

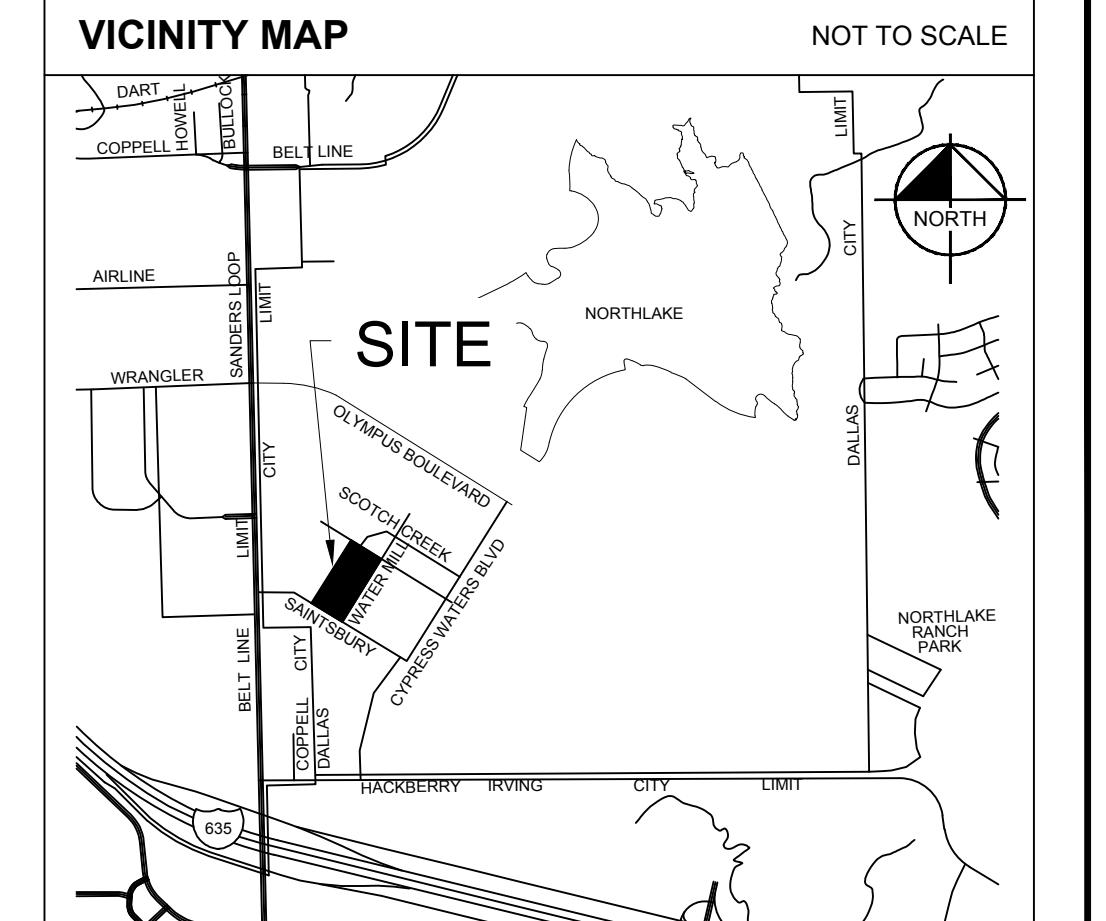
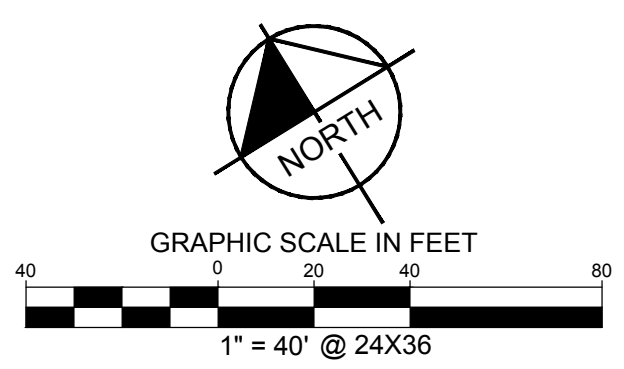
**LOT 1
BLOCK J/8465
3.1910 ACRES
139,001 SQ. FT.**

GENERAL NOTES:

- LOT TO LOT DRAINAGE WILL NOT BE ALLOWED WITHOUT ENGINEERING SECTION APPROVAL.
- BEARING SYSTEM BASED ON THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983.
- THE PURPOSE OF THIS PLAT IS TO CREATE ONE LOTS FROM UNPLATTED LAND.
- ALL ABSTRACT LINES SHOWN HEREON ARE APPROXIMATE SURVEY LINE LOCATIONS.
- THE COORDINATES SHOWN HEREON ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.

