



# Development Services

"TOGETHER WE ARE BUILDING A SAFE AND UNITED DALLAS"

## APPLICATION/APEAL TO THE BOARD OF ADJUSTMENT

Case No.: BDA 234-011 **RECEIVED**  
 Date: **FOR OFFICE USE ONLY**  
 Data Relative to Subject Property: Wright Farms - Phase 2 **CUD DEV. - CODE VIOLATION**  
 Location address: 1874 Temper Lane, Dallas TX Zoning District: R-7.5(A) R  
 Lot No.: 5 Block No.: D/8826 Acreage: 0.15 Census Tract: 171.01  
 Street Frontage (in Feet): 1) 60' 2) 114.5' 3) \_\_\_\_\_ 4) \_\_\_\_\_ 5) \_\_\_\_\_

### To the Honorable Board of Adjustment:

Owner of Property (per Warranty Deed): Lennar Homes Of Texas  
 Applicant: Gregory Urech Telephone: 214-923-8080  
 Mailing Address: 1701 Market Place Blvd Suite 100, Irving TX Zip Code: 75063  
 E-mail Address: greg.urech@lennar.com  
 Represented by: KFM Engineering and Design Telephone: 469 899 0536  
 Mailing Address: 3501 Olympus Blvd Suite 100, Dallas, TX Zip Code: 75019  
 E-mail Address: dpitcher@kfm-llc.com

Affirm that an appeal has been made for a Variance , or Special Exception , of \_\_\_\_\_  
Building a home 1.5' outside of the building setback line shown on the plat.

Proposing 18.5' setback instead and it is required 20' setback. -BU

Application is made to the Board of Adjustment, in accordance with the provisions of the Dallas Development Code, to Grant the described appeal for the following reason:

Contractors began framing the home and failed to realize its 1.5' beyond the building setback line.

Note to Applicant: If the appeal requested in this application is granted by the Board of Adjustment, a permit must be applied for within 180 days of the date of the final action of the Board, unless the Board specifically grants a longer period.

### Affidavit

Before me the undersigned on this day personally appeared Gregory Urech

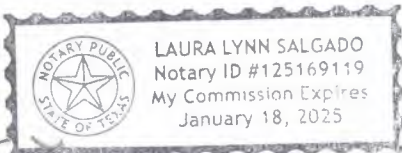
(Affiant/Applicant's name printed)

who on (his/her) oath certifies that the above statements are true and correct to his/her best knowledge and that he/she is the owner/or principal/or authorized representative of the subject property

Respectfully submitted: [Signature]  
 (Affiant/Applicant's signature)

Subscribed and sworn to before me this 3rd day of November, 2023

[Signature]  
 Notary Public in and for Dallas County, Texas



MEMORANDUM OF  
ACTION TAKEN BY THE  
BOARD OF ADJUSTMENT

Date of Hearing \_\_\_\_\_

Appeal was--Granted OR Denied

Remarks \_\_\_\_\_

Chairman

**Building Official's Report**

I hereby certify that GREGORY URECH  
represented by KFM ENGINEERING AND DESIGN  
did submit a request for (1) a variance to the front yard setback regulations  
at 1874 TEMPER LN.

BDA234-011. Application of GREGORY URECH represented by KFM ENGINEERING AND DESIGN for (1) a variance to the front yard setback regulations at 1874 Temper Rd. This property is more fully described as Block D/8826, Lot 5 and is zoned R-7.5(A), which requires a front yard setback of 20-feet. The applicant proposes to construct and/or maintain a single-family residential structure and provide an 18-foot 4-inch front yard setback, which will require (1) a 1-foot 8-inch variance to the front yard setback regulations.

Sincerely,

  
Andrew Espinoza, CBO, MCP, CFM, CCEA



Appeal number: BDA 234-011

I, Lennar Homes of Texas, Owner of the subject property  
(Owner or "Grantee" of property as it appears on the Warranty Deed)

at: 1874 Temper Lane, Dallas TX  
(Address of property as stated on application)

Authorize: Gregory Urech  
(Applicant's name as stated on application)

To pursue an appeal to the City of Dallas Zoning Board of Adjustment for the following request(s)

- Variance (specify below)
- Special Exception (specify below)
- Other Appeal (specify below)

Specify: Building a home 1.5' outside of the building setback line shown on the plat.

Lennar Homes of Texas  
Print name of property owner or registered agent  
agent Date 11/3/23

[Signature]  
Signature of property owner or registered agent

Before me, the undersigned, on this day personally appeared  
Gregory Urech

Who on his/her oath certifies that the above statements are true and correct to his/her best  
knowledge. Subscribed and sworn to before me this 3rd day of  
November, 2023



[Signature]  
Notary Public for Dallas County,  
Texas

Commission expires on  
1-18-2025





PROJECT

WRIGHT FARMS -  
PHASE 2

TITLE

**SITE ZONING  
MAP**

SUBTITLE

CLIENT

LENNAR HOMES OF  
TEXAS

BD23A-011



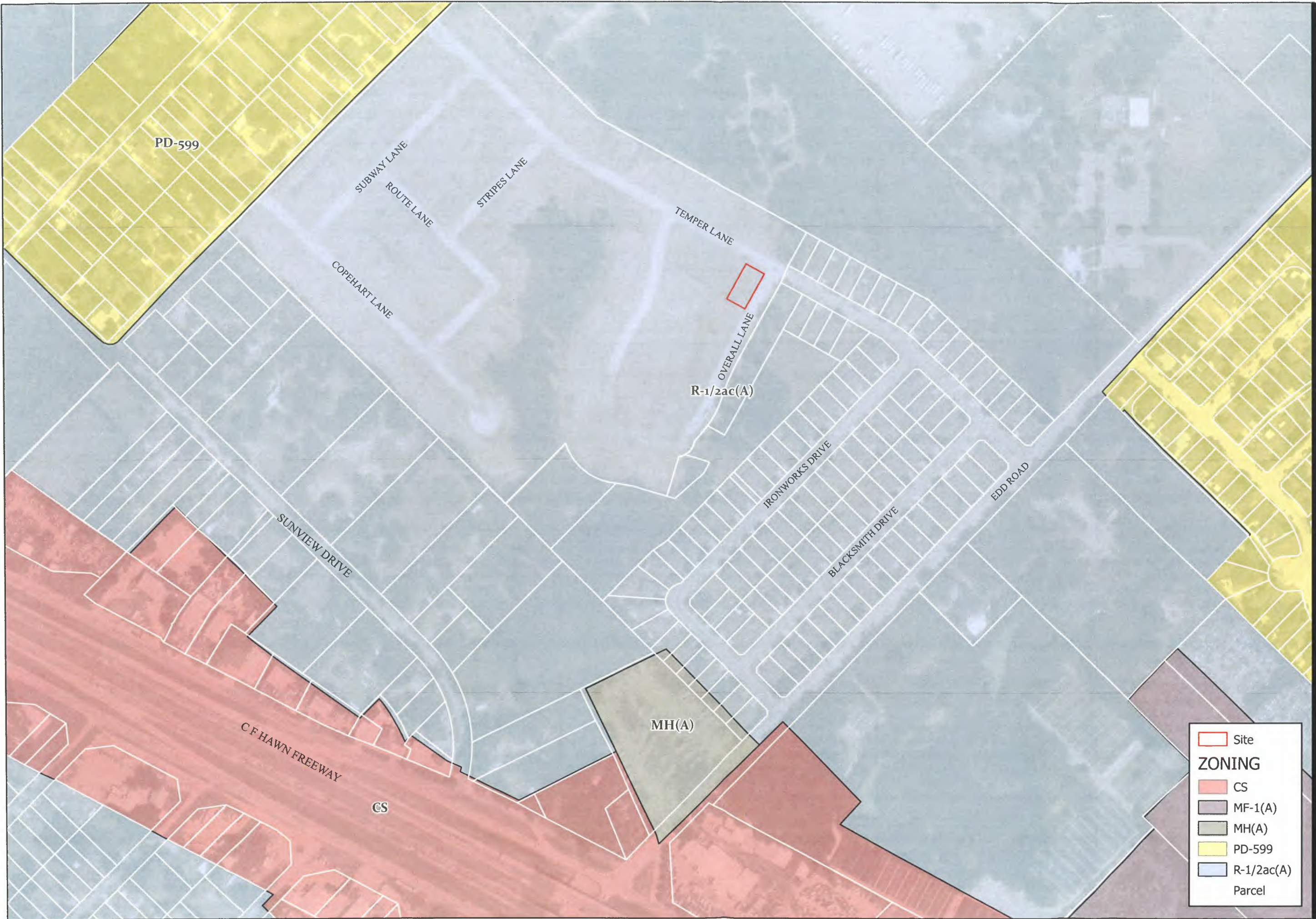
1 in = 250 ft

PROJECT NUMBER:  
01000X00X

DATE:  
NOVEMBER 03, 2023

SHEET:

