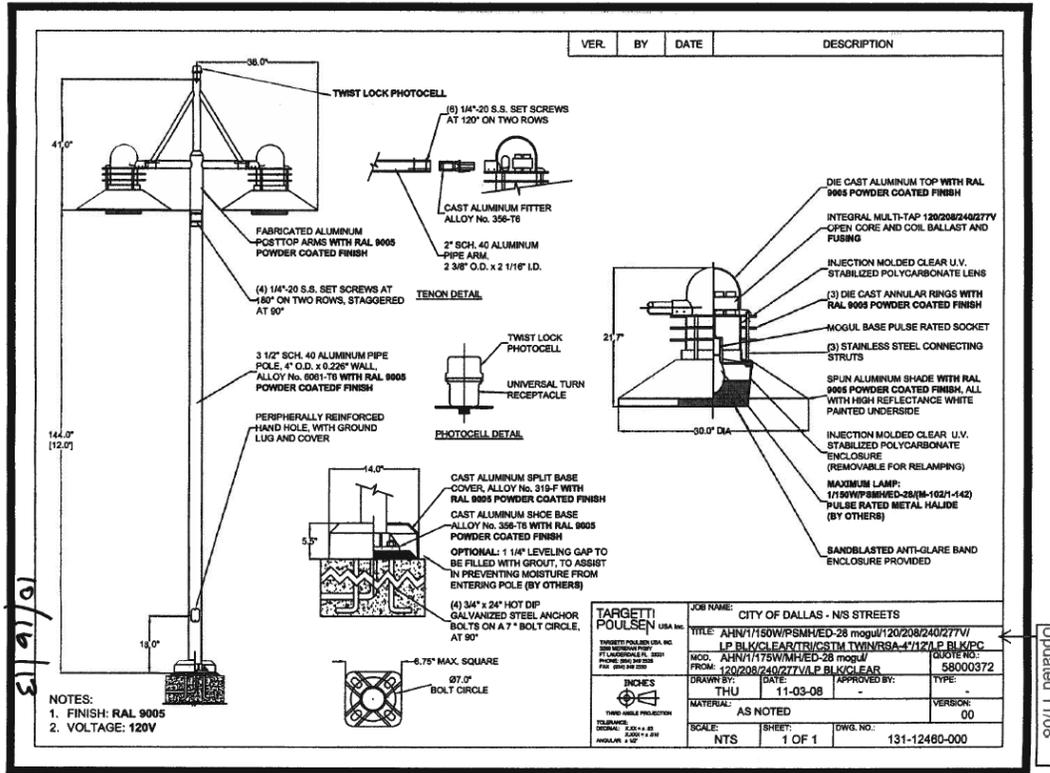


Spineless Prickly Pear

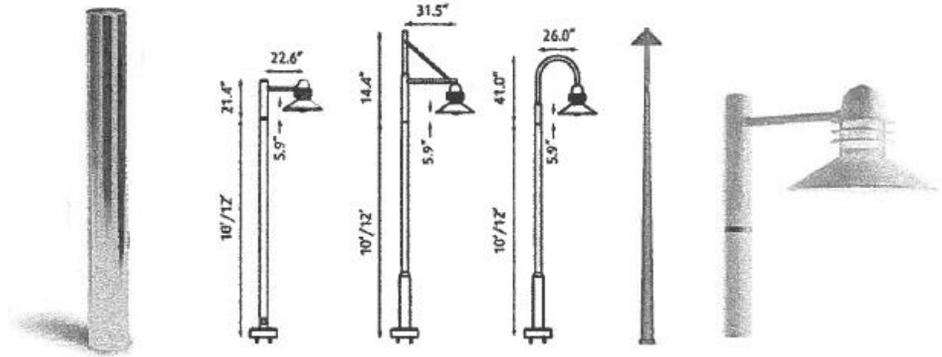
Pink Skullcup

10/16/13

Proposed planting selection.



Lighting specification.



Bollard

Nyhavn Pendant
by Louis Poulsen

10/16/13

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013
TIME: 5:30pm
MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Jim Anderson
PROPERTY ADDRESS: 1230 W. Davis
DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

conditions:

- removal of prickly pear from landscape plans*
- color should be black on the lighting*

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: *Jeff*
2nd: *Fred*
Task Force members in favor: *Jeff, Fred, Holli*
Task Force members opposed: *Sandi, Garth*
Basis for opposition: *prefer accor lighting*

CHAIR, Task Force *[Signature]* DATE *10/9/13*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-010(MD)
LOCATION: 306 N. Windomere
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87, Tract 1

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-A
CENSUS TRACT: 46.00

APPLICANT: Crystal Gonzalez

REPRESENTATIVE: None.

OWNER: BOSSAY STEPHEN L & CANDACE L

REQUEST:

Install new railing on first floor porch.

BACKGROUND / HISTORY: The structure is considered 'compatible' in the Winnetka Heights National Register district.

ANALYSIS: Generally, Staff is not receptive to conjectural features being placed on a structure without evidence of something existing before in that location. However, since this structure is non-contributing, with most of the New-classical front porch elements added in late 1986-1987, Staff is recommending approval.

STAFF RECOMMENDATION:

Install new railing on first floor porch. – Approve - Approve drawings dated 10/16/13 with the finding the proposed work is compatible with the historic overlay district, Section 51P-87.111(a)(11)(A) and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Install new railing on first floor porch. – Approve.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 134 - 010 (MD)
 Office Use Only

CT

Name of Applicant: Crystal Gonzalez
 Mailing Address: 306 N. Windomere Ave.
 City, State and Zip Code: Dallas, TX 75208
 Daytime Phone: 214-642-9130 Fax: _____
 Relationship of Applicant to Owner: owner

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials

PROPERTY ADDRESS: 306 N. Windomere Ave. 75208
 Historic District: Winnetka Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Build new guard rail to match existing 2nd story balcony guardrail.

RECEIVED BY

Signature of Applicant: C. Gonzalez Date: 9/12/13
 Signature of Owner: _____ Date: _____
 (IF NOT APPLICANT)

OCT 03 2013

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4536 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

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- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development _____ Date _____



Existing west elevation.



EXISTING WEST ELEVATION

SCALE: 1/8"=1'-0"

DATE: 08/29/2013



Residential Design Services LLC
4050 Williamsburg Road • Dallas, Texas 75220 • (817) 263-2634
pross@residentialdesignservices.net

GONZALEZ RESIDENCE FRONT FACADE ALTERATION

306 N. WINDOMERE AVE.

DALLAS TEXAS

job no
1327
sheet
A-1



NEW GUARD RAIL
TO MATCH EXISTING
2ND STORY BALCONY
GUARD RAIL

NEW WEST ELEVATION

SCALE: 1/8"=1'-0"

10/16/13

DATE: 08/29/2013


Residential Design Services LLC
4050 Williamsburg Road • Dallas, Texas 75220 • (817) 253-2634
rross@residentialdesignservices.net

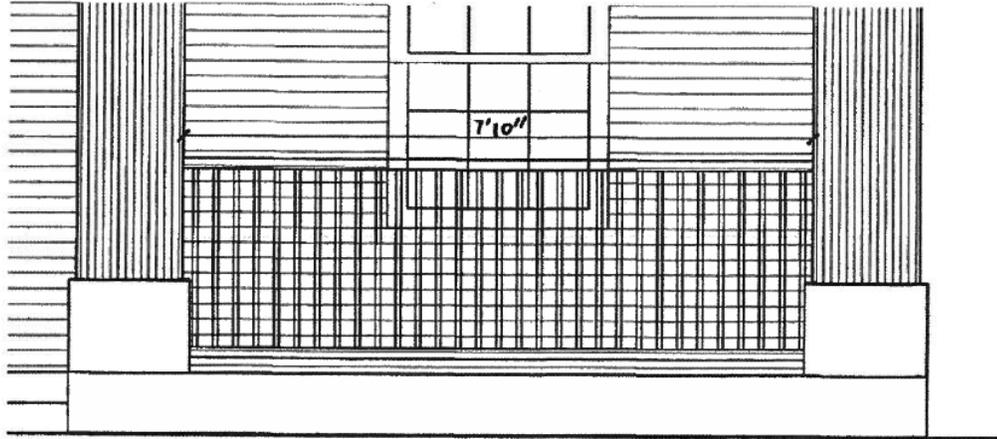
GONZALEZ RESIDENCE
FRONT FACADE ALTERATION

306 N. WINDOMERE AVE.

DALLAS TEXAS

job no
1327
sheet
A-2

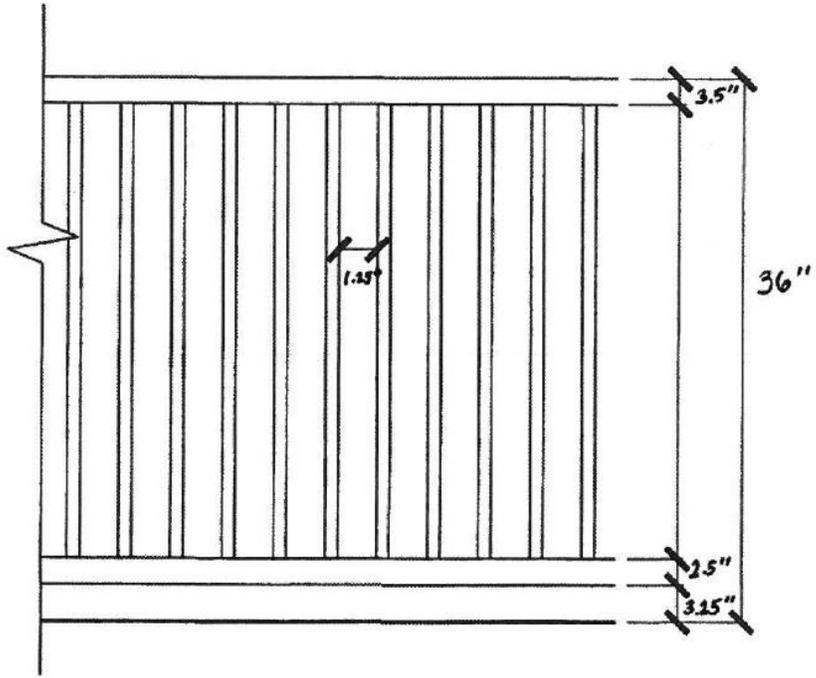
ELEVATION OF PROPOSED RAILING DETAIL - LEVEL 1



10/16/13

HORIZONTAL RAILING DETAIL AND SPECS

10/16/13



TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Crystal Gonzalez

PROPERTY ADDRESS: 306 N. Windomere

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: *Jeff*
2nd: *Garth*

Task Force members in favor: *all*
Task Force members opposed: *none*
Basis for opposition:

CHAIR, Task Force



DATE 10/9/13

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-009(MD)
LOCATION: 500 N. Winnetka Avenue
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 1
ZONING: PD-87, Tract 1

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Mango Properties

REPRESENTATIVE: None.

OWNER: AKERS RICHARD L & MICHELLE

REQUEST:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'.

BACKGROUND / HISTORY: None.

ANALYSIS: The proposed colors meet the requirements of the Winnetka Heights preservation criteria and neither Staff nor Task Force had an issue with the proposal, so Staff is recommending approval.

STAFF RECOMMENDATION:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'. – Approve - Approve paint specification dated 10/21/13 with the finding the proposed work is consistent with the criteria for color in the preservation criteria Section 51P-87.111(a)(8)(C), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

Paint main structure. Brand: Sherwin Williams. Body - SW 7507 'Stone Lion'. Trim - SW 7028 'Incredible White'. Accent - SW 6151 'Qwiver Tan'. – Approve.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CP

CA 134 - 009 (MD)
 Office Use Only

Name of Applicant: Richard and Michelle Akers
 Mailing Address : 1169 N. Canterbury Ct
 City, State and Zip Code: Dallas, Texas 75028
 Daytime Phone: 214-282-5170 Fax: _____
 Relationship of Applicant to Owner: Same

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials

PROPERTY ADDRESS: 500 N. Winnetka
Historic District: Winnetka Heights

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Complete restoration and repainting of wood exterior using Sherwin Williams SW 7507 (Stone Lion) as the base house color, Sherwin Williams SW 7028 (Incredible White) as the outside frame trim color and Sherwin Williams SW 6151 (Quiver Tan) as the inside frame trim color. Paint chip samples are attached.

Signature of Applicant:  Date: September 8, 2013

Signature of Owner: _____ Date: _____
 (IF NOT APPLICANT)

RECEIVED BY
 OCT 6 3 2013
 Current Planning

APPLICATION DEADLINE:

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OTHER:

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- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development **Date**



West and partial south elevation.



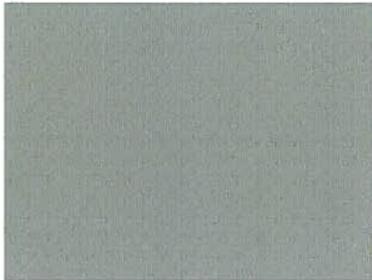
West and partial north elevation.

500 N. Winnetka





COLOR DETAILS



Body -

SW7507 STONE LION

Interior/Exterior

COLLECTION

Traditional Twist

COLOR FAMILIES

Color Family
Warm Neutrals

RGB VALUE

R: 180

G: 165

B: 147

LRV

38

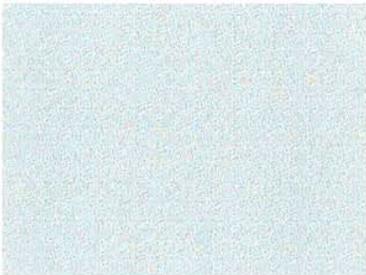
HEX VALUE

#B4A593

10/16/13



COLOR DETAILS



TRIM -

SW7028 INCREDIBLE WHITE

Interior/Exterior

COLLECTION

Traditional Twist

COLOR FAMILIES

Color Family
Whites

RGB VALUE

R: 228

G: 223

B: 216

LRV

75

HEX VALUE

#E4DFD8

10/16/13



SHERWIN-WILLIAMS.

