



City of Dallas

APPLICATION/APPEAL TO THE BOARD OF ADJUSTMENT



Case No.: BDA 223-108

Date: ~~6/20/2023~~

Data Relative to Subject Property:

Location address: 2518 Garrett Ave Dallas TX 75204 Zoning District: MF-2(A)(SAH)

Lot No.: 1 Block No.: B/1992 Acreage: .0114 Census Tract: 48113000901

Street Frontage (in Feet): 1) ~~150~~ 2) 50 3) ~~100~~ 4) ~~50~~ 5) _____

To the Honorable Board of Adjustment :

Owner of Property (per Warranty Deed): Pedro Montoya

Applicant: Pedro Montoya Telephone: 214-537-4036

Mailing Address: 4609 Manett Ave Dallas TX 75204 Zip Code: 75204

E-mail Address: ibuyhousesindfw@gmail.com

Represented by: Jesse Castillo Telephone: 817-948-4230

Mailing Address: 1801 Annex Ave Dallas TX #402 Zip Code: 75204

E-mail Address: jesse@buyindfw.com

Affirm that an appeal has been made for a Variance or Special Exception of Lot coverage and height restrictions PARKING REGULATION TO 10' (20' REQUIRED)

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to grant the described appeal for the following reason:

Will NOT CAUSE A TRAFFIC HAZARD
~~Utilization of 80% of lot coverage so that we can construct (3) 3-story condo units along with allowance to construct up to 42' in order to allow for a rooftop~~

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

Affidavit

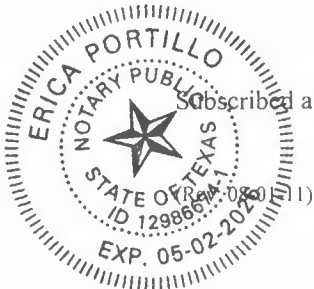
Before me the undersigned on this day personally appeared Jesse Castillo (Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property.

Respectfully submitted: [Signature] (Affiant/Applicant's signature)

Subscribed and sworn to before me this 27 day of June 2023

[Signature]
Notary Public in and for Dallas County, Texas



MEMORANDUM OF
ACTION TAKEN BY THE
BOARD OF ADJUSTMENT

Date of Hearing _____

Appeal was--Granted OR Denied

Remarks _____

Chairman

Building Official's Report

I hereby certify that PEDRO MONTOYA
represented by JESSE CASTILLO
did submit a request for (1) a variance to the off-street parking regulations
at 2518 N GARRETT AVE

BDA223-108. Application of PEDRO MONTOYA represented by JESSE CASTILLO for (1) a variance to the off-street parking regulations at 2518 N GARRETT AVE. This property is more fully described as Block B/1992, Part of lot 1 and is zoned MF-2(A), which requires a parking space must be at least 20 feet from the right-of-way line adjacent to a street or alley if the space is in an enclosed structure and if the space faces upon or can be entered directly from the street or alley. The applicant proposes to construct a residential structure with a setback of 10 feet, which will require (1) a 10-foot variance to the off-street parking regulations.

Sincerely,


Andrew Espinoza, CBO, MCP, CFM, CCEA



AFFIDAVIT

Appeal number: BDA 223-108

I, PEDRO MONTUÑA, Owner of the subject property
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 2518 N. GARRETT AVE DALLAS TX 75206
(Address of property as stated on application)

Authorize: JESSE CASTILLO III
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

Variance (specify below)

Special Exception (specify below)

Other Appeal (specify below)

Specify: ~~42' HEIGHT & 80% LOT COVERAGE~~ PARKING REGULATION TO 10'

JESSE CASTILLO III
Print name of property owner or registered agent

[Signature]
Signature of property owner or registered agent

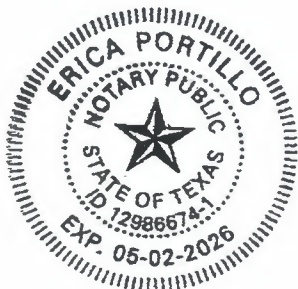
Date 4/20/23

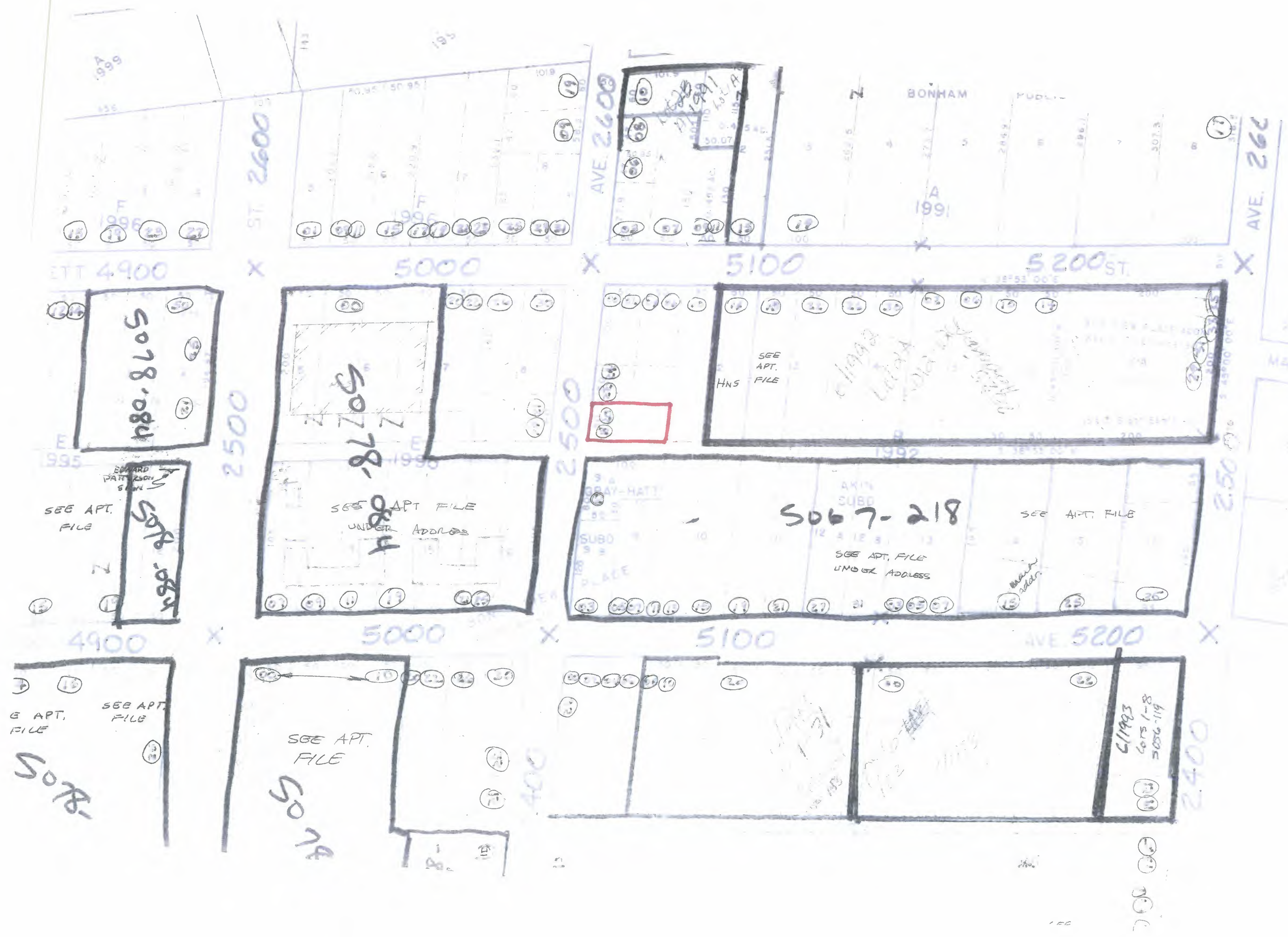
Before me, the undersigned, on this day personally appeared Jessie Castillo 3RD

