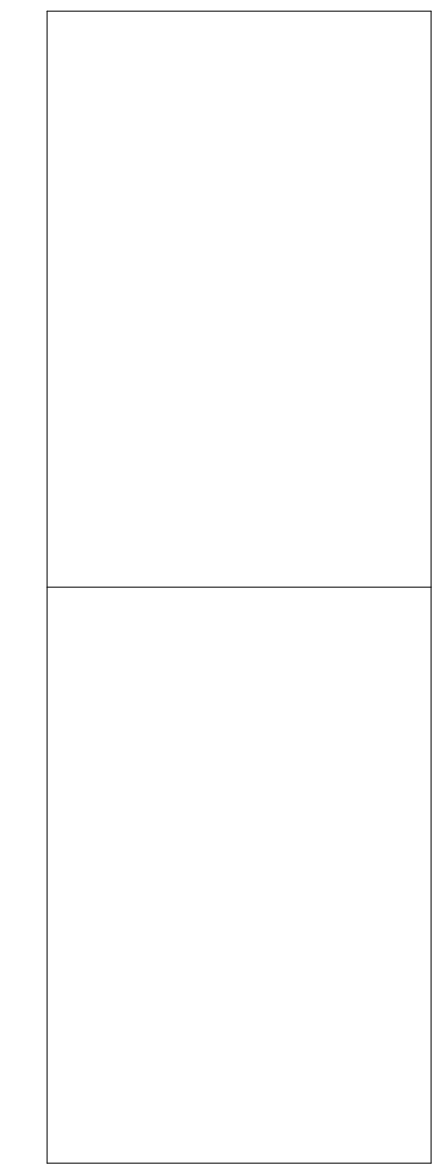
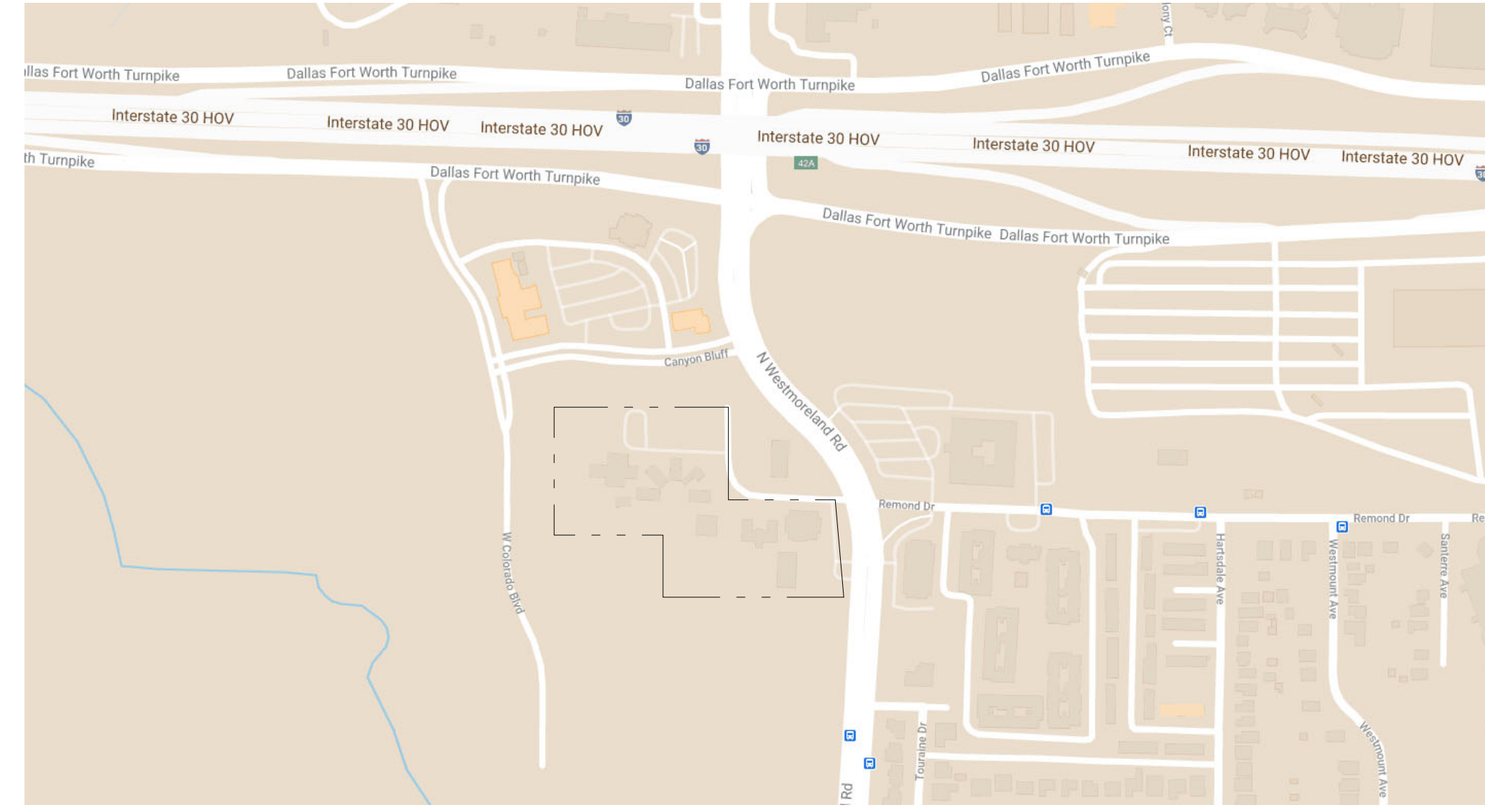