COLOR DETAILS



ACCENT -

SW6151 QUIVER TAN

Interior/Exterior

COLLECTION

RA 8 , Ragging , Traditional Twist

COLOR FAMILIES

Color Family
Warm Neutrals

RGB VALUE

R: 144

G: 132

B: 109

LRV

22

HEX VALUE

#90846D

10/16/13

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Richard Akers

PROPERTY ADDRESS: 500 N. Winnetka

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker:

2nd:

Task Force members in favor:

Task Force members opposed:

Basis for opposition:

CHAIR, Task Force

DATE

10/9/13

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-016(MD)
LOCATION: 509 N. Winnetka Avenue
STRUCTURE: Main & Non-Contributing
COUNCIL DISTRICT: 3
ZONING: PD-87, Tract 4B

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Winnetka Heights
MAPSCO: 54-B
CENSUS TRACT: 0046.00

APPLICANT: Jim Anderson

REPRESENTATIVE: None.

OWNER: MAYO SCOGIN

REQUEST:

- 1) Install new landscaping along street right-of-way.
- 2) Construct new covered patio on rear of structure.

BACKGROUND / HISTORY: None.

ANALYSIS: At the Task Force meeting, it was recommended that the prickly pear requested be removed from the landscaping plans. This request was followed by the Applicant, and the request meets the other standards in the Winnetka Heights preservation criteria, therefore, Staff is recommending approval.

STAFF RECOMMENDATION:

- 1) Install new landscaping along street right-of-way. – Approve with conditions - Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-87.117.3(a)(1)(A), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).
- 2) Construct new covered patio on rear of structure. – Approve with conditions - Approve drawings and images dated 10/16/13 with the finding the proposed work is consistent with the criteria for additions in the preservation criteria Section 51P-87.117.3(a)(1)(A), and it meets the standards in City Code Section 51A-4.501(g)(6)(C)(ii).

TASK FORCE RECOMMENDATION:

- 1) Install new landscaping along street right-of-way. – Approve with conditions - Removal of prickly pear from landscape plan. Color should be black on the lighting.
- 2) Construct new covered patio on rear of structure. – Approve.



East elevation.



West and partial south elevation.

CP

Certificate of Appropriateness (CA) City of Dallas Landmark Commission

CA 134-016 (MD)
Office Use Only

Name of Applicant: JIM ANDERSON
Mailing Address: 9706 SWISS AVENUE
City, State and Zip Code: DALLAS TX 75204
Daytime Phone: 214 629 7870 Fax: 214 821 3936
Relationship of Applicant to Owner: CONSULTANT

Building Inspection:
Please see signed drawings before issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 505-09 N. WILPERKA
Historic District: WILPERKA DISTRICT

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

1. STREET TREES AND PAVING TO MATCH THAT AT THE KESSLER THEATER BUILDING WHICH WAS PREVIOUSLY APPROVED. PAVING, BENCHES, PLANTER/URNS, BOLLARDS, BIKE RACKS AND LIGHTING IN R.O.W. 2. COVERED PATIO LOCATED IN THE REAR OF STRUCTURE FLAT ROOF WITH COLUMNS TO MATCH EXISTING FENCE 3. PATIO PAVILLO, BENCHES, PLANTERS, LIXING TABLES AND CHAIRS.

Signature of Applicant: [Signature] Date: 10/1/13 OCT 03 2013
Signature of Owner: [Signature] Date: 10/1/13 Current Planning
(IF NOT APPLICANT)

APPLICATION DEADLINE:

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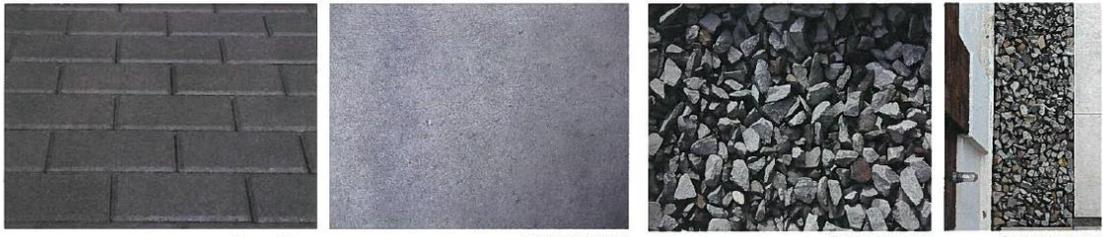
OTHER:

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Memorandum to the Building Official, a Certificate of Appropriateness has been:

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- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development _____ Date _____



Charcoal Pavers

Reinforced Concrete

Crushed Aggregate:
Silvermist (3/8" minus)

Crushed Aggregate:
Silvermist Rip Rap (2"-6" Dia.)



"Stay"
by Landscape Forms

"Chase Park"
by Landscape Forms

"Emerson"
by Landscape Forms

10/16/13

Site furniture specifications



Allee Elm

Spreading Rush 'Erk Blue'

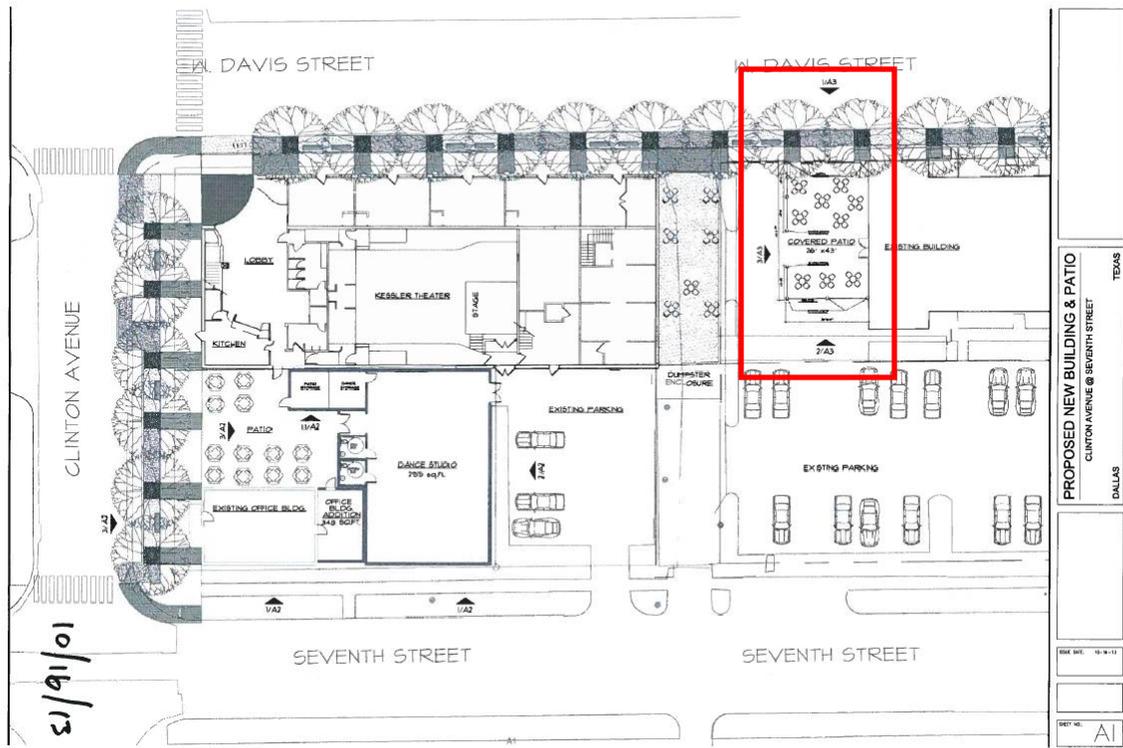


Spineless Prickly Pear

Pink Skullcup

10/16/13

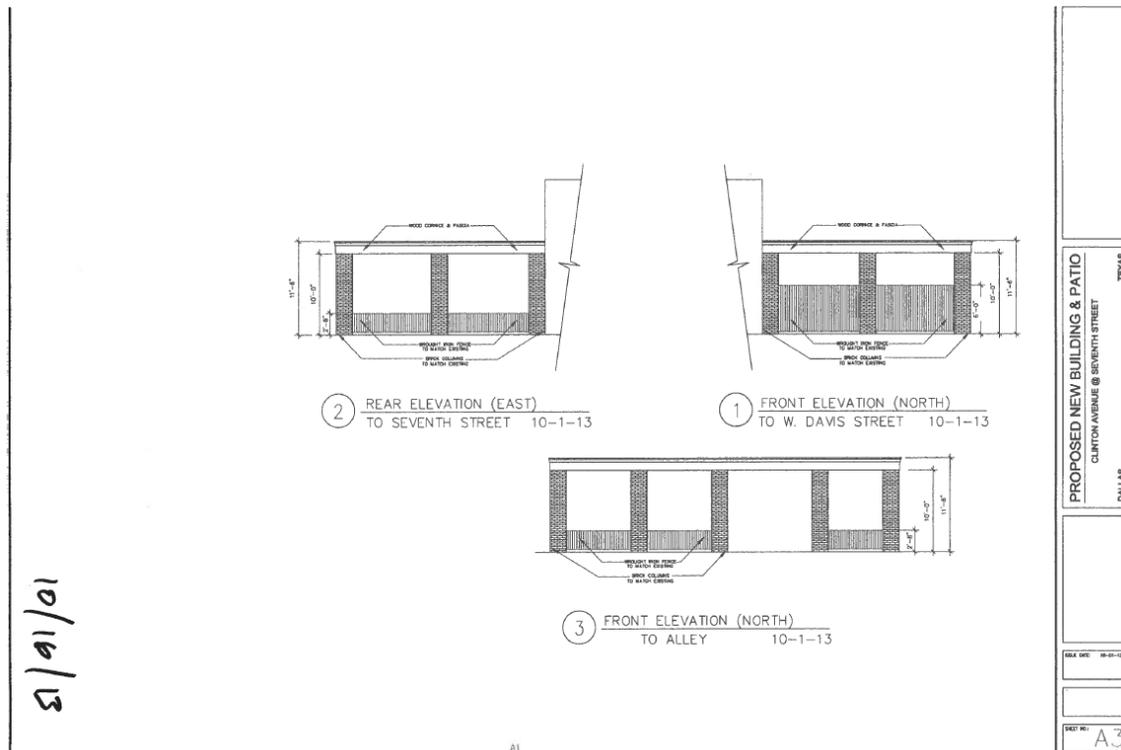
Proposed planting selection.



Site Plan.



Proposed elevations of new addition.





French doors on the rear will have similar appearance.

TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Jim Anderson

PROPERTY ADDRESS: 505 N. Winnetka

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

1) see aged item 5
2) approve as submitted

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: *Sandi*

2nd: *Garth*

Task Force members in favor: *all*

Task Force members opposed: *none*

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE *10/9/13*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-008(MD)
LOCATION: 3333 Elm Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 2
ZONING: PD-269

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Continental Gin
MAPSCO: 46-J
CENSUS TRACT: 0204.00

APPLICANT: IV ARCHITECTURE, INC

REPRESENTATIVE: REES BOWEN

OWNER: WESTDALE PROPERTIES

REQUEST: Exterior renovations to Continental Gin buildings.

BACKGROUND / HISTORY:

9/3/2013 – Landmark Commission denied without prejudice this same request (CA123-599(MD)).

The structures under review within the Continental Gin historic district are the Office Building and the Power Plant, located directly behind the Office Building.

ANALYSIS: The proposed project is a potential Federal Tax Credit project, which requires a review by the National Park Service using the Secretary of the Interior's Standards. D1-4 – D1-7 indicate responses back to NPS from the Applicant, but since final comments from NPS on exterior work have not been received by Staff at the time of this case report, Staff is still recommending denial without prejudice so that any comments that might affect the exterior work are received and incorporated into a final submittal for Landmark Commission review.

STAFF RECOMMENDATION: Exterior renovations to Continental Gin buildings.
– Deny without prejudice - The submitted drawings do not reflect potential National Park Service comments as part of a Federal Tax Credit review. Staff would like to see those comments incorporated into a later submittal.

TASK FORCE RECOMMENDATION: Exterior renovations to Continental Gin buildings. – Deny without prejudice - Resubmittal to include the response to the letter dated 9/20/2013 from IV Architecture, Inc. from the National Park Service,

with their comments. Also include colors & other descriptive information with the next submittal.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 123-599 (mg)
 Office Use Only

Name of Applicant: IV ARCHITECTURE, INC. - REES BOWEN
 Mailing Address: 10405 LAKE GARDENS DR.
 City, State and Zip Code: DALLAS, TX, 75218
 Daytime Phone: 214-564-3896 Fax: _____
 Relationship of Applicant to Owner: ARCHITECT

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials _____

PROPERTY ADDRESS: 3333 ELM STREET.
 Historic District: CONTINENTAL GIN COMPANY

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

RENOVATION OF EXISTING BUILDING(S) LOCATED AT 3333 ELM STREET PROPERTY (PART OF CONTINENTAL GIN COMPANY COMPLEX). PLEASE SEE ATTACHED RENDERED ELEVATIONS AND FLOOR PLANS FOR SCOPE OF WORK.

RECEIVED BY
 AUG 6 1 2013

Current Planning

Signature of Applicant: [Signature] Date: 7/1/2013
 Signature of Owner: [Signature] Date: 7/1/2013
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be completed and submitted by the **FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

 Sustainable Construction and Development Date



South and partial east elevations.



East elevation.



planning | architecture | interiors | branding

copy

MEMORANDUM

09/20/2013

Tax Incentives Program
Technical Preservation Services
National Park Service
Attn: Gary Sachau
1201 Eye Street, NW, 6th Floor
Washington, D.C. 20005

Re: 3333 Elm Street – Response to NPS Part 2 Review with Additional Documentation and Clarification

Mr. Sachau:

We received your comments on our Part 2 submittal for 3333 Elm Street. Per your request, documents attached have been added, modified and or updated. Miscellaneous supporting documentation has also been included for consideration in your review and recommendations. Our response is indicated in blue below.

After reviewing the Interior's Standards for Rehabilitation as it relates to the 3333 Elm Street Project, we have attached previously NPS approved Buildings located in the Deep Ellum area in Dallas, Texas where similar work was performed as the work we are proposing at the 3333 Elm Street Building (below section 1)). This confirms that the items identified below with relative responses would meet the Interior's Standards for Rehabilitation.