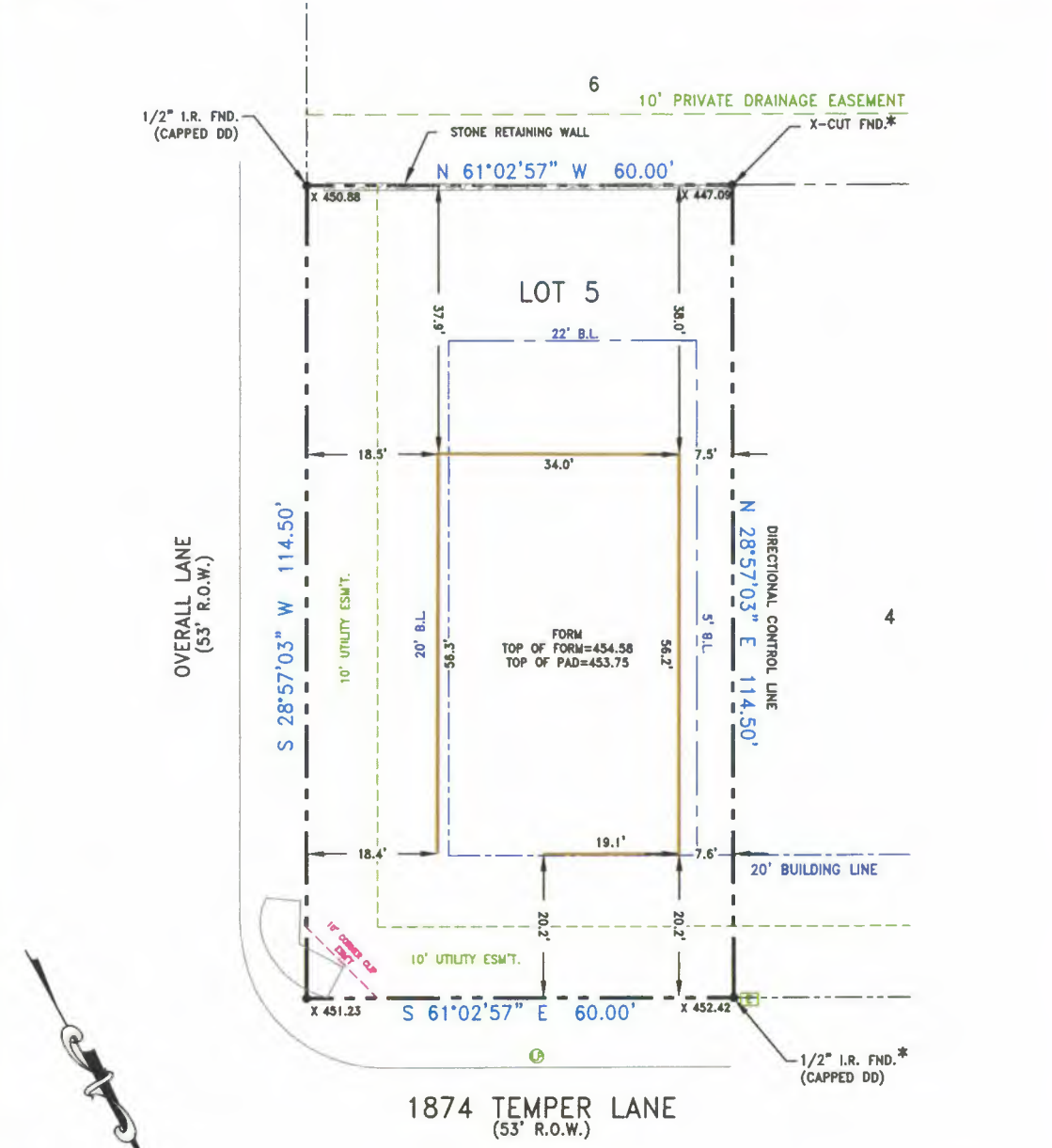
1 OF X





BUILDER: LENNAR  
 FORM SURVEY  
 DATE: 07/14/2023

BDA234-011



SCALE: 1"=20'@8.5X14

**UTILITY LEGEND**

GAS METER: (G)	CABLE BOX: (C)
TEL. PED: (T)	ELEC. BOX: (E)
FIRE HYDRANT: (FH)	TRANSFORMER: (X)
LIGHT POLE: (LP)	SIGN: (S)
WATER METER: (WM)	MANHOLE: (M)
WATER VALVE: (V)	AREA DRAIN: (A)

NOTE: ALL LOTS, RIGHT-OF-WAYS, AND EASEMENTS SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.  
 NOTE: BASIS OF BEARINGS FOR THIS SURVEY FROM DATA PROVIDED BY THE RECORDED PLAT.  
 NOTE: NON-PLATTED BUILDING LINES, SHOWN HEREON, ARE DERIVED FROM PLOT PLANS AND/OR CITY ORDINANCES. LOCATION OF SAID NON-PLATTED BUILDING LINES ARE SHOWN AS A COURTESY AND MAY NOT ACCURATELY REFLECT CURRENT BUILDING SETBACK REGULATIONS.

**LEGEND**

WOOD PANEL FENCE: (--- --- ---)		
BARB/CHAINLINK FENCE: (---X---)		
IRON FENCE: (---T---)		
TELEPHONE: (---T---)		
ELECTRIC: (---E---)		
(*)=CONTROL MONUMENT		
WOOD	STONE	TILE
CONCRETE	BRICK	ASPHALT

**PROPERTY DESCRIPTION:** Lot 5, Block D/8826, Wright Farms Phase 2, an Addition to the city of Dallas, Texas, according to the plat thereof recorded under Clerk's Document No. 2023-202300077392, Official Public Records, Dallas County, Texas.

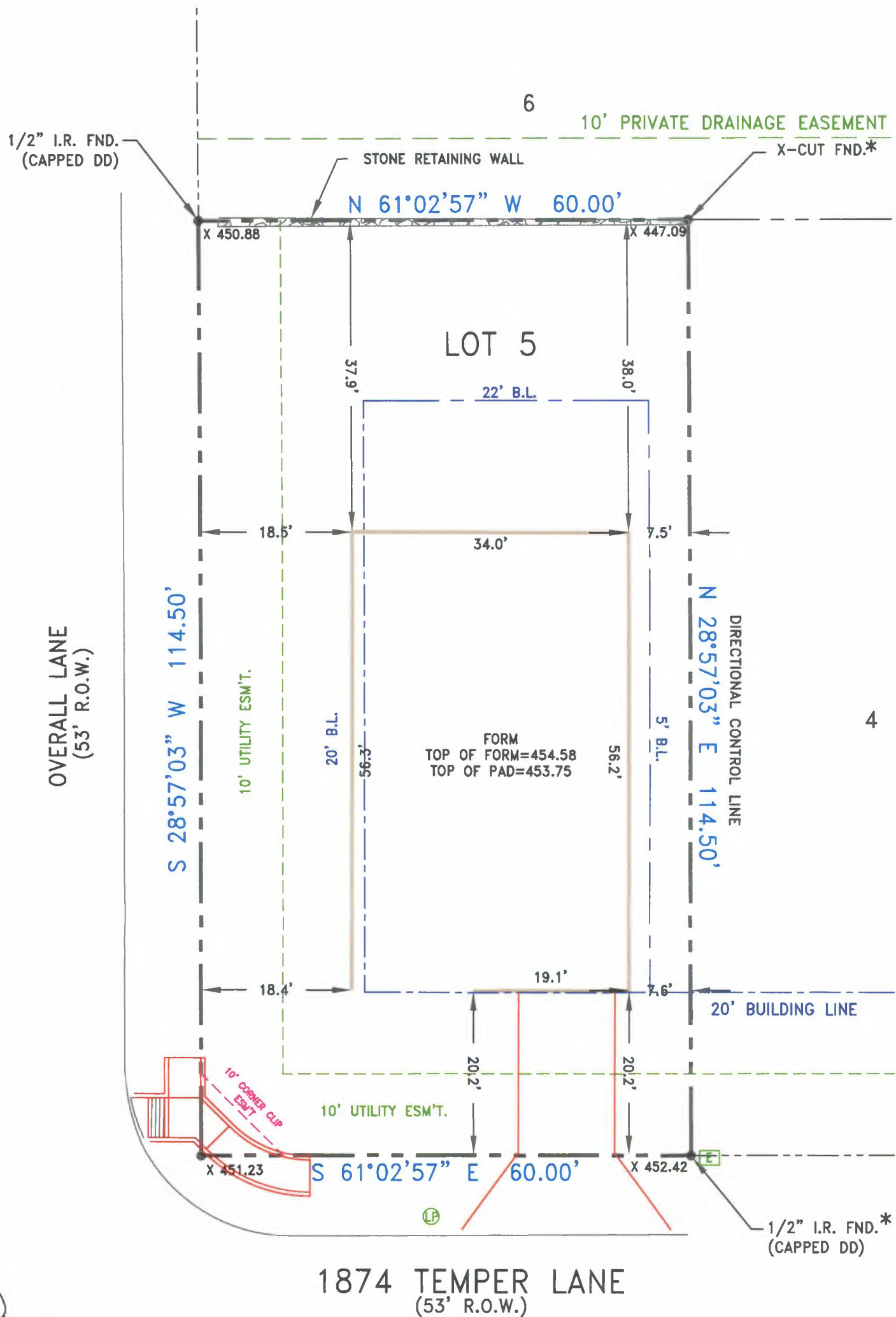
**SURVEYOR'S STATEMENT:** The undersigned Registered Professional Land Surveyors certifies that; this plot of survey and the property description set forth hereon are a true representation of facts found at the time an actual on-the-ground survey; such survey was conducted by the surveyor, or under his supervision; all monuments shown hereon exist and the location, size, and type of material are correctly shown; the location of form or slab are as shown hereon.



