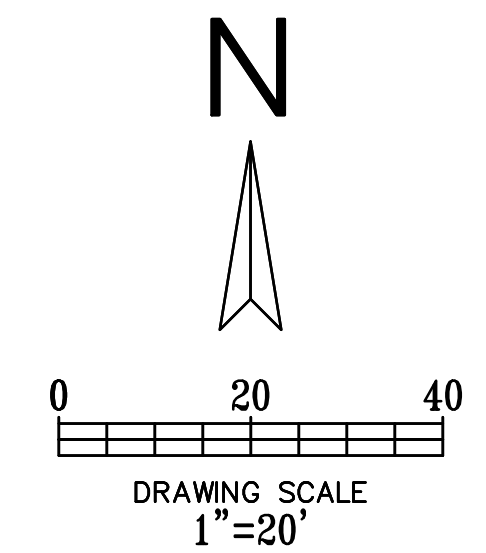


WALNUT HILL LANE
(VARIABLE WIDTH RIGHT OF WAY
INST. NO. 201000062332 - P.R.D.C.T.)

LEGEND

- EXISTING CURB
- PROPOSED CURB
- ⊙ - PARKING COUNT
- ⊙ - PROPOSED LIGHT POLE
- PROPOSED SIDEWALK
- PROPOSED ENHANCED PAVING
- EXISTING 8FT SIDEWALK



SITE PLAN	
EXISTING ZONING:	PDD NO. 75B / SUBAREA C
LAND USE:	FINANCIAL INSTITUTION WITH DRIVE IN WINDOW
LEASE ACREAGE:	1.32 ACRES (57,499 SQ FT)
BUILDING FOOT PRINT (TOTAL):	4,960 SQUARE FEET
PARKING REQUIRED (1 PER 333 SQ./FT. OF PROPOSED BUILDING):	15 SPACES
PARKING PROVIDED:	37 SPACES
ACCESSIBLE PARKING REQUIRED (1 ACCESSIBLE SPACE/25 STANDARD SPACE):	2 SPACES
PARKING PROVIDED (ACCESSIBLE):	2 SPACES

SUBAREA "C"	
FRONT YARD:	MINIMUM 6 FEET
SIDE YARD:	NA
REAR YARD:	MINIMUM 6 FEET
DENSITY:	900 UNITS
FLOOR AREA:	ALLOWED COMMERCIAL: 300,000 SQ. FT
	EXISTING COMMERCIAL: 64,971 SQ. FT
	PROPOSED: 4,960 SQ. FT
FLOOR AREA RATIO:	ALLOWED: 2.85
	PROPOSED: 0.08
BUILDING HEIGHT:	ALLOWED: 75 FEET
	PROPOSED: 25 FEET 8 INCHES
LOT COVERAGE:	ALLOWED: 90%
	PROPOSED: 57.4%
STORIES:	ALLOWED: 5 STORIES
	PROPOSED: SINGLE STORED

COMMERCIAL SQUARE FEET BASED ON CO ISSUED BY CITY	
ADDRESS:	SQ. FT
7190 SKILLMAN ST	3,843
9285 LOOKOUT POINT	5,005
7170 SKILLMAN ST	9,804
7150 SKILLMAN ST	9,810
7130 SKILLMAN ST	5,005
7110 SKILLMAN ST	31,504
TOTAL:	64,971

GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
4. THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL ALL SLEEVING FOR IRRIGATION, ELECTRIC GAS, TELEPHONE, CABLE TV, SITE IRRIGATION WATER LINES, ETC. HAVE BEEN TESTED AND PASSED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL SLEEVING IS IN PLACE PRIOR TO PLACING OF PERMANENT PAVING.
5. ALL DIMENSIONS ARE FROM FACE OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
6. ALL SIDEWALKS SHALL MAINTAIN A 2% MAXIMUM CROSS SLOPE AND 4% MAXIMUM IN THE DIRECTION OF PEDESTRIAN TRAVEL.
7. CONTRACTOR TO MATCH EXISTING JOINTS WITH JOINTS IN NEW PAVING WHERE THEY ABUT.
8. PARKING AND HANDICAP STRIPING TO BE PER ADA/TAS STANDARDS.
9. ALL FRONT OF CURB RADIi ARE 3.0' UNLESS OTHERWISE SPECIFIED (EXCEPT FOR AT END OF PARKING SPACES AND FLUMES WHERE THE RADIi ARE 0').
10. CONTRACTOR IS RESPONSIBLE FOR PREPARING AND PERMITTING ANY REQUIRED TRAFFIC CONTROL PLAN(S).
11. WE ARE NOT PROPOSING ANY DEDICATION OR RESERVED AREA FOR PARKS, OPEN SPACES, PARKWAYS, OR EASEMENTS.
12. THERE ARE NO SPECIAL TRAFFIC REGULATIONS FACILITIES PROPOSED.
13. NO SCREENING, LANDSCAPING, OR MAJOR TREES GROUPING ARE TO BE RETAINED.

45'x45' VISIBILITY TRIANGLE
RADIUS=5639.65'
ARC LENGTH=113.09'
DELTA=1'08"56"
CHRD. BRNG.=N04°12'55"W
CHORD=113.09'

SKILLMAN STREET
(VARIABLE WIDTH RIGHT OF WAY
INST. NO. 201000062332 - P.R.D.C.T.)

PROPOSED PAD MOUNTED TRANSFORMER

PROPOSED TWO WAY DRIVEWAY

PROPOSED RETAINING WALL

PROPOSED TWO WAY DRIVEWAY

PROPOSED 1-STORY
±4,960 SQ/FT

PARKING PROVIDED= 37

LOT 1
BLOCK 28925
LAKE HIGHLANDS TOWN CENTER,
PHASE ONE
C.C.F. NO. 201000062332
P.R.D.C.T.

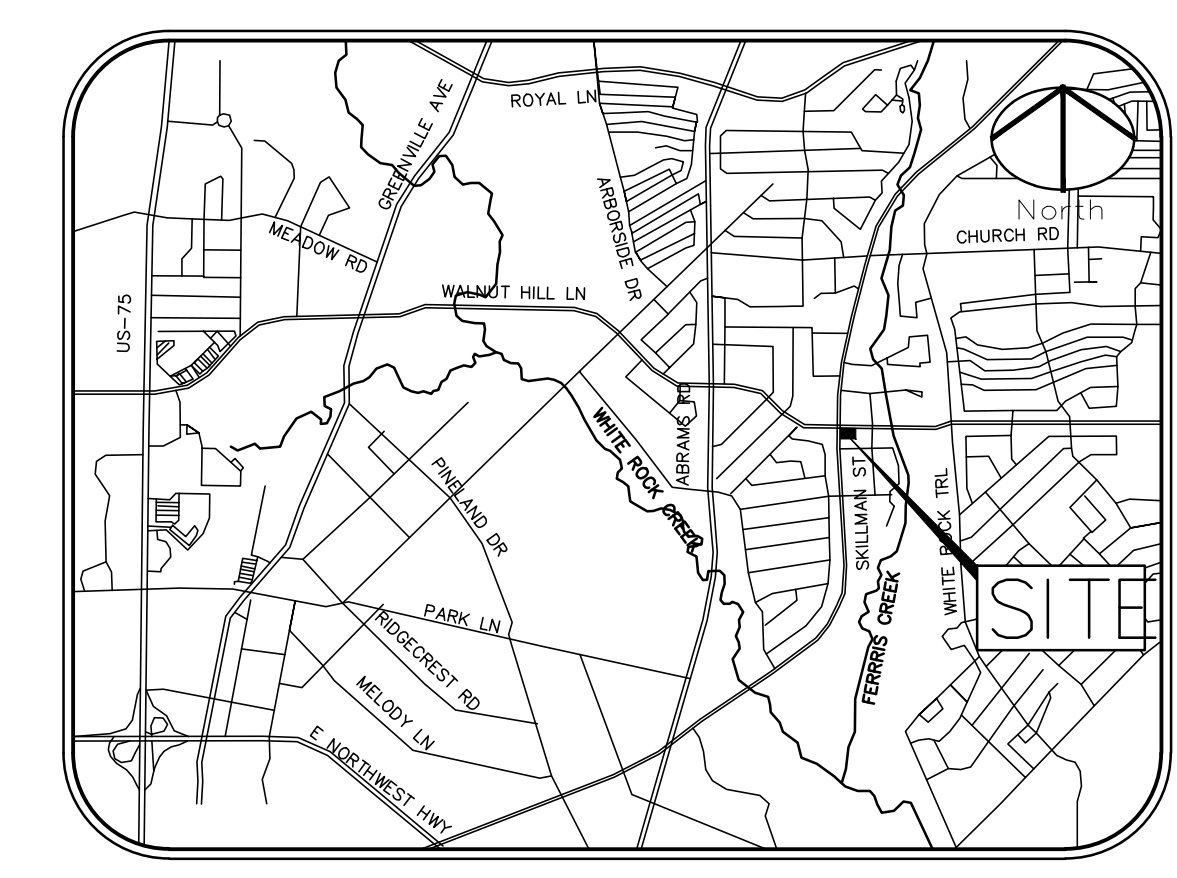
LOOKOUT POINT
(53' RIGHT OF WAY
INST. NO. 200900128293 - P.R.D.C.T.)