Who on his/her oath certifies that the above statements are true and correct to his/her best knowledge.

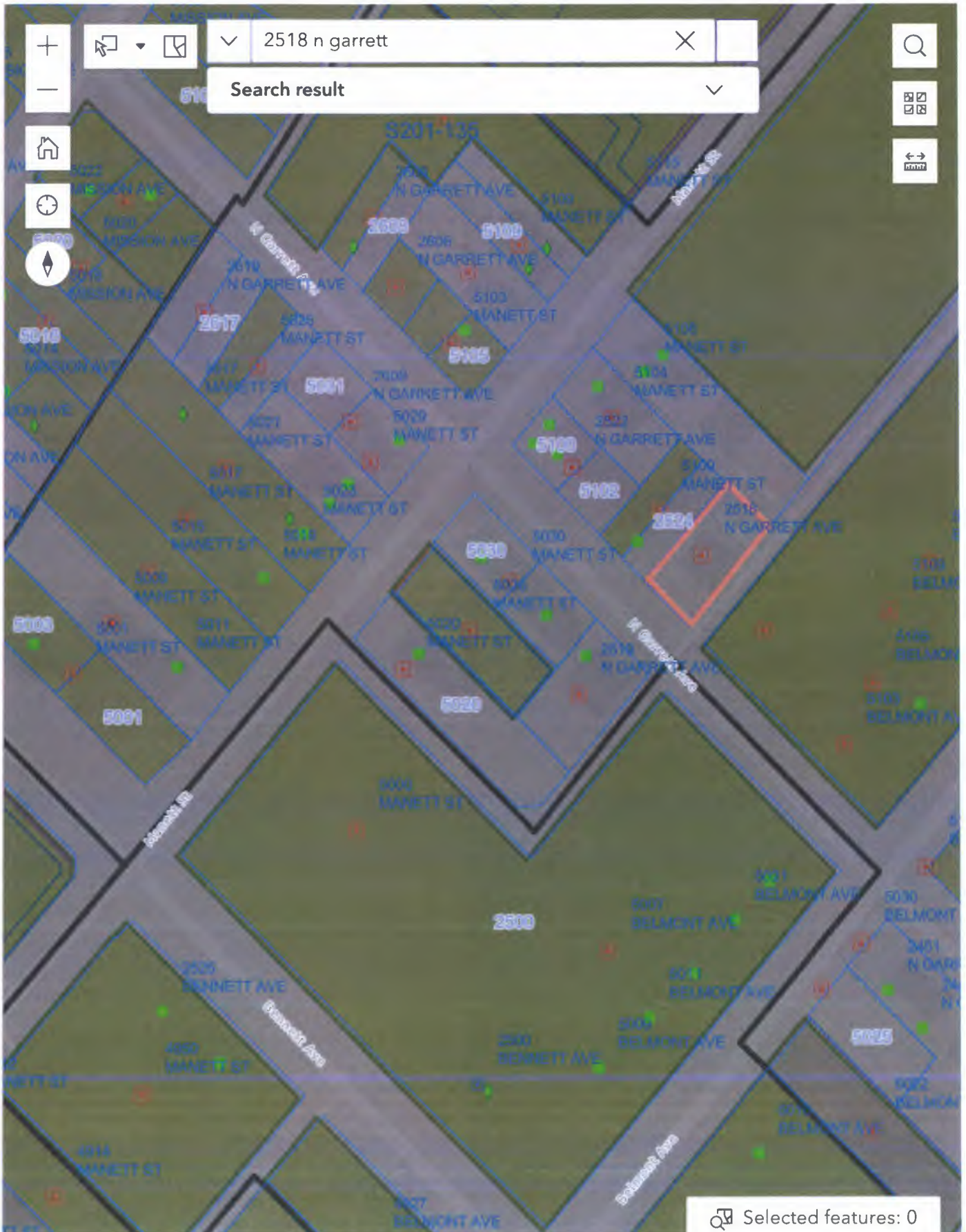
Subscribed and sworn to before me this 14th day of June, 2023

Commission expires on 5/2/26





DA 223-108



50 m
100 ft

BDA223-10B

SHIPPED DATE: 5-2-90 RECEIVED DATE: 7-1-90

CITY OF DALLAS PLAT BOOKS

ANNEXED _____ ORD. NO. _____ ADDITION _____
SURVEY J. GRIGSBY ABST. 495

BLOCKS 1991, 1992, 1993, 1994, 1995, 1996

SCALE 100 FT. EQUALS 1 INCH

PHA 15-10

SCHOOL DISTRICT DALLAS



15A 2001
15B 2001
2001
2002
2001
2007

1974
1974
1975
1975

EDA223-108



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2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV. #	NAME	DATE