NPS Part 2 Review Comments with Requested Clarification Items and Verification Responses (in Blue):

1) The following work does not meet the Standards for Rehabilitation:

- a) Creating enclosed patios and patio entrances on the east elevation of the front building. These are incompatible changes to a highly articulated elevation that is adjacent to the front elevation and highly visible from the street. To meet the Standards, this work must be deleted from the project scope. We have attached several examples of previously approved NPS tax credit projects with similar conditions and treatment. In addition, once the security perimeter metal fencing is installed along the perimeter of the parking lot, the visibility of the east façade will be greatly reduced. We would ask for reconsideration for this item. The proposed patio fence screening would be changed to be similar to the metal fencing at the back patios - modified per your request.
- b) Enclosing the proposed back building (north) patios with wood fences. Wood enclosures or fences are associated more with residential properties rather than industrial ones, unless historic documentation of this property can be produced that demonstrates that similarly designed wood fences were used around this building. Metal fences would be compatible with the industrial nature of this property. To meet the Standards, the patio fence proposal must be revised to reflect this guidance. See attached. The fencing at the back patios will be modified to be more industrial similar to the fencing shown in the attached photograph.

IV architecture, inc.

| fourarc.com

| Dallas, Texas

| 214-564-3896



09/20/2013

Page 2

Re: 3333 Elm Street – Response to NPS Part 2 Review with Additional Documentation and Clarification

(continued)

4) Creating openings without windows in the east and west elevations of the one-story building between the front and back buildings (openings identified as "4A" on the elevation drawings). To meet the Standards, these new openings must be filled with compatible windows (see below discussion on "4B" windows for guidance on compatible windows in new openings). We have attached several examples of previously approved NPS tax credit projects with similar conditions and treatment. These new openings are not located on a part of the original historic fabric to this site. They are to serve as openings for a covered patio on the east and west elevations in the middle one story building. One of the examples provide shows the original wood mullions which were removed and replaced with metal screen infill; in addition to several highly visible new openings, also with metal panel infill. We would ask for reconsideration for this item. Metal panel infill could be a solution if you find it appropriate.

d) Inserting floor structure that intersects windows in the front building (to create a new second level within the historic first level). No floor structure may intersect windows on the south, east and west elevations. Eliminating this new second-floor construction would meet the Standards. We have attached several examples of previously approved NPS tax credit projects with similar conditions and treatment. The east side of the front building already has a mezzanine floor structure in place (several photographs of this condition are attached). Please note the minimal visible impact on the exterior photograph attached. We would propose keeping the existing floor structure in its location and adding onto it per the previously submitted mezzanine plan for the front building. Please note that the second floor has the height to incorporate a mezzanine level. The thought was to minimize the impact from the exterior. Our decision was to locate the mezzanine on the 1st floor volume for two reasons: 1) an existing mezzanine was already in place in this volume; and 2) locating the mezzanine within this volume had minimal impact in comparison to locating in within the 2nd floor volume. In our past experience we have observed several buildings with original slabs located in window openings. A possibility could also be to provide opaque or frosted glass at the areas where the mezzanine floor intersects the window. However, this would probably bring more attention to this situation. Additionally, once the security perimeter metal fencing is installed along the perimeter of the parking lot, the visibility of the east façade will be greatly reduced. We would ask for reconsideration for this item.

e) Eliminating the east-west corridor at the west end of the first floor, and on the historic second floor (new third floor), removing door, transom and relite assemblies along the east-west corridor to accommodate the new apartments. The first floor east-west corridor must be retained, although modest truncation would be acceptable. On both the first and historic second floors, door, transom and relite assemblies must be retained in place as much as possible. On the historic second-floor, historic corridor doorways that are no longer used in both the truncated corridors and new apartments should be fixed in place and remain expressed. To meet the Standards, the corridor proposals must be revised to reflect this guidance. We have attached several examples of previously approved NPS tax credit projects with similar conditions and treatment. In our past experience with these type of tax credit projects, this has not been an issue; in fact, any existing walls on the interior were removed in their entirety. However, we have always made a very conscious effort to retain as much of the feel of the original character where possible. In addition,



09/20/2013

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Re: 3333 Elm Street – Response to NPS Part 2 Review with Additional Documentation and Clarification

(continued)

the components making up these walls have been identified as having a variety of 'hot' material which needs to be abated. Existing elements salvageable such as the door and transom windows will be salvaged and used in the corridors of the front building, as well as in the units in close proximity to their existing locations where possible and appropriate. We would ask for reconsideration for this item.

2) Additional information is needed as follows:

a) If available now, please provide detailed elevation and section drawings of all proposed replacement and new windows, including the wood windows for the front building and the steel windows for the back building. These drawings must include head, jamb, sill and muntin details and show the placement of the windows within their respective openings. Regarding the windows identified as "4B" on the elevation drawings, to be compatible, they must not exactly replicate the historic windows (this can be achieved by reducing the number of window lights or panes, for example). We do not have these sections and details due to the fact that we are not sure if we are approved for the tax credit program. In our past experience, this information would be submitted for approval in the Part 3 process right before or during the construction process. If approved, we will be diligent in submitting this information along with other significant details for review and approval

b) If available now, please provide drawings of the proposed screen for the historic bridge on the west elevation. Please be advised that this treatment must be compatible (wood fencing is likely not compatible), and if a guardrail is required for code purposes, please include detailed information on that as well to demonstrate compatibility. We do not have these sections and details due to the fact that we are not sure if we are approved for the tax credit program. In our past experience, this information would be submitted for approval in the Part 3 process right before or during the construction process. If approved, we will be diligent in submitting this information along with other significant details for review and approval. In respect to the guardrail, it will not be required.

c) For the back building, please indicate whether obscure or frosted glass will be used in portions of windows where floor structure and partitioning are proposed to intersect them. Frosted glass is proposed to be used in all the locations where the floor/wall intersects the window opening(s); unless we are directed otherwise.

d) For both buildings, please provide detailed information on the placement and type of HVAC ductwork. For the front building, which was historically finished, ductwork should be compatibly concealed as much as possible (above ceilings, in chases, in soffits away from windows, etc.). For the back building, which was historically industrial in nature, exposed ductwork placed above or away from windows is acceptable. Our concept for these areas adheres to your statement(s) above. We have attached a sketch diagram for a typical floor for this request. Once the owner has released us to finish our drawings, a final MEP ductwork plan will be submitted for review and approval.



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Page 4

Re: 3333 Elm Street – Response to NPS Part 2 Review with Additional Documentation and Clarification

(continued)

e) For the front building, please clarify that all walls, ceilings, columns, etc., that are finished with plaster will be finished with plaster or drywall in the rehabilitation. In addition, please clarify that trim at all the perimeter walls (window trim, baseboards, etc.) will be retained. All walls, ceilings, columns, etc., that are finished with plaster will be finished with plaster or drywall in the rehabilitation. In addition, trim at all the perimeter walls (window trim, baseboards, etc.) will be retained and/or rehabilitated. Any new elements will match existing with profiles submitted for review and approval.

f) In the back building, will the exposed masonry walls on the interior remain exposed? All of the masonry currently exposed at the interior of the perimeter walls in the back building will remain exposed. Furthermore, it would be our preference to preserve all exposed masonry at the perimeter walls throughout.

Thank you in advance for your comments on the 3333 Elm Street Building. We would like to seek some type of conditional approval if at all possible so we can continue our coordination efforts with the City of Dallas Landmark Commission. Please feel free to call me to discuss any items in question direct at 214-564-3896.

Sincerely,

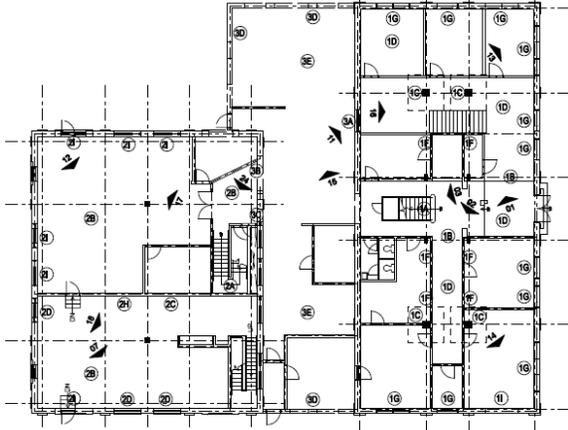
Rees Bowen, Principal
IV Architecture, Inc.
Submitted in Behalf of Westdale Properties

Cc: Adam Alsobrook, Texas Historic Commission
Mark Doty, City of Dallas
Chuck Hixson, Westdale Properties
Adam Langford, Westdale Properties
File

IV architecture, inc. | fourarc.com | Dallas, Texas | 214-564-3896

INTERIOR SCOPE NOTES

- 01 FRONT ELM STREET BUILDING**
 A. DEMOLISH HISTORIC STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET. REFINISH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH. REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 B. DEMOLISH EXISTING WIPERS WOOD PANELING, PATCH AND REPAIR PLASTER AS REQUIRED. MATCH EXISTING TEXTURE (TYP.)
 C. PATCH AND REPAIR PLASTER AT EXISTING COLUMNS AND CORNERS TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 D. DEMOLISH CONCRETE FLOORING PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE AND SEAL AS APPROVED.
 E. DEMOLISH EXISTING WOOD WALLS AS REQUIRED FOR NEW RESIDENTIAL USE. PROVIDE NEW WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP.)
 F. DEMOLISH EXISTING WOOD WALLS AS REQUIRED FOR NEW RESIDENTIAL USE. PROVIDE NEW WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP.)
 G. DEMOLISH EXISTING TRANSOM WINDOW TO REPAIR. MATCH EXISTING MATERIALS AND FINISH. REPAIR OR REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION.
 H. DEMOLISH EXISTING BRICK INFILL TO BOTTOM OF STEEL AS INDICATED IN FLOOR PLANS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING IN TEXTURE AND MATERIAL.
 I. REMOVE EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL AND PROFILE.
- 02 BACK BUILDINGS**
 A. REMOVE CARPET TO REMAIN. REMOVE CARPET AND PREP TO REFINISH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 B. DEMOLISH EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL USE. PROVIDE NEW WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP.)
 D. DEMOLISH EXISTING WOOD WALLS AS REQUIRED FOR NEW RESIDENTIAL USE. PROVIDE NEW WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP.)
 E. DEMOLISH EXISTING TRANSOM WINDOW TO REPAIR. MATCH EXISTING MATERIALS AND FINISH. REPAIR OR REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION.
 F. DEMOLISH EXISTING BRICK INFILL TO BOTTOM OF STEEL AS INDICATED IN FLOOR PLANS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING IN TEXTURE AND MATERIAL.
 G. DEMOLISH EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL AND PROFILE.
- 03 CENTER INFILL BUILDING**
 A. DEMOLISH EXISTING GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 B. DEMOLISH EXISTING MASONRY TO ALLOW FOR NEW DOUBLE STEEL TRUIT DOORS.
 C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE IN HALLWAY FOR COOK. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 D. CLEAN PATCH AND REPAIR EXISTING PLASTER TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 E. DEMOLISH EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH EXISTING BRICK INFILL TO BOTTOM OF STEEL AS INDICATED IN FLOOR PLANS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING IN TEXTURE AND MATERIAL.
 G. DEMOLISH EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL AND PROFILE.



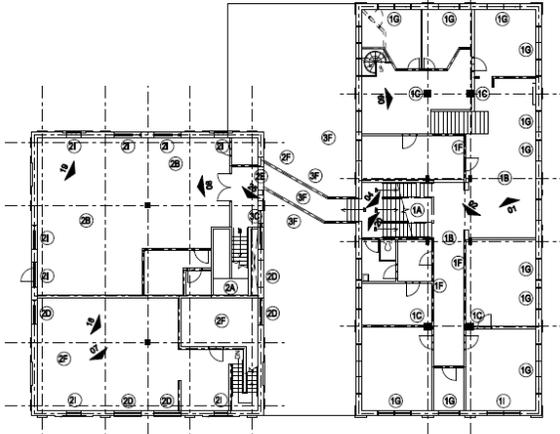
ELM STREET

EXISTING FIRST FLOOR PLAN

JUNE 03, 2013

INTERIOR SCOPE NOTES

- 01 FRONT ELM STREET BUILDING**
 A. EXISTING HISTORIC STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET. REFINISH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH. REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 B. DEMOLISH EXISTING WOOD PANELING, PATCH AND REPAIR AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 C. PATCH AND REPAIR PLASTER AT EXISTING COLUMNS AND COLUMN CAPITALS AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 D. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL USE (NOT TYP).
 E. REFINISH EXISTING WOOD FLOORING. PATCH AND REPAIR AS REQUIRED AT EXISTING WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 F. REPAIR EXISTING WOOD FLOORING. PATCH AND REPAIR AS REQUIRED AT EXISTING WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 G. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR APPROPRIATE HISTORIC REHABILITATION. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER-TIGHT JUNCTION (TYP).
 H. NEW CONSTRUCTION NEW SILL-FRAMED MEZZANINE WITH WOOD FLOORING TO MATCH EXISTING WOOD STAIRCASE AND PROFILE.
 I. REMOVE EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL AND PROFILE.
- 02 BACK BUILDING**
 A. EXISTING STAIR TO REMAIN. REMOVE CARPET AND PREP TO REFINISH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 B. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL USE (NOT TYP).
 D. REPAIR/REPLACE EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL ASSEMBLY, AND PROFILE AS APPROVED (TYP).
 E. DEMOLISH EXISTING MASONRY. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. PROVIDE NEW CONCRETE FLOOR ASSEMBLY TO MATCH EXISTING MATERIALS.
 G. NEW CONSTRUCTION. NEW SILL-FRAMED MEZZANINE WITH WOOD FLOORING TO MATCH EXISTING WOOD STAIRCASE (TYP).
 H. DEMOLISH EXISTING BRICK INFILL TO BOTTOM OF STEEL AS INDICATED IN FLOOR PLANS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING IN TEXTURE AND MATERIAL.
 I. REMOVE EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL, ASSEMBLY, AND PROFILE OF EXISTING SIMILAR WINDOWS AS APPROVED (TYP).
- 03 CENTER WHEEL BUILDING**
 A. REMOVE GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 B. DEMOLISH EXISTING MASONRY TO ALLOW FOR NEW DOUBLE STEEL UTILITY DOORS.
 C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE IN HALLWAY PER CODE. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 D. CLEAN PATCH AND REPAIR EXISTING RED BRICK AT THE BLOCK AS APPROVED. INTERIOR FINISHES. REFERENCE EXTERIOR ELEVATIONS FOR LOCATION OF PROPOSED NEW OPENINGS IN EXISTING WALLS.
 E. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH/RENOVATE PORTION OF EXISTING ROOF FOR NEW CONSTRUCTION INCLUDING CORRIDOR CONNECTION, LOFT UNIT, AND ROOF/ROOF DECK AMENITY(S).