*Joseph M. Worthy*  
 JOSEPH MITCHELL WORTHY, R.P.L.S. No. 5399  
 DOWDY LAND SURVEYORS, INC.  
 6850 MANHATTAN BLVD. SUITE 310  
 FORT WORTH, TEXAS 76120  
 (817) 429-9898  
 T.B.P.L.S. FIRM NO. 100463-00



BUILDER: LENNAR  
 FORM SURVEY  
 DATE: 07/14/2023



SCALE: 1" = 15' @ 11X17

1:30

UTILITY LEGEND

GAS METER: (G)	CABLE BOX: (C)
TEL. PED: (T)	ELEC. BOX: (E)
FIRE HYDRANT: (FH)	TRANSFORMER: (X)
LIGHT POLE: (LP)	SIGN: (S)
WATER METER: (W)	MANHOLE: (M)
WATER VALVE: (V)	AREA DRAIN: (AD)

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LEGEND

WOOD PANEL FENCE	--- --- --- ---	
BARB/CHAINLINK FENCE	---X---	
IRON FENCE	---O---	
TELEPHONE	---T---	
ELECTRIC	---E---	
* = CONTROL MONUMENT		
WOOD	STONE	TILE
CONCRETE	BRICK	ASPHALT

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BDA23A-011

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SUBJECT TO FIELD INSPECTORS' APPROVAL

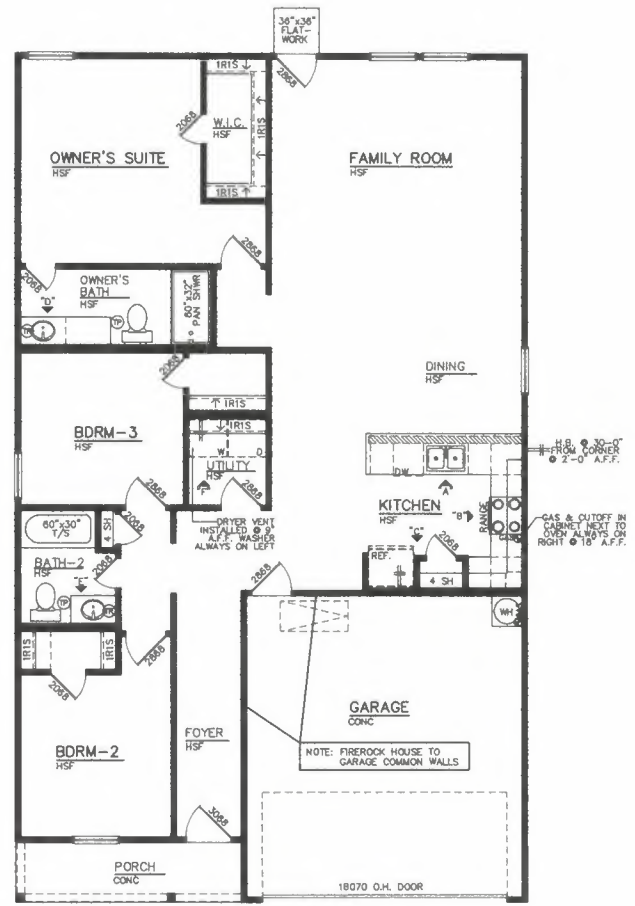
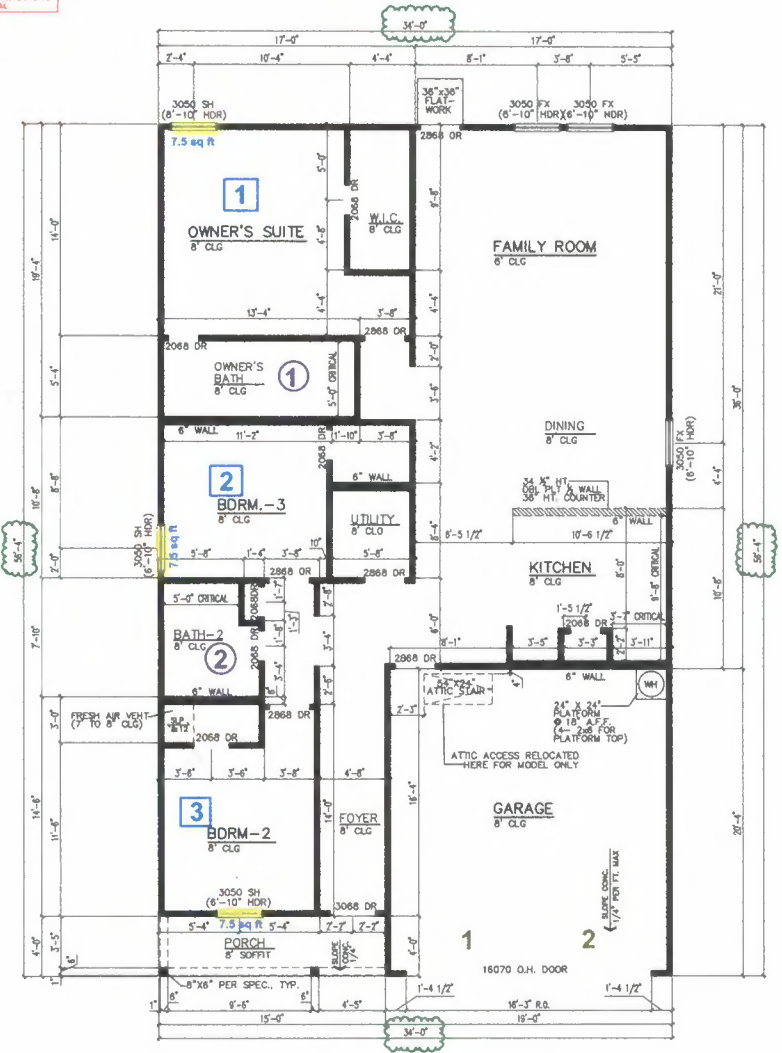
REV 05/10/22  
 09/08/23 SC - LENNAR  
 12/28/22 SC - LENNAR  
**APPROVED**  
 Building Inspection  
 0770523

DESCRIPTION:  
 35' WATERMILL II  
 3000 COLLECTION

BUILDER:  
**LENNAR**

ISSUE DATE  
 5-10-22  
 DRAFTSMAN  
 SC  
 PLAN NAME  
 WHITTON II  
 DFW PLAN NUMBER  
 3021 R

FRAMING/  
 CONCRETE  
 1  
 SHEET 1-1



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

ELEVATION B

SQUARE FOOTAGES - ELEVATION B		
	FRAME	W/ MAS.
First Floor Living Area	1474	1474
Total Living Area	1474	1474
Garage	381	381
Porch	60	60
Patio	0	0
Total Under Roof	1915	1915

BDA23A-011







**GENERAL NOTES**

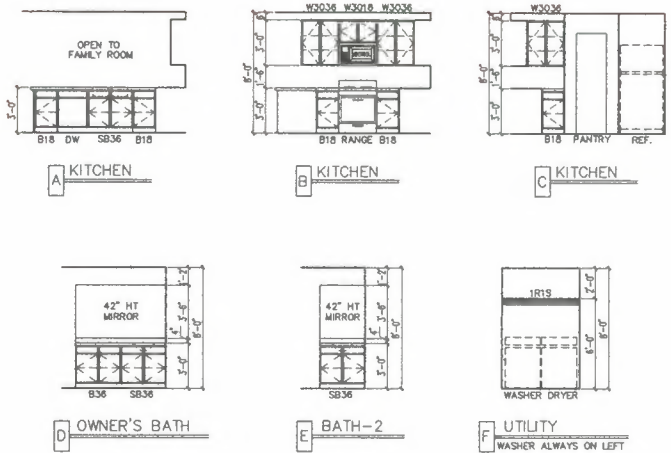
- REF. PARTIAL FLOOR PLAN & FRONT ELEVATION FOR WINDOW SIZES & LOCATIONS, PROJECTIONS, RAISED PLATES, ETC.
- ALL BRICK LEDGES TO BE 5 1/2"
- ALL ANGLES TO BE 45° UNLESS NOTED OTHERWISE
- ALL SHOWER HEADS TO BE @ 8'-10" A.F.F.
- ALL DOOR OPENINGS TO BE CENTERED ON WALL UNLESS OTHERWISE NOTED. STANDARD DOOR JAMB TO BE 4".
- ALL BEDROOM CLOSETS AND UTILITY CLOSET ROD & SHELF CONFIGURATIONS ARE TO BE 1 ROD 1 SHELF U.N.O.
- WATER HEATER PLATFORM TO BE 1'-8" A.F.F.
- GARAGE TO RECEIVE FIREPROOF ON ALL WALLS/CEILING WHEN HABITABLE AREA ABOVE.