PROGRESS DOCUMENT

SITE PLAN

DATE: 2023.10.05
DRAWN BY: JJG
CHECKED BY: JJG

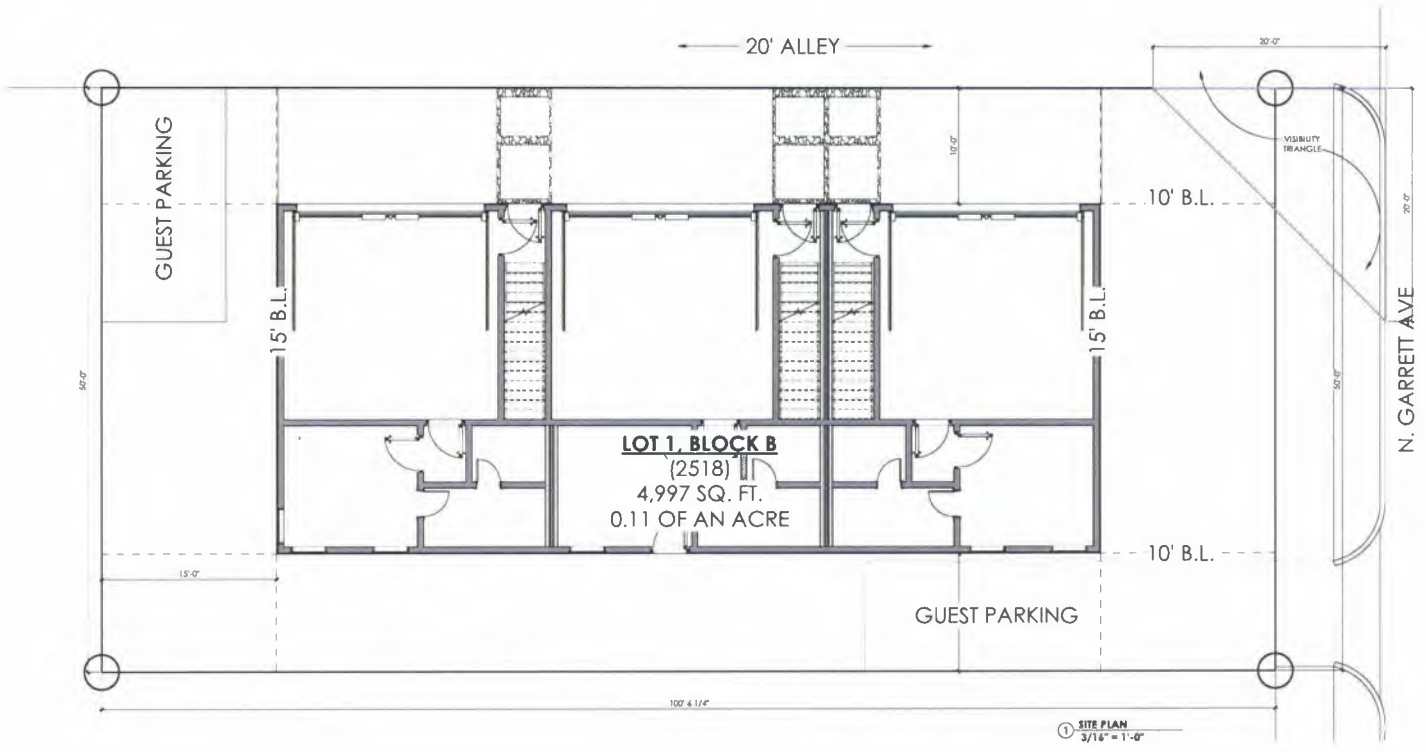
A-00
SCALE: AS INDICATED ON 22x34

UNIT C - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	362
2ND FLOOR	710
3RD FLOOR	719
MECHANICAL ROOM	279
TOTAL	2070
2 CAR GARAGE	345
ROOF DECK	441
TOTAL	786
TOTAL DESIGN AREA	2856
TOTAL UNDER ROOF	2415

UNIT B - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	359
2ND FLOOR	715
3RD FLOOR	713
MECHANICAL ROOM	765
TOTAL	2552
2 CAR GARAGE	345
ROOF DECK	426
TOTAL	771
TOTAL DESIGN AREA	2823
TOTAL UNDER ROOF	2297

UNIT A - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	340
2ND FLOOR	712
3RD FLOOR	736
MECHANICAL ROOM	765
TOTAL	2553
COYD FRONT PORCH	150
2 CAR GARAGE	345
2ND FLOOR BALCONY	150
3RD FLOOR BALCONY	150
ROOF DECK	441
TOTAL	1236
TOTAL DESIGN AREA	3299
TOTAL UNDER ROOF	2858

COVERAGE PER LOT	
LOT AREA	4997
COVERAGE	2265
PERCENT COVERED	45%



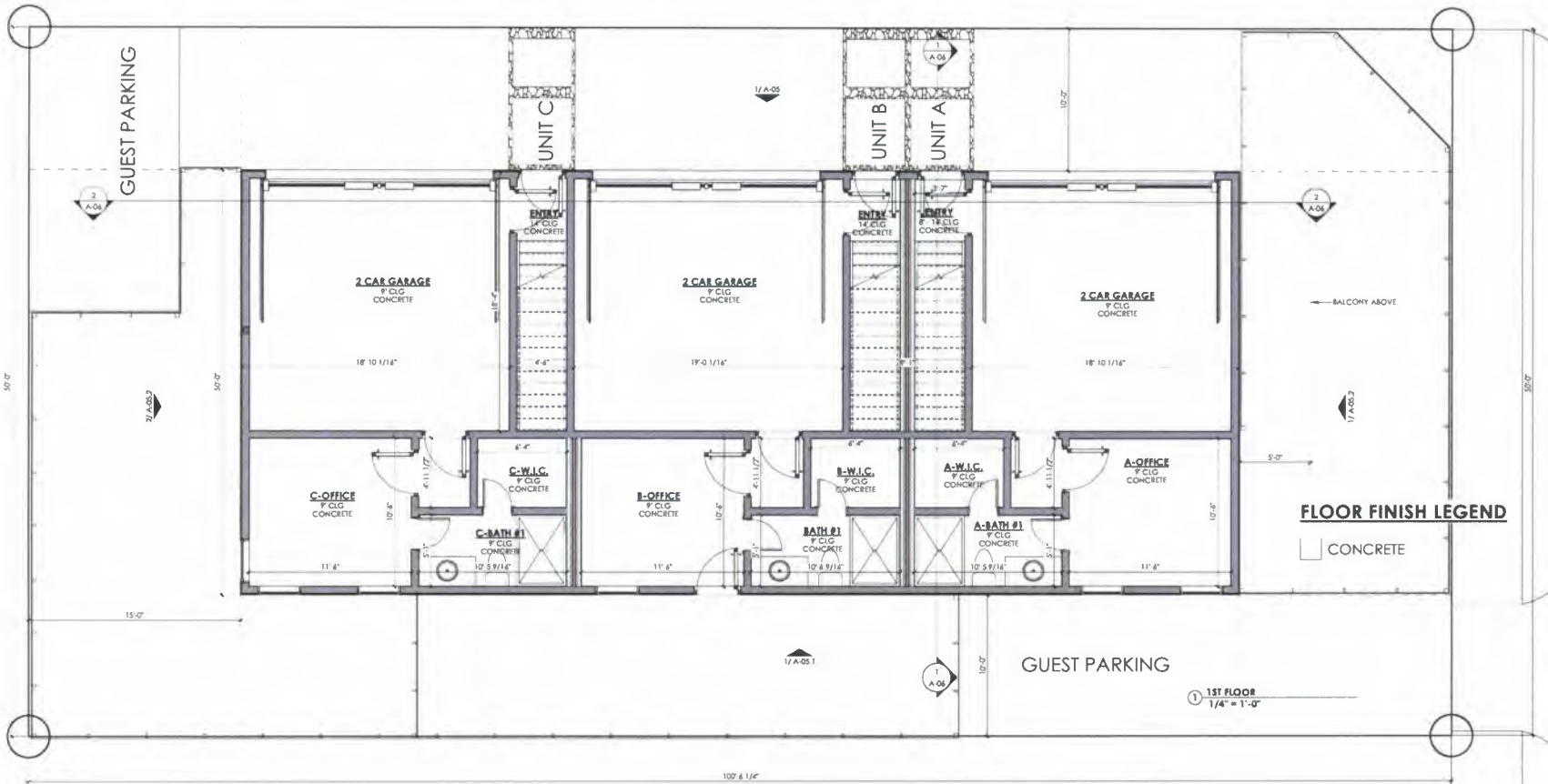
1 SITE PLAN
3/16" = 1'-0"