SITE DATA TABLE
PD FOR MU-1 DISTRICT USES

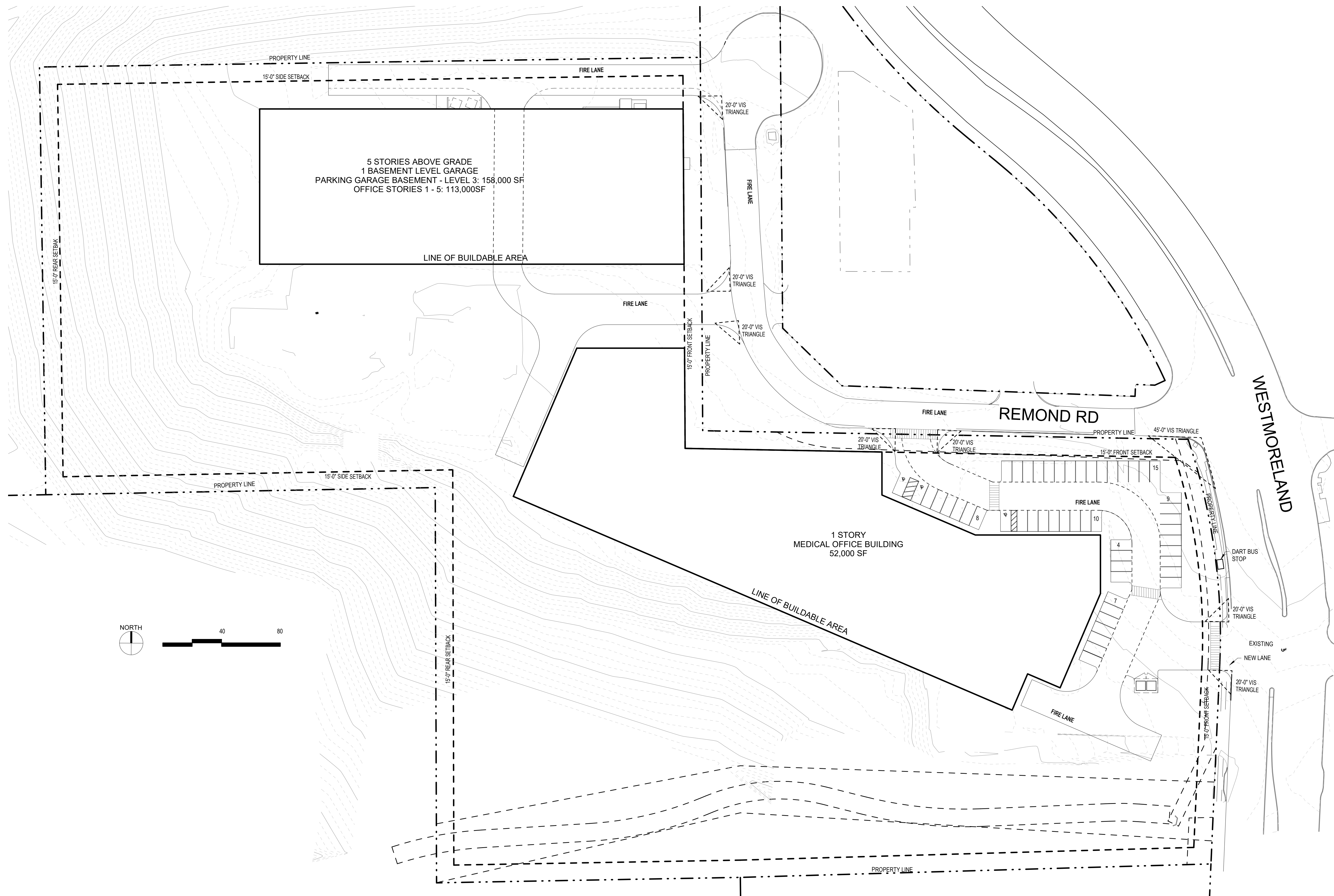
TOTAL SITE AREA	440,159 SF	10.1 AC
LAND USE	OFFICE USES	
TOTAL FLOOR AREA (SF)	165,000	
SETBACKS		
	MIN.	PROVIDED
FRONT SETBACK	15 FT	15 FT
SIDE SETBACK	15 FT	15 FT
REAR SETBACK	15 FT	15 FT
BULK STANDARDS		
	MAX.	PROVIDED
FLOOR AREA RATIO	0.8	0.4
BUILDING HEIGHT	85 FT + OVERRUNS	85 FT + OVERRUNS
BUILDING STORIES	7	5
LOT COVERAGE	80%	30%
PARKING		
	REQ.	
PARKING	PER CH. 51A	

* RETAINING WALLS NOT SHOWN, BUT SUBJECT TO ENGINEERING APPROVAL. RETAINING WALLS TALLER THAN 4'-0" WILL NOT BE LOCATED WITHIN A FRONT YARD SETBACK.

1353 N. WESTMORELAND RD.
DALLAS, TX. 75211



AREA RESERVED FOR CITY OF DALLAS PERMIT STAMP



1 DEVELOPMENT PLAN
1" = 40'-0"

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