**SUBJECT TO FIELD INSPECTOR'S APPROVAL**

**NOTES TO FRAMER:**

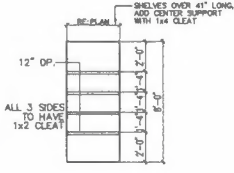
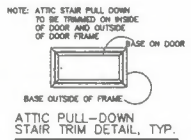
- ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE
- CABINET BLOCKING ON KITCHEN WALLS @ 3 LOCATIONS: 37'-1/2" A.F.F., 57'-1/2" A.F.F., & 96" A.F.F.
- ALL NON-LOAD BEARING INTERIOR WALL STUDS TO BE 24" O.C.
- ALL BEAMS WHICH ARE BRACED OFF OF MUST BE RAISED 1 1/2" FROM TOP PLATE
- ALL FINISHED CEILINGS TO BE 8'-0" FLAT UNLESS NOTED OTHERWISE
- ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- TUB/SHOWER COMBO BLOCKING 28"-32" FROM WALL BOTTOM PLATE TO TOP PLATE
- BLOCK BETWEEN STUDS @ ALL RAKES W/ 2x MATERIAL AT ROOF LINE

TRIM SCHEDULE	
1R/1S HGT	72" A.F.F. TO TOP OF SHELF
ROD & SHELF SUPPORT	ALL RODS (EVERY 32" MIN. OF 1)
	25'-1/2" x 54'-1/2" ATTIC STAIRS
	22'-1/2" x 30" ATTIC SCUTTLE
ALL PULL-DOWN STAIRS AND SCUTTLES TO BE TRIMMED WITH CASING	
	TOILET PAPER HOLDER 25" A.F.F.
	TOWEL RING 55" A.F.F.
ALL BEDROOM DOORS TO BE 1" ABOVE CARPET (2" ABOVE CONC.)	
PLANT LEDGES TO BE TRIMMED WITH 3/4" MDF AND CASING	

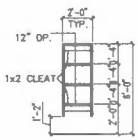


**INTERIOR ELEVATIONS**

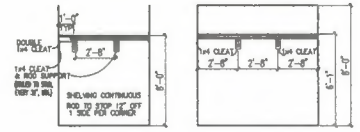
SCALE: 1/8"=1'-0"



NOTE: SUPPORT ALL INTERIOR CORNERS AT WALLS-IN LINEN/PANTRY WITH 1x2 CLEAT VERTICALLY @ CORNER



NOTE: SHELVES TO BE CUT OFF FLOOR AND CUT 45° D. ON FRONT CORNER



NOTES: 1) 1x2 CLEAT ONLY ALONG REAR WALL  
2) CLEAT SUPPORT FOR SHELF BRACKET TO BE 8" FROM BOTTOM AT REAR WALL CLEAT  
3) DOUBLE 1x4 CLEAT AT ENDS OF ALL INTERIOR SHELVING  
4) ALL RODS (EVERY 32" MINIMUM OF 1)

**REVISIONS**

05/10/22	SC - LENNAR
09/08/22	SC - LENNAR
12/28/22	SC - LENNAR

APPROVED

Building Inspection

07/05/23

---

35' WATERMILL II  
3000 COLLECTION

---

LENNAR

---

ISSUE DATE  
5-10-22

DRAFTSMAN  
SC

PLAN NAME  
WHITTON II

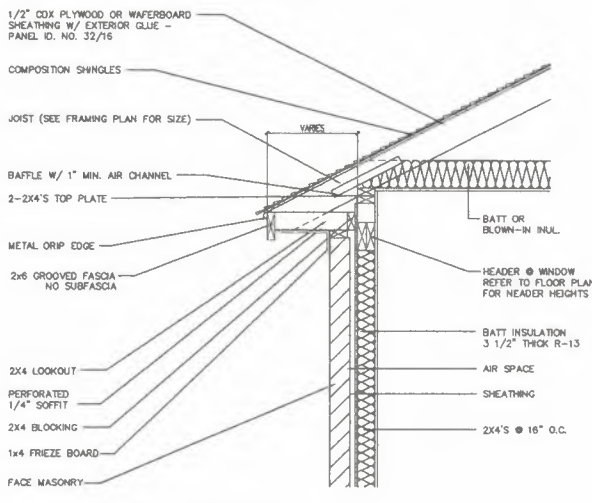
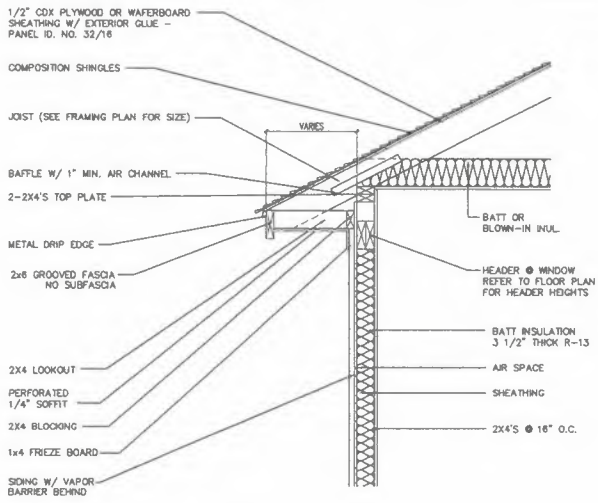
DFW PLAN NUMBER  
3021 R

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DETAILS  
1

SHEET 1-D-1

BDA23A-011



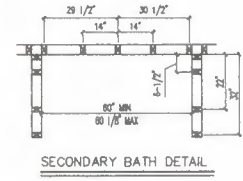
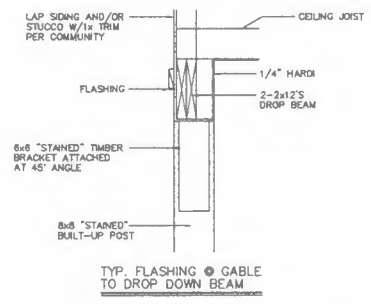
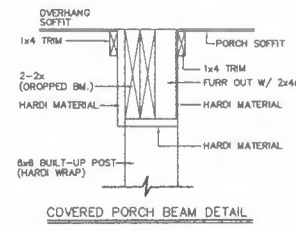
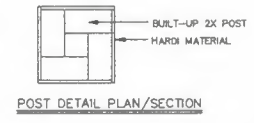
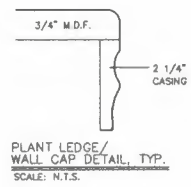
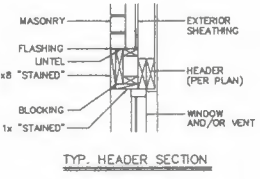
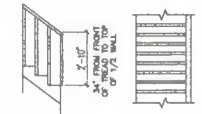
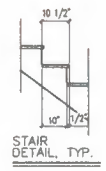
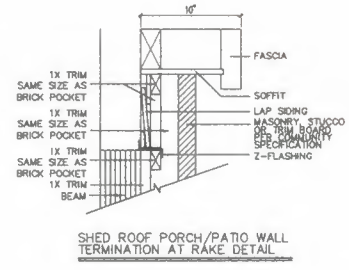
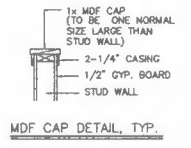
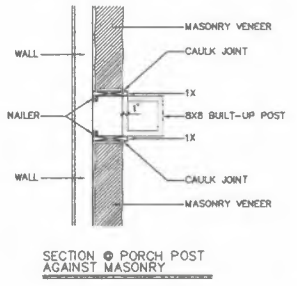
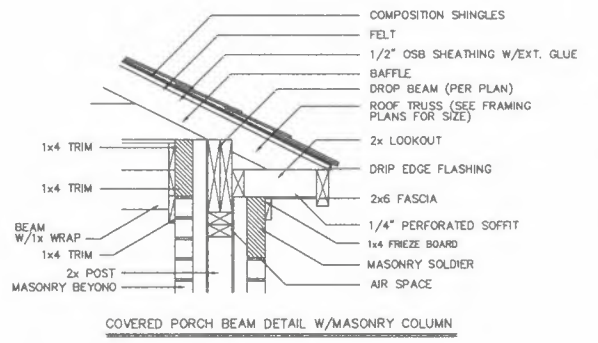
SUBJECT TO FIELD INSPECTOR'S APPROVAL