BDA223-108

UNIT C - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	342
2ND FLOOR	710
3RD FLOOR	719
MECHANICAL ROOM	279
TOTAL	2070
2 CAR GARAGE	345
ROOF DECK	441
TOTAL	786
TOTAL DESIGN AREA	2856
TOTAL UNDER ROOF	2415

UNIT B - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	359
2ND FLOOR	715
3RD FLOOR	713
MECHANICAL ROOM	265
TOTAL	2052
2 CAR GARAGE	345
ROOF DECK	426
TOTAL	771
TOTAL DESIGN AREA	2823
TOTAL UNDER ROOF	2397

UNIT A - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	360
2ND FLOOR	712
3RD FLOOR	726
MECHANICAL ROOM	265
TOTAL	2063
COVD FRONT PORCH	150
2 CAR GARAGE	345
2ND FLOOR BALCONY	150
3RD FLOOR BALCONY	150
ROOF DECK	441
TOTAL	1236
TOTAL DESIGN AREA	3799
TOTAL UNDER ROOF	2858



COVERAGE PER LOT	
LOT AREA	4997
COVERAGE	2265
PERCENT COVERED	45%



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2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV. #	NAME	DATE

PROGRESS DOCUMENT

1ST FLOOR PLAN

DATE: 2023.10.05
DRAWN BY: JJG
CHECKED BY: JJG

A-01
SCALE: AS INDICATED ON 22034

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2518 N GARRETT AVE
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REVISION SCHEDULE

REV #	NAME	DATE

PROGRESS DOCUMENT

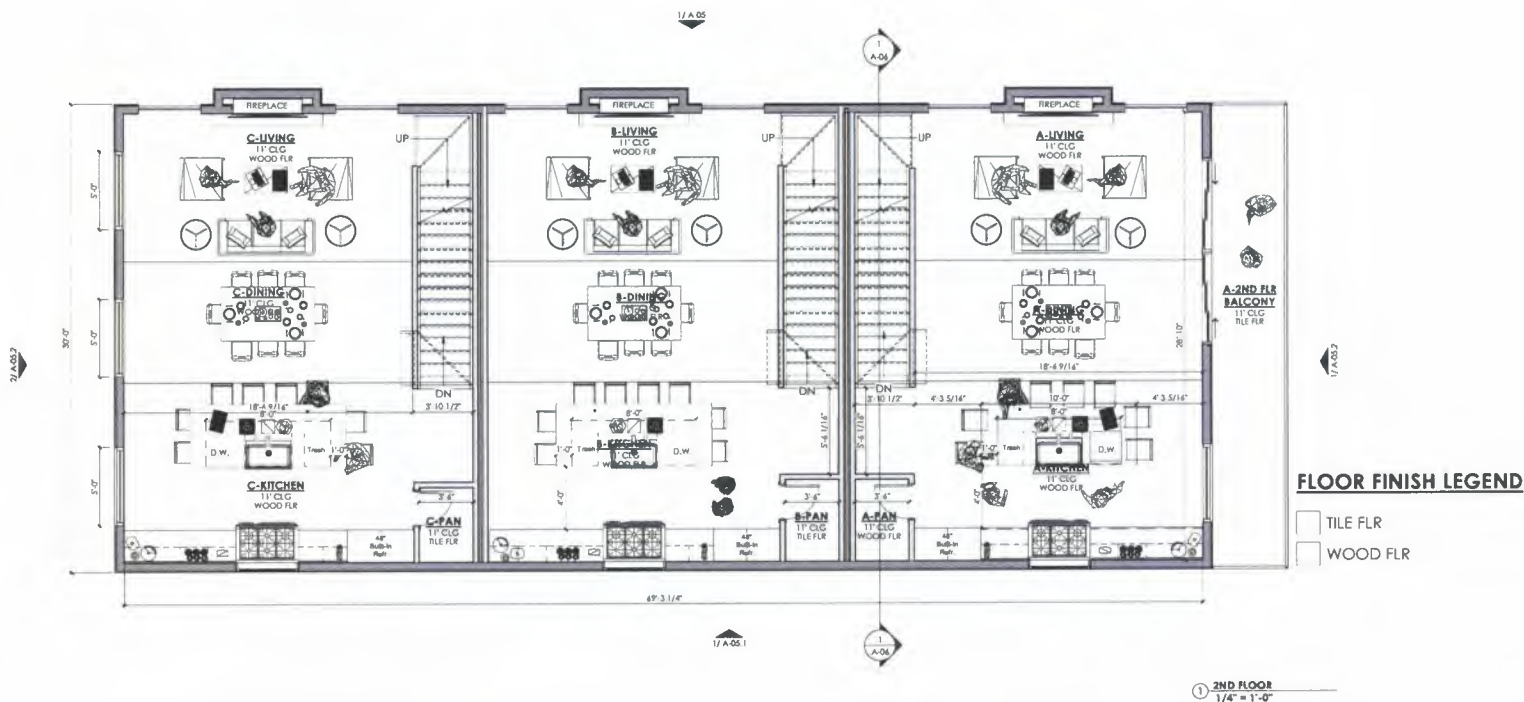
2ND FLOOR PLAN

DATE: 2023.10.05
DRAWN BY: JJG
CHECKED BY: JJG
A-02
SCALE: AS INDICATED ON 2204

UNIT C - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	347
2ND FLOOR	710
3RD FLOOR	719
MECHANICAL ROOM	779
TOTAL	2070
2 CAR GARAGE	345
ROOF DECK	441
TOTAL	784
TOTAL DESIGN AREA	3854
TOTAL UNDER ROOF	7415