EXISTING SECOND FLOOR PLAN

JUNE 03, 2013



3333 ELM STREET

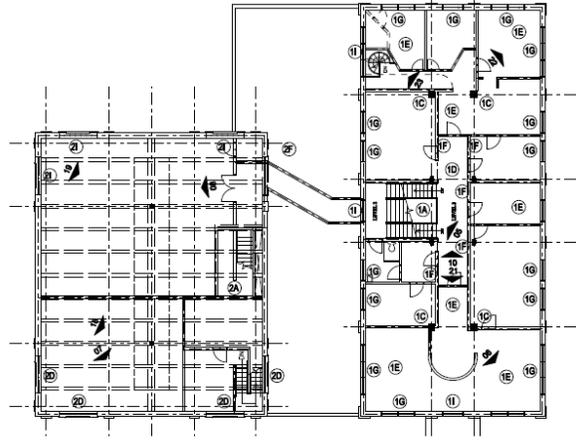
SECTION A

THC | NPS PART 2 SUBMITTAL

A3

INTERIOR SCOPE NOTES

- 01 FRONT ELM STREET BUILDING**
 A. EXISTING HISTORIC STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET. REFINISH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH. REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 B. DEMOLISH EXISTING WOOD PANELING, PATCH AND REPAIR AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 C. PATCH AND REPAIR PLASTER AT EXISTING COLUMNS AND COLUMN CAPITALS AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 D. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LAYOUT (TYP).
 E. REFINISH EXISTING WOOD FLOORING. PATCH AND REPAIR AS REQUIRED AT EXISTING WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 F. REPAIR EXISTING WOOD FLOORING. PATCH AND REPAIR AS REQUIRED AT EXISTING WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 G. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR APPROPRIATE HISTORIC REHABILITATION. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER-TIGHT JUNCTION (TYP).
 H. NEW CONSTRUCTION NEW SILL-FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS (TYP).
 I. REMOVE EXISTING BRICK INFILL. PROVIDE NEW WOOD WINDOW AND TRANSOM TO MATCH EXISTING IN MATERIAL AND PROFILE.
- 02 BACK BUILDING**
 A. EXISTING STAIR TO REMAIN. REMOVE CARPET AND PREP TO REFINISH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 B. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LAYOUT (TYP).
 D. REPAIR/REPLACE EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL ASSEMBLY, AND PROFILE AS APPROVED (TYP).
 E. DEMOLISH EXISTING MASONRY. PATCH AND REPAIR AS REQUIRED FOR NEW RESIDENTIAL LAYOUT (TYP).
 F. PROVIDE NEW CONCRETE FLOOR ASSEMBLY TO MATCH EXISTING MATERIALS.
 G. NEW CONSTRUCTION. NEW SILL-FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS (TYP).
 H. DEMOLISH EXISTING BRICK INFILL TO BOTTOM OF STEEL AS INDICATED IN FLOOR PLANS. PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING IN TEXTURE AND MATERIAL.
 I. REMOVE EXISTING BRICK INFILL. PROVIDE NEW METAL SASH WINDOWS TO MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE OF EXISTING SIMILAR WINDOWS AS APPROVED (TYP).
- 03 CENTER WHEEL BUILDING**
 A. REMOVE GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 B. DEMOLISH EXISTING MASONRY TO ALLOW FOR NEW DOUBLE STEEL UTILITY DOORS.
 C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE IN HALLWAY PER CODE. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 D. CLEAN PATCH AND REPAIR EXISTING RED BRICK AT THE BLOCK AS APPROVED. INTERIOR FINISHES. REFERENCE EXTERIOR ELEVATIONS FOR LOCATION OF PROPOSED NEW OPENINGS IN EXISTING WALLS.
 E. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH/RENOVATE PORTION OF EXISTING ROOF FOR NEW CONSTRUCTION INCLUDING CORRIDOR CONNECTION, LOFT UNIT, AND ROOF/ROOF DECK AMENITY(S).



EXISTING THIRD FLOOR PLAN

JUNE 03, 2013



3333 ELM STREET

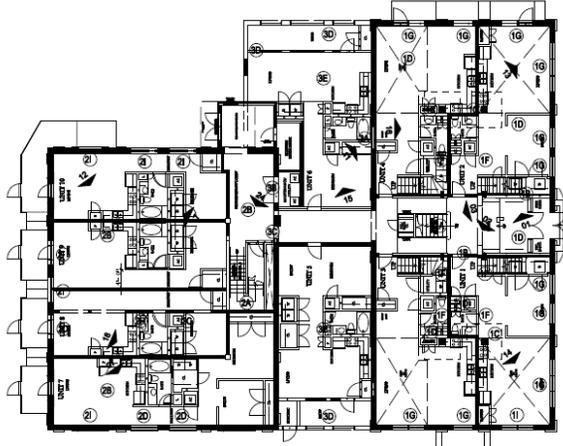
SECTION A

THC | NPS PART 2 SUBMITTAL

A4

INTERIOR SCOPE NOTES

- 01 FRONT (ELM STREET) BUILDING
 - A. DEMOLISH EXISTING STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET. REFRESH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH. REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 - B. DEMOLISH EXISTING WOOD PANELING, PATCH AND REPAIR AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 - C. PATCH AND REPAIR PLASTER AT EXISTING CORNERS AND LOCATIONS AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 - D. DEMOLISH EXISTING FLOORING PATCH AND REPAIR AS REQUIRED. PATCH AT ENTRY OF EXISTING WOOD FLOORING MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 - E. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LOFT LAYOUT (TYP).
 - F. DEMOLISH EXISTING TRANSOM WINDOW TO GENERAL FRAME REQUIREMENTS FOR APPROVED HISTORIC DESIGN. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP).
 - G. NEW CONSTRUCTION, NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS/EAL (TYP.)
- 02 BACK BUILDING
 - A. EXISTING STAIRS TO REMAIN. REMOVE CARPET AND PREP TO REFRESH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 - B. EXISTING CONCRETE FLOORING, PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 - C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LOFT LAYOUT (TYP).
 - D. DEMOLISH EXISTING WOOD WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL ASSEMBLY, AND PROFILE AS APPROVED (TYP).
 - E. DEMOLISH BUILDING MASONRY, PATCH, ST. L. PATCH STRUCTURAL AT HEADERS) AND JAMBS). NEW CONSTRUCTION OF ADJACENT CONCRETE FLOORING TO BE FLUSH WITH EXISTING. PROVIDE EXPANSION JOINT. REF. STRUCTURAL (TYP).
 - F. PROVIDE NEW CONCRETE FLOOR ASSEMBLY TO MATCH EXISTING MATERIALS.
 - G. NEW CONSTRUCTION, NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS/EAL (TYP.)
- 03 CENTER WING BUILDING
 - A. DEMOLISH GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 - B. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE INTERNAL UTILITY FLOORS.
 - C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE INTERNAL UTILITY FLOORS. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 - D. DEMOLISH PORTION OF EXISTING EXTERIOR CLAY TILE BLOCKING WALLS TO PROVIDE SPANACOR. REFER TO EXTERIOR ELEVATIONS FOR LOCATION OF PROPOSED NEW OPENINGS IN EXISTING WALLS.
 - E. EXISTING CONCRETE FLOORING, PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 - F. DEMOLISH/RENOVATE PORTION OF EXISTING ROOF FOR NEW CONSTRUCTION INCLUDING CORRIDOR CONNECTION, LOFT UNIT, AND ROOF/ROOF DECK AMENITY(S)



ELM STREET

FIRST FLOOR PLAN

JUNE 03, 2013



3333 ELM STREET

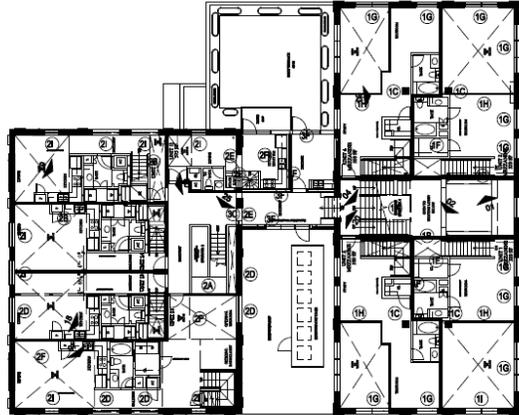
SECTION B

THC | NPS PART 2 SUBMITTAL

B2

INTERIOR SCOPE NOTES

- 01 FRONT (ELM STREET) BUILDING**
 A. DEMOLISH HISTORIC STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET. REFINISH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH. REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 B. DEMOLISH EXISTING WOOD PANELING. PATCH AND REPAIR PLASTER AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 C. PATCH AND REPAIR PLASTER AT EXISTING CORNICES AND COLUMNS TO MATCH EXISTING TEXTURE (TYP).
 D. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 E. DEMOLISH EXISTING WOOD FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW REINFORCED CONCRETE WALLS AND WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 G. DEMOLISH EXISTING MASONRY WALLS AS REQUIRED FOR NEW REINFORCED CONCRETE WALLS AND WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 H. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR AND SEAL AS REQUIRED. HISTORIC REPAIR EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP).
 I. NEW CONSTRUCTION. NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIN/SEAL (TYP).
- 02 BACK BUILDING**
 A. EXISTING STAIR TO REMAIN. REMOVE CARPET AND PREP TO REFINISH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 B. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW REINFORCED CONCRETE WALLS AND WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 D. DEMOLISH EXISTING MASONRY WALLS AS REQUIRED FOR NEW REINFORCED CONCRETE WALLS AND WOOD FLOORING. MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 E. PROVIDE NEW CONCRETE FLOORING TO MATCH EXISTING MATERIALS.
 F. NEW CONSTRUCTION. NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIN/SEAL (TYP).
- 03 CENTER WALK BUILDING**
 A. REMOVE GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 B. DEMOLISH EXISTING MASONRY TO ALLOW FOR NEW DOUBLE STEEL UTILITY DOORS.
 C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CEILING IN HALLWAY PER CODES. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 D. CLEAN PATCH AND REPAIR EXISTING LIGHT TAY CLAY TILE BLOCK PER APPROVED INTERIOR STANDARDS. REFERENCE EXTERIOR ELEVATIONS FOR LOCATION OF PROPOSED NEW OPENINGS IN EXISTING WALLS.
 E. EXISTING CONCRETE FLOORING. PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH/RENOVATE PORTION OF EXISTING ROOF FOR NEW CONSTRUCTION INCLUDING CORRIDOR CONNECTION, LOFT UNIT, AND ROOF/ROOF DECK AMENITY(S).