30'x30' VISIBILITY TRIANGLE

PROPOSED TWO WAY DRIVEWAY

**!!! CAUTION !!!
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL @ 1-800-245-4545 AT LEAST 48 HRS PRIOR TO CONSTRUCTION.



VICINITY MAP
MAPSCO-27P NTS

CITY PROJ# D190-001

Cumulus Design
Firm #14810

2080 N. Highway 360, Suite 240
Grand Prairie, Texas 75050
Tel. 214.235.0367

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF MATTHEW CRAGUN, P.E.
NO. 103469 ON 04/27/20.

SITE PLAN

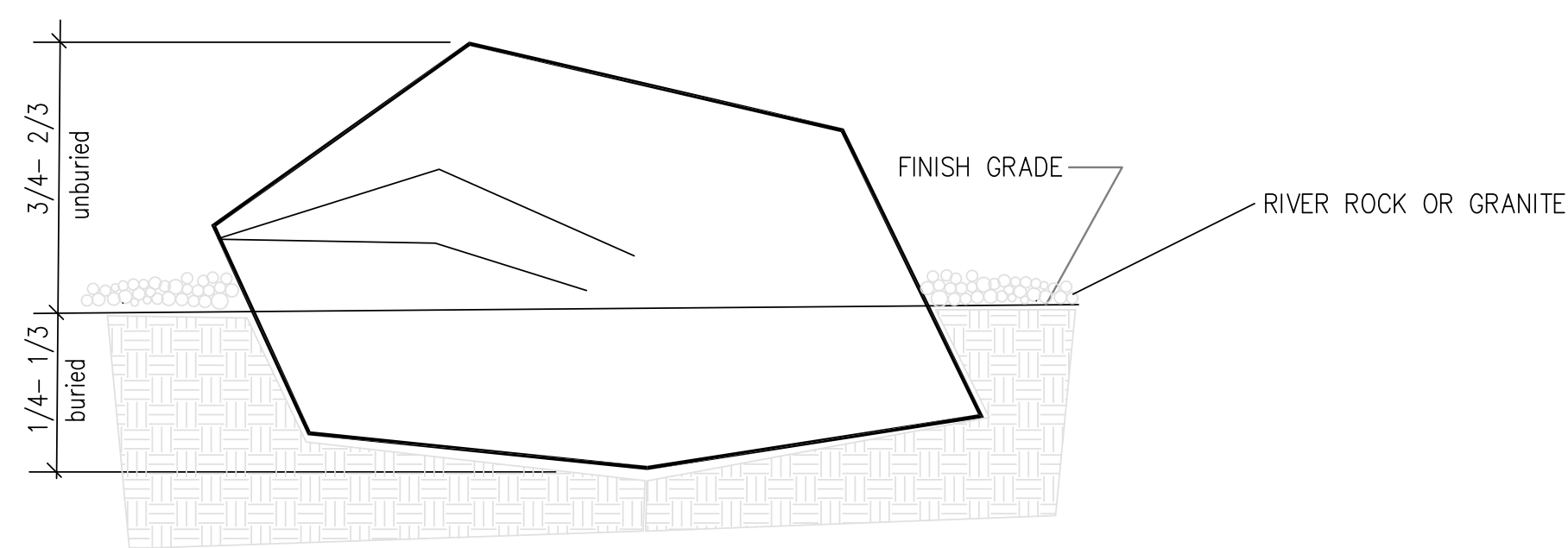
SKILLMAN ST AND WALNUT HILL LN

CITY OF DALLAS

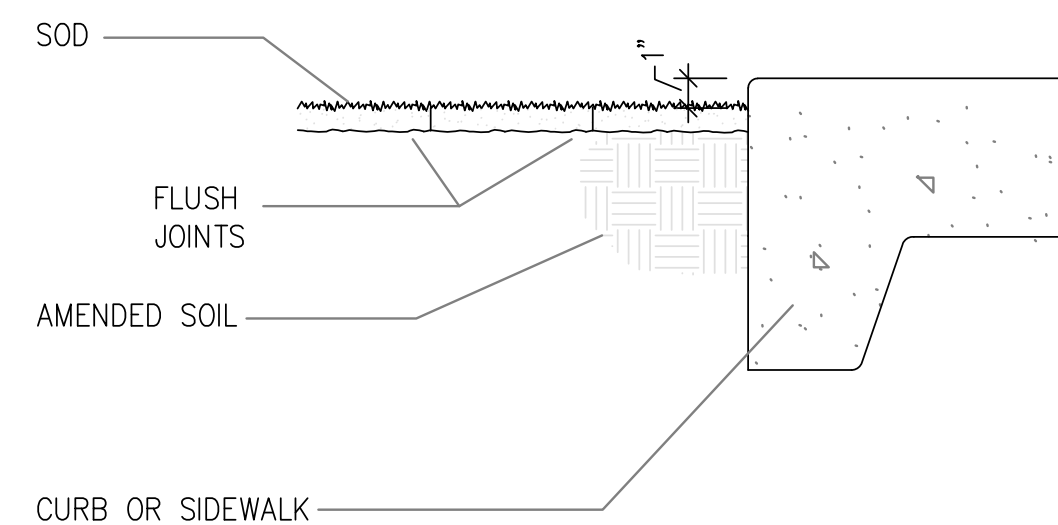
DALLAS COUNTY, TEXAS

CHASE

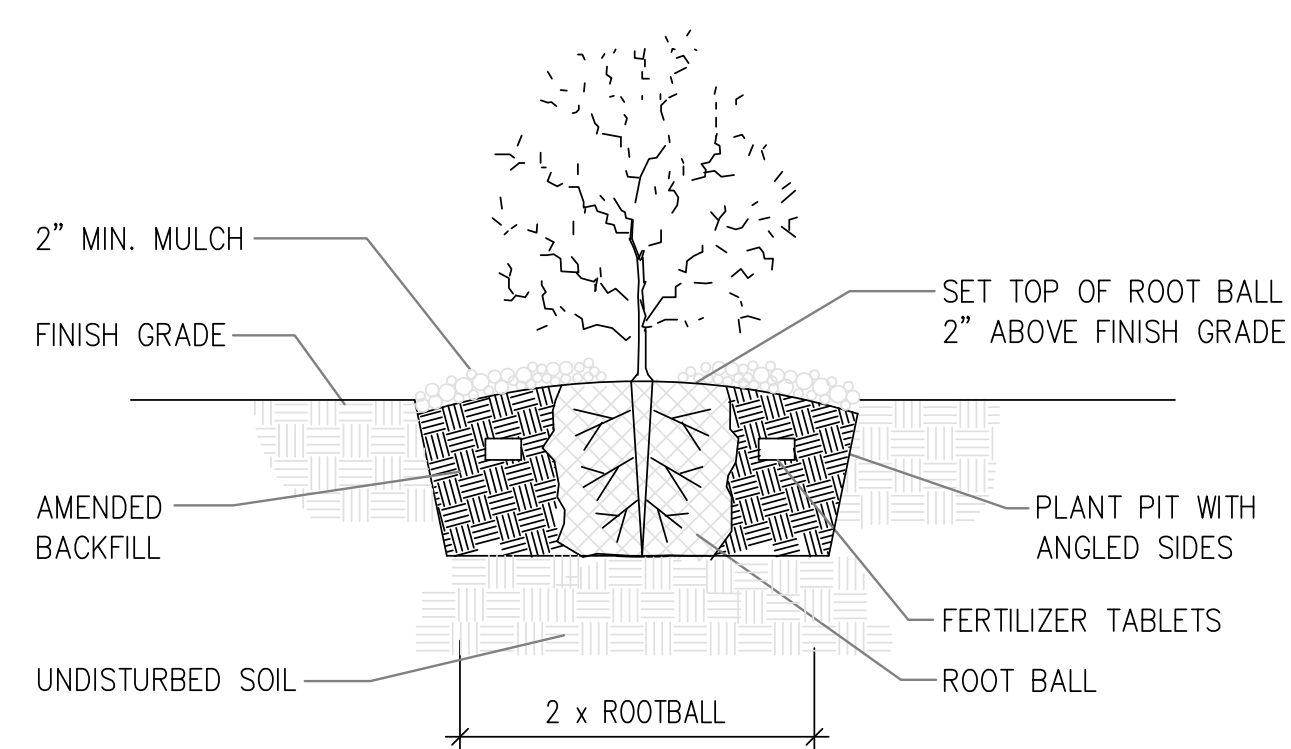
PLOT DATE	04/27/20
DRAWING SCALE	1"=20'
PROJECT NUMBER	CDC18077
SHEET NUMBER	####