UNIT B - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	359
2ND FLOOR	715
3RD FLOOR	713
MECHANICAL ROOM	745
TOTAL	2052
2 CAR GARAGE	345
ROOF DECK	426
TOTAL	771
TOTAL DESIGN AREA	2823
TOTAL UNDER ROOF	2397

UNIT A - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	340
2ND FLOOR	712
3RD FLOOR	726
MECHANICAL ROOM	245
TOTAL	2063
COVD FRONT PORCH	150
2 CAR GARAGE	345
2ND FLOOR BALCONY	150
3RD FLOOR BALCONY	150
ROOF DECK	441
TOTAL	1234
TOTAL DESIGN AREA	3299
TOTAL UNDER ROOF	2858



FLOOR FINISH LEGEND

- TILE FLR
- WOOD FLR

① 2ND FLOOR
1/4" = 1'-0"

COVERAGE PER LOT	
LOT AREA	4997
COVERAGE	2245
PERCENT COVERED	45%

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DALLAS, TEXAS 75206

REVISION SCHEDULE		
REV #	NAME	DATE

3RD FLOOR PLAN

DATE: 2023.10.05
DRAWN BY: JJG
CHECKED BY: JJG

A-03

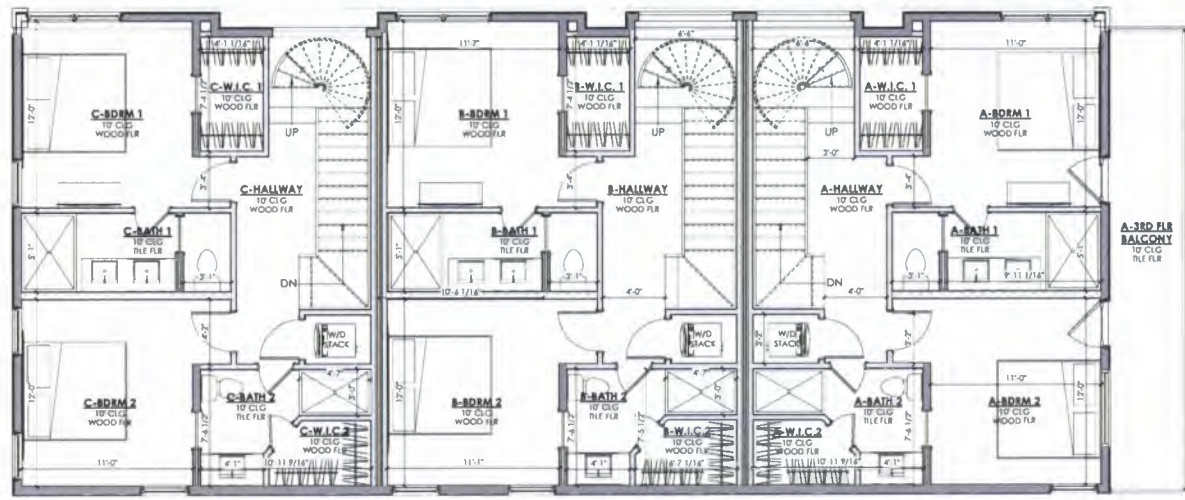
SCALE: AS INDICATED ON 2204

UNIT C - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	367
2ND FLOOR	710
3RD FLOOR	719
MECHANICAL ROOM	279
TOTAL	2070
2 CAR GARAGE	345
ROOF DECK	441
TOTAL	786
TOTAL DESIGN AREA	2856
TOTAL UNDER ROOF	2415

UNIT B - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	359
2ND FLOOR	715
3RD FLOOR	713
MECHANICAL ROOM	265
TOTAL	2052
2 CAR GARAGE	345
ROOF DECK	478
TOTAL	771
TOTAL DESIGN AREA	2823
TOTAL UNDER ROOF	2397

UNIT A - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	360
2ND FLOOR	712
3RD FLOOR	738
MECHANICAL ROOM	265
TOTAL	2063
COVID FRONT PORCH	150
2 CAR GARAGE	345
2ND FLOOR BALCONY	150
3RD FLOOR BALCONY	150
ROOF DECK	441
TOTAL	1236
TOTAL DESIGN AREA	3299
TOTAL UNDER ROOF	2858

1/4"=0'-0"



1/4"=0'-0"

① 3RD FLOOR
1/4" = 1'-0"