SECOND FLOOR PLAN

JUNE 03, 2013



3333 ELM STREET

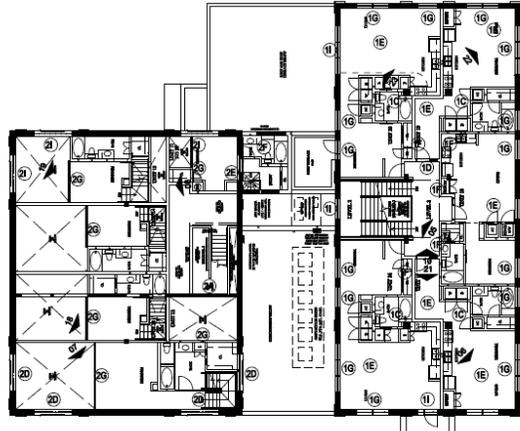
SECTION B

THC | NPS PART 2 SUBMITTAL

B3

INTERIOR SCOPE NOTES

- 01 FRONT ELM STREET BUILDING**
 A. EXISTING HISTORIC STAIR CASE AND COMPONENTS TO REMAIN. REMOVE EXISTING CARPET, REFINISH EXISTING WOOD STAIR TREADS AND RISERS TO MATCH EXISTING FINISH, REFURBISH STAIR COMPONENTS AS REQUIRED PER APPROVED HISTORIC STANDARDS.
 B. DEMOLISH EXISTING 1980S WOOD PANELING, PATCH AND REPAIR PLASTER AS REQUIRED. MATCH EXISTING TEXTURE (TYP).
 C. PATCH AND REPAIR EXISTING CEILING AND COLUMN CAPITAL CEILING AS REQUIRED TO MATCH EXISTING TEXTURE (TYP).
 D. EXISTING CONCRETE FLOORING, PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 E. REFINISH EXISTING WOOD FLOORING, PATCH AND REPAIR AS REQUIRED AT POINT OF ENTRY AND WOOD FLOORING MATCH WOOD TYPE, TEXTURE, SIZE, STAIN AND SEAL TO MATCH EXISTING HISTORIC STAIR CASE (TYP).
 F. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LOFT LAYOUT (TYP).
 G. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR ACCURATE HISTORIC REHABILITATION. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED, REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION, REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP).
 H. NEW CONSTRUCTION, NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS/SEAL (TYP).
- 02 BACK BUILDING**
 A. EXISTING STAIR TO REMAIN. REMOVE CARPET AND PREP TO REFINISH EXISTING WOOD TREADS AND RISERS FOR STAIN TO MATCH FINISH WITH FRONT BUILDING HISTORIC STAIR.
 B. EXISTING CONCRETE FLOORING, PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 C. DEMOLISH EXISTING PLASTER WALLS AS REQUIRED FOR NEW RESIDENTIAL LOFT LAYOUT (TYP).
 D. DEMOLISH/REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL ASSEMBLY AND PROFILE AS APPROVED (TYP).
 E. DEMOLISH EXISTING MASONRY, PATCH, ST. PL. TO BE STRUCTURAL AT HEADERS AND JAMBS, NEW CONSTRUCTION OF ADJACENT CONCRETE FLOORING TO BE FLUSH WITH EXISTING. PROVIDE EXPANSION JOINT. REF. STRUCTURAL (TYP).
 F. PROVIDE NEW CONCRETE FLOOR ASSEMBLY TO MATCH EXISTING MATERIALS.
 G. NEW CONSTRUCTION, NEW STL. FRAMED MEZZANINE WITH WOOD FLOORS TO MATCH EXISTING WOOD STAIRS/SEAL (TYP).
- 03 CENTER WALK BUILDING**
 A. DEMOLISH GLASS BLOCK EXISTING AT FIRST FLOOR, NORTH FACADE OF FRONT BUILDING. INFILL WITH BRICK TO MATCH EXISTING FACADE BRICK IN COLOR, TEXTURE, AND PATTERN.
 B. DEMOLISH EXISTING MASONRY TO ALLOW FOR NEW DOUBLE STEEL UTILITY FLOOR.
 C. DEMOLISH EXISTING MASONRY TO ALLOW FOR CLEARANCE IN HALLWAY PER CODE. PROVIDE PAINTED STEEL JAMBS AND HEADER PER STRUCTURAL. EXISTING CONCRETE COLUMN/PLASTER TO REMAIN. MAINTAIN INTEGRITY OF EXISTING CONCRETE COLUMN.
 D. CLEAN PATCH AND REPAIR EXISTING 1980S TAN CLAY TILE BLOCK PER APPROVED INTERIOR STANDARDS. REFERENCE EXISTING ELEVATIONS FOR LOCATION OF PROPOSED NEW OPENINGS IN EXISTING WALLS.
 E. EXISTING CONCRETE FLOORING, PATCH AND REPAIR AS REQUIRED TO ACHIEVE SMOOTH LEVEL SURFACE. STAIN AND SEAL AS APPROVED.
 F. DEMOLISH/RENOVATE PORTION OF EXISTING ROOF FOR NEW CONSTRUCTION INCLUDING CORRIDOR CONNECTION, LOFT UNIT, AND ROOF/ROOF DECK AMENITY(S).



THIRD FLOOR PLAN

JUNE 03, 2013



3333 ELM STREET

SECTION B

THC | NPS PART 2 SUBMITTAL

B4

EXTERIOR SCOPE NOTES

- 01 BUILDING FACADE**
 A. EXISTING CONCRETE, CLEAN AND PREP. PER APPROVED HISTORIC STANDARDS AND REPAINT TO MATCH EXISTING IF APPLICABLE. CONCRETE TO REMAIN IF NOT PAINTED AS EXISTING. MAINTAIN CONSISTENCY WHETHER PAINTED OR NOT TAKING FULL FACADE.
 B. EXISTING DARK RED/BROWN FINISH BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 C. EXISTING LIGHT RED/PINK FIELD BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 D. REPAIR/REPLACE EXISTING PAINTED GALVANIZED MTL. FLASHING AS REQUIRED WITH SIMILAR CONSTRUCTION TO ACHIEVE WATER TIGHT SITUATION (TYP.)
 E. EXISTING CONCRETE BRIDGE CONNECTOR STRUCTURE TO REMAIN. REPAIR AS REQUIRED.
 F. NEW CONSTRUCTION BRICK TO MATCH EXISTING FIELD BRICK IN PROPORTION AND TEXTURE. PROVIDE ANOD. MTL. PANEL EXTERIOR ASSEMBLY AT 'GREY' AREAS. PROVIDE NEW ANODIZE ALUM./STL. DOORS AND/OR WINDOWS.
- 02 DOORS AND WINDOWS**
 A. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR ACCURATE HISTORIC REHABILITATION.
 B. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP.)
 C. REMOVE EXISTING ALUMINUM STOREFRONT AT ENTRY. PROVIDE NEW WOOD DOORS AND WOOD FRAMED SIDELITE(S) AS APPROVED BY HISTORIC REHABILITATION COMMISSION (LOCAL, STATE, AND FEDERAL AGENCIES).
 D. REMOVE EXISTING WINDOWS. PROVIDE NEW WINDOWS TO MATCH SIMILAR HISTORIC WINDOWS IN COLOR, MATERIAL, AND PROFILE (TYP.)
 E. PROVIDE NEW PTD. STL. STL. DOOR WITH HM FRAME.
- 03 EXISTING OPENINGS**
 A. CLEAN, PREP, PAINT, AND SEAL EXISTING CONCRETE SURROUND AT FRONT BUILDING ELM STREET ENTRY TO MATCH EXISTING. REPAIR AS REQUIRED.
 B. REMOVE WINDOW(S)/DOOR(S) IN EXISTING OPENING. INFILL WITH BRICK/CONCRETE TO MATCH EXISTING IN COLOR, TEXTURE, AND PROFILE.
 C. PROVIDE TYP. PROF. PAINTED STEEL CANOPY WITH STEEL CABLES AT ENTRY(S).
 D. REMOVE EXISTING STEEL DOOR AT EXISTING OPENING FOR ACCESS TO ELEC. METERS. REPAIR AND REFURBISH HEAD, JAMB AND FLOOR AS REQUIRED PER CODE.
 E. REMOVE EXISTING STEEL DOOR. ENLARGE OPENING PER PLANS. REPAIR MASONRY AS REQUIRED. REF. STRUCTURAL FOR PAINTED PLATE STEEL HEADER AND JAMB DETAILS (TYP.)
 F. REMOVE EXISTING FALSE BRICK. PROVIDE NEW WOOD WINDOW/DOOR ASSEMBLY TO MATCH EXISTING SIMILAR WINDOWS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK.
 G. REMOVE EXISTING BRICK INFILL AT ORIGINAL EXISTING MASONRY OPENING. PREP. FOR INSTALLATION OF PTD. STL. WINDOWS TO MATCH EXISTING ADJACENT WINDOWS ON FACADE IN PROPORTION, SIZE, MATERIAL, AND COLOR (TYP.)
 H. REHABILITATE / REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE AS APPROVED (TYP.)
 I. EXISTING OPENING TO REMAIN. REPAIR AS REQUIRED.
- 04 NEW OPENINGS**
 A. PROVIDE NEW OPENING(S) IN EXISTING MASONRY/CONCRETE. PROVIDE PTD. STL. PLATE AT JAMB AND HEADERS PER STRUCTURAL (TYP.)
 B. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND PREP. FOR INSTALLATION OF NEW WINDOW TO MATCH EXISTING HISTORIC STYLE.
 C. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND CONCRETE IN PREPARATION FOR INSTALLATION OF NEW WOOD MTL. DOOR. T.Y. REQUIRED R.O. DIMS (TYP.). REHABILITATE/REPAIR EXISTING STL. WINDOWS AS REQUIRED. MAINTAIN EXISTING PROPORTIONS AND ASSEMBLY/CONSTRUCTION OF EXISTING WINDOWS. REF. STRUCTURAL.
- 05 OTHER**
 A. NEW HORIZONTAL WOOD SCREEN WALL (FENCE) WITH 2X2" PTD. STL. SQ. TUBE POSTS TO 5'-0" ABOVE AVG. GRADE WITH INTENT TO ALIGN TOP OF FENCE WITH EXISTING SILL AT BUILDING FACADE (TYP.)
 B. PROVIDE NEW PTD. STL. OVERHANG AND MAIN ENTRY OFF PARKING. INTEGRATED WITH NEW STL. DOOR AND WINDOW ENTRY ASSEMBLY.

GENERAL SCOPE LEGEND

- EXISTING HISTORIC MASONRY CONSTRUCTION TO REMAIN AND REHABILITATE PER HISTORIC CONSTRUCTION.
- NEW CONSTRUCTION AND/OR REHABILITATION OF EXISTING HISTORIC CONSTRUCTION.
- EXISTING ORIGINAL EXISTING MASONRY CONSTRUCTION TO REMAIN. REPAIR AS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION (HISTORIC CHARACTER).
- EXISTING CONSTRUCTION TO REMAIN. REPAIR AS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- EXISTING MASONRY BRICK AND CONCRETE TO REMAIN AS REQUIRED.
- EXISTING CONSTRUCTION TO REMAIN.
- EXISTING CONSTRUCTION TO REMAIN. REPAIR AS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- EXISTING CONSTRUCTION TO REMAIN. REPAIR AS REQUIRED TO MATCH EXISTING CONSTRUCTION.
- NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION.



PROPOSED SOUTH ELEVATION (ELM STREET)

JULY 2, 2013



3333 ELM STREET

SECTION B

LANDMARK SUBMITTAL

B5

EXTERIOR SCOPE NOTES

- 01 BUILDING FACADE**
 A. EXISTING CONCRETE. CLEAN AND PREP. PER APPROVED HISTORIC STANDARDS AND REPAINT TO MATCH EXISTING IF APPLICABLE. CONCRETE TO REMAIN IF NOT PAINTED AS EXISTING. MAINTAIN CONSISTENCY WHETHER PAINTED OR NOT ALONG FULL FACADE.
 B. EXISTING DARK RED/BROWN FINISH BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 C. EXISTING LIGHT RED/PINK FIELD BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 D. REPAIR/REPLACE EXISTING PAINTED GALVANIZED METAL FLASHING AS REQUIRED WITH SIMILAR CONSTRUCTION TO ACHIEVE WATER TIGHT SITUATION (TYP.)
 E. EXISTING CONCRETE BRIDGE CONNECTOR STRUCTURE TO REMAIN. REPAIR AS REQUIRED.
 F. NEW CONSTRUCTION BRICK TO MATCH EXISTING FIELD BRICK IN PROPORTION AND TEXTURE. PROVIDE ANOD. METAL PANEL EXTERIOR ASSEMBLY AT GREY AREAS. PROVIDE NEW ANODIZE ALUM./STL. DOORS AND/OR WINDOWS.
- 02 DOORS AND WINDOWS**
 A. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR ACCURATE HISTORIC REHABILITATION.
 B. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP.)
 C. REMOVE EXISTING ALUMINUM STOREFRONT AT ENTRY. PROVIDE NEW WOOD DOORS AND WOOD FRAMED SILL(S) AS APPROVED BY HISTORIC REHABILITATION COMMISSION (LOCAL, STATE, AND FEDERAL AGENCIES).
 D. REMOVE EXISTING WINDOWS. PROVIDE NEW WINDOWS TO MATCH SIMILAR HISTORIC WINDOWS IN COLOR, MATERIAL, AND PROFILE (TYP.)
 E. PROVIDE NEW PTD. STL. DOOR WITH HM FRAME.
- 03 EXISTING OPENINGS**
 A. CLEAN, PREP, PAINT, AND SEAL EXISTING CONCRETE SURROUND AT FRONT BUILDING ELM STREET ENTRY TO MATCH EXISTING. REPAIR AS REQUIRED.
 B. REMOVE WINDOWS/DOORS IN EXISTING OPENING. INFILL WITH BRICK/CONCRETE TO MATCH EXISTING IN COLOR, TEXTURE, AND PROFILE.
 C. PROVIDE THIN PROFILE PAINTED STEEL CANOPY WITH STEEL CABLES AT ENTRY(S).
 D. REMOVE EXISTING STEEL DOOR AT EXISTING OPENING FOR ACCESS TO ELECTRIC METERS. REPAIR AND REFURBISH HEAD, JAMB AND FLOOR AS REQUIRED PER CODE.
 E. REMOVE EXISTING STEEL DOOR. ENLARGE OPENING PER PLANS. REPAIR MASONRY AS REQUIRED. REF. STRUCTURAL FOR PAINTED PLATE STEEL HEADER AND JAMB DETAILS (TYP.)
 F. REMOVE EXISTING FALSE BRICK. PROVIDE NEW WOOD WINDOW/DOOR ASSEMBLY TO MATCH EXISTING SIMILAR WINDOWS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK.
 G. REMOVE EXISTING BRICK INFILL AT ORIGINAL EXISTING MASONRY OPENING. PREP. FOR INSTALLATION OF PTD. STL. WINDOWS TO MATCH EXISTING ADJACENT WINDOWS ON FACADE IN PROPORTION, SIZE, MATERIAL, AND COLOR (TYP.)
 H. REHABILITATE/REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE AS APPROVED (TYP.)
 I. EXISTING OPENING TO REMAIN. REPAIR AS REQUIRED.
- 04 NEW OPENINGS**
 A. PROVIDE NEW OPENING(S) IN EXISTING MASONRY/CONCRETE. PROVIDE PTD. STL. PLATE AT JAMB AND HEADERS PER STRUCTURAL (TYP.)
 B. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND PREP. FOR INSTALLATION OF NEW WINDOW TO MATCH EXISTING HISTORIC STYLE.
 C. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND CONCRETE IN PREPARATION FOR INSTALLATION OF NEW WOOD/METAL DOOR. F.V. REQUIRED R.O. DIMS (TYP.). REHABILITATE/REPAIR EXISTING STL. WINDOWS AS REQUIRED. MAINTAIN EXISTING PROPORTIONS AND ASSEMBLY/CONSTRUCTION OF EXISTING WINDOWS. REF. STRUCTURAL.
- 05 OTHER**
 A. NEW HORIZONTAL WOOD SCREEN WALL (FENCE) WITH 2X2" PTD. STL. SQ. TUBE POSTS TO 5'-0" ABOVE AVG. GRADE WITH INTENT TO ALIGN TOP OF FENCE WITH EXISTING SILL AT BUILDING FACADE (TYP.)
 B. PROVIDE NEW PTD. STL. OVERHANG AND MAIN ENTRY OFF PARKING. INTEGRATED WITH NEW STL. DOOR AND WINDOW ENTRY ASSEMBLY.