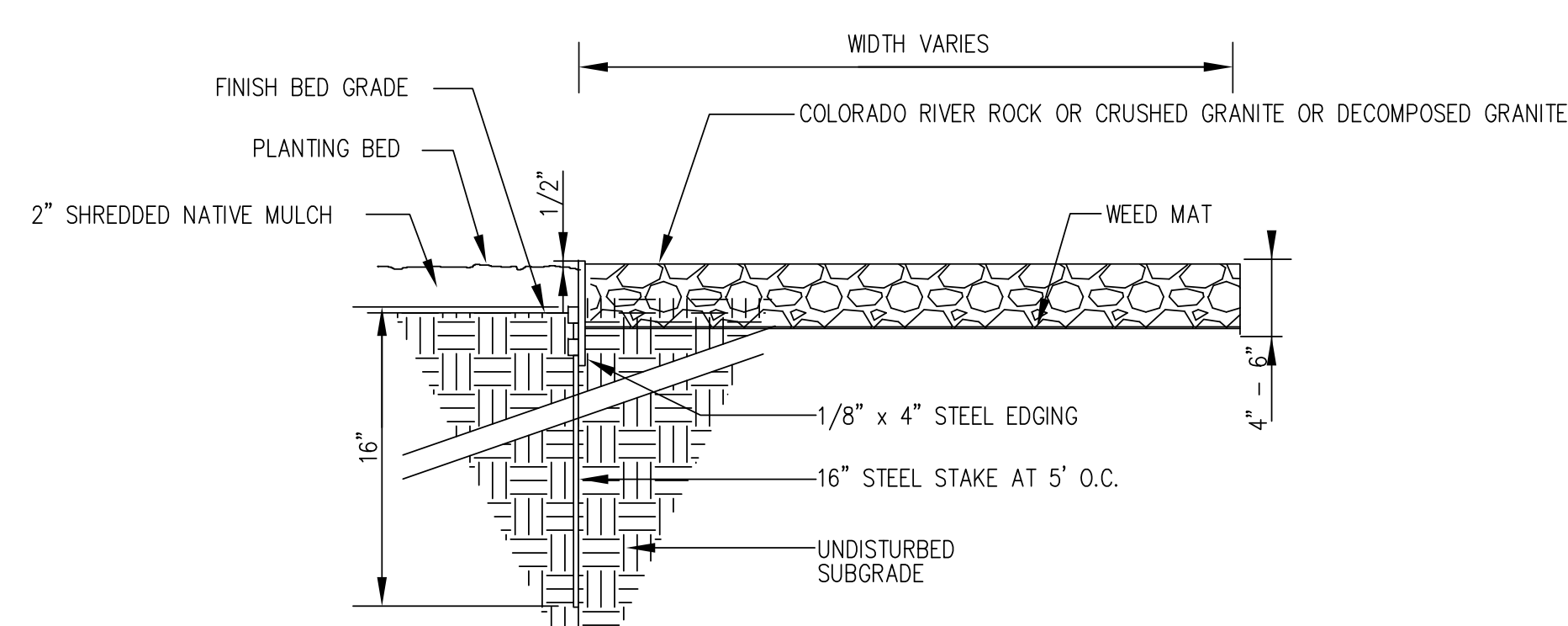
A BOULDER PLACEMENT
DETAIL
SCALE: NTS



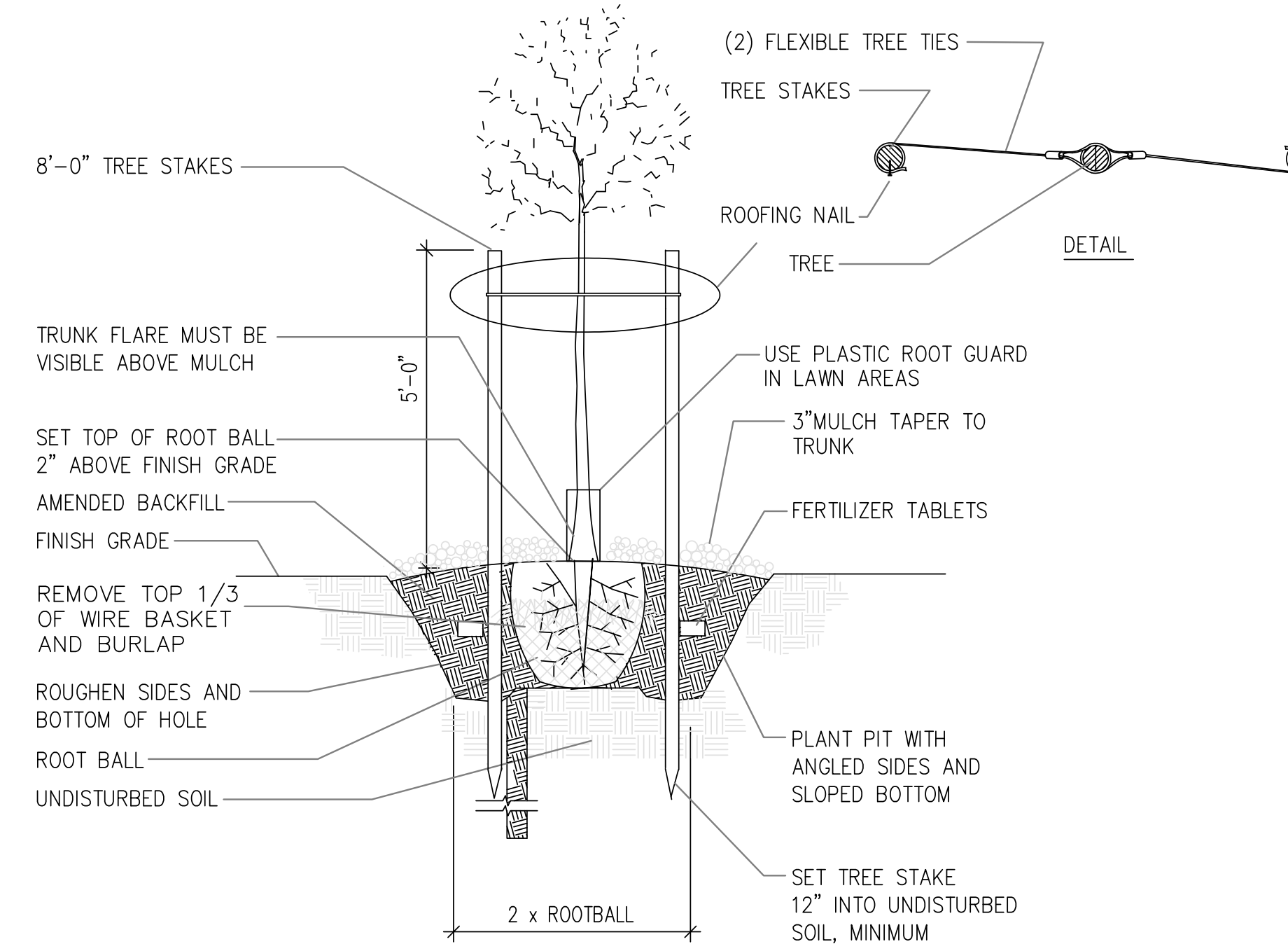
B SOD INSTALLATION
SCALE: NTS



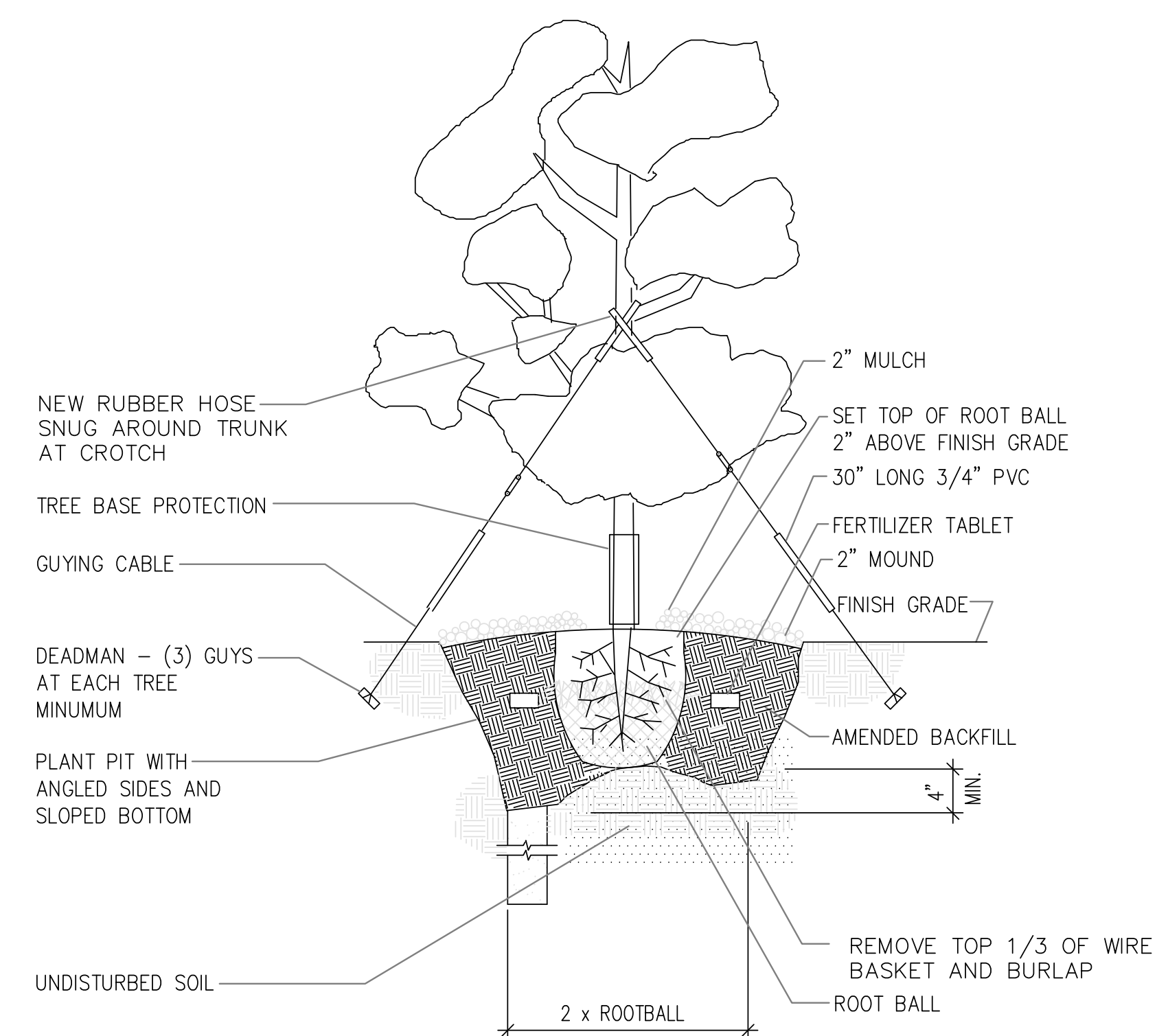
C SHRUB PLANTING DETAIL