FLOOR FINISH LEGEND

- TILE FLR
- WOOD FLR

COVERAGE PER LOT	
LOT AREA	4997
COVERAGE	2245
PERCENT COVERED	45%

BDA223-108



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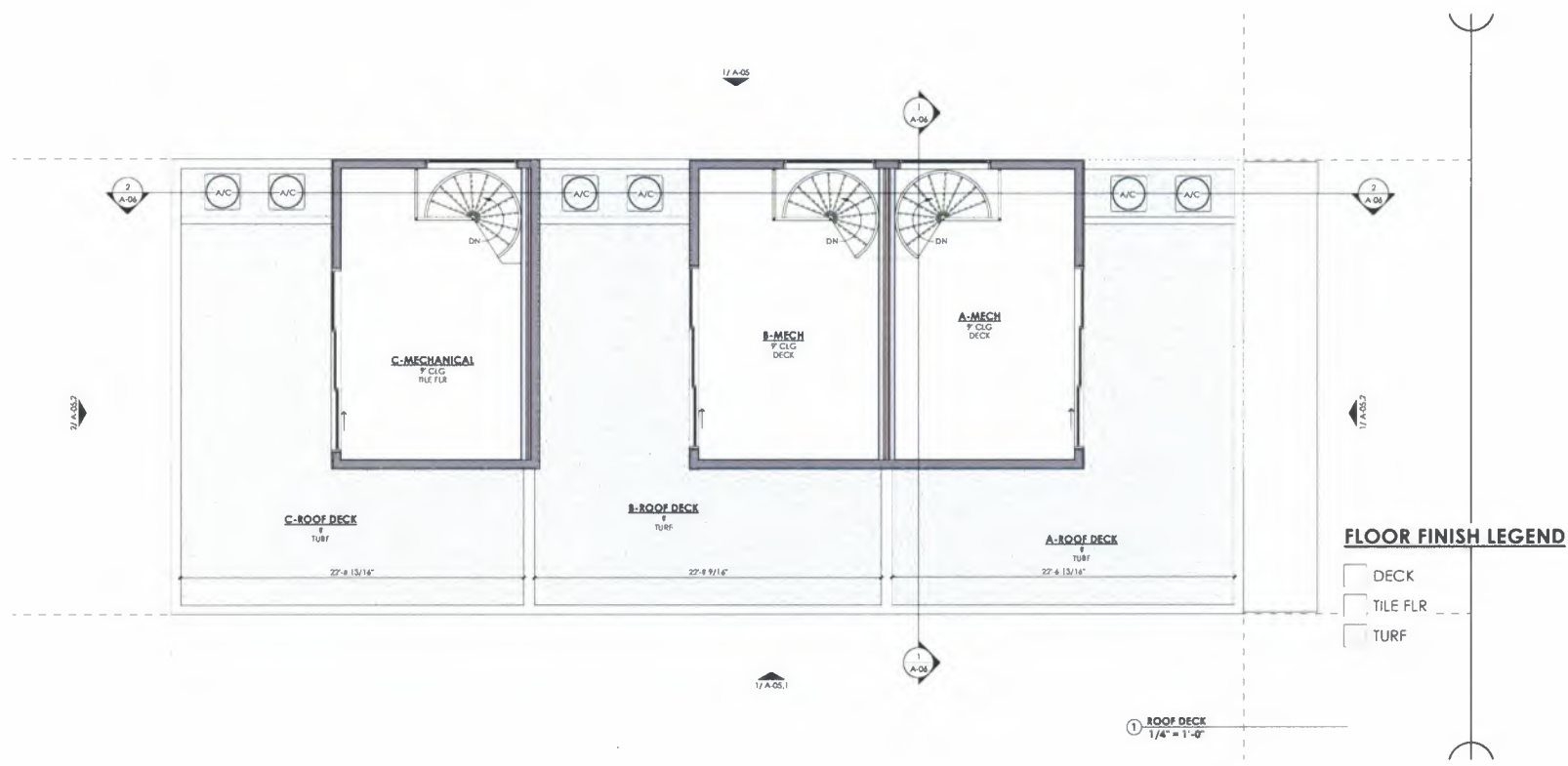
PROGRESS DOCUMENT

ROOF DECK PLAN

DATE: 2023.10.05
DRAWN BY: JJC
CHECKED BY: JJC

A-04

SCALE: AS INDICATED ON 22034



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CLIENT: JACOBY

2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE		
REV. #	NAME	DATE

PROGRESS DOCUMENT

ELEVATIONS	
DATE	2023.10.05
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A-05	
SCALE	AS INDICATED ON 22034



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CLIENT: JESSICA TOYA

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DALLAS, TEXAS 75206

REVISION SCHEDULE

REV. # NAME DATE

REV. #	NAME	DATE

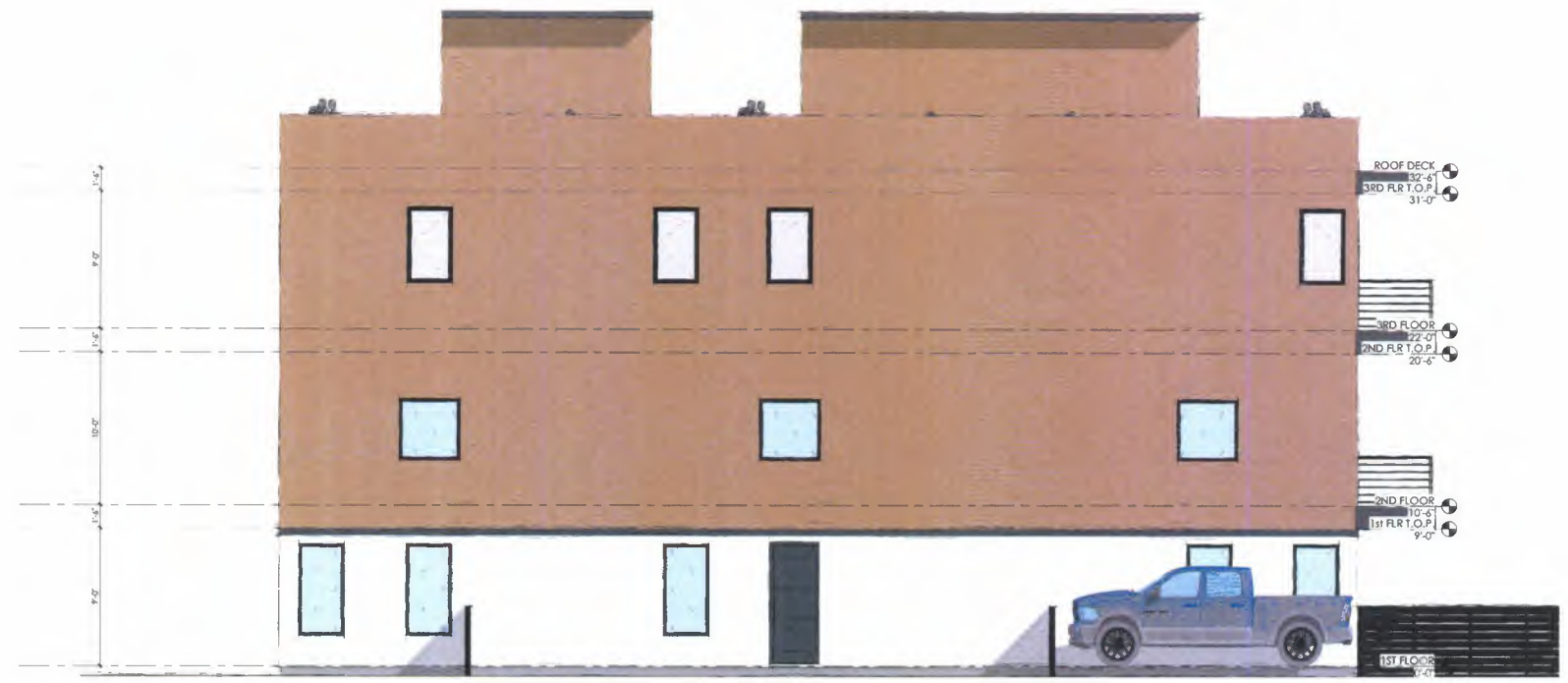
PROGRESS DOCUMENT

ELEVATIONS

DATE 2023.10.05
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A-05.1

SCALE AS INDICATED ON 22034



1 Elevation 4 - A
1/4" = 1'-0"

BDA223-108

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2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV #	NAME	DATE