SOFFIT DETAIL AT SIDING

SCALE: N.T.S. RE: PLANS & ELEV.'S FOR FRAMING & PITCH

SOFFIT DETAIL AT MASONRY

SCALE: N.T.S. RE: PLANS & ELEV.'S FOR FRAMING & PITCH



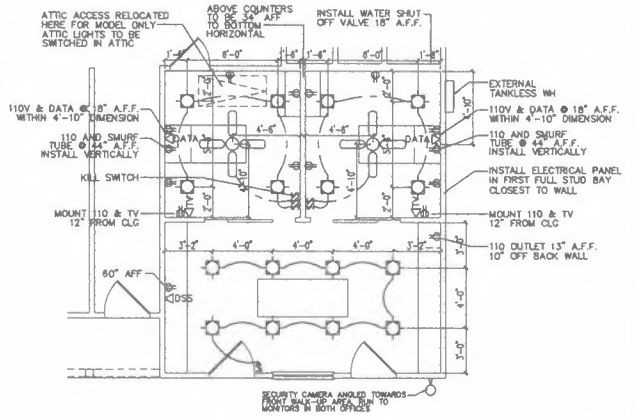
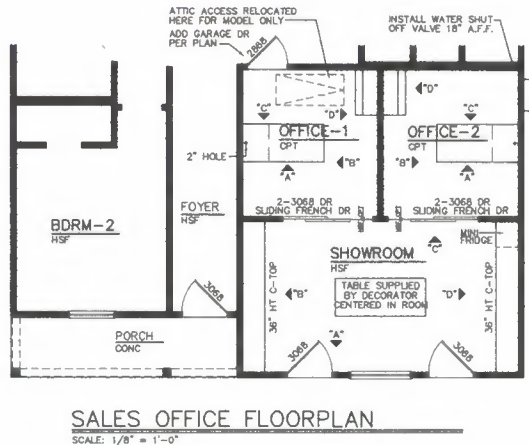
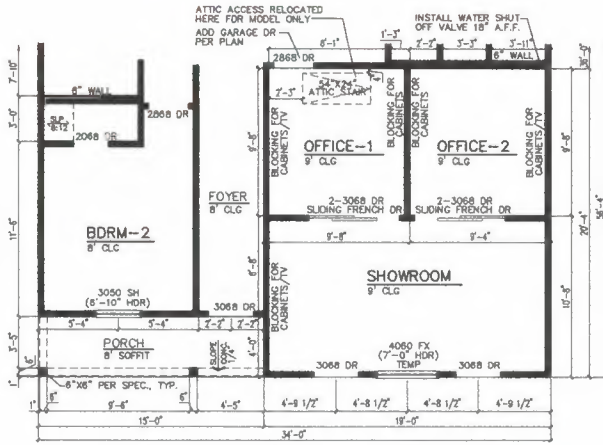
	REVIEWED 05/10/22 09/08/22 12/28/22 APPROVED Building Inspection 07/05/23
	DESCRIPTION: 35' WATERMILL II 3000 COLLECTION
	BUILDING: LENNAR
	ISSUE DATE: 5-10-22 DRAFTSMAN: SC PLAN NAME: WHITTON II DFW PLAN NUMBER: 3021 R DETAILS: 1 SHEET 1-D-2

BDA23A-011



SUBJECT TO FIELD INSPECTOR'S APPROVAL

### MODEL HOUSE/SALES OFFICE

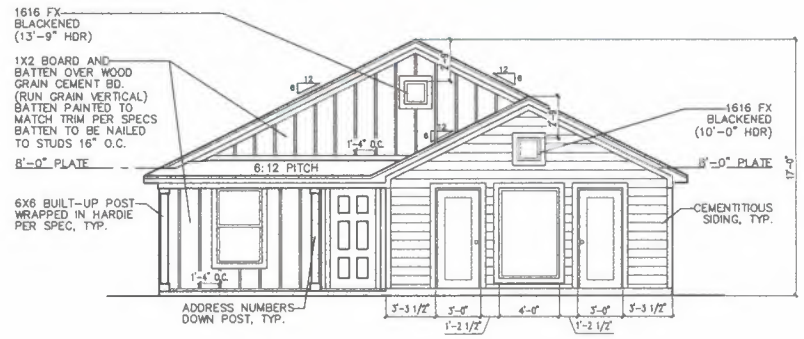


SALES OFFICE FLOORPLAN  
SCALE: 1/8" = 1'-0"

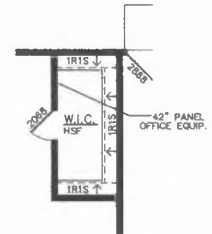
SALES OFFICE FLOORPLAN  
SCALE: 1/8" = 1'-0"

SALES OFFICE ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"

12' 6" MIDPOINT  
17' GRADE TO TOP  
30' MAX HEIGHT



FRONT ELEVATION - B  
SCALE: 1/8" = 1'-0"



OWNER'S WIC  
SCALE: 1/8" = 1'-0"

REVISIONS

05/10/22	SC - LENNAR
09/08/22	SC - LENNAR
12/28/22	SC - LENNAR

**APPROVED**

Building Inspector

07705/23

DESCRIPTION

WELCOME HOME CENTER

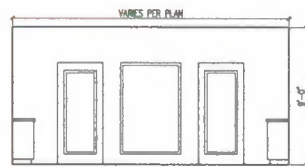


ISSUE DATE
DRAFTSMAN
PLAN NAME
DFW PLAN NUMBER

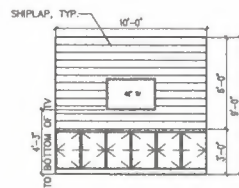
SALES

BDA234-011

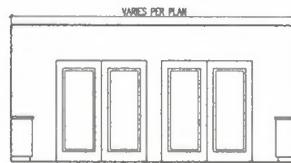
SUBJECT TO FIELD INSPECTOR'S APPROVAL



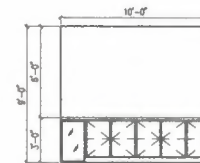
A FRONT ENTRY WALL



B SHOWROOM TV WALL



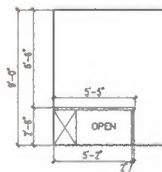
C OFFICE WALL



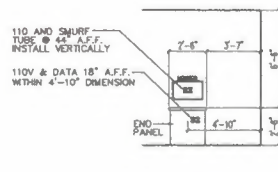
D FRIDGE WALL

SHOWROOM INTERIOR ELEVATIONS

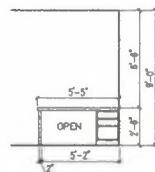
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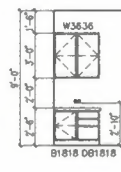
A SALES OFFICE 1



B SALES OFFICE 1



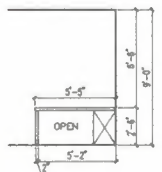
C SALES OFFICE 1



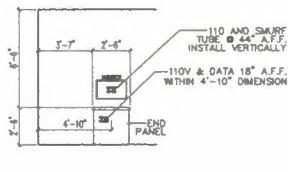
D SALES OFFICE 1

SALES OFFICE-1 INTERIOR ELEVATIONS

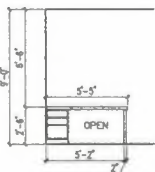
SCALE: 1/8"=1'-0"



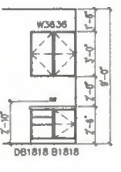
A SALES OFFICE 1



B SALES OFFICE 1



C SALES OFFICE 1



D SALES OFFICE 1

SALES OFFICE-2 INTERIOR ELEVATIONS

SCALE: 1/8"=1'-0"

REVISION	DATE	BY	DESCRIPTION
03/10/23	13	MMAR	
09/09/23	13	MMAR	
12/28/23	13	MMAR	
CITY OF DALLAS			
APPROVED			
Building Inspection			
07/05/23			