GENERAL SCOPE LEGEND

[White Box]	EXISTING HISTORIC BUILDING CONSTRUCTION TO REMAIN AND BE REHABILITATED PER APPROVED HISTORIC STANDARDS
[Yellow Box]	REPAIR/REHABILITATION AND/OR CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Green Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Light Green Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Light Blue Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Dark Blue Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Pink Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Red Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Purple Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION
[Orange Box]	NEW CONSTRUCTION TO MATCH EXISTING CONSTRUCTION



PROPOSED EAST ELEVATION

JULY 2, 2013



3333 ELM STREET

SECTION B

LANDMARK SUBMITTAL

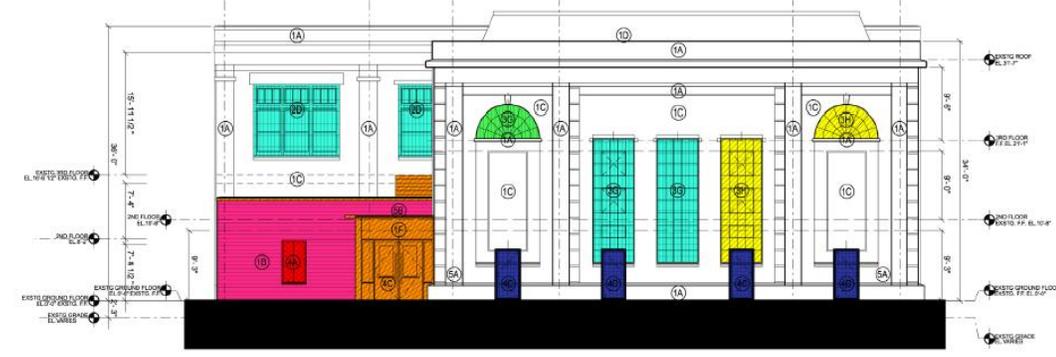
B6

EXTERIOR SCOPE NOTES

- 01 BUILDING FACADE**
 A. EXISTING CONCRETE. CLEAN AND PREP. PER APPROVED HISTORIC STANDARDS AND REPAINT TO MATCH EXISTING IF APPLICABLE. CONCRETE TO REMAIN IF NOT PAINTED AS EXISTING. MAINTAIN CONSISTENCY WHETHER PAINTED OR NOT ALONG FULL FACADE.
 B. EXISTING DARK RED/BROWN FINISH BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 C. EXISTING LIGHT RED/PINK FIELD BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 D. REPAIR/REPLACE EXISTING PAINTED GALVANIZED METAL FLASHING AS REQUIRED WITH SIMILAR CONSTRUCTION TO ACHIEVE WATER TIGHT SITUATION (TYP.)
 E. EXISTING CONCRETE BRIDGE CONNECTOR STRUCTURE TO REMAIN. REPAIR AS REQUIRED.
 F. NEW CONSTRUCTION. BRICK TO MATCH EXISTING FIELD BRICK IN PROPORTION AND TEXTURE. PROVIDE ANOD. MTL. PANEL EXTERIOR ASSEMBLY AT GREY AREAS. PROVIDE NEW ANODIZE ALUM./STL. DOORS AND/OR WINDOWS.
- 02 DOORS AND WINDOWS**
 A. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR ACCURATE HISTORIC REHABILITATION.
 B. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP.)
 C. REMOVE EXISTING ALUMINUM STOREFRONT AT ENTRY. PROVIDE NEW WOOD DOORS AND WOOD FRAMED SIDELITE(S) AS APPROVED BY HISTORIC REHABILITATION COMMISSION (LOCAL, STATE, AND FEDERAL AGENCIES).
 D. REMOVE EXISTING WINDOWS; PROVIDE NEW WINDOWS TO MATCH SIMILAR HISTORIC WINDOWS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE (TYP.)
 E. PROVIDE NEW PTD. STL. STL. DOOR WITH HM FRAME.
- 03 EXISTING OPENINGS**
 A. CLEAN, PREP, PAINT, AND SEAL EXISTING CONCRETE SURROUND AT FRONT BUILDING ELM STREET ENTRY TO MATCH EXISTING. REPAIR AS REQUIRED.
 B. REMOVE WINDOWS/DOORS IN EXISTING OPENING. INFILL WITH BRICK/CONCRETE TO MATCH EXISTING IN COLOR, TEXTURE, AND PROFILE.
 C. PROVIDE TAN PROFILE PAINTED STEEL CANOPY WITH STEEL CABLES AT ENTRY(S).
 D. REMOVE EXISTING STEEL DOOR AT EXISTING OPENING FOR ACCESS TO ELEC METERS. REPAIR AND REFURBISH HEAD, JAMB AND FLOOR AS REQUIRED PER CODE.
 E. REMOVE EXISTING STEEL DOOR. ENLARGE OPENING PER PLANS. REPAIR MASONRY AS REQUIRED. REF. STRUCTURAL FOR PAINTED PLATE STEEL HEADER AND JAMB DETAILS (TYP.)
 F. REMOVE EXISTING FALSE BRICK. PROVIDE NEW WOOD WINDOW/DOOR ASSEMBLY TO MATCH EXISTING SIMILAR WINDOWS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK.
 G. REMOVE EXISTING BRICK INFILL AT ORIGINAL EXISTING MASONRY OPENING. PREP. FOR INSTALLATION OF PTD. STL. WINDOWS TO MATCH EXISTING ADJACENT WINDOWS ON FACADE IN PROPORTION, SIZE, MATERIAL, AND COLOR (TYP.)
 H. REHABILITATE/REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE AS APPROVED (TYP.)
 I. EXISTING OPENING TO REMAIN. REPAIR AS REQUIRED.
- 04 NEW OPENINGS**
 A. PROVIDE NEW OPENING(S) IN EXISTING MASONRY CONCRETE. PROVIDE PTD. STL. PLATE AT JAMB AND HEADERS PER STRUCTURAL (TYP.)
 B. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND PREP. FOR INSTALLATION OF NEW WINDOW TO MATCH EXISTING HISTORIC STYLE.
 C. PROVIDE NEW OPENING CUT IN EXISTING MASONRY AND CONCRETE IN PREPARATION FOR INSTALLATION OF NEW WOOD MTL. DOOR. F.V. REQUIRED R.O. DIMS (TYP.). REHABILITATE/REPAIR EXISTING STL. WINDOWS AS REQUIRED. MAINTAIN EXISTING PROPORTIONS AND ASSEMBLY/CONSTRUCTION OF EXISTING WINDOWS. REF. STRUCTURAL.
- 05 OTHER**
 A. NEW HORIZONTAL WOOD SCREEN WALL (FENCE) WITH 2X2" PTD. STL. 80. TUBE POSTS TO 5'-0" ABOVE AVG. GRADE WITH INTENT TO ALIGN TOP OF FENCE WITH EXISTING SILL AT BUILDING FACADE (TYP.)
 B. PROVIDE NEW PTD. STL. OVERHANG AND MAIN ENTRY OFF PARKING. INTEGRATED WITH NEW STL. DOOR AND WINDOW ENTRY ASSEMBLY.

GENERAL SCOPE LEGEND

[White Box]	EXISTING HISTORIC BUILDING CONSTRUCTION TO REMAIN UNLESS OTHERWISE NOTED
[Yellow Box]	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION
[Green Box]	REPAIR OR REPLACE EXISTING HISTORIC MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE
[Cyan Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Blue Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Pink Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Red Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Purple Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Orange Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Dark Green Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Light Green Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Dark Blue Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Light Blue Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Light Purple Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK
[Light Orange Box]	REPAIR OR REPLACE EXISTING MATERIALS TO MATCH EXISTING MATERIALS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK



PROPOSED NORTH ELEVATION (DART)

JULY 2, 2013



3333 ELM STREET

SECTION B

LANDMARK SUBMITTAL

B7

EXTERIOR SCOPE NOTES

- 01 BUILDING FACADE**
 A. EXISTING CONCRETE: CLEAN AND PREP. PER APPROVED HISTORIC STANDARDS AND REPAINT TO MATCH EXISTING IF APPLICABLE. CONCRETE TO REMAIN IF NOT PAINTED AS EXISTING. MAINTAIN CONSISTENCY WHETHER PAINTED OR NOT ALONG FULL FACADE.
 B. EXISTING DARK RED/BROWN FINISH BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 C. EXISTING LIGHT RED/PINK FIELD BRICK TO BE CLEANED PER APPROVED HISTORIC STANDARDS.
 D. REPAIR/REPLACE EXISTING PAINTED GALVANIZED METAL FLASHING AS REQUIRED WITH SIMILAR CONSTRUCTION TO ACHIEVE WATER TIGHT SITUATION (TYP.)
 E. EXISTING CONCRETE BRIDGE CONNECTION STRUCTURE TO REMAIN. REPAIR AS REQUIRED.
 F. NEW CONSTRUCTION BRICK TO MATCH EXISTING FIELD BRICK IN PROPORTION AND TEXTURE. PROVIDE ANOD. MTL. PANEL EXTERIOR ASSEMBLY AT 'GREY' AREAS. PROVIDE NEW ANODIZE ALUM. STL. DOORS AND/OR WINDOWS.
- 02 DOORS AND WINDOWS**
 A. EXISTING ORIGINAL TRANSOM WINDOW TO REMAIN. REPAIR DAMAGE REQUIRED FOR ACCURATE HISTORIC REHABILITATION.
 B. EXISTING ALUMINUM FRAME WINDOW TO BE REMOVED. REPLACE WITH NEW PAINTED HISTORIC WOOD WINDOWS TO MATCH CONSTRUCTION OF EXISTING ORIGINAL TRANSOM WINDOW CONSTRUCTION. REPAIR JAMB AND SILL AS REQUIRED TO CREATE WATER TIGHT SITUATION (TYP.)
 C. REMOVE EXISTING ALUMINUM STOREFRONT AT ENTRY. PROVIDE NEW WOOD DOORS AND WOOD FRAMED SIDELITES(S) AS APPROVED BY HISTORIC REHABILITATION COMMISSION (LOCAL, STATE, AND FEDERAL AGENCIES).
 D. REMOVE EXISTING WINDOWS. PROVIDE NEW WINDOWS TO MATCH SIMILAR HISTORIC WINDOWS IN COLOR, MATERIAL, AND PROFILE (TYP.)
 E. PROVIDE NEW PTD. STL. STL. DOOR WITH HM FRAME.
- 03 EXISTING OPENINGS**
 A. CLEAN, PREP, PAINT, AND SEAL EXISTING CONCRETE SURROUND AT FRONT BUILDING ELM STREET ENTRY TO MATCH EXISTING. REPAIR AS REQUIRED.
 B. REMOVE WINDOW(S)/DOOR(S) IN EXISTING OPENING. INFILL WITH BRICK/CONCRETE TO MATCH EXISTING IN COLOR, TEXTURE, AND PROFILE.
 C. PROVIDE THIN PROFILE PAINTED STEEL CANOPY WITH STEEL CABLES AT ENTRY(S).
 D. REMOVE EXISTING STEEL DOOR AT EXISTING OPENING FOR ACCESS TO ELEC. METERS. REPAIR AND REFURBISH HEAD, JAMB AND FLOOR AS REQUIRED PER CODE.
 E. REMOVE EXISTING STEEL DOOR. ENLARGE OPENING PER PLANS. REPAIR MASONRY AS REQUIRED. REF. STRUCTURAL FOR PAINTED PLATE STEEL HEADS AND JAMB DETAILS (TYP.)
 F. REMOVE EXISTING FALSE BRICK. PROVIDE NEW WOOD WINDOW/DOOR ASSEMBLY TO MATCH EXISTING SIMILAR WINDOWS IN COLOR, MATERIAL, ASSEMBLY, AND PROFILE AT OPENING BEHIND FALSE BRICK.
 G. REMOVE EXISTING BRICK INFILL AT ORIGINAL EXISTING MASONRY OPENING. PREP. FOR INSTALLATION OF PTD. STL. WINDOWS TO MATCH EXISTING ADJACENT WINDOWS ON FACADE IN PROPORTION, SIZE, MATERIAL, AND COLOR (TYP.)
 H. REHABILITATE. REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE AS APPROVED (TYP.)
 I. EXISTING OPENING TO REMAIN. REPAIR AS REQUIRED.
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- 05 OTHER**
 A. NEW HORIZONTAL WOOD SCREEN WALL (FENCE) WITH 2X2" PTD. STL. SQ. TUBE POSTS TO 2'-0" ABOVE AVG. GRADE WITH INTENT TO ALIGN TOP OF FENCE WITH EXISTING SILL AT BUILDING FACADE (TYP.)
 B. PROVIDE NEW PTD. STL. OVERHANG AND MAIN ENTRY OFF PARKING. INTEGRATED WITH NEW STL. DOOR AND WINDOW ENTRY ASSEMBLY.

