

JURISDICTION	CITY OF DALLAS	FIRE PROTECTION	NON-SPRINKLERED
BUILDING CODE	2015 IBC WITH AMENDMENTS	MAXIMUM TRAVEL DISTANCE ALLOWED	75 FEET
PLUMBING CODE	2015 IPC	MAXIMUM DEAD END	20 FEET
MECHANICAL CODE	2015 IMC	EXIT SEPARATION	ONE FOURTH
ELECTRICAL CODE	2017 NEC	CORRIDOR RATING	NONE
FIRE/LIFE SAFETY	2015 IFC	DOOR RATING	NONE
TEXAS ACCESSIBILITY STANDARDS	TEXAS GOV. CODE, CHAPTER 469	WINDOW	NONE
ENERGY CODES	2015 IECC	ZONING	PD 595 (FWMU-3 TRACT 1)
SQUARE FOOTAGE	1345 USF	MAXIMUM BUILDING HEIGHT	50'-0" (3 1/2 STORIES)
OCCUPANCY GROUP	M	MAXIMUM LOT COVERAGE	80%
OCCUPANCY FACTOR	60 S.F./PERSON		
OCCUPANT LOAD	24 PERSONS		
EGRESS SIZING: DOOR WIDTH	4.8" REQ.(2*OCCUPANTS)		
EGRESS SIZING: DOOR WIDTH	100" PROVIDED		
BUILDING CONSTRUCTION TYPE	II B		
NUMBER OF EXITS	1 REQ'D, 2 PROVIDED		
THIS BUILDING IS	NON-SPRINKLERED		

	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW PARTITION
	NOT IN SCOPE
	EGRESS INTENT
	FIRE EXTINGUISHER & CABINET REF. TO AS.11 FOR MOUNTING HEIGHT DETAIL
	EXIT WIDTH (DOORS OR STAIRS)
	LONGEST ROUTE TO AN EXIT

TOTAL PARKING REQUIRED PER CITY OF DALLAS ZONING:
 SUITE 1621 : 7 SPACES (1 SPACE PER 300SF)
 SUITE 1639 : VACANT
 SUITE 2839 : 7 SPACES (1 SPACE PER 200SF)

TOTAL PARKING PROVIDED:
 SUITE 1621 : 7 SPACES
 SUITE 1639 : 8 SPACES
 SUITE 2839 : 7 SPACES

TOTAL SPACES REQUIRED: 22
 TOTAL SPACES PROVIDED: 22

REQUIRED ACCESSIBLE SPACES:
 FOR 1-25 SPACES: 1 ACCESSIBLE SPACE REQUIRED
 1 SHALL BE VAN ACCESSIBLE

PROVIDED ACCESSIBLE SPACES:
 2 ACCESSIBLE (1 SPACE IS VAN ACCESSIBLE)