WELCOME HOME CENTER



ISSUE DATE

DRAFTSMAN

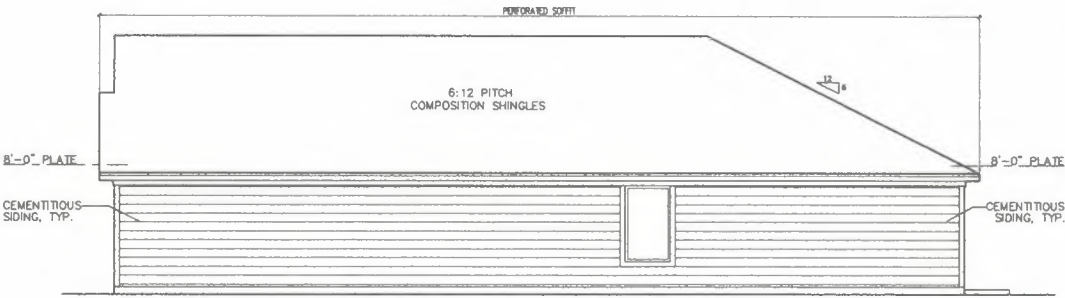
PLAN NAME

DFW PLAN NUMBER

SALES

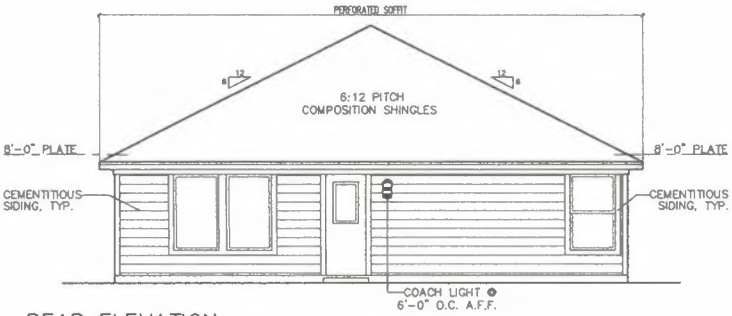
BDA234-011





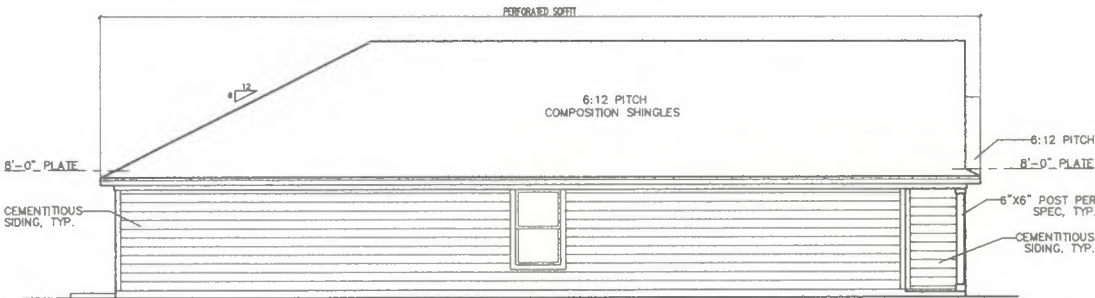
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

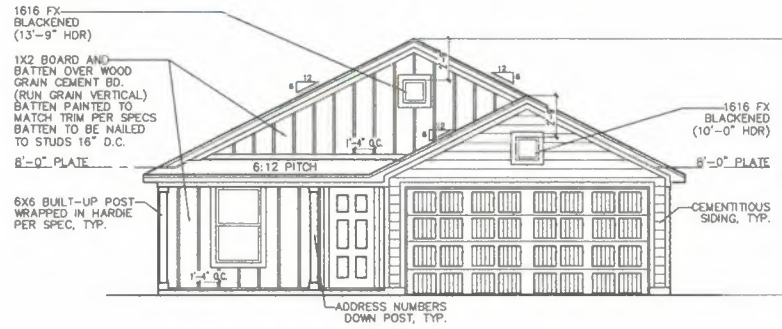


LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

**SUBJECT TO FIELD INSPECTOR'S APPROVAL**

**12' 6" MIDPOINT  
17' GRADE TO TOP  
30' MAX HEIGHT**



FRONT ELEVATION - B

SCALE: 1/8" = 1'-0"

CORNICE NOTE:  
NAIL WINDOWS AT FRONT ENTRY DIRECTLY TO 2x FRAMING - ALL OTHER WINDOWS IN BRICK TO BE FURRED-OUT W/ 1x2'S

SIDING NOTE:  
SEE ELEV. FOR SIDING DESCRIPTION

ELECTRICAL NOTE:  
EXTERIOR COLUMN & PORCH LIGHTS TO BE MOUNTED PER ELEV.

FOUNDATION NOTE:  
FOUNDATIONS OF EXTERIOR WALLS OR PIERS EXPOSED MORE THAN TEN INCHES ABOVE THE ADJACENT GROUND LEVEL SHALL BE CLAD IN THE PRIMARY EXTERIOR FINISH MATERIAL, SUCH AS BRICK, STONE OR STUCCO, OR STAINED TO COMPLEMENT THE PRIMARY EXTERIOR FINISH

EAVES NOTE:  
ARCHITECTURAL STYLES THAT INCORPORATE EAVES SHALL HAVE THE EAVES EXTEND FROM THE BUILDING WALL AT LEAST 12 INCHES AS MEASURED HORIZONTALLY ON ALL FACADES

REVIEW

05/10/22  
09/08/22  
12/28/22

LENNAR  
LENNAR  
LENNAR

**APPROVED**

Building Inspection

07/05/22

35' WATERMILL II  
3000 COLLECTION

LENNAR

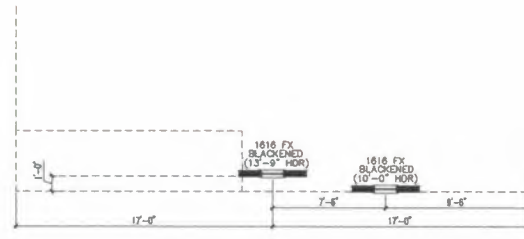
ISSUE DATE	5-10-22
DRAFTSMAN	SC
PLAN NAME	WHITTON II
DFW PLAN NUMBER	3021 R
ELEVATION	"B"
SHEET	38

BRICK CALCULATIONS		
	1ST FLOOR	TOTAL
BRICK:	0	0
SIDING:	1019	1019
TOTAL:	1019	1019
% OF BRICK	0%	0%

BDA234-011

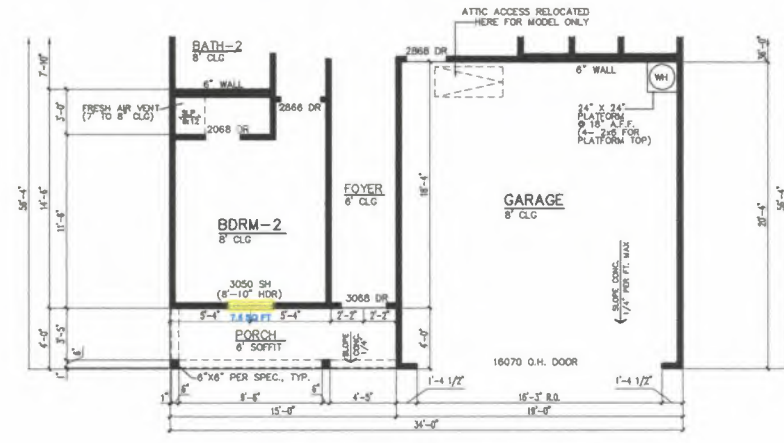
**SUBJECT TO FIELD INSPECTOR'S APPROVAL**

**NOTES:**  
 SEE GENERAL NOTES SHEET FOR ALL DOOR/ WINDOW SCHEDULES/ ELECTRICAL NOTES AND HEADER SIZES.  
 PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.



**PARTIAL GABLE PLAN - B**

SCALE: 1/8" = 1'-0"



**PARTIAL FIRST FLOOR PLAN - B**

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES - ELEVATION B		
	FRAME	W/ MAS.
First Floor Living Area	1474	1474
Total Living Area	1474	1474
Garage	381	381
Porch	60	60
Patio	0	0
Total Under Roof	1915	1915

REVISED  
 05/10/22  
 09/08/22  
 12/28/22  
 LENNAR  
 CITY OF FORT WORTH  
**APPROVED**  
 Building Inspection  
 07/05/23

DESCRIPTION  
**35' WATERMILL II  
 3000 COLLECTION**



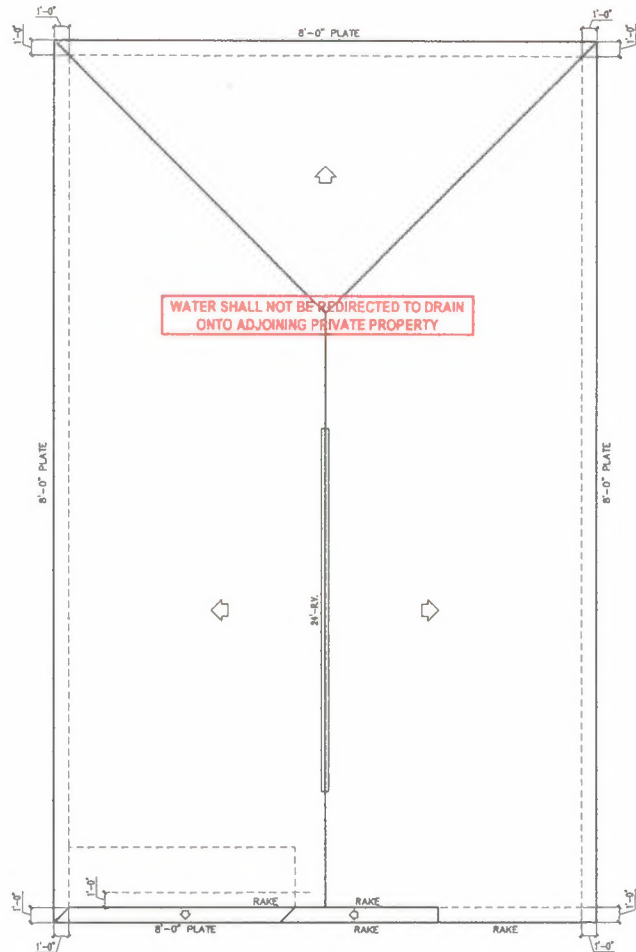
ISSUE DATE  
 5-10-22  
 DRAFTSMAN  
 SC  
 PLAN NAME  
 WHITTON II  
 DFW PLAN NUMBER  
 3021 R

ELEVATION  
 FOOTPRINT  
 "B"  
 SHEET 48

**BDA23A-011**



SUBJECT TO FIELD INSPECTOR'S APPROVAL



WATER SHALL NOT BE REDIRECTED TO DRAIN ONTO ADJOINING PRIVATE PROPERTY.