SCALE: NTS



D STEEL EDGING DETAIL
SCALE: NTS



E TREE PLANTING AND STAKING
SCALE: NTS

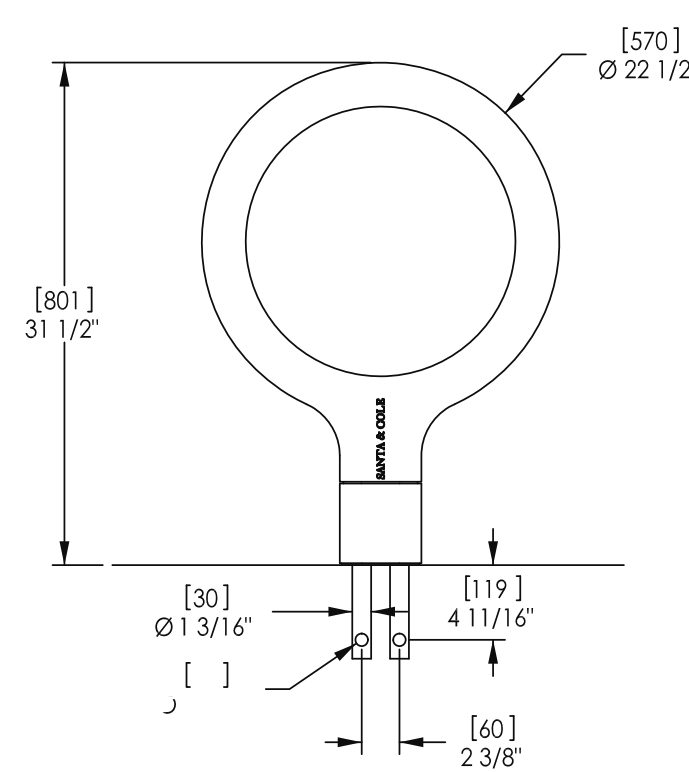


F TREE GUYING (FOR LARGE SPECIMEN TREES ONLY)
SCALE: NTS

Key Bike Rack, Embedded
Product Drawing

www.landscapeforms.com

Date: 8/1/2013
Ph: 800.521.2546



landscapeforms

Drawing: KY710-01
Dimensions are in inches [mm]

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