LEGEND:

- Δ = DELTA ANGLE OR CENTRAL ANGLE
- P.O.B. = POINT OF BEGINNING
- C.M. = CONTROLLING MONUMENT
- D.R.D.C.T. = DEED RECORDS OF DALLAS COUNTY, TEXAS
- O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
- VOL. = VOLUME
- PG. = PAGE
- R.O.W. = RIGHT-OF-WAY
- INST. NO. = INSTRUMENT NUMBER
- ADF = 5/8" IRON ROD WITH 3-1/2" ALUMINUM DISK STAMPED "CYPRESS WATERS NO. 1 ADDITION, RPLS NO. 5336" FOUND
- ADS = 5/8" IRON ROD WITH 3-1/2" ALUMINUM DISK STAMPED "CWRC ADDITION, RPLS NO. 5336" SET



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS, TRAMMELL CROW COMPANY NO. 43, LTD., is the owner of a tract of land situated in the John L. Whitman Survey, Abstract No. 1521, City of Dallas Block 8465, Dallas County, Texas, and being part of a tract of land described in Limited General Warranty Deed to Trammell Crow Company No. 43, Ltd., recorded in Instrument No. 200600072663, Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with 3-1/2" aluminum disk stamped "Cypress Waters No. 1 Addn." "RPLS 5336" found at the easternmost end of a right-of-way corner clip at the intersection of the northwest right-of-way line of Water Mill Road (a 66-foot wide right-of-way) and the northeast right-of-way line of Saintsbury Street (a 102-foot wide right-of-way);

THENCE with said right-of-way corner clip, South 76°41'39" West, a distance of 14.14 feet to a 5/8" iron rod with 3-1/2" aluminum disk stamped "Cypress Waters No. 1 Addn." "RPLS 5336" found for corner;

THENCE with said northeast right-of-way line, North 58°18'21" West, a distance of 271.40 feet to a 5/8" iron rod with 3-1/2" aluminum disk stamped "CWRC Addition" "RPLS 5336" set for corner;

THENCE departing said northeast right-of-way line, North 31°41'39" East, a distance of 494.32 feet to a 5/8" iron rod with 3-1/2" aluminum disk stamped "CWRC Addition" "RPLS 5336" set for corner in the southwest right-of-way line of Chapel Oaks Drive (a 66-foot wide right-of-way);

THENCE with said southwest right-of-way line, South 58°18'21" East, a distance of 271.40 feet to a 5/8" iron rod with 3-1/2" aluminum disk stamped "Cypress Waters No. 1 Addn." "RPLS 5336" found at the northernmost end of a right-of-way corner clip at the intersection of said southwest right-of-way line and said northwest right-of-way line of Water Mill Road;

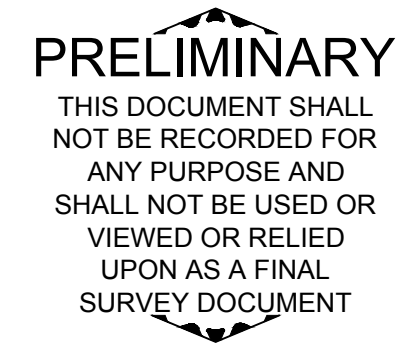
THENCE with said right-of-way corner clip, South 13°18'21" East, a distance of 14.14 feet to a 5/8" iron rod with 3-1/2" aluminum disk stamped "Cypress Waters No. 1 Addn." "RPLS 5336" found for corner;

THENCE with said northwest right-of-way line, South 31°41'39" West, a distance of 474.32 feet to the **POINT OF BEGINNING** and containing 3.1910 acres or 139,001 square feet of land.

SURVEYOR'S STATEMENT

I, Dana Brown, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, the City of Dallas Development Code (Ordinance no. 19455, as amended), and Texas Local Government Code, Chapter 212. I further affirm that monumentation shown hereon was either found or placed in compliance with the City of Dallas Development Code, Sec. 51A-8.617 (a)(b)(c)(d) & (e); and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this the _____ day of _____, 2016.



DANA BROWN
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5336
KIMLEY-HORN AND ASSOC., INC.
12750 MERIT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
972-770-1300
dana.brown@kimley-horn.com

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Dana Brown known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2016.

Notary Public in and for the State of Texas

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, **TRAMMELL CROW COMPANY NO. 43, LTD.**, acting by and through its duly authorized agent, does hereby adopt this plat, designating the herein described property as **CWRC ADDITION**, an addition to the City of Dallas, Dallas County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and floodway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire lane easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by that utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Dallas.

WITNESS, my hand at Dallas, Texas, this the _____ day of _____, 2016.

TRAMMELL CROW COMPANY NO. 43, LTD., a Texas limited partnership

By: Henry GP, L.L.C., a Texas limited liability company, general partner

By: Kenneth D. Mabry, Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Kenneth D. Mabry, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2016.

Notary Public in and for the State of Texas

**PRELIMINARY PLAT
CWRC ADDITION
LOT 1, BLOCK J/8465
PART OF THE JOHN L. WHITMAN SURVEY
ABSTRACT NO. 1521
CITY OF DALLAS, DALLAS COUNTY, TEXAS
CITY PLAN FILE NO. S156-166
ENGINEERING PLAN FILE NO. _____**



12750 Merit Drive, Suite 1000 Dallas, Texas 75251 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale 1" = 40'	Drawn by SRD	Checked by DAB	Date APR. 2016	Project No. 063973046	Sheet No. 1 OF 1
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OWNER:
TRAMMELL CROW COMPANY
NO. 43, LTD.
1722 ROUTH ST., SUITE 1313
DALLAS, TX 75201
PH: 214-270-1000
CONTACT: KEN MABRY

ENGINEER AND SURVEYOR:
KIMLEY-HORN AND ASSOC., INC.
12750 MERIT DRIVE, SUITE 1000
DALLAS, TEXAS 75251
PH: 972-770-1300
CONTACT: DANA BROWN, R.P.L.S.
DANA.BROWN@KIMLEY-HORN.COM

ENGINEER:
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DALLAS, TEXAS 75251
PH: 972-770-1300
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BRAD.MOSS@KIMLEY-HORN.COM