NFA CALCULATIONS	
ATTIC SQ. FT.	1915
NFA SQ. IN.	919
NEEDED SQ. IN. OF NFA EXHAUST	460
NEEDED SQ. IN. OF NFA INTAKE	460
LF RIDGE VENTS	24
ROOF LOUVERS	0
SQ. IN. OF NFA EXHAUST	588
LF OF PERFORATED SOFFIT VENT	146
SQ. IN. OF NFA INTAKE	730

- ROOF NOTES**
- 1.) ALL ROOF SLOPES TO BE 6:12 U.M.O.
  - 2.) OVERHANG TO BE 1'-0" FROM EXTERIOR FACE OF STUD @ 6:12
  - 3.) OVERHANG @ RAKE TO BE 1'-0"
  - 4.) ARROWS INDICATE DRAINAGE

- VENTILATION NOTES**
- SMALL ROOF LOUVERS ROSS 65
  - LARGE ROOF LOUVERS ROSS 130
  - RIDGE VENT

ROOF PLAN - B  
SCALE: 1/8" = 1'-0"

REVISIONS

05/10/22	SC	LENNAR
09/06/22	SC	LENNAR
12/28/22	SC	LENNAR

**APPROVED**

Building Inspection

07/05/24

DESCRIPTION: 35' WATERMILL II 3000 COLLECTION

BRAND: LENNAR

ISSUE DATE: 5-10-22

GRAFTSMAN: SC

PLAN NAME: WHITTON II

DFW PLAN NUMBER: 3021 R

ROOF PLAN "B"

SHEET 58

BDA234-011

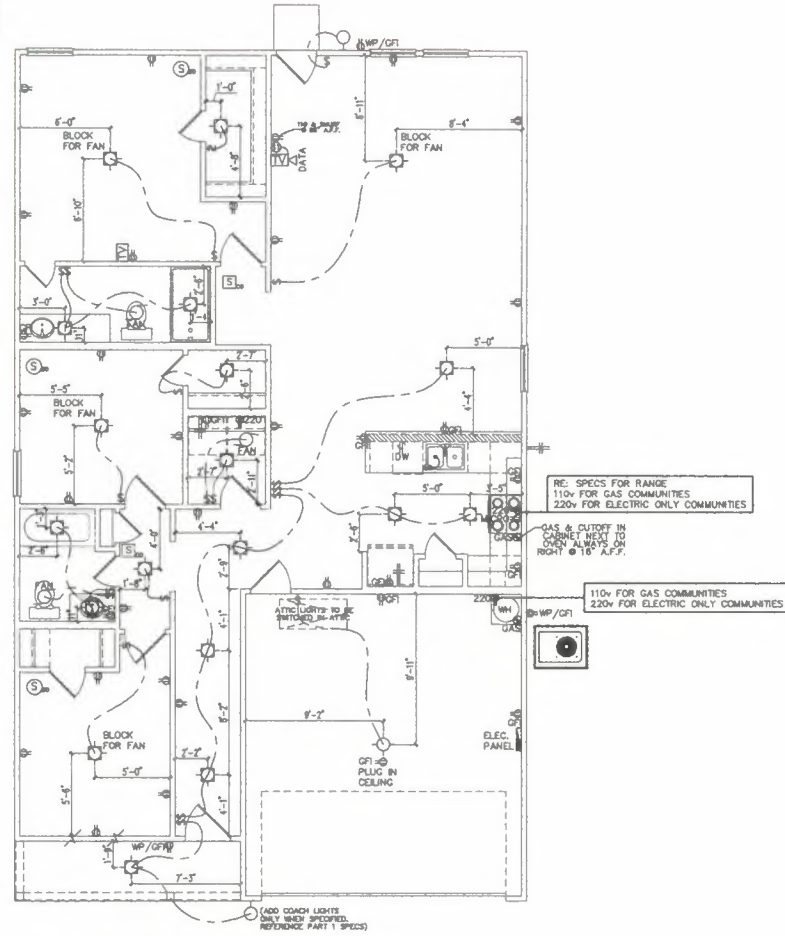
**GENERAL ELECTRICAL NOTES:**

- 1) BREAKER BOX TO BE LOCATED PER PLAN
- 2) ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 18"-0" EXTENSION LADDER OR 8'-0" STEP LADDER. SMOKE DETECTORS MUST BE MINIMUM OF 30" FROM ANY RETURN AIR GRILL, INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTIVATION OF 1 WILL ACTIVATE ALL OTHERS.
- 3) COACH LIGHTS MOUNTED PER ELEVATION
- 4) SWITCHES TO BE 54" A.F.F. (TOP OF BOX)
- 5) MICROWAVE/VENT-HOOD PLUG TO BE LOCATED AT 76" A.F.F. (IF OVER COOK TOP; WHEN APPLICABLE IN PLAN). MICROWAVE AND REFRIGERATOR AND FREEZER OUTLETS TO BE DEDICATED 20 AMP. SEE INTERIOR ELEVATIONS FOR MOUNTING HGT. OF VENT HOOD.
- 6) INSTALL GFCI PLUGS AT ALL SINK VANITIES; SIDEWALL PLUG TO BE 3" FROM BACK WALL BATH VANITY PLUGS TO BE AT 42" A.F.F. (TO BOTTOM OF BOX)
- 7) INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
- 8) KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE HORIZONTAL AT 38" A.F.F. (TO BOTTOM OF BOX)
- 9) GARBAGE DISPOSAL TO HAVE PLUG.
- 10) NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
- 11) LIGHT IN ATTIC AT HVAC WORK PLATFORM (PER IRC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. 1" LOCATION REQUIRES PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH), 110V SERVICE OUTLET IN ATTIC AT HVAC
- 12) BLOCK AND WIRE PER PLAN
- 13) HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICIAN TO WIRE AND INSTALL 18" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER AND TOILET.
- 14) THERMOSTAT TO BE LOCATED 60" A.F.F. (CENTER OF BOX). LOCATION(S) PER PLAN.
- 15) CEILING FANS ARE TO BE INSTALLED AND BALANCED PER MANUFACTURER'S SPECS.
- 16) PLUG FOR SPRINKLER SYSTEM AT 84" A.F.F. IN GARAGE (PER COMMUNITY)
- 17) EXTERIOR GFI AT A/C COMPRESSOR SHOULD BE LOCATED NEXT TO AND AT SAME HEIGHT AS THE DISCONNECT.

**SUBJECT TO FIELD INSPECTOR'S APPROVAL**

**SMOKE DETECTORS REQUIRED IMMEDIATELY OUTSIDE ALL SLEEPING AREAS AND AT ALL FLOOR LEVELS**

CARBON MONOXIDE DETECTORS PER MUNICIPALITY



**ELECTRICAL SYMBOL LEGEND**

⌚ LIGHT SWITCH	TV TELEVISION OUTLET
🔔 DOORBELL	⊙ SURFACE MOUNTED LIGHT FIXTURE
⚡ G.F.I. OUTLET	Ⓜ CARBON MONOXIDE/SMOKE DETECTOR
⚡ 110V OUTLET	Ⓜ SMOKE DETECTOR
⚡ 220V OUTLET	📢 SIREN
Ⓜ GAS	📢 CHIMES
📡 SMAURF TUBE	
📞 TELEPHONE JACK	
⚡ ELECTRICAL WIRE	⊕ CEILING FAN WITH LIGHT
💡 LED DOWN LIGHT	⊕ ELECTRICAL SUB-PANEL
⊕ WALL MOUNTED LIGHT FIXTURE	⊕ HOSE BIB
🌀 EXHAUST FAN	

MODEL HOME GETS 110 @ 66" A.F.F. AND SMAURF TUBE FOR LIVING ROOM TV

**FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/8" = 1'-0"  
ELEVATION B

REVISIONS

05/10/22	LENNAR
09/08/22	LENNAR
12/26/22	LENNAR

**APPROVED**  
Building Inspection  
07/05/23

DESCRIPTION: 35' WATERMILL II 3000 COLLECTION

BUILDER: **LENNAR**

ISSUE DATE	5-10-22
DRAFTSMAN	SC
PLAN NAME	WATTON II
DWG PLAN NUMBER	3021 R
ELECTRICAL	1
SHEET	6-1

BDA234-011



**DISCLAIMERS**

1. HVAC LOAD, SIZING AND LAYOUT ARE DESIGNED PER ACCA MANUAL J, D AND S
2. ALL HVAC EQUIPMENT LOCATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE. TEMPO MECHANICAL IS NOT LIABLE FOR ANY COSTS INCURRED DUE TO THESE CHANGES
3. BUILDER/CUSTOMER LAYOUT CHANGES WITHOUT ENGINEERING APPROVAL VOIDS PERFORMANCE GUARANTEE.
4. THIS DOCUMENT SUPERCEDES ALL PREVIOUS ARRANGEMENTS