GENERAL SCOPE LEGEND

	EXISTING HISTORIC MASONRY CONSTRUCTION TO REMAIN. REPAIR/REPLACE PER APPROVED HISTORIC STANDARDS (TYP.)
	REPAIR/REPLACE EXISTING HISTORIC MASONRY CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION.
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	EXISTING HISTORIC BRICK CONSTRUCTION TO REMAIN AS REQUIRED.
	REPAIR/REPLACE EXISTING HISTORIC MASONRY CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION.
	REPAIR/REPLACE EXISTING HISTORIC MASONRY CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION. REPAIR/REPLACE PER APPROVED HISTORIC STANDARDS (TYP.)
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PROPOSED WEST ELEVATION

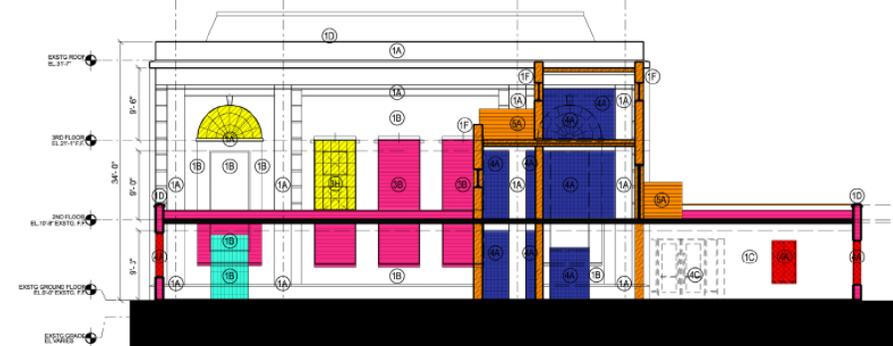
JULY 2, 2013

EXTERIOR SCOPE NOTES

- 01 BUILDING FACADE**
 A. EXISTING CONCRETE, CLEAN AND PREP. PER APPROVED HISTORIC STANDARDS AND REPAINT TO MATCH EXISTING IF APPLICABLE. CONCRETE TO REMAIN IF NOT PAINTED AS EXISTING. MAINTAIN CONSISTENCY WHETHER PAINTED OR NOT ALONG FULL FACADE.
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 D. REMOVE EXISTING STEEL DOOR AT EXISTING OPENING FOR ACCESS TO ELEC. METERS. REPAIR AND REFURBISH HEAD, JAMB AND FLOOR AS REQUIRED PER CODE.
 E. REMOVE EXISTING STEEL DOOR. ENLARGE OPENING PER PLANS. REPAIR MASONRY AS REQUIRED. REF. STRUCTURAL FOR PAINTED PLATE STEEL HEADER AND JAMB DETAILS (TYP.)
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 H. REHABILITATE/REPAIR EXISTING WINDOWS AS REQUIRED. MATCH COLOR, MATERIAL, ASSEMBLY, AND PROFILE AS APPROVED (TYP.)
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 A. NEW HORIZONTAL WOOD SCREEN WALL (FENCE) WITH 2X2" PTD. STL. SQ. TUBE POSTS TO 5'-0" ABOVE AVG. GRADE WITH INTENT TO ALIGN TOP OF FENCE WITH EXISTING SILL AT BUILDING FACADE (TYP.)
 B. PROVIDE NEW PTD. STL. OVERHANG AND MAIN ENTRY OFF-PARKING. INTEGRATED WITH NEW STL. DOOR AND WINDOW ENTRY ASSEMBLY.

GENERAL SCOPE LEGEND

	EXISTING HISTORIC BUILDING ELEMENTS TO REMAIN OR TO BE REHABILITATED PER APPROVED HISTORIC STANDARDS
	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION
	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION
	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION
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	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION
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	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION
	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION
	REPAIR, REFINISHMENT AND/OR RECONSTRUCTION OF EXISTING HISTORIC CONSTRUCTION TO MATCH EXISTING HISTORIC CONSTRUCTION



BACK BUILDING PROPOSED NORTH ELEVATION / SECTION

JULY 2, 2013



3333 ELM STREET

SECTION B

LANDMARK SUBMITTAL

B10

TASK FORCE RECOMMENDATION REPORT
CENTRAL BUSINESS DISTRICT/WEST END/INDIVIDUAL

DATE: 10/9/2013
TIME: 3:00 pm
MEETING PLACE: Dallas City Hall, 1500 Marilla 5BN

Applicant Name: Rees Bowen (IV Architecture)
Address: 3333 Elm Street (Continental Gin Complex)
Date of CA/CD Request: 10/3/2013

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments/ basis:

Resubmittal to include the response ^{to the letter} ~~from~~
~~dated~~ 9/20/2013 from IV Architecture, LLC,
from the National Park Service, with their
comments. Also include colors & other
descriptive information with the next
submital

Task force members present

<input checked="" type="checkbox"/> Gary C. Coffman (Chair)	<input checked="" type="checkbox"/> Joseph Piwetz	<input type="checkbox"/> Isabel Mandujano
<input type="checkbox"/> Jay Firsching (Vice-Chair)	<input type="checkbox"/> VACANT	<input type="checkbox"/> Justin Curtsinger (Alternate)
<input checked="" type="checkbox"/> Carolina Pace	<input checked="" type="checkbox"/> Charles Neel	<input type="checkbox"/> VACANT (Alternate)

Ex Officio staff members Present Mark Doty

Simply Majority Quorum: yes no (four makes a quorum)

Maker: C. Neel
2nd: C. Pace

Task Force members in favor: 4

Task Force members opposed: 0

Basis for opposition:

CHAIR, Task Force Gary C. Coffman DATE 10/9/2013

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



LANDMARK COMMISSION**NOVEMBER 4, 2013**

FILE NUMBER: CA134-012(MD)
LOCATION: 601 N. Marsalis Avenue
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 1
ZONING: PD-468

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Lake Cliff
MAPSCO: 55-A
CENSUS TRACT: 0020.00

APPLICANT: Rising Tide L. P.

REPRESENTATIVE: Keats Knickerbocker

OWNER: RISING TIDE LTD PS

REQUEST:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness.

BACKGROUND / HISTORY: None.

ANALYSIS: The brick was removed in order to fix a plumbing problem. Unfortunately, the existing brick was re-installed with a mortar mix that does not match the existing in color, texture, or application.

STAFF RECOMMENDATION:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness. – Deny without prejudice - The proposed work does not meet the standards in City Code Section 51A-4.501(g)(6)(C)(i) that states repair or maintenance of protected facades must be appropriate and must employ materials similar to the historic materials in texture, color, pattern, grain, and module size. Preservation criteria Section 1.5, 4.1(b) and (d), and Preservation Brief 2.

TASK FORCE RECOMMENDATION:

Remove existing bricks to access wall plumbing and reinstall existing bricks with new mortar. Work completed without a Certificate of Appropriateness. – Deny - Mortar needs to be repointed and replaced to match in a color that is significantly closer to the existing structure.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 134 - 012 (MD)
Office Use Only

Name of Applicant: Kramer Tide Laundry Partnership
Mailing Address: PO Box 52072
City, State and Zip Code: 75238
Daytime Phone: 214 660 1011 - Fax: EMAIL: BT@KTB.com
Relationship of Applicant to Owner: General Contractor

Building Inspection:
Please see signed drawings before issuing permit:
Yes ___ No ___
Planner's Initials

PROPERTY ADDRESS: 6014 Mansel Ave., Dallas TX 75203
Historic District: _____

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

The following was an emergency repair work over and above a notice was received. faced with the following choice - tear out the water main & install a new one or have a few bricks for a gas main & leak machine removed. The brick & replace them with their original position. The bricks were replaced. The water leak has been repaired & the brick on location there original place.

Signature of Applicant: R. K. Kucak Date: 9/21/2013 RECEIVED BY
Signature of Owner: _____ Date: OCT 6 3 2013
(IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**. (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development Date



East and partial south elevations. Portion of wall removed and re-pointed is on the south elevation as indicated.



Brick wall with new mortar.



TASK FORCE RECOMMENDATION REPORT
WINNETKA HEIGHTS / LAKE CLIFF

DATE: 10/9/2013

TIME: 5:30pm

MEETING PLACE: 400 S. Zang, Oak Cliff Chamber of Commerce Conference Room

APPLICANT NAME: Rising Tide Partnership

PROPERTY ADDRESS: 601 N. Marsalis

DATE of CA / CD REQUEST: 10/3/2013

RECOMMENDATION:

Approval Approval with conditions Denial Denial without prejudice

Recommendation / comments/ basis:

*mortar needs to be repainted and replaced to match
in a color that is significantly ~~closer~~ closer to the
existing structure*

Task force members present

<input checked="" type="checkbox"/> Jeffrey Fahrenholz (Chair)	<input type="checkbox"/> Tony Eeds	<input checked="" type="checkbox"/> Garth Russo
<input checked="" type="checkbox"/> Sandra Adams (Vice-Chair)	<input type="checkbox"/> Jeff Cummings	<input type="checkbox"/> Barbara Roy (Alternate)
<input checked="" type="checkbox"/> Alfred Pena	<input type="checkbox"/> Les Hall	<input checked="" type="checkbox"/> Holli Murray (Alternate)

Ex Officio staff members present Mark Doty

Simply Majority Quorum: yes no

Maker: *Garth*

2nd: *Fred*

Task Force members in favor: *all*

Task Force members opposed: *none*

Basis for opposition:

CHAIR, Task Force *[Signature]*

DATE *10/9/13*

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 11:00 with a staff briefing.

The landmark commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CA134-021(MD)
LOCATION: 4801 Worth St.
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 2
ZONING: PD-98

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Peak's Suburban
MAPSCO: 46-B
CENSUS TRACT: 15.02

APPLICANT: John Bryant

REPRESENTATIVE: None.

OWNER: BRYANT JOHN H

REQUEST:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness.

BACKGROUND / HISTORY: The work was originally completed in the summer of 2011, however, due to the Applicant's deployment abroad, a Certificate of Appropriateness was not submitted until now.

ANALYSIS: While Staff is not particularly pleased that the work was completed with a CA, Staff does not feel that the completed work has an adverse effect on the structure or the historic overlay in general. As images on D3-8-D3-9 indicate, there are other retaining walls in the immediate vicinity. Staff is not supportive of the Task Force recommendation to paint the wall a green color, because Staff thinks that will actually call more attention to the retaining wall.

STAFF RECOMMENDATION:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness. – Approve with conditions - Approve work as completed with the condition that vine or other type of landscaping is installed to cover the retaining wall with the finding the completed work meets the standards in City Code Section 51A-4.501(g)(6)(C)(i).

TASK FORCE RECOMMENDATION:

Install a retaining wall and landscaping in the front yard. Work completed without a Certificate of Appropriateness. – Approve with conditions - Paint concrete 'Lamberts'

green or similiar (too close to sidewalk to veneer). Plant trailing vines (climbing fig or sim) along top to cascade and cover concrete ASAP.

Certificate of Appropriateness (CA)
City of Dallas Landmark Commission

CA 134-021(MD)
 Office Use Only

Name of Applicant: John Bryant
 Mailing Address: 4801 Worth St
 City, State and Zip Code: Dallas, TX 75246
 Daytime Phone: 512-694-8187 Fax: _____
 Relationship of Applicant to Owner: self

Building Inspection:
 Please see signed drawings before issuing permit:
 Yes ___ No ___
 Planner's Initials

PROPERTY ADDRESS: 4801 Worth St
 Historic District: Peak's Suburban Edition

PROPOSED WORK:

Please describe your proposed work simply and accurately. Attach extra sheets and supplemental material as requested in the submittal criteria checklist.

Build a retaining wall around the front corner of the property to stabilize the lot and prevent shifting of the foundation which is a post/pad and beam.

RECEIVED BY

OCT 03 2013

Current Planning

Signature of Applicant: [Signature] Date: 3 Oct 2013

Signature of Owner: _____ Date: _____
 (IF NOT APPLICANT)

APPLICATION DEADLINE:

Application material must be **completed and submitted by the FIRST THURSDAY OF EACH MONTH, 12:00 NOON**, (see official calendar for exceptions), before the Dallas Landmark Commission can consider the approval of any change affecting the exterior of any building. This form along with any supporting documentation must be filed with a Preservation Planner at City Hall, 1500 Marilla 5BN, Dallas, Texas, 75201. **You may also fax this form to 214/670-4210. DO NOT FAX PAINT SAMPLES OR PHOTOGRAPHS.**

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4538 to make sure your application is complete.

OTHER:

In the event of a denial, you have the right to an appeal within 30 days after the Landmark Commission's decision. You are encouraged to attend the Landmark Commission hearing the first Monday of each month at 1:00 pm in Council Chambers of City Hall (see exceptions). Information regarding the history of past certificates of appropriateness for individual addresses is available for review in 5BN of City Hall.

Please review the enclosed Review and Action Form Memorandum to the Building Official, a Certificate of Appropriateness has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE.** Please do not release the building permit or allow work.

Sustainable Construction and Development

Date

Certificate of Appropriateness

City of Dallas

Historic Preservation

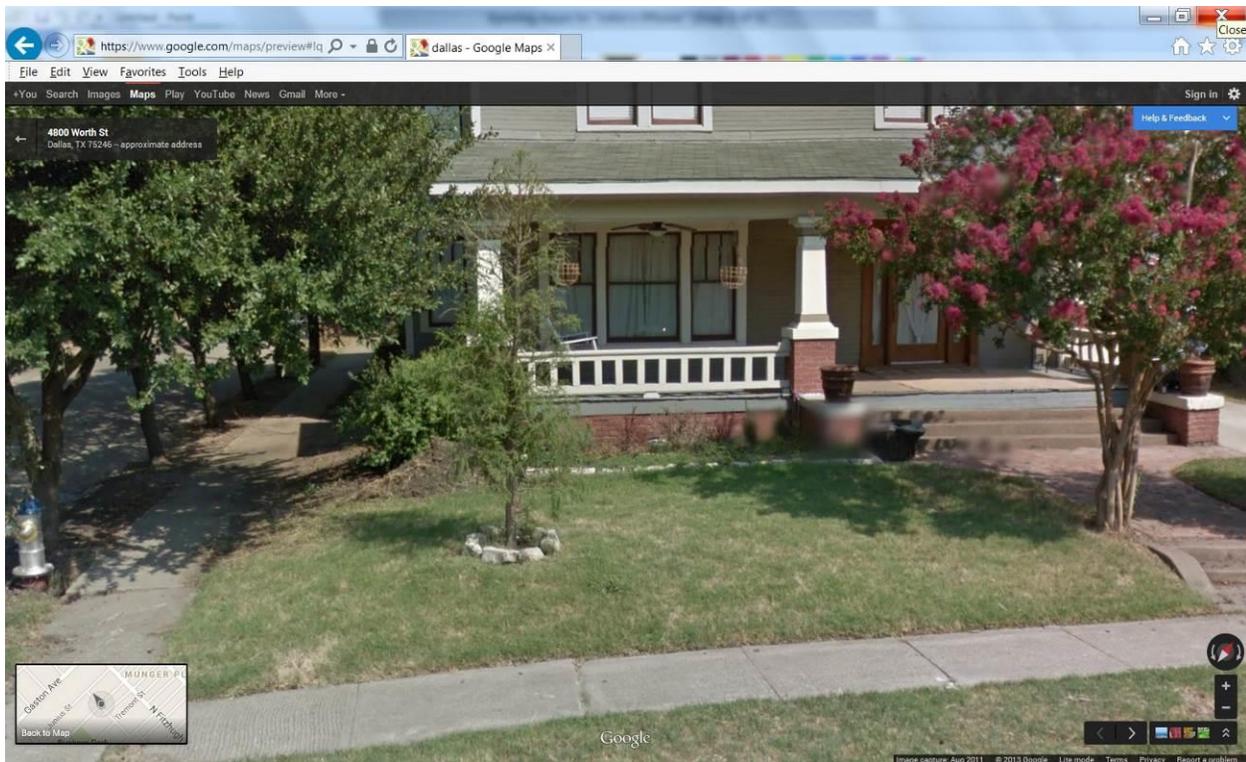
Rev. 111408



South elevation with retaining wall.