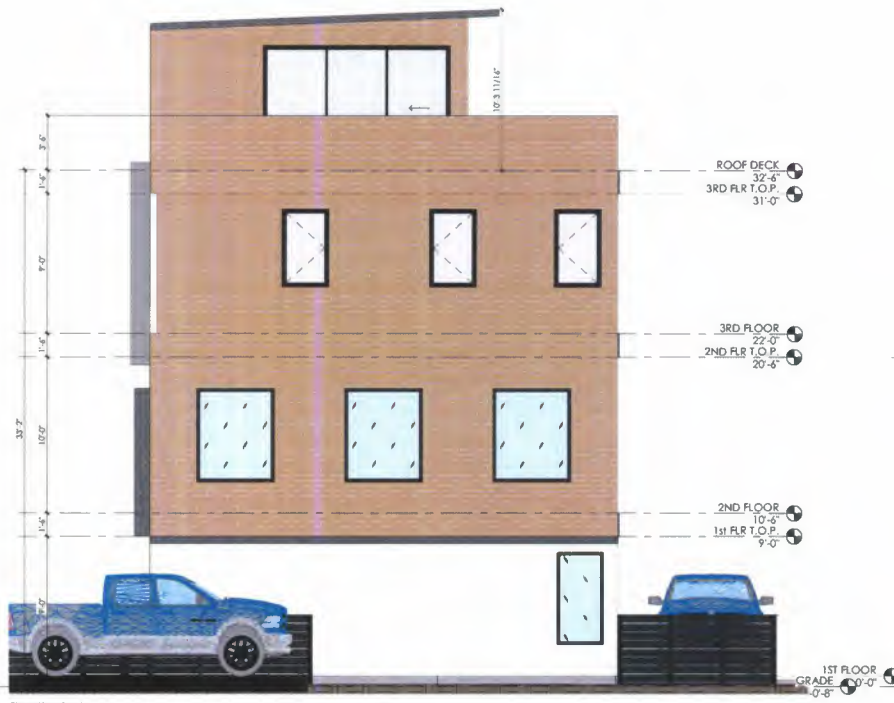
PROGRESS DOCUMENT

ELEVATIONS

DATE: 2023.10.05
DRAWN BY: JGD
CHECKED BY: JGD

A-05.2

SCALE: AS INDICATED ON 22034



② Elevation 3 - A
1/4" = 1'-0"



① Elevation 2 - A
1/4" = 1'-0"

BOA223-108

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REVISION SCHEDULE

REV. #	NAME	DATE

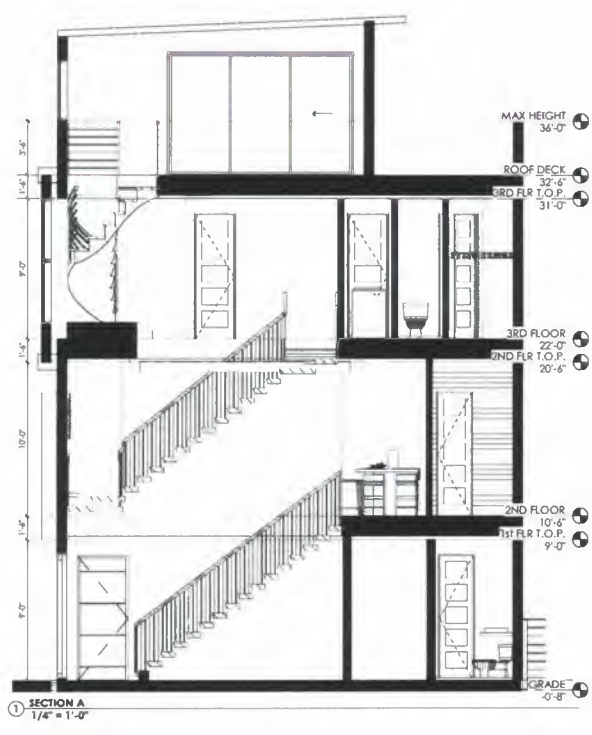
PROGRESS DOCUMENT

SECTIONS & DETAILS

DATE: 2023.10.05
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A-06

SCALE: AS INDICATED ON 22034



BDA-223-108

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CLIENT
SANTOYO

2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV. #	NAME	DATE

PROGRESS DOCUMENT

3D FLOOR PLANS

DATE	2023.10.05
DRAWN BY	JIG
CHECKED BY	JIG

A-08

SCALE AS INDICATED ON 22x34



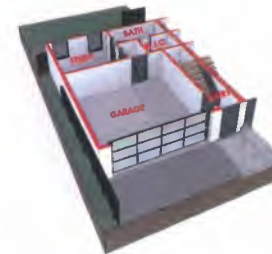
④ 3D - ROOFTOP DECK PLAN



③ 3D - 3RD FLOOR PLAN



② 3D - 2ND FLOOR PLAN



① 3D - 1ST FLOOR PLAN

BDA223-10B

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CLIENT: BDA 223-108

2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV #	NAME	DATE

PROGRESS DOCUMENT

3D VIEWS

DATE	2023.10.05
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A-09	
SCALE	AS INDICATED ON 2204



3 NORTHEAST 3D VIEW



2 SOUTHWEST 3D VIEW 2



1 EAST 3D VIEW

BDA223-108



③ 3RD FLOOR
1/8" = 1'-0"

AREA LEGEND

- A-3RD FLOOR
- A-3RD FLOOR BALCONY
- B-3RD FLOOR
- C-3RD FLOOR



② 2ND FLOOR
1/8" = 1'-0"