**DRAWING AND PLACEMENT**

1. UNITS MUST BE LESS THAN 25' BUT MORE THAN 3' AWAY FROM ATTIC ACCESS
2. VAL GRILLES TO BE USED ON ALL BOOTS THAT ARE PLACED ON CEILINGS 12' OR HIGHER
3. THERMOSTATS TO BE PLACED ON INTERIOR WALLS WITHIN CONTROLLED ZONED AND PREFERABLY NEAR PRIMARY RETURN BOOT FOR THAT SYSTEM
4. 10"x8" SUPPLY BOOTS ARE TO BE IN ALL PRIMARY ROOMS AND LIVING SPACES
5. DAMPER SYSTEMS
  - 5.1. REMOTE PLENUM BOXES ARE NOT TO BE USED UNLESS AGREED UPON BY FOREMAN, PROJECT MANAGER, ENGINEER AND BUILDER
  - 5.2. THE ZONE DAMPERS MUST HAVE 6' DUCT LENGTH SEPARATION FROM SUPPLYING UNIT

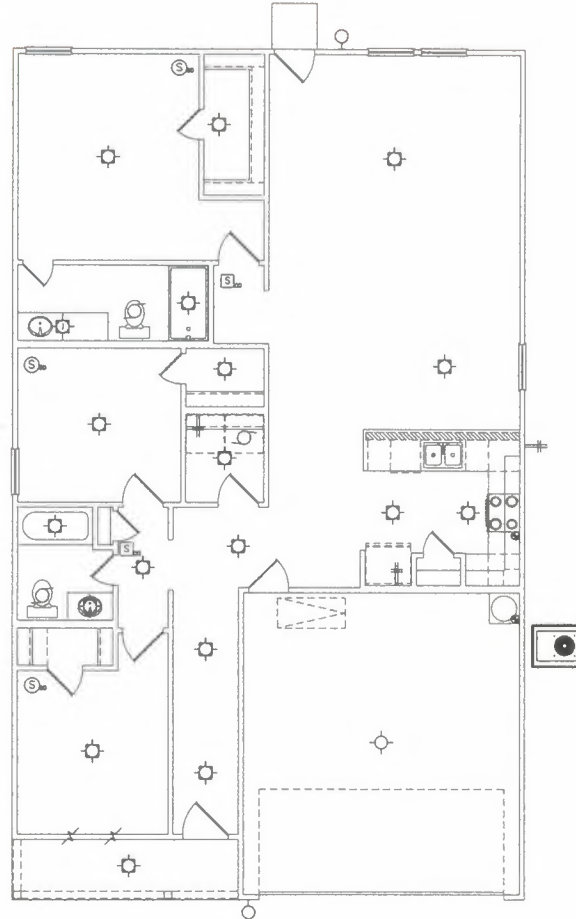
**INSTALLATION**

1. NO FOOD ALLOWED INSIDE HOMES
2. REMOVE ALL TRASH FROM JOBSITE
3. HARD HAT REQUIRED AT ALL TIMES
4. WORKING FIRE EXTINGUISHERS REQUIRED ON JOBSITE
5. DO NOT DRIVE ON LOTS FOR ANY REASON
6. ALL DUCTWORK IS TO BE R-6 INSULATED UNLESS OTHERWISE SPECIFIED
7. ALL WYES MUST BE BLANKET WRAPPED
8. INSULATION MUST OVERLAP COIL BY 6"
9. F100 FILTER CASES AND FFF PLENUMS TO BE WRAPPED IN INSULATION
10. INSTALL 4" METAL SLEEVES AT DUCT-TO-DUCT CONNECTIONS
11. ALL DUCT TO BE SUPPORTED EVERY 4'
12. INSPECT ALL VISIBLE JOINTS AND SEAMS
13. SEAL ALL JOINTS AND SEAMS WITH APPROVED DUCT MASTIC
14. ENSURE ALL CONDENSATE DRAIN LINES ARE INSTALLED USING PURPLE PRIMER AND APPROVED SOLVENT
15. AUXILIARY DRAIN PAN MUST EXCEED COIL BY 1/2" ON ALL SIDES
16. DO NOT TERMINATE DRYER EXHAUST WITHIN 3' OF CONDENSERS

**INSTALACION**

1. COMIDA NO ES PERMITIDA DENTRO DE LOS HOGARES
2. REMUEVAN TODA BASURA DEL SITIO DE TRABAJO
3. SE REQUIERE CASCO DE SEGURIDAD EN TODO MOMENTO
4. SE REQUIERE EXTINGUIDOR DE INCENDIOS QUE ESTÁ FUNCIONANDO EN EL SITIO DE TRABAJO
5. ESTACIONAMIENTO SOLO EN LA CALLE
6. TODOS LOS DUCTOS DEBEN LLEVAR INSULACION
7. TODOS LOS WYES DEBEN SER ENVUELTOS EN MANTA AL INSTALARSE
8. INSULACION NEECOTA TRASLAPAR LA BOBINA POR 6 PULGADAS
9. CAJAS DE FILTROS F100 Y PLENUMS FFF DEBEN SER ENVUELTOS EN INSULACION
10. INSTALAR MANGAS DE METAL DE 4 PULGADAS EN LAS CONECCIONES DE DUCTO A DUCTO
11. TODO DUCTO DEBE LLEVAR SOPORTE CADA 4 PIES
12. INSPECCIONAR TODA JUNTURA Y COSTURA VISIBLE
13. SELLAR TODA JUNTURA Y COSTURA CON MASILLA PARA DUCTO
14. ASEGURARSE QUE TODAS LAS LINEAS DE DRENAJE DE CONDENSADO SON INSTALADAS USANDO EL CEBADOR MORADO Y EL SOLVENTE APROBADO
15. EL SARTEN DE DRENAJE AUXILIAR DEBE EXCEDER LA BOBINA POR 1.5 PULGADAS EN TODO LADO
16. NO TERMINAR EL ESCAPE DE SECADORA DENTRO DE 3 PIES DE LOS CONDENSADORES

SUBJECT TO FIELD INSPECTOR'S APPROVAL



FIRST FLOOR HVAC PLAN



SCALE: 1/8" = 1'-0"

ELEVATION B

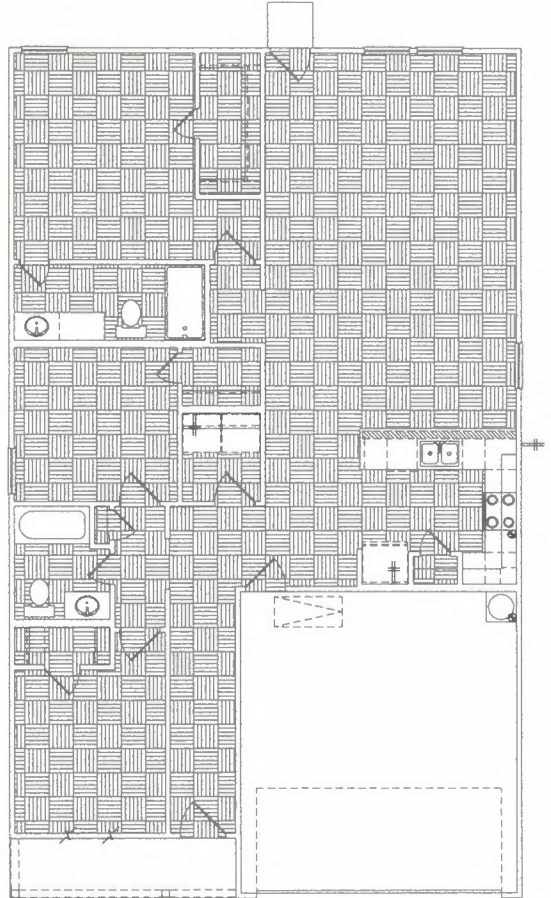
<b>35' WATERMILL II 3000 COLLECTION</b>
<b>LENNAR</b>
ISSUE DATE 5-10-22
DRAFTSMAN SC
PLAN NAME WHITTON II
DFW PLAN NUMBER 3021 R
HVAC 1
SHEET 7-1

BDA23A-011



FLOORING LEGEND	
	STANDARD CARPET--NO UPGRADES
	STANDARD HARD SURFACE FLOORING-- NO UPGRADES

SUBJECT TO FIELD INSPECTOR'S APPROVAL



FIRST FLOOR FLOORING PLAN  
 SCALE: 1/8" = 1'-0"  
 ELEVATION B

 REVISED 05/10/22 09/08/22 SP-LENNAR 12/28/22 SC-LENNAR <b>APPROVED</b> Building Inspection 07/05/23
DESIGN NO: <b>35' WATERMILL II          3000 COLLECTION</b>
BUILDING: <div style="border: 1px solid black; padding: 5px; display: inline-block; font-weight: bold; font-size: 1.2em;">LENNAR®</div>
ISSUE DATE: 5-10-22 DRAFTSMAN: SC PLAN NAME: WHITTON II DFW PLAN NUMBER: 3021 R FLOORING OPTION 1 SHEET 9-1

BDA234-011