Condition before wall was installed.





During construction.





After construction.





4500 Block



4600 Block



Property across the street from the subject property.



4800 block

TASK FORCE RECOMMENDATION REPORT
PEAK'S SUBURBAN / EDISON - LA VISTA

DATE: 10/9/2013
TIME: 6:15 pm
MEETING PLACE: 400 N. Ervay Street

Applicant Name: John Bryant
Address: 4801 Worth Street
Date of CA/CD Request: 10/3/2013

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments/ basis:

- PAINT CONCRETE "LAMBERTS" GREEN OR SIMILAR (TOO CLOSE TO SIDEWALK TO VENEER)
- PLANT TRAILING VINES (CLIMBING FLG? OR SIM) ALONG TOP TO CASCADE
- COVER CONCRETE ASAP.

Task force members present

<input checked="" type="checkbox"/> Norm Alston (Chair)	<input type="checkbox"/> David Sacha	<input type="checkbox"/> (Alternate)
<input checked="" type="checkbox"/> Michael Karnowski	<input checked="" type="checkbox"/> Kathy Finch	<input type="checkbox"/> Jim Anderson (Alternate)
<input checked="" type="checkbox"/> Renee Manes	<input type="checkbox"/> Jennifer Hidden	

Ex Officio staff members Present Mark Doty NEVA DEAN

Simply Majority Quorum: yes no (four makes a quorum)

Maker: MANES
2nd: FINCH

Task Force members in favor: UNANIMOUS APPROVAL
Task Force members opposed:
Basis for opposition:

CHAIR, Task Force  DATE 10/9/2013

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.



CITY OF DALLAS

LANDMARK COMMISSION

NOVEMBER 4, 2013

FILE NUMBER: CD123-019(MD)
LOCATION: 220 N. Cliff Street
STRUCTURE: Main & Contributing
COUNCIL DISTRICT: 4
ZONING: PD-388, Tract 1

PLANNER: Mark Doty
DATE FILED: October 3, 2013
DISTRICT: Tenth Street Historic
MAPSCO: 55-B
CENSUS TRACT: 0041.00

APPLICANT: City Attorney's Office

REPRESENTATIVE: Andrew Gilbert

OWNER: JOHNSON IVA JOE ESTATE

REQUEST: Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code).

BACKGROUND / HISTORY:

4/2/2012 – Landmark Commission moved to enter into an initial suspension period.
5/7/2012 – Landmark Commission moved to enter into an extended suspension period.
7/2/2012 – Landmark Commission approved a Certificate for Demolition. (CD112-013(MD))
6/3/2013 – Landmark Commission moved to enter into an initial suspension period.
7/1/13 – Landmark Commission moved to enter into an extended suspension period.
9/3/2013 – Landmark Commission moved to enter into a continuing suspension period.
10/14/2013 – Landmark Commission moved to continue the continuing suspension period.

ANALYSIS: During the continuing suspension period, the Applicant is to provide a progress report indicating that reasonable progress was being made on rehabilitation of the structure in accordance to the Guarantee agreement with the City Attorney's Office. At the time of this case report, the Applicant has not submitted a progress report and no further work had been completed, Staff is recommending approval of the demolition.

STAFF RECOMMENDATION: Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). Approve - The proposed demolition meets the standards in City Code Section 51A-4.501(i)(7) because the City Attorney has received a court issued order for demolition and the suspension of the certificate of demolition is not a feasible option to alleviate the nuisance in a timely manner.

TASK FORCE RECOMMENDATION: Demolish a residential structure 3,000 square feet or less pursuant to a court order (51A-4.501(i) of the Dallas City Code). - Recommend initial suspension period. Alonzo Harris recused. (This recommendation is from the May 2, 2013 Task Force meeting. The Task Force does not review the application again once it enters into a suspension period.)

Certificate for Demolition and Removal (CD)
City of Dallas Landmark Commission

CD <u>123</u> - <u>019</u> (<u>MD</u>) Office Use Only
--

1. Name of Applicant: Andrew M. Gilbert, Dallas City Attorney's Office

MAILING Address: 1500 Marilla St., 7DN City Dallas State Texas Zip 75201
 Daytime Phone: 214-671-8273 Fax: 214-670-0622
 Relationship of Applicant to Owner: N/A

ADDRESS OF PROPERTY TO BE DEMOLISHED: 220 Cliff Street Zip 75203
Historic District: 10th Street

RECEIVED BY

MAY 02 2013

Current Planning

Proposed Work:

2. Indicate which 'demolition standard(s) you are applying:

- Replace with more appropriate/compatible structure
- No economically viable use
- Imminent threat to public health / safety
- Demolition noncontributing structure because newer than period of significance

Intend to apply for certificates of demolition pursuant to 51-A-4.501(i) of the Dallas City Code;
 Certificate of Demolition for residential structures with no more than 3,000 square feet of floor area pursuant to a court order

3. Describe work and submit required documents for the demolition standard you are applying:
 (please see attached checklist)

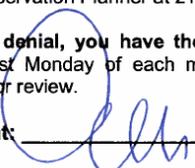
Demolition of a structure pursuant to 51-A-4.501 (i)

Application Deadline:

This form must be completed before the Dallas Landmark Commission can consider the approval of any demolition or removal of a structure within a Historic District. This form along with any supporting documentation **must be filed by the first Thursday of each month by 12:00 Noon so it may be reviewed by the Landmark Commission on the first Monday of the following month**, 1500 Marilla 5BN, Dallas, Texas, 75201. (See official calendar for exceptions to deadline and meeting dates). You may also fax this form to 214/670-4210, **DO NOT FAX PHOTOGRAPHS.**

Use Section 51A-3.103 OF THE Dallas City Code and the enclosed checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. You are encouraged to contact a Preservation Planner at 214/670-4209 to make sure your application is complete.

Other: In the event of a denial, you have the right to an appeal. You are encouraged to attend the Landmark Commission hearing the first Monday of each month. Information regarding the history of certificates for individual addresses is also available for review.

4. Signature of Applicant:  Date: 5/2/13

5. Signature of Owner: _____ Date: _____

(IF NOT APPLICANT)

Review the enclosed Review and Action Form

Memorandum to the Building Official, a Certificate for Demolition and Removal has been:

- APPROVED.** Please release the building permit.
- APPROVED WITH CONDITIONS.** Please release the building permit in accordance with any conditions.
- DENIED.** Please do not release the building permit or allow work.
- DENIED WITHOUT PREJUDICE..** Please do not release the building permit or allow work.

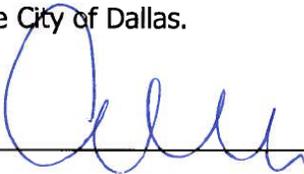
 Sustainable Development and Construction
Certificate for Demolition & Removal **City of Dallas** **Historic Preservation**
 Rev. 3/27/01, 2-11-02, 1-29-03, 5-1-04, 7-8-04, 2-28-05

For an application if the city or a property owner seeks demolition of a residential structure with no more than 3,000 square feet of floor area subject to a predesignation moratorium or in a historic overlay district pursuant to an order from a court or other tribunal requiring demolition obtained by the city , a complete application for a certificate for demolition must be submitted to the landmark commission. Within 10 days after submission of an application, the director shall notify the city's representative or the property owner in writing of any documentation required but not submitted. The application must be accompanied by the following documentation before it will be considered complete:

- An affidavit in which the city representative or the property owner affirms that all information submitted in the application is correct.
- Records depicting the current condition of the structure, including drawings, pictures, or written descriptions, and including Historic American Buildings survey or Historic American Engineering Records documentation if required by law or agreement.
- A signed order from a court or other tribunal requiring the demolition of the structure in a proceeding brought pursuant to Texas Local Government Code Chapter 54 or 214, as amended.
- A copy of a written notice of intent to apply for a certificate for demolition that was submitted to the director and the landmark commission at least 30 days before the application.
- Any other evidence the city representative or property owner wishes to submit in support of the application.

Affidavit

Before me the undersigned on this day personally appeared Andrew Gilbert who on his or her oath certifies that the statements contained in the application for a certificate of demolition and removal are true and correct to the best of his or her knowledge and that he or she is the representative of the City of Dallas.



Affiant's signature

Subscribed and sworn to before me this 2nd day of May, 2013





Notary Public



July 2012





May 2013





201100127392
ORDER 1/3

No. S50-00 2328-01

CITY OF DALLAS,
Plaintiff

VS.

220 N. Cliff Street
Defendant

§
§
§
§
§
§
§
§

IN THE MUNICIPAL COURT OF

THE CITY OF DALLAS

DALLAS COUNTY, TEXAS

AGREED ORDER

On the 10th day of May, 2011 came on for public hearing the above-styled and numbered cause. Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, this Court has jurisdiction and makes the following findings:

A vacant structure intended for human occupancy exists on the property located at 220 N. Cliff St., City of Dallas, Dallas County, Texas (hereinafter "structure"). The structure violates numerous minimum housing standards in Chapter 27 of the Dallas City Code as specifically set forth in Plaintiff's Petition and Notice of Public Hearing.

The structure is dilapidated, substandard, unfit for human habitation, a hazard to the public health, safety and welfare, constitutes an urban nuisance, and cannot be repaired without substantial reconstruction. Each owner, mortgagee or lienholder identified was given at least 10 days advanced notice of this public hearing by certified mail, return receipt requested. Macy Mays appeared regarding this property and agreed to the entry of this order. No other interested persons appeared for the public hearing regarding the property.

It is therefore ORDERED that the structure and any accessory structure(s) be **demolished** by the owner(s), mortgagee(s), lienholder(s) and other persons having an interest in the structure within 90 days.

It is further ORDERED that if said persons fail to abide by the order of this Court within the allotted time, the City of Dallas, through its agents and contractors, is authorized to remove doors, gates,

ORDER - PAGE 1

windows, locks, walls, boards and other barriers preventing entry onto the Property, enter the Property, inspect, photograph, and measure the Property for purposes of documentation, demolish the structure and any accessory structure(s) on the property, remove all components and personalty, and place a lien on the property where allowed by law for its incurred expenses. The demolition is to include the foundation of the structure and all debris is to be fully and completely removed.



Signed this 10th day of May, 2011.

Marilyn Davis
Presiding Judge

AGREED AS TO FORM AND SUBSTANCE:

Andrew M. Gilbert
Andrew M. Gilbert
Assistant City Attorney
Daniel L. Ryan
Assistant City Attorney

Marcy Mays
Owner of 820 N. Cliff St.

NOTICE TO SUBSEQUENT GRANTEEES, LIENHOLDERS OR TRANSFEREES

Pursuant to Article IV-a of Chapter 27 of the Dallas City Code and Section 214.001 of the Local Government Code, notice is hereby given that the filing of this order is binding on subsequent grantees, lienholders, or other transferees of an interest in the property who acquire such interest after the filing of this order, and constitutes notice of the order on any subsequent recipient of any interest in the property who acquires such an interest after the filing of this order.

ORDER - PAGE 2



DATE: April 2, 2013

TO: Landmark Commission

FROM: Andrew Gilbert, Assistant City Attorney

CC: Theresa O'Donnell, Director
Neva Dean, Planning Manager
Bertram Vandenberg, Assistant City Attorney
Mark Doty, Senior Planner
Carolyn Horner, Senior Planner
Trena Law, Landmark Commission Coordinator

SUBJECT: Notice of intent to apply for certificates of demolition

Pursuant to 51A-4.501(i)(5)(D) of the Dallas City Code, please be advised that the following properties are located within a City of Dallas Historic District, and this serves as the 30-day written notice of the City's intent to apply for certificates of demolition:

- 1) 220 N. Cliff (Tenth Street): Owner of Record per DCAD, 2000 Roses Foundation, Inc., 2000 W. 10th St., Dallas, Texas 75208

If you have any questions with regard to these matters, please feel free to contact me at 214-671-8273.

Thank you.

TASK FORCE RECOMMENDATION REPORT
WHEATLEY PLACE / 10TH STREET

DATE: **5/7/13**
TIME: **4:00 pm**
MEETING PLACE: **Dallas City Hall, 1500 Marilla, Conference Room 5BN**

Applicant Name: Andrew Gilbert (Dallas City Attorney's Office)
Address: 220 N. Cliff Street (Tenth Street)
Date of CA/CD Request: 5/2/2013

RECOMMENDATION:

Approve Approve with conditions Deny Deny without prejudice

Recommendation / comments/ basis:

RECOMMEND INITIAL SUSPENSION PERIOD

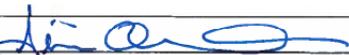
Task force members present

Nancy McCoy Alonzo Harris (**REUSED**)
 Chris Butler Alicia Quintans (Alternate)

Ex Officio staff members Present Mark Doty

Simply Majority Quorum: yes no (two makes a quorum)

Maker: **ALICIA QUINTANS**
2nd: **NANCY MCCOY**
Task Force members in favor: **ALL**
Task Force members opposed:
Basis for opposition:

CHAIR, Task Force  DATE **5/7/2013**

The task force recommendation will be reviewed by the landmark commission in the City Council chamber, Room 5ES, starting at 10:00 with a staff briefing.

The Landmark Commission public hearing begins at 1:00 pm in Room 6EN, the Council Chamber, which allows the applicant and citizens to provide public comment.

Staff note: The Task Force does not review the Certificate for Demolition again once it enters into the Initial Suspension period.