AREA LEGEND

- A-2ND FLR
- A-2ND FLR BALCONY
- B-2ND FLR
- C-2ND FLR

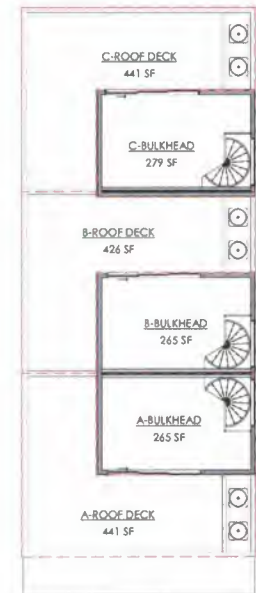
REFERENCE

UNIT C - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	367
2ND FLOOR	710
3RD FLOOR	719
MECHANICAL ROOM	279
TOTAL	2075
2 CAR GARAGE	345
ROOF DECK	441
TOTAL	786
TOTAL DESIGN AREA	2854
TOTAL UNDER ROOF	2415

UNIT B - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	359
2ND FLOOR	715
3RD FLOOR	713
MECHANICAL ROOM	265
TOTAL	2052
2 CAR GARAGE	345
ROOF DECK	426
TOTAL	771
TOTAL DESIGN AREA	2823
TOTAL UNDER ROOF	2397

UNIT A - SQUARE FOOTAGE	
AREAS	SQUARE FEET
1ST FLOOR	340
2ND FLOOR	712
3RD FLOOR	726
MECHANICAL ROOM	265
TOTAL	2043
COVID FRONT PORCH	150
2 CAR GARAGE	345
2ND FLOOR BALCONY	150
3RD FLOOR BALCONY	150
ROOF DECK	441
TOTAL	1234
TOTAL DESIGN AREA	3299
TOTAL UNDER ROOF	2658

COVERAGE PER LOT	
LOT AREA	4997
COVERAGE	2345
PERCENT COVERED	45%



④ ROOF DECK
1/8" = 1'-0"

AREA LEGEND

- A-BULKHEAD
- A-ROOF DECK
- B-BULKHEAD
- B-ROOF DECK
- C-BULKHEAD
- C-ROOF DECK



① 1ST FLOOR
3/32" = 1'-0"

AREA LEGEND

- A-1ST FLR
- A-2 CAR GARAGE
- A-COVID FRONT PORCH
- A-DRIVE
- B-1ST FLR
- B-2 CAR GARAGE
- B-DRIVE
- C-1ST FLR
- C-2 CAR GARAGE
- C-DRIVE



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CLIENT: JGD DESIGN

2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE

REV #	NAME	DATE

PROGRESS DOCUMENT

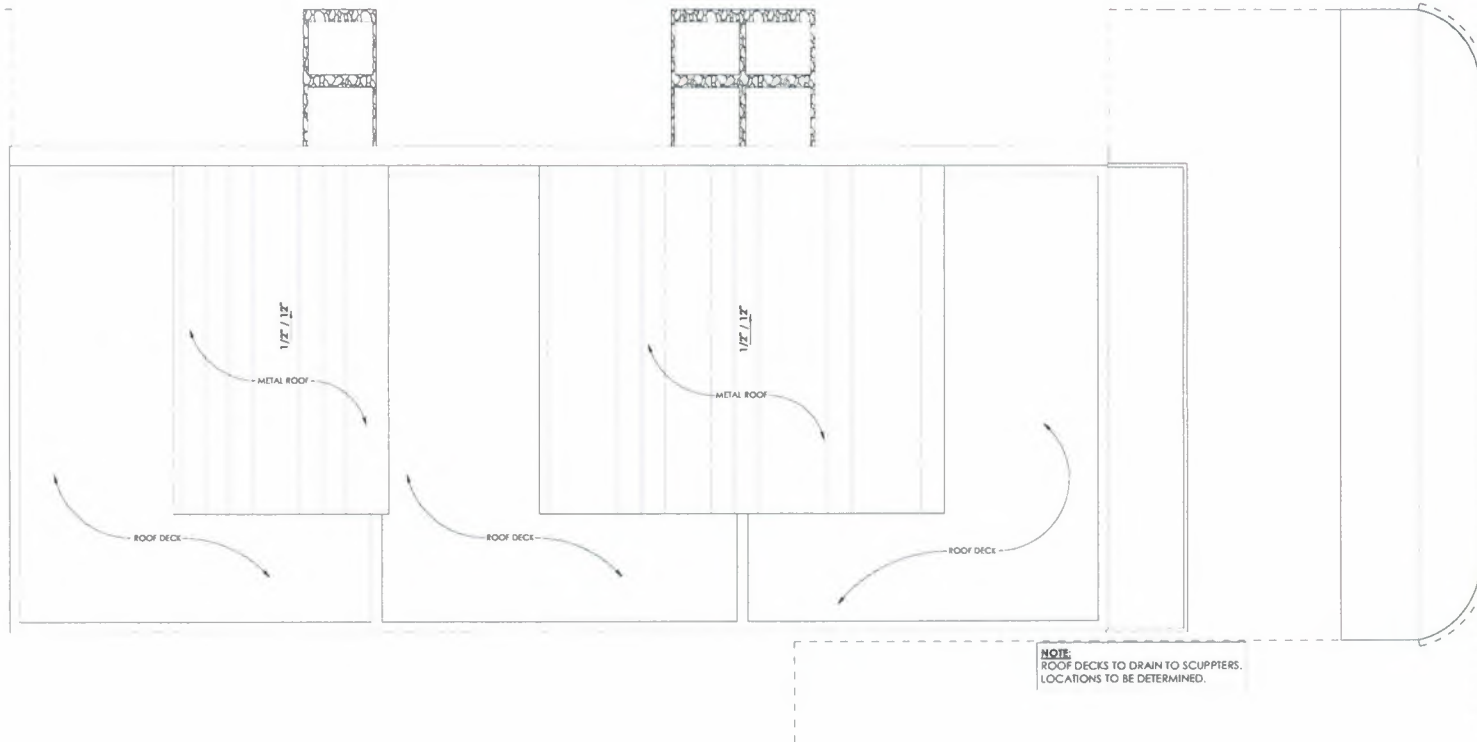
AREA PLANS

DATE	2023.10.05
DRAWN BY	JJG
CHECKED BY	JJG

A-10
SCALE AS INDICATED ON 2204

BOA-223-108

REFERENCE



① ROOF PLAN
1/4" = 1'-0"



J.G. DESIGN@LIVE.COM
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2518 N GARRETT AVE
DALLAS, TEXAS 75206

REVISION SCHEDULE		
REV #	NAME	DATE

PROGRESS DOCUMENT

ROOF PLAN

DATE: 2023.10.05
DRAWN BY: J.J.G.
CHECKED BY: J.J.G.

A-11

SCALE: AS INDICATED ON 22034

BDA 223-108