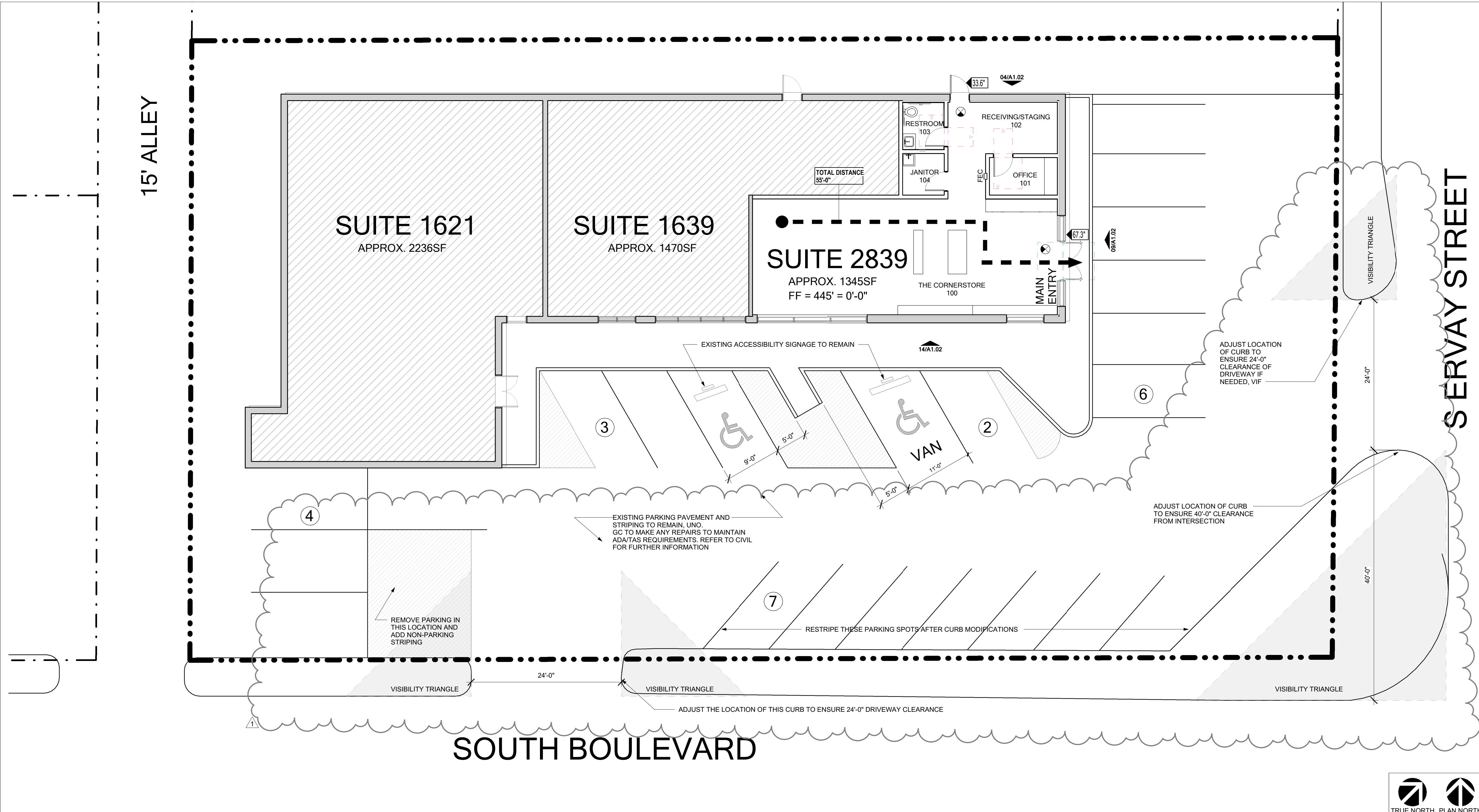
- 1) ARCHITECTURAL SITE PLAN IS ISSUED FOR REFERENCE ONLY.
- 2) RE: ELECTRICAL DRAWINGS FOR OTHER SITE INFORMATION.
- 3) RE: CIVIL DRAWINGS FOR OTHER SITE INFORMATION.
- 4) AS FOLLOWED PER PD595, ARTICLE X DOES NOT APPLY TO THIS SITE SINCE THE NON PERMEABLE COVERAGE ON THE LOT OR TRACT IS NOT INCREASED BY MORE THAN 2000 SF. (SEC. 51A-10.121(c))
- 5) REFER TO SEC. 51A-4.704(c) WITH REGARDS TO BUILDING PLACEMENT, BUILDING HEIGHT, BUILDING FACADE AND LANDSCAPE REGULATIONS DUE TO THIS PROJECT BEING A RENOVATION AND NEW WORK DOES NOT CAUSE PROJECT TO BE NONCONFORMING.

BLDG CODE CHECKLIST

SYMBOLS LEGEND

PARKING REQ'S

GENERAL NOTES



CORNERSTONE BAPTIST CHURCH

2839 S ERVAY ST DALLAS, TX 75215
 THE CROSSING

1345 SF USF

ISSUE LOG:

No.	Date	Revision Name	Initials
1	06-15-2020	CITY COMMENTS	



BG DRAWN

BG CHECKED

12	11	10	09
08	07	06	05
04	03	02	01

DETAIL MAP

OVERALL SITE PLAN

PROJECT NO.: TREC ALC
 ISSUE DATE: 03/11/20